



# EMERGENCY PERMIT

## 22EMP-00000-00001

- Countywide:**  
Subject to the requirements of Section 35.82.090 of the Santa Barbara County Land Use & Development Code.
- Montecito:**  
Subject to the requirements of Section 35.472.080 of the Santa Barbara County Montecito Land Use & Development Code

**Case Name:** AKC Investments, LLC – Emergency Permit

**Case Number:** 22EMP-00000-00001

**Site Address:** 1297 N. Ontare Rd.

**APN:** 153-260-013

**Applicant/Agent Name:** Mark Lloyd

**Owner Name:** AKC Investments, LLC

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**PERMIT APPROVAL:**

This is to inform you that an Emergency Permit has been approved for:

**The project is the request for an Emergency Permit to repair to an existing slope failure. The repair requires construction of a caisson supported retaining wall spanning approximately 100 feet in length with a maximum height of six feet. Grading includes 280 cubic yards of cut and 280 cubic yards of fill. No trees are proposed for removal. The parcel will continue to be served by the Goleta Water District, an existing septic system, and the Santa Barbara County Fire Department. Access will continue to be provided off of N. Ontare Road. The property is a 2.37-acre parcel zoned MT-40 and shown as Assessor's Parcel Number 153-260-013, located at 1297 N. Ontare Road in the Eastern Goleta Valley Community Plan Area, First Supervisorial District.**

The Director has determined that the situation constitutes an emergency in accordance with the applicable Development Code indicated above and immediate action is warranted. As the required findings (listed below) can be made, the emergency work is hereby approved, subject to compliance with the attached conditions of approval. This permit is not valid until signed by the owner/applicant and subsequently issued by the Department upon verification that all conditions of approval requiring action prior to permit issuance are satisfied.

Sincerely,



Lisa Plowman  
Director

APPROVAL DATE:                      March 1, 2023


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**OWNER/APPLICANT AGREEMENT:**

The undersigned permittee acknowledges receipt of this permit and agrees to abide by all terms and conditions of approval incorporated herein. The undersigned also acknowledges and agrees that:

- This Emergency Permit provides only temporary authorization for the proposed action and other applicable permits (such as a Conditional Use Permit, Coastal Development Permit, Land Use Permit, Building Permit) are required by law to validate the emergency work as permanent.
- Any evidence or findings contained herein, or upon which this permit relies, shall not constitute any limitation on the authority of the County to issue, grant, deny, rescind, or revoke this permit or any future permit(s) required for the activities described herein, or on the authority of the County to analyze, mitigate, or condition any future permit(s) required for the activities described herein.
- This permit does not authorize any work or construction activities outside of the scope of the project as indicated in the project description, conditions of approval and approved plans.
- This permit shall not be construed to authorize any violation of County ordinance or policy, or the violation of any State or Federal regulation.

MARK LLOYD                                            3-01-2023  
Print Name                                      Signature                                      Date

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**PERMIT ISSUANCE:**

Kevin De Los Santos                      *Kevin De Los Santos*                      3/1/2023  
Print Name                                      Signature                                      Date

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## **BACKGROUND:**

The project site is located at 1297 N. Ontare Rd. in the inland area of Eastern Goleta Valley Community Plan area. The project site is currently developed with a single-story single family dwelling and is located in the MT-40 Zone. The project is the request for an Emergency Permit to allow repair of an existing slope failure. The repair requires construction of a caisson supported retaining wall spanning approximately 100 feet in length with a maximum height of six feet. Grading includes 280 cubic yards of cut and 280 cubic yards of fill. No trees are proposed for removal.

The project constitutes an emergency because of slope failure and erosion of the slope located beneath the single family residence presents a risk of further slope failure. The risk of additional slope failure presents an immediate health and safety risk to persons living in the single family dwelling that is approximately 12 feet above the top of the eroded slope area. The applicant hired a professional geologist, Doyle-Morgan Structural Engineering, Inc., to evaluate the slope and provide recommendations for the best course of action. Doyle-Morgan determined that the slope failure presents a serious health and safety risk and recommended that the repair occur prior to the 2022-2023 rainy season to avoid further slope failure and damage to the existing single-family residence located directly above. Building and Safety inspectors conducted site visits to evaluate the slope and determined that a present danger does exist and the project constitutes an emergency.

## **FINDINGS OF APPROVAL:**

**A. Findings required for all Emergency Permits. In compliance with Subsection 35.82.090.E.2 of the County Land Use and Development Code, prior to the approval or conditional approval of an application for an Emergency Permit the Director shall first make all of the following findings:**

***a. An emergency exists and requires action more quickly than provided for by the customary procedures for permit processing.***

The Director finds that an emergency exists and requires action more quickly than provided for by the procedures for permit processing. The applicant hired a professional geologist, Doyle-Morgan Structural Engineering, Inc., to evaluate the slope and provide recommendations for the best course of action. Doyle-Morgan determined that the potential slope failure presents a serious health and safety risk and recommended that the repair occur prior to the 2022-2023 rainy season to avoid further slope failure and damage to the existing single-family residence located approximately 12 feet above the top of eroded slope area. Building and Safety inspectors conducted site visits to evaluate the eroded slope area and determined that a present danger exists and the project constitutes an emergency.

***b. The action proposed is consistent with the policies of the Comprehensive Plan, including any applicable community or area plan and the requirements of this Development Code.***

The Director finds that the emergency action is consistent with the Comprehensive Plan as described below with reference to applicable policies:

*Hillside and Watershed Protection Policy 1: Plans for development shall minimize cut and fill operations. Plans requiring excessive cutting and filling may be denied if it is determined that the development could be carried out with less alteration of the natural terrain.*

*Eastern Goleta Valley Community Plan Geo Policy 2.1: Excessive grading for the purpose of creating or enhancing views or aesthetics shall not be permitted.*

The project is consistent with these policies because the project requires the least amount of grading necessary to stabilize the slope. The project requires approximately 280 cubic yards of cut and 280 cubic yards of fill. The cut and fill is balanced onsite and it is the minimum amount of grading required to stabilize the slope.

*Hillside and Watershed Protection Policy 2: All developments shall be designed to fit the site topography, soils, geology, hydrology, and any other existing conditions and be oriented so that grading and other site preparation is kept to an absolute minimum. Natural features, landforms, and native vegetation, such as trees, shall be preserved to the maximum extent feasible. Areas of the site which are not suited to development because of known soil, geologic, flood, erosion or other hazards shall remain in open space.*

The project is consistent with this policy because the only development proposed is a retaining wall designed to fit the site topography and stabilize the existing slope failure. Grading will be balanced onsite, no import or export is required, and no trees are proposed for removal. The project will stabilize an existing slope failure that presents a dangerous risk to the dwelling located approximately 12 feet above the top of the eroded slope area.

*Hillside and Watershed Protection Policy 5: Temporary vegetation, seeding, mulching, or other suitable stabilization method shall be used to protect soils subject to erosion that have been disturbed during grading or development. All cut and fill slopes shall be stabilized as rapidly as possible with planting of native grasses and shrubs, appropriate non-native plants, or with accepted landscaping practices.*

*Eastern Goleta Valley Community Plan Geo Policy 2-B: Landscape plans shall be required for development on slopes greater than 20 percent to ensure revegetation of graded areas. All landscape plans shall be subject to review by the Planning and Development Department; landscape securities shall be required unless expressly waived by the Planning and Development Department.*

The project is consistent with these policies because the applicant will submit a Biological Resource Assessment that includes a revegetation plan designed to protect soils from erosion. Condition No. 3 requires the applicant to submit a follow-up Land Use Permit. A Biological Resource Assessment, that includes a revegetation plan, is required prior to approval of the follow-up Land Use Permit.

*Hillside and Watershed Protection Policy 7: Degradation of the water quality of groundwater basins, nearby streams, or wetlands shall not result from development of the site. Pollutants, such as chemicals, fuels, lubricants, raw sewage, and other harmful waste, shall not be discharged into or alongside coastal streams or wetlands either during or after construction.*

The project is consistent with this policy because degradation of the water quality of groundwater basins, nearby streams, or wetlands will not result from the emergency slope repair. The project is conditioned to require the Owner/Applicant to designate a construction equipment filling and storage area to contain spills, facilitate clean-up and proper disposal, and prevent contamination from discharging offsite (Condition No. 12).

*Eastern Goleta Valley Community Plan Geo Policy 2.2: No development shall be allowed on slopes of 30 percent or greater. Ground disturbances and development on slopes of 20 percent or greater should be avoided, unless such avoidance would preclude reasonable use of the parcel, wherein the portion of the site which exhibits the least amount of slope shall be utilized. Development on these sites should be designed to minimize combined grading from driveway and building pad creation.*

The project is consistent with this policy because the only development on a slope greater than 30 percent is the proposed retaining wall that will repair the existing slope failure that presents a dangerous health and safety risk to the existing single-family dwelling located approximately 12 feet above. No other development is proposed on slopes greater than 30 percent. The construction of the retaining wall to repair the slope failure is the subject of the emergency work.

*Visual Resource Policy 2: In areas designated as rural on the land use plan maps, the height, scale, and design of structures shall be compatible with the character of the surrounding natural environment, except where technical requirements dictate otherwise. Structures shall be subordinate in appearance to natural landforms; shall be designed to follow the natural contours of the landscape; and shall be sited so as not to intrude into the skyline as seen from public viewing places.*

*Eastern Goleta Valley Community Plan Policy VIS-EGV-1.1: Development should minimize impacts to open space views as seen from public vistas and scenic local routes and avoid impairment of significant visual resources.*

The project is consistent with these policies because the height of the wall is limited to six feet in height. MT-GOL Zone has a maximum height limit of 25 feet. The development complies with the height limit and will not cause significant impacts to open space views. The project site is not highly visible from a public vista.

***c. Public comment on the proposed emergency action has been reviewed.***

The Director finds that public comment on the proposed emergency action has been reviewed. Noticing letters for the project were sent on January 31, 2023, one noticing placard was placed on-site on February 1, 2023. As of March 1, 2023, no public comment letters have been received.

## **EMERGENCY PERMIT CONDITIONS OF APPROVAL**

1. This Emergency Permit is based upon and limited to compliance with the project description, and the conditions of approval set forth below. Any deviations from the project description or conditions must be reviewed and approved by the County for conformity with this approval. Deviations without the above-described approval will constitute a violation of permit approval. If it is determined that project activity is occurring in violation of any or all of the following conditions, the Director may revoke this permit and all authorization for development. The decision of the Director to revoke the Emergency Permit may be appealed to the Commission/Montecito Commission.

The project description is as follows:

**The project is the request for an Emergency Permit to repair to an existing slope failure. The repair requires construction of a caisson supported retaining wall spanning approximately 100 feet in length with a maximum height of six feet. Grading includes 280 cubic yards of cut and 280 cubic yards of fill. No trees are proposed for removal. The parcel will continue to be served by the Goleta Water District, an existing septic system, and the Santa Barbara County Fire Department. Access will continue to be provided off of N. Ontare Road. The property is a 2.37-acre parcel zoned MT-40 and shown as Assessor's Parcel Number 153-260-013, located at 1297 N. Ontare Road in the Eastern Goleta Valley Community Plan Area, First Supervisorial District.**

2. **Proj Des-02 Project Conformity.** The grading, development, use, and maintenance of the property, the size, shape, arrangement, and location of the structures, parking areas and landscape areas, and the protection and preservation of resources shall conform to the project description above and the hearing exhibits and conditions of approval below. The property and any portions thereof shall be sold, leased or financed in compliance with this project description and the approved hearing exhibits and conditions of approval thereto. All plans (such as Landscape and Tree Protection Plans) must be submitted for review and approval and shall be implemented as approved by the County.

3. **Follow Up Permit Required.** An application(s) for the required permits necessary to validate the emergency work as permanent shall be submitted by the applicant to the Planning and Development Department no later than 30 days following the issuance of this Emergency Permit. The permits required for the proposed emergency work include a Land Use Permit pursuant to Section 35.82.110 of the Land Use and Development Code. If the follow up permit is denied, the Emergency Permit shall be valid only until a final decision is made on the follow up permit, at which point the Emergency Permit shall expire.
4. **Completeness Items.** Any materials required for a completed application, as identified in the initial review of the original application required pursuant to Condition No. 3 above, shall be submitted within 90 days after written notification of the application deficiencies is provided to the applicant. This time period may be extended by the Director of Planning and Development.
5. **Authorized Work Only.** This permit does not preclude the necessity to obtain authorization and/or permits from other Departments or agencies.
6. **Stop Work Order.** The Director of Planning and Development may order the work authorized under this emergency permit to stop immediately if it is determined that unanticipated and substantial adverse environmental effects may occur with continued construction.
7. **Not Valid Until Signed.** This Emergency Permit is not valid until signed by the applicant and subsequently issued by Planning and Development.
8. **Additional Permits Required.** This permit does not preclude the necessity to obtain authorization and/or permits from other County Departments or other agencies.
9. **Noise-02 Construction Hours.** Noise-02 Construction Hours. The Owner/Applicant, including all contractors and subcontractors shall limit construction activity, including equipment maintenance and site preparation, to the hours between 8:00 am and 5:00 pm Monday through Friday. No construction shall occur on weekends or State holidays. Non-noise generating interior construction activities such as plumbing, electrical, drywall and painting (which does not include the use of compressors, tile saws, or other noise-generating equipment) are not subject to these restrictions. Any subsequent amendment to the Comprehensive General Plan, applicable Community or Specific Plan, or Zoning Code noise standard upon which these construction hours are based shall supersede the hours stated herein.  
**PLAN REQUIREMENTS:** The Owner/Applicant shall provide and post a sign stating these restrictions at all construction site entries.  
**TIMING:** Signs shall be posted prior to commencement of construction and maintained throughout construction.  
**MONITORING:** Building inspectors shall spot check and respond to complaints.
10. **Parking-02 Onsite Construction Parking.** All construction-related vehicles, equipment staging and storage areas shall be located onsite and outside of the road and highway right of way. The



Owner/Applicant shall provide all construction personnel with a written notice of this requirement and a description of approved parking, staging and storage areas. The notice shall also include the name and phone number of the Owner/Applicant's designee responsible for enforcement of this restriction.

**MONITORING:** P&D zoning enforcement staff and Building and Safety shall confirm the availability of designated onsite areas during construction, and as required, shall require re-distribution of updated notices and/or refer complaints regarding offsite parking to appropriate agencies.

11. **WatConv-03 Equipment Erosion and Sediment Control.** The Owner/Applicant shall re-vegetate graded areas in accordance with the approved Biological Resource Assessment (to be submitted with follow-up Land Use Permit). P&D may require the reseeded of surfaces graded for the placement of structures if construction does not commence within 30 days of grading.  
**PLAN REQUIREMENTS:** Include this measure as a note on all grading and building plans.  
**TIMING:** The Owner/Applicant shall re-vegetate graded areas in accordance with the approved Biological Resource Assessment.  
**MONITORING:** The Owner/Applicant shall demonstrate compliance to grading and building inspectors in the field.
12. **WatConv-04 Equipment Storage-Construction.** The Owner/Applicant shall designate a construction equipment filling and storage area(s) to contain spills, facilitate clean-up and proper disposal and prevent contamination from discharging to the storm drains, street, drainage ditches, creeks, or wetlands. The areas shall be no larger than 50 x 50 foot unless otherwise approved by P&D and shall be located at least 100 feet from any storm drain, waterbody or sensitive biological resources.  
**PLAN REQUIREMENTS:** The Owner/Applicant shall designate the P&D approved location on all Building Permits.  
**TIMING:** The Owner/Applicant shall install the area prior to commencement of construction.  
**MONITORING:** Building and Safety staff shall ensure compliance prior to and throughout construction.
13. **WatConv-05 Equipment Washout-Construction.** The Owner/Applicant shall designate a washout area(s) for the washing of concrete trucks, paint, equipment, or similar activities to prevent wash water from discharging to the storm drains, street, drainage ditches, creeks, or wetlands. Note that polluted water and materials shall be contained in this area and removed from the site as needed. The area shall be located at least 50 feet from any storm drain, waterbody or sensitive biological resources.  
**PLAN REQUIREMENTS:** The Owner/Applicant shall designate the P&D approved location on all Building Permits.  
**TIMING:** The Owner/Applicant shall install the area prior to commencement of construction.  
**MONITORING:** P&D zoning enforcement shall ensure compliance prior to and throughout construction.

Attachments:

- A. Site Plans
  - B. CEQA Notice of Exemption
- cc: Das Williams, First District  
Travis Seawards, P&D Deputy Director  
Joe Dargel, Supervising Planner, P&D  
Kevin De Los Santos, P&D Planner

# 1297 NORTH ONTARE ROAD

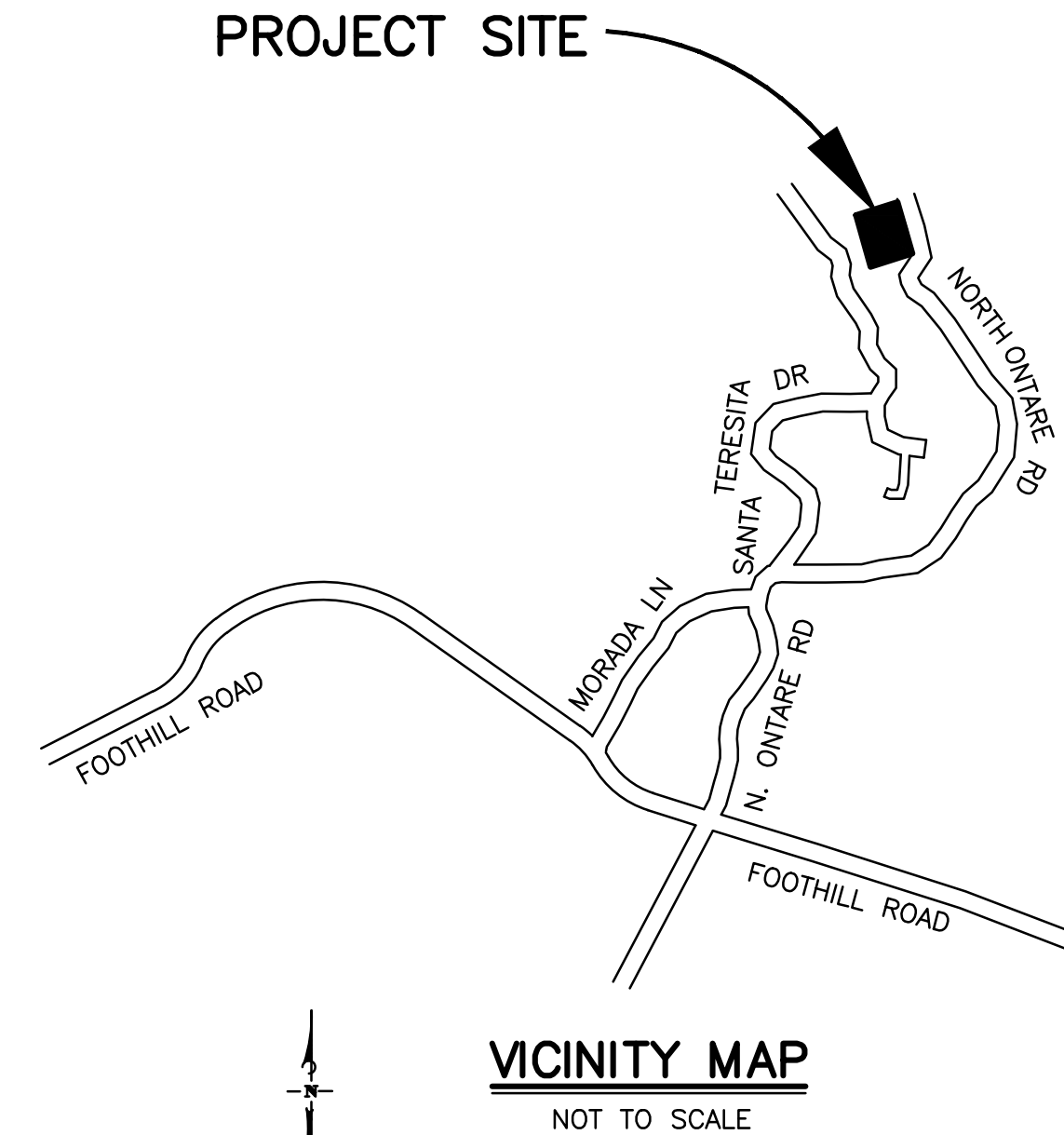
## SANTA BARBARA COUNTY, CALIFORNIA

### GENERAL CONSTRUCTION NOTES

- ALL REFERENCED SPECIFICATIONS, CODES, DRAWINGS AND DETAILS SHALL BE INCORPORATED INTO THESE PLANS AND MADE A PART HEREOF AS IF SPELLED OUT OR DELINEATED IN THEIR ENTIRETY HEREON.
- GRADING OR OTHER CONSTRUCTION WORK OFFSITE IS NOT PERMITTED WITHOUT PRIOR WRITTEN PERMISSION OF THE AFFECTED OFFSITE PROPERTY OWNERS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW THE PROJECT'S CONDITIONS OF APPROVAL AND ABIDE BY THEIR REQUIREMENTS AS APPLICABLE.
- GEOTECHNICAL REPORTS AND ANY UPDATES SHALL BE INCORPORATED INTO THESE PLANS AND MADE A PART HEREOF AS IF SPELLED OUT IN THEIR ENTIRETY HEREON. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW THE APPLICABLE REPORTS AND ABIDE BY THEIR RECOMMENDATIONS. IF THE CONTRACTOR DETERMINES THERE IS A CONFLICT BETWEEN THESE PLANS AND THE REPORTS, HE SHALL PHONE AND NOTIFY IN WRITING BOTH THE PREPARER OF THESE PLANS AND THE REPORT PRIOR TO PROCEEDING. HE WILL WAIT FOR A WRITTEN RESPONSE CLARIFYING THE DISCREPANCY.
- BEFORE BEGINNING WORK, THE CONTRACTOR SHALL CONTACT THE COUNTY ENGINEER, THE UTILITY COMPANIES, THE SOILS ENGINEER, AND THE PROJECT ENGINEER (HARRY P. FOWLER), AND SHALL DETERMINE FROM EACH: (1) SCOPE OF WORK TO BE OBSERVED AND BY WHOM, (2) SCOPE OF TESTING, AND (3) ADVANCE NOTICE REQUIRED (MINIMUM OF 48 HOURS). DURING THE COURSE OF WORK, THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR OBSERVATION AND TESTING AS STIPULATED PURSUANT TO ABOVE DETERMINATIONS. WORK NOT OBSERVED AND TESTED WILL BE SUBJECT TO REJECTION.
- BEFORE BEGINNING WORK, THE CONTRACTOR SHALL DETERMINE OR VERIFY THE LOCATION AND FLOWLINE ELEVATION OF ALL EXISTING WATER, SEWER, AND DRAINAGE STRUCTURES AND/OR CONDUITS TO BE JOINED BY NEW CONSTRUCTION. IF DIFFERENCES ARE OBSERVED THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE PROJECT ENGINEER BY PHONE AND IN WRITING.
- EXISTING PERMANENT SURVEY MONUMENTS SHOWN ON THE PLANS, INCLUDING PROPERTY CORNERS AND BENCHMARKS, SHALL BE PRESERVED BY THE CONTRACTOR OR SHALL BE TIED-OUT PRIOR TO CONSTRUCTION AND RE-SET AFTER CONSTRUCTION BY A LICENSED LAND SURVEYOR AT THE CONTRACTOR'S EXPENSE.
- AREAS TO RECEIVE FILL MATERIAL AND AREAS TO RECEIVE BUILDINGS, WALLS, PAVEMENT, SIDEWALKS AND OTHER STRUCTURAL IMPROVEMENTS SHALL BE PREPARED AS RECOMMENDED BY, AND UNDER THE OBSERVATION AND TESTING OF THE SOILS ENGINEER. RECOMMENDATIONS FOR OVER-EXCAVATION, ADDITIONAL SCARIFICATION, BACKFILL AND RECOMPACTION ARE CONTAINED IN THE PROJECT SOILS REPORT.
- IF NOT DIMENSIONED, LOCATION OF FINISH GRADE ELEVATIONS AND FEATURES SUCH AS SWALES, RIDGE LINES, ETC. SHALL BE DETERMINED BY SCALE FROM KNOWN POINTS SHOWN ON THE PLANS. UNIFORM GRADIENTS OR VERTICAL CURVES, AS APPROPRIATE, SHALL BE ASSUMED BETWEEN CONTROL ELEVATIONS SHOWN ON THE PLANS.

### GENERAL REQUIREMENTS OF CONTRACTOR

- THE CONTRACTOR SHALL MAINTAIN A COMPLETE AND ACCURATE RECORD OF ALL CHANGES OF CONSTRUCTION FROM THAT SHOWN IN THESE PLANS AND SPECIFICATIONS FOR THE PURPOSE OF PROVIDING A BASIS FOR CONSTRUCTION RECORD DRAWINGS. NO CHANGES SHALL BE MADE WITHOUT PRIOR WRITTEN APPROVAL OF THE PROJECT ENGINEER AND THE AGENCY HAVING JURISDICTION. UPON COMPLETION OF THE PROJECT, THE CONTRACTOR SHALL DELIVER THIS RECORD OF ALL CONSTRUCTION CHANGES TO THE ENGINEER ALONG WITH A LETTER WHICH DECLARES THAT THE PROJECT WAS CONSTRUCTED IN CONFORMANCE WITH THE APPROVED PLANS, SPECIFICATIONS AND APPROVED CHANGE ORDERS.
- CAUTION: THE ENGINEER WHO PREPARED THESE PLANS WILL NOT BE RESPONSIBLE OR LIABLE FOR UNAUTHORIZED CHANGES OR USES OF THESE PLANS. ALL CHANGES TO THESE PLANS MUST BE APPROVED IN WRITING BY THE PROJECT ENGINEER.
- THE CONTRACTOR SHALL PROMPTLY NOTIFY THE PROJECT ENGINEER BY PHONE AND IN WRITING UPON DISCOVERY OF, AND BEFORE DISTURBING, ANY PHYSICAL CONDITIONS DIFFERING FROM THOSE REPRESENTED BY APPROVED PLANS AND SPECIFICATIONS.
- THE CONTRACTOR AGREES THAT, IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONALS HARMLESS FROM ALL LIABILITY AND CLAIMS, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF DESIGN PROFESSIONALS.
- THE CONTRACTOR AGREES TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR PROTECTION OF PUBLIC AND PRIVATE PROPERTY IN THE VICINITY OF THE JOB SITE AND FURTHER AGREES TO, AT CONTRACTOR'S EXPENSE, REPAIR OR REPLACE TO THE ORIGINAL CONDITION, ALL EXISTING IMPROVEMENTS WITHIN OR IN THE VICINITY OF THE JOB SITE WHICH ARE NOT DESIGNATED FOR REMOVAL AND WHICH ARE DAMAGED OR REMOVED AS A RESULT OF CONTRACTOR'S OPERATIONS.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR VEHICULAR AND PEDESTRIAN TRAFFIC CONTROL AND SAFETY AND SHALL FURNISH, INSTALL, AND MAINTAIN SUCH FENCING, SIGNS, LIGHTS, TRENCH PLATES, BARRICADES, AND/OR OTHER PROTECTION AS IS NECESSARY FOR SAID CONTROL AND SAFETY.
- EXISTING BURIED CONDUITS AND STRUCTURES KNOWN TO THE ENGINEER ARE SHOWN ON THESE PLANS. HOWEVER, ALL SUCH CONDUITS AND STRUCTURES MAY NOT BE SHOWN AND THE LOCATIONS OF THOSE SHOWN ARE APPROXIMATE ONLY AND HAVE NOT NECESSARILY BEEN INDEPENDENTLY VERIFIED BY THE PREPARER OF THESE PLANS.
- THE CONTRACTOR SHALL INDEPENDENTLY VERIFY THE PRESENCE OF BURIED CONDUITS AND STRUCTURES, BOTH ACTIVE AND ABANDONED-IN-PLACE AND, BEFORE COMMENCING WORK, CONTRACTOR SHALL DETERMINE THE EXACT LOCATION INCLUDING DEPTHS OF ALL EXISTING UNDERGROUND UTILITIES, CONDUITS AND STRUCTURES, INCLUDING SERVICE CONNECTIONS, WHICH MAY AFFECT OR BE AFFECTED BY HIS OPERATIONS. CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH OCCUR AS A RESULT OF CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES, CONDUITS AND STRUCTURES.
- UPON ENCOUNTERING EXISTING BURIED CONDUITS OR STRUCTURES NOT SHOWN OR LOCATED DIFFERENTLY THAN SHOWN ON THE PLANS, CONTRACTOR SHALL IMMEDIATELY NOTIFY THE PROJECT ENGINEER AND THE OWNER OF THE CONDUIT OR STRUCTURE BY PHONE AND IN WRITING. IF SUCH CONDUIT OR STRUCTURE AFFECTS OR IS AFFECTED BY THE WORK, CONTRACTOR SHALL OBTAIN WRITTEN PERMISSION AND DIRECTION BEFORE PROCEEDING WITH THE WORK. EXCEPTING THAT IN AN EMERGENCY AFFECTING SAFETY OF LIFE, WORK OR ADJACENT PROPERTY, CONTRACTOR SHALL ACT AT ONCE WITHOUT INSTRUCTIONS TO PREVENT INJURY OR LOSS.



### SANTA BARBARA COUNTY BUILDING & SAFETY DIVISION GRADING NOTES

- ALL GRADING SHALL CONFORM TO SANTA BARBARA COUNTY CODE CHAPTER 14 AND STANDARDS AND REQUIREMENTS PERTAINING THERETO, THESE CONSTRUCTION DRAWINGS, AND THE RECOMMENDATIONS OF THE PROJECT SOILS ENGINEER AND ENGINEERING GEOLOGIST.
- CONTRACTOR TO NOTIFY THE COUNTY GRADING INSPECTOR AND SOILS LABORATORY AT LEAST 48 HOURS BEFORE START OF GRADING WORK OR ANY PRE-CONSTRUCTION MEETING.
- CONTRACTOR SHALL EMPLOY ALL LABOR, EQUIPMENT AND METHODS REQUIRED TO PREVENT HIS OPERATIONS FROM PRODUCING DUST IN AMOUNTS DAMAGING TO ADJACENT PROPERTY, CULTIVATED VEGETATION AND DOMESTIC ANIMALS OR CAUSING A NUISANCE TO PERSONS OCCUPYING BUILDINGS IN THE VICINITY OF THE JOB SITE. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE CAUSED BY DUST RESULTING FROM GRADING OPERATIONS.
- BEFORE BEGINNING WORK REQUIRING EXPORTING OR IMPORTING OF MATERIALS, THE CONTRACTOR SHALL OBTAIN APPROVAL FROM PUBLIC WORKS ROAD DIVISION FOR HAUL ROUTES USED AND METHODS PROVIDED TO MINIMIZE DEPOSIT OF SOILS ON COUNTY ROADS. GRADING/ROAD INSPECTORS SHALL MONITOR THIS REQUIREMENT WITH THE CONTRACTOR.
- THE GEOTECHNICAL ENGINEER SHALL PROVIDE OBSERVATION AND TESTING DURING GRADING OPERATIONS IN THE FIELD AND SHALL SUBMIT A FINAL REPORT STATING THAT ALL EARTHWORK WAS PROPERLY COMPLETED AND IS IN SUBSTANTIAL CONFORMANCE WITH THE REQUIREMENTS OF THE GRADING ORDINANCE.
- AREAS TO BE GRADED SHALL BE CLEARED OF ALL VEGETATION, INCLUDING ROOTS AND OTHER UNSUITABLE MATERIAL FOR A STRUCTURAL FILL, THEN SCARIFIED TO A DEPTH OF 6" PRIOR TO PLACING OF ANY FILL. CALL GRADING INSPECTOR FOR INITIAL INSPECTION.
- A THOROUGH SEARCH SHALL BE MADE FOR ALL ABANDONED MAN-MADE FACILITIES SUCH AS SEPTIC TANK SYSTEMS, FUEL OR WATER STORAGE TANKS, AND PIPELINES OR CONDUITS. ANY SUCH FACILITIES ENCOUNTERED SHALL BE REMOVED AND THE DEPRESSIONS PROPERLY FILLED AND COMPACTED UNDER OBSERVATION OF THE GEOTECHNICAL ENGINEER.
- AREAS WITH EXISTING SLOPES WHICH ARE TO RECEIVE FILL MATERIAL SHALL BE KEYED AND BENCHMARKED. THE DESIGN AND INSTALLATION OF THE KEYWAY SHALL BE PER THE GEOTECHNICAL ENGINEER'S RECOMMENDATION OR PER COUNTY STANDARD DETAIL NO. G-13.
- FILL MATERIAL SHALL BE SPREAD IN LIFTS NOT EXCEEDING 6-INCHES IN COMPACTED THICKNESS, MOISTENED OR DRIED AS NECESSARY TO NEAR OPTIMUM MOISTURE CONTENT AND COMPACTED BY AN APPROVED METHOD. FILL MATERIAL SHALL BE COMPACTED TO A MINIMUM OF 90% MAXIMUM DENSITY AS DETERMINED BY 1957 A.S.T.M. D-1557-91 MODIFIED PROCTOR (AASHO) TEST OR SIMILAR APPROVED METHODS. SOME FILL AREAS MAY REQUIRE COMPACTION TO A GREATER DENSITY IF CALLED FOR IN CONSTRUCTION DOCUMENTS. SOIL TESTS SHALL BE CONDUCTED AT NOT LESS THAN ONE TEST FOR EACH 18" OF FILL AND/OR FOR EACH 500 CUBIC YARDS OF FILL PLACED.
- CUT SLOPES SHALL NOT EXCEED A GRADE OF 1 1/2 HORIZONTAL TO 1 VERTICAL. FILL AND COMBINATION FILL AND CUT SLOPES SHALL NOT EXCEED 2 HORIZONTAL TO 1 VERTICAL. SLOPES OVER THREE FEET IN VERTICAL HEIGHT SHALL BE PLANTED WITH APPROVED PERENNIAL OR TREATED WITH EQUALLY APPROVED EROSION CONTROL MEASURES PRIOR TO FINAL INSPECTION.
- SURFACE DRAINAGE SHALL BE PROVIDED AT A MINIMUM OF 5% FOR 10 FEET AWAY FROM THE FOUNDATION LINE OF ANY STRUCTURE.
- ALL TREES THAT ARE TO REMAIN ON SITE SHALL BE TEMPORARILY FENCED AND PROTECTED AROUND THE DRIPLINE DURING GRADING.
- AN EROSION AND SEDIMENT CONTROL PLAN SHALL BE REQUIRED AS PART OF THE GRADING PLAN AND PERMIT REQUIREMENTS.
- "BEST MANAGEMENT PRACTICES" FOR CONSTRUCTION ACTIVITIES: ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ONSITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES, OR WIND. STOCKPILES OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR WATER. FUELS, OILS, SOLVENTS, AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM. EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS MUST BE MADE TO RETAIN CONCRETE WASTES ON SITE UNTIL THEY CAN BE DISPOSED AS A SOLID WASTE. TRASH AND CONSTRUCTION RELATED SOLID WASTE MUST BE DEPOSITED INTO A COVERED WASTE RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND. SEDIMENTS AND OTHER MATERIAL MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY. ACCIDENTAL DEPOSITION MUST BE SWEEP UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS. ANY SLOPES WITH DISTURBED SOILS OR DENuded OF VEGETATION MUST BE STABILIZED SO AS TO MINIMIZE EROSION BY WIND AND WATER."
- IF GRADING OCCURS DURING NOV 1 THROUGH APR 15, NO GRADING SHALL OCCUR UNLESS APPROVED EROSION AND SEDIMENT CONTROL MEASURES ARE IN PLACE. DISCHARGES OF SEDIMENT FROM THE PROJECT SITE MAY RESULT IN A STOP WORK ORDER.
- ALL EARTHWORK ON HILLSIDES, SLOPING OR MOUNTAINOUS TERRAIN SHALL BE STABILIZED TO PROTECT AND PREVENT LOSS OF SOILS, AS NECESSARY, YEAR-ROUND.

### SCOPE OF WORK

SCOPE OF THIS PROJECT INCLUDES GRADING REPAIRS TO AN EXISTING LANDSLIDE, CONSTRUCTION OF A NEW RETAINING WALL, CONSTRUCTION OF DRAINAGE IMPROVEMENTS, AND LANDSCAPING OF DISTURBED AREAS.

### LEGEND

---	EXISTING MAJOR CONTOUR
---	EXISTING MINOR CONTOUR
---	PROPERTY LINE
---	EXISTING SEPTIC SEWER LINE
---	EXISTING RETAINING WALL
---	SAWCUT
---	DAYLIGHT
---	STORM DRAIN
---	SANITARY SEWER
---	WATER
---	GAS
---	COMMON UTILITY TRENCH
---	NEW PCC PAVEMENT
---	NEW DECOMPOSED GRANITE ROAD
---	PROPOSED ARCHITECTURAL SITE WALL
---	PROPOSED SITE RETAINING WALL
---	PROPOSED ROCKERY RETAINING WALL

AD	AREA DRAIN	FOB	FACE OF BLD
BFP	BACK FLOW PREVENTER	FS	FINISH SURFACE
BLD	BUILDING	G	GRADE OR GAS
CIT	CITRUS TREE	GB	GRADE BREAK
CL	CHAIN LINK FENCE	GM	GAS METER
CNC	CONCRETE	IVLT	IRRIGATION VAULT
COL	COLUMN	O	OLIVE TREE
CP	CONTROL POINT	PEP	PEPPER TREE
CRB	CURB	PL	PROPERTY LINE
CRN	CROWN OF ROAD	RWL	RETAINING WALL
C.R.Z.	CRITICAL ROOT ZONE PER SB Co.	SCO	SEWER CLEANOUT
DM	DEADMAN	SMH	SEWER MANHOLE
DW	DRIVEWAY	SWL	DRAINAGE SWALE
EM	ELECTRIC METER	TH	THRESHOLD
EP	EDGE OF PAVEMENT	TOE	TOE OF SLOPE
EUC	EUCALYPTUS TREE	TR	TREE
FD	FOUND	TS	TOP OF SLOPE
FF	FINISH FLOOR	TW	TOP OF WALL
FG	FINISH GRADE	UP	UTILITY POLE
FH	FIRE HYDRANT	WM	WATER METER
FL	FLOWLINE	WS	WATER SURFACE
FN	FENCE	WV	WATER VALVE

### DUST CONTROL NOTES

- IN ADDITION TO THESE NOTES, THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL DUST AND EROSION CONTROL REQUIREMENTS IDENTIFIED IN THE CONDITIONS OF APPROVAL. THE CONTRACTOR SHALL UTILIZE DUST CONTROL METHODS ON ANY DUST-PRODUCING CONDITION IN COMPLIANCE WITH REGULATIONS OF THE COUNTY OF SANTA BARBARA AIR POLLUTION CONTROL DISTRICT.
- AFTER CLEARING, GRADING, EARTH MOVING, EXCAVATION OR EMBANKMENT OPERATIONS ARE COMPLETED THE ENTIRE AREA OF DISTURBED SOIL IS TO BE TREATED TO PREVENT WIND PICKUP OF THE SOIL. THIS MAY BE ACCOMPLISHED BY: A. SEEDING AND WATERING UNTIL GRASS COVER IS GROWN. B. SPREADING SOIL BINDERS. C. WETTING THE AREA DOWN, SUFFICIENT TO FORM A CRUST ON THE SURFACE WITH REPEATED SOAKING AS NECESSARY TO MAINTAIN THE CRUST AND PREVENT DUST PICKUP BY THE WIND. D. OTHER METHODS APPROVED IN ADVANCE BY THE AIR POLLUTION CONTROL BOARD.
- WATERING OR APPLICATION OF SOIL BINDERS SHALL CONTINUE IN THE AMOUNTS NECESSARY TO CONTROL DUST UNTIL THE SITE IS SEEDED AND PLANTS ESTABLISHED.
- THE CONSTRUCTION CONTRACTOR SHALL DESIGNATE A PERSON(S) TO MONITOR THE DUST CONTROL PROGRAM AND TO ORDER INCREASED WATERING, AS NECESSARY, TO PREVENT TRANSPORT OF DUST OFFSITE. THEIR DUTIES SHALL INCLUDE HOLIDAY AND WEEKEND PERIODS WHEN WORK MAY NOT BE IN PROGRESS.
- STREETS ADJACENT TO THE PROJECT SITE ARE TO BE KEPT FREE OF SEDIMENT AND DEBRIS. INGRESS AND EGRESS ACCESS POINTS AND ANY OTHER POTENTIAL SEDIMENT TRACKING LOCATIONS DAILY AND SWEEP AND OR VACUUM SEDIMENT AS NEEDED.

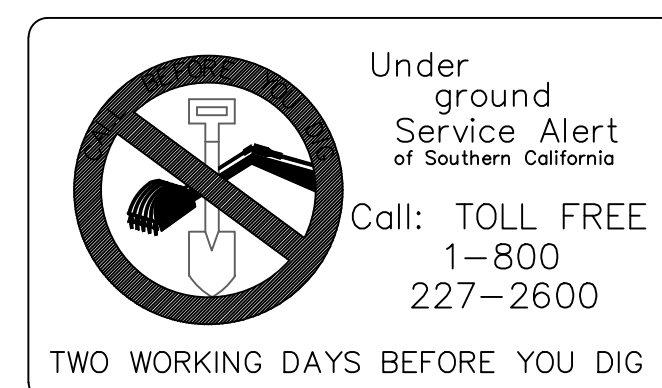
### ESTIMATED EARTHWORK GRADING QUANTITIES

PROJECT EARTHWORK QUANTITIES:	
TOTAL CUT	280 C.Y.
TOTAL FILL	280 C.Y.

THE ABOVE QUANTITIES ARE APPROXIMATE IN PLACE VOLUMES CALCULATED FROM THE EXISTING GROUND TO THE PROPOSED FINISH GRADE OR SUBGRADE. EXISTING GROUND IS DEFINED BY THE CONTOURS ON THE PLAN. PROPOSED FINISH GRADE IS DEFINED AS THE DESIGN SURFACE ELEVATION OF EARTH TO BE CONSTRUCTED. PROPOSED SUBGRADE ELEVATION IS DEFINED AS THE DESIGN SURFACE ELEVATION OF EARTH TO BE CONSTRUCTED BENEATH PAVEMENTS OR STRUCTURES.

THE EARTHWORK QUANTITIES ABOVE ARE FOR BUILDING PERMIT PURPOSES ONLY. THEY HAVE NOT BEEN FACTORED TO ACCOUNT FOR CHANGES IN VOLUME DUE TO BULKING, CLEARING AND GRUBBING, SHRINKAGE, OVER-EXCAVATION AND RE-COMPACTION, AND CONSTRUCTION METHODS.

THE CONTRACTOR SHALL PERFORM AN EARTHWORK ESTIMATE FOR THE PURPOSE OF PREPARING A LUMP SUM BID PRICE FOR EARTHWORK. THE BID PRICE SHALL INCLUDE COSTS FOR ANY NECESSARY IMPORT AND PLACEMENT OF EARTH MATERIALS OR THE EXPORT AND PROPER DISPOSAL OF EXCESS EARTH MATERIALS.



### SHEET INDEX

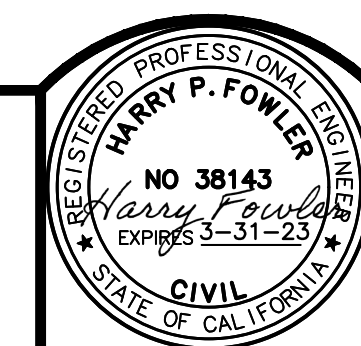
- GENERAL INFORMATION
- GRADING AND DRAINAGE PLAN
- DETAILS
- EROSION CONTROL PLAN
- EROSION CONTROL DETAILS

42-ENG SAVE DATE: 10/27/2022 11:53:35 AM PLOT BY: Harry PLOT SCALE: 1:1 PLOT DATE: 10/27/2022 2:23:15 PM

NO.	DATE	REVISIONS	APPD.

**HARRY P. FOWLER, P.E.**  
**CIVIL ENGINEER**  
 785 OAK GROVE DRIVE  
 SANTA BARBARA, CA 93108  
 (805) 252-3183  
 harryfowler@verizon.net

DESIGN: HPF CHECKED: HPF  
 HARRY P. FOWLER DATE: 10-27-22  
 PROJECT ENGINEER  
 R.C.E. 38,143 (EXP. 3-31-23)



REVIEWING AGENCY  
 REVIEWED BY:  
 SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

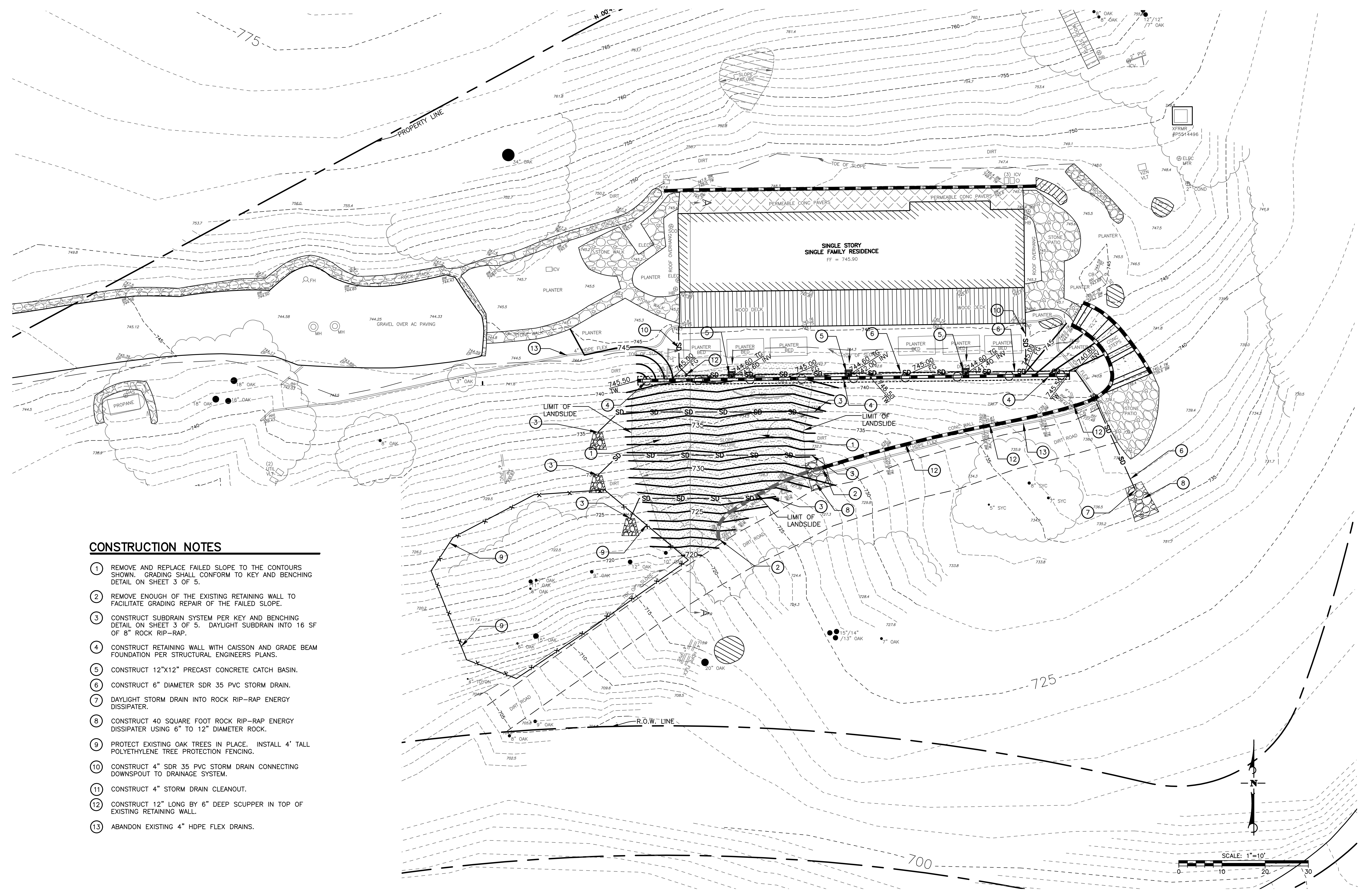
GENERAL INFORMATION  
 KLEIN RESIDENCE  
 1297 NORTH ONTARE ROAD  
 SANTA BARBARA, CALIFORNIA

PROJECT NO.	2022-03
SHEET	1 OF 5
PLAN DATE	OCTOBER 27, 2022

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42-ENG - SAVE DATE: 10/27/2022 11:53:35 AM PLOT BY: Horry PLOT DATE: 10/27/2022 2:24:10 PM PLOT SCALE: 1:1



**CONSTRUCTION NOTES**

- 1 REMOVE AND REPLACE FAILED SLOPE TO THE CONTOURS SHOWN. GRADING SHALL CONFORM TO KEY AND BENCHING DETAIL ON SHEET 3 OF 5.
- 2 REMOVE ENOUGH OF THE EXISTING RETAINING WALL TO FACILITATE GRADING REPAIR OF THE FAILED SLOPE.
- 3 CONSTRUCT SUBDRAIN SYSTEM PER KEY AND BENCHING DETAIL ON SHEET 3 OF 5. DAYLIGHT SUBDRAIN INTO 16 SF OF 8" ROCK RIP-RAP.
- 4 CONSTRUCT RETAINING WALL WITH CAISSON AND GRADE BEAM FOUNDATION PER STRUCTURAL ENGINEERS PLANS.
- 5 CONSTRUCT 12"x12" PRECAST CONCRETE CATCH BASIN.
- 6 CONSTRUCT 6" DIAMETER SDR 35 PVC STORM DRAIN.
- 7 DAYLIGHT STORM DRAIN INTO ROCK RIP-RAP ENERGY DISSIPATER.
- 8 CONSTRUCT 40 SQUARE FOOT ROCK RIP-RAP ENERGY DISSIPATER USING 6" TO 12" DIAMETER ROCK.
- 9 PROTECT EXISTING OAK TREES IN PLACE. INSTALL 4" TALL POLYETHYLENE TREE PROTECTION FENCING.
- 10 CONSTRUCT 4" SDR 35 PVC STORM DRAIN CONNECTING DOWNSPOUT TO DRAINAGE SYSTEM.
- 11 CONSTRUCT 4" STORM DRAIN CLEANOUT.
- 12 CONSTRUCT 12" LONG BY 6" DEEP SCUPPER IN TOP OF EXISTING RETAINING WALL.
- 13 ABANDON EXISTING 4" HDPE FLEX DRAINS.

NO.	DATE	REVISIONS	APPD.

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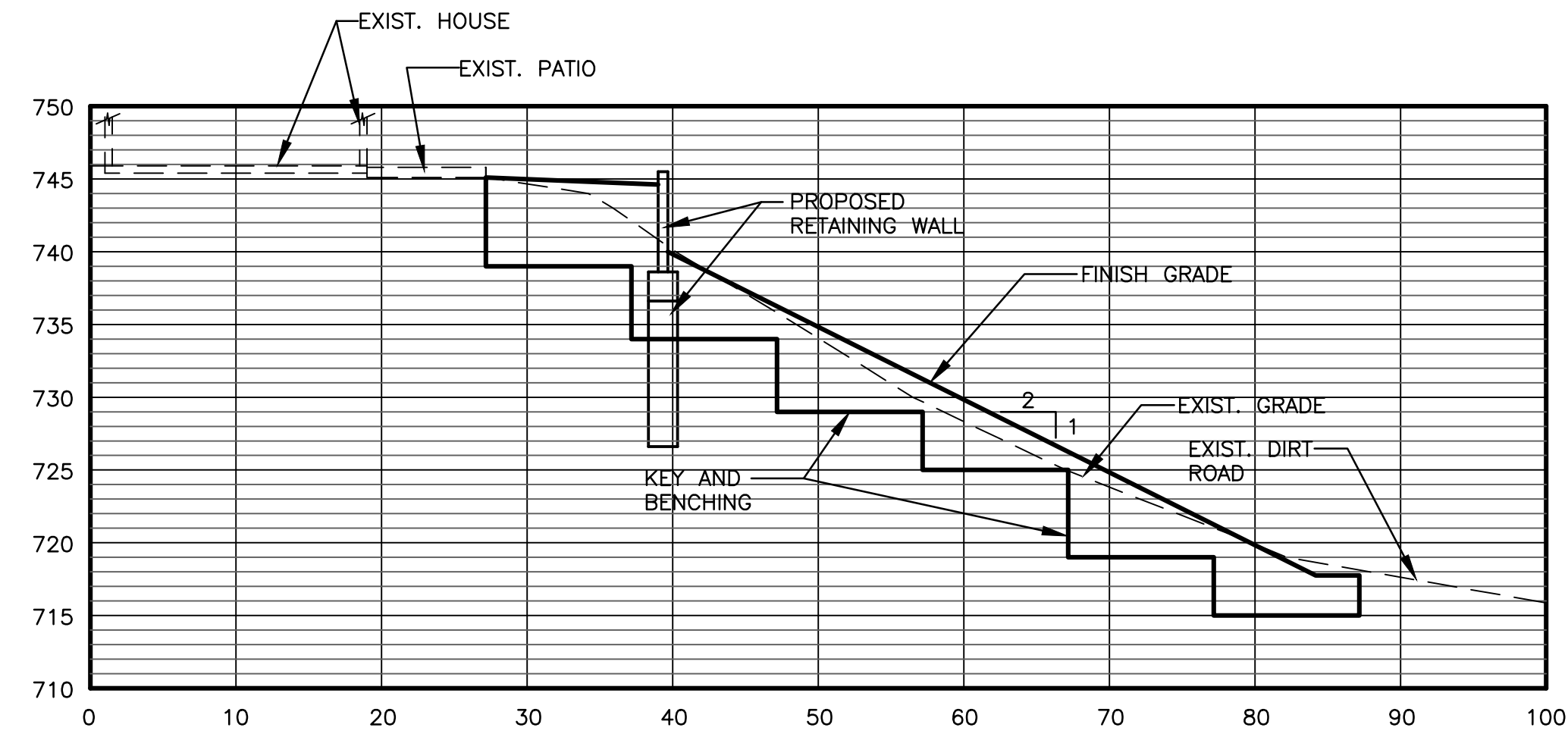
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**GRADING AND DRAINAGE PLAN**  
**KLEIN RESIDENCE**  
 1297 NORTH ONTARE ROAD  
 SANTA BARBARA, CALIFORNIA

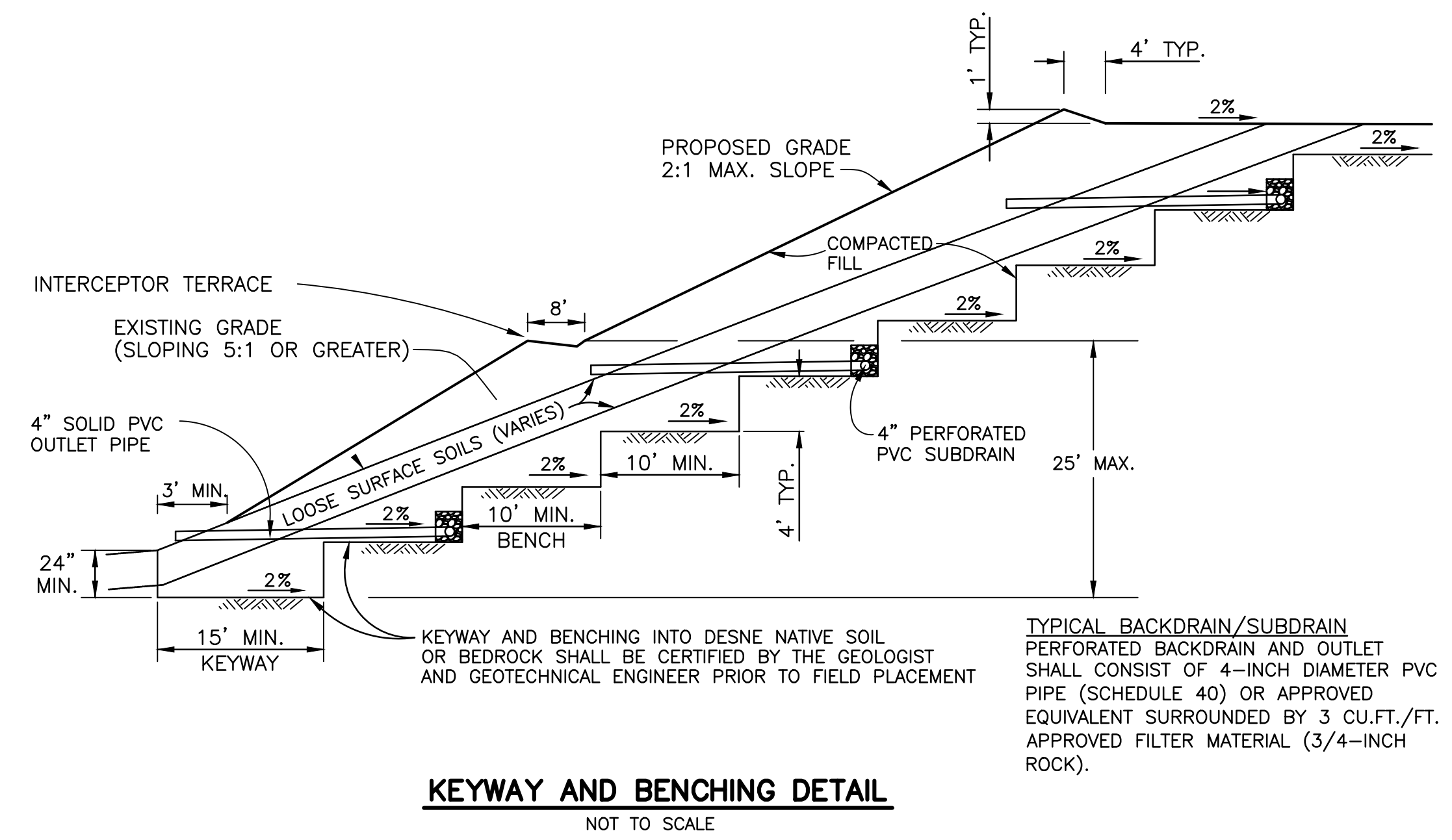
PROJECT NO. 2022-03  
 SHEET 2 OF 5  
 PLAN DATE OCTOBER 27, 2022

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42-ENG\_SAVE DATE: 10/27/2022 11:53:35 AM PLOT BY: Harry PLOT DATE: 10/27/2022 2:25:04 PM PLOT SCALE: 1:1



**SECTION A - A**  
SCALE: 1" = 10'

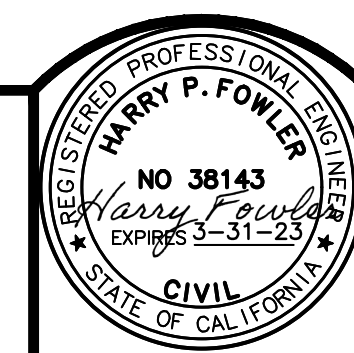


**KEYWAY AND BENCHING DETAIL**  
NOT TO SCALE

NO.	DATE	REVISIONS	APPD.

**HARRY P. FOWLER, P.E.**  
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DESIGN: HPF CHECKED: HPF  
 HARRY P. FOWLER DATE: 10-27-22  
 PROJECT ENGINEER  
 R.C.E. 38,143 (EXP. 3-31-23)



REVIEWING AGENCY  
 REVIEWED BY:  
 SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

**DETAILS**  
**KLEIN RESIDENCE**  
 1297 NORTH ONTARE ROAD  
 SANTA BARBARA, CALIFORNIA

PROJECT NO.  
 2022-03  
 SHEET  
 3 OF 5  
 PLAN DATE  
 OCTOBER 27, 2022

DRAWING: c:\users\Harry\Documents\project\_files\Klein\Civil\2nd alternate grading plan.dwg




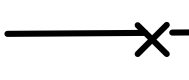

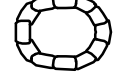


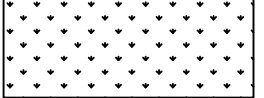
**GENERAL NOTES**

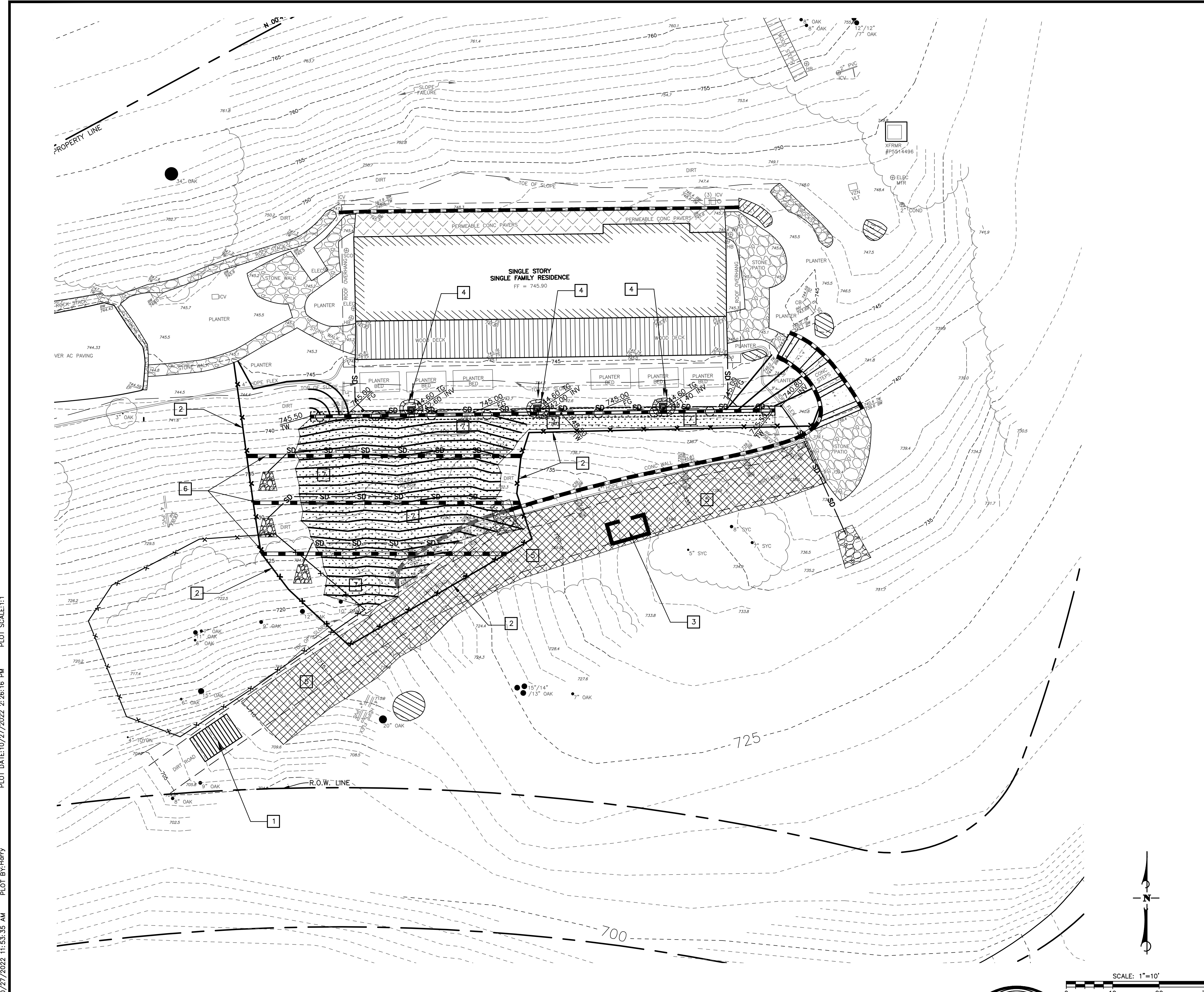
1. THE CONTRACTOR SHALL UTILIZE THIS PLAN ONLY AS A GUIDE TO FULFILL ALL REGULATORY AND PRACTICAL REQUIREMENTS RELATED TO EROSION CONTROL AND STORM WATER POLLUTION PREVENTION. THE CONTRACTOR SHALL NOT BE LIMITED TO THE FEATURES DEPICTED ON THIS SHEET.
2. A STANDBY CREW FOR EMERGENCY WORK SHALL BE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON (NOVEMBER 1 TO APRIL 15). NECESSARY MATERIALS SHALL BE AVAILABLE ON-SITE AND STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF EMERGENCY DEVICES WHEN RAIN IS IMMINENT.
3. EROSION CONTROL DEVICES MAY BE REMOVED WHEN APPROVED BY THE BUILDING AND SAFETY INSPECTOR IF THE GRADING OPERATIONS HAVE PROGRESSED TO THE POINT WHERE THEY ARE NO LONGER REQUIRED.
4. ALL SILT AND DEBRIS SHALL BE REMOVED FROM ALL DEVICES WITHIN 24 HOURS AFTER EACH RAINSTORM.
5. ALL LOOSE SOIL AND DEBRIS, WHICH MAY CREATE A POTENTIAL HAZARD TO OFF-SITE PROPERTY, SHALL BE REMOVED FROM THE SITE AS DIRECTED BY THE P&D GRADING INSPECTOR.
6. THE PLACEMENT OF ADDITIONAL DEVICES TO REDUCE EROSION AND/OR RUNOFF DAMAGE WITHIN THE SITE SHALL BE AT THE DISCRETION OF THE COUNTY GRADING INSPECTOR.
7. DESILTING BASINS MAY NOT BE REMOVED OR MADE INOPERABLE BETWEEN NOVEMBER 1 AND APRIL 15 WITHOUT THE APPROVAL OF THE COUNTY GRADING INSPECTOR.
8. EROSION CONTROL DEVICES SHALL NOT BE MODIFIED WITHOUT THE APPROVAL OF THE ENGINEER. REVISED PLANS SHALL BE SUBMITTED TO THE COUNTY FOR APPROVAL.
9. THE CONTRACTOR SHALL SUPERVISE EROSION CONTROL WORK IN ACCORDANCE WITH THE APPROVED PLANS. THE WORK ALSO INCLUDES, BUT IS NOT LIMITED TO, INSPECTION OF EROSION CONTROL MEASURES BEFORE EACH RAINSTORM AND 5-DAY PROBABILITY RAIN FORECAST.
10. IF RAIN IS FORECAST OR THREATENING, ALL STOCKPILED MATERIALS SHALL BE TARPED TO PREVENT EROSION. TARP SHALL BE ANCHORED WITH GRAVEL FILLED BAGS AT 8' INTERVALS.
11. WHENEVER SEDIMENT-LADEN WATER MUST BE REMOVED FROM THE CONSTRUCTION SITE, A DEWATERING PUMP, A FILTER BOX, PORTABLE SEDIMENT TANK, OR SOME FORM OF FILTERING MEDIA IS TO BE USED PRIOR TO OR DURING DISCHARGE.

**EROSION CONTROL NOTES**

- 1 CONSTRUCT TEMPORARY CONSTRUCTION ENTRANCE PER DETAIL "B", SHEET 5 OF 5.
- 2 CONSTRUCT SILT FENCE PER DETAIL "A", SHEET 5 OF 5.
- 3 CONSTRUCT CONCRETE WASH-OFF DUMPSTER AREA PER DETAIL "E", SHEET 5 OF 5. WASH-OFF AREA SHALL BE IN PLACE AT ALL TIMES DURING GRADING AND PAVING OPERATIONS. CONTRACTOR SHALL NOT TRACK SOLIDS OR CONCRETE WASH OUT OR DEBRIS ON THE PUBLIC ROADWAY.
- 4 CONSTRUCT CATCH BASIN INLET SEDIMENT BARRIER PER DETAIL "H", SHEET 5 OF 5.
- 5 CONSTRUCT STAGING AREA PROTECTED BY SAND BAGS PER DETAILS "F" & "G".
- 6 CONSTRUCT FIBER ROLL PER DETAIL "D", SHEET 5 OF 5.
- 7 SEE LANDSCAPE PLANS FOR PERMANENT PLANTINGS IN THIS AREA. IF PERMANENT PLANTING IS DELAYED, THE SLOPE SHALL BE PLANTED WITH TEMPORARY PERENNIAL VEGETATION TO PREVENT SOIL EROSION. CONSULT LANDSCAPE ARCHITECT FOR PLANT TYPE AND SEEDING RATES. SEE EROSION CONTROL DETAIL "C".

**LEGEND**

-  CONSTRUCT TEMPORARY CONSTRUCTION ENTRANCE PER DETAIL "B", SHEET 5 OF 5.
-  CONSTRUCT SILT FENCING PER DETAIL "A", SHEET 5 OF 5.
-  CONSTRUCT CONCRETE WASH-OFF DUMPSTER AREA PER DETAIL "E", SHEET 5 OF 5.
-  CONSTRUCT CIRCULAR CATCH BASIN INLET SEDIMENT BARRIER PER DETAIL "A", SHEET 5 OF 5.
-  STAGING AREA: EQUIPMENT STORAGE AND FUELING; MATERIAL STORAGE PER DETAILS "F" & "G", SHEET 5 OF 5.
-  FIBER ROLL PER DETAIL "D", SHEET 5 OF 5.
-  PLANTED SLOPE EROSION PROTECTION PER DETAIL "C", SHEET 5 OF 5.

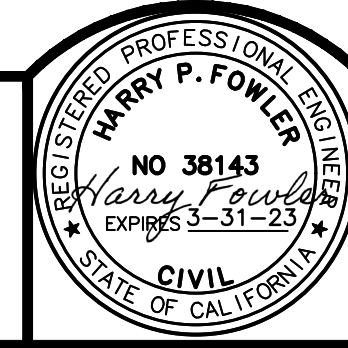


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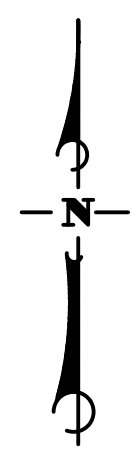
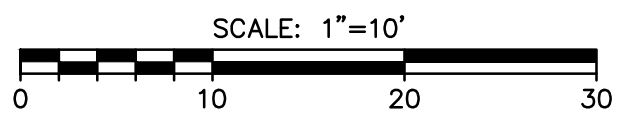
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DESIGN: HPF CHECKED: HPF  
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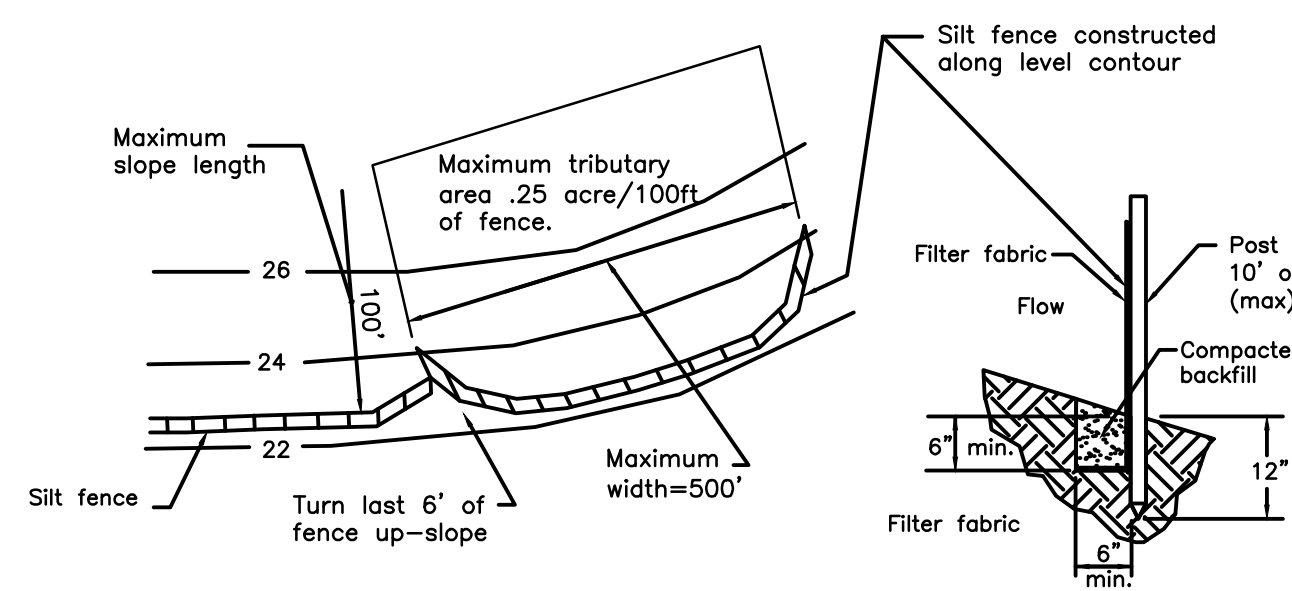


**EROSION CONTROL PLAN**  
 KLEIN RESIDENCE  
 1297 NORTH ONTARE ROAD  
 SANTA BARBARA, CALIFORNIA

PROJECT NO. 2022-03
SHEET 4 OF 5
PLAN DATE OCTOBER 27, 2022

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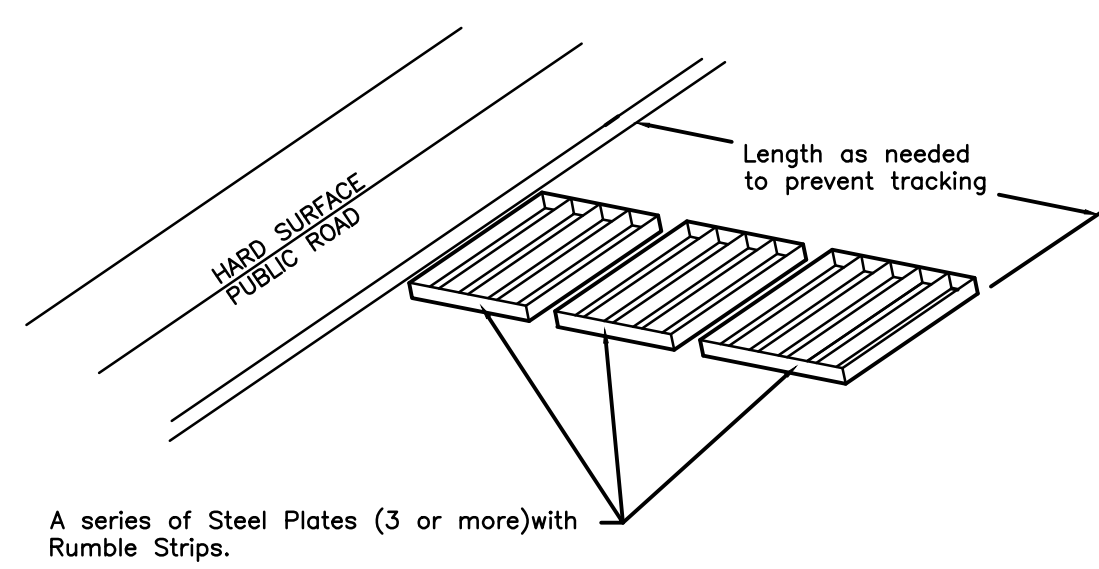
**A**  
**Silt Fence**



Notes:

1. Construct the silt fence along a level contour.
2. Silt fences shall remain in place until the disturbed area is permanently stabilized.
3. Provide sufficient room for runoff to pond behind the fence and allow sediment removal equipment to pass between the silt fence and toe of slope or other obstructions. About 1200 sq. ft. of ponding area shall be provided for every acre draining to the fence.
4. Turn the ends of the filter fence uphill to prevent stormwater from flowing around the fence.
5. Leave an undisturbed or stabilized area immediately downslope from the fence.
6. Do not place in live stream or intermittently flowing channels.
7. When standard filter fabric is used, a wire mesh support fence shall be fastened securely to the upslope side of the posts using heavy-duty wire staples at least 1 inch long, tie wires or hog rings.

**B**  
**Stabilized Construction Entrance**



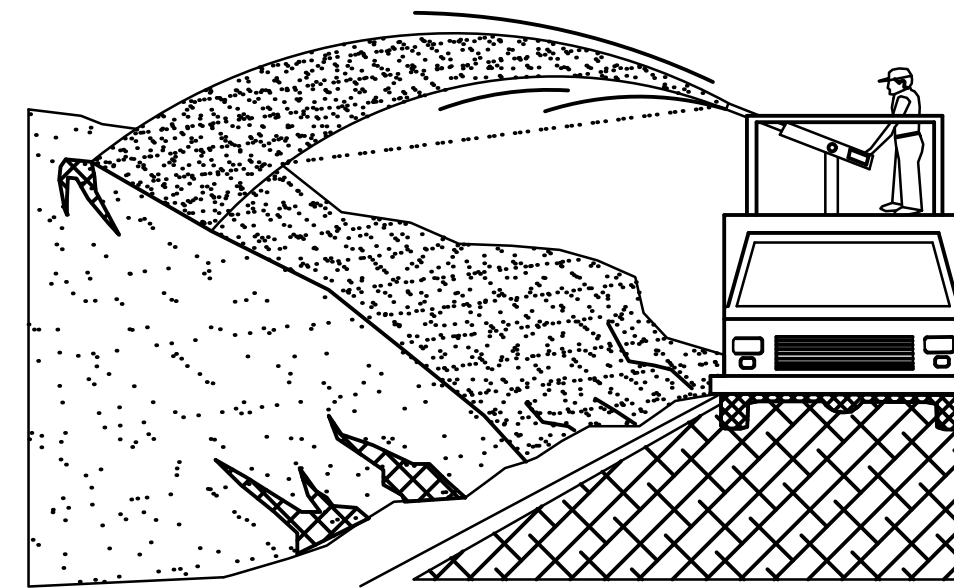
Notes:

1. Sediments and other materials shall not be tracked from the site by vehicle traffic. The construction entrance roadways shall be stabilized so as to prevent sediments from being deposited into the public roads. Depositions must be swept up immediately and may not be washed down by rain or other means into the storm drain system.
2. Stabilized construction entrance shall be:
  - a.
  - b.
3. Adding a wash rack with a sediment trap large enough to collect all wash water can greatly improve efficiency.
4. All vehicles accessing the construction site shall utilize the stabilized construction entrance sites.

**Street Maintenance**

1. Remove all sediment deposited on paved roadways immediately.
2. Sweep paved areas that receive construction traffic whenever sediment becomes visible.
3. Pavement washing with water is prohibited if it results in a discharge to the storm drain system.

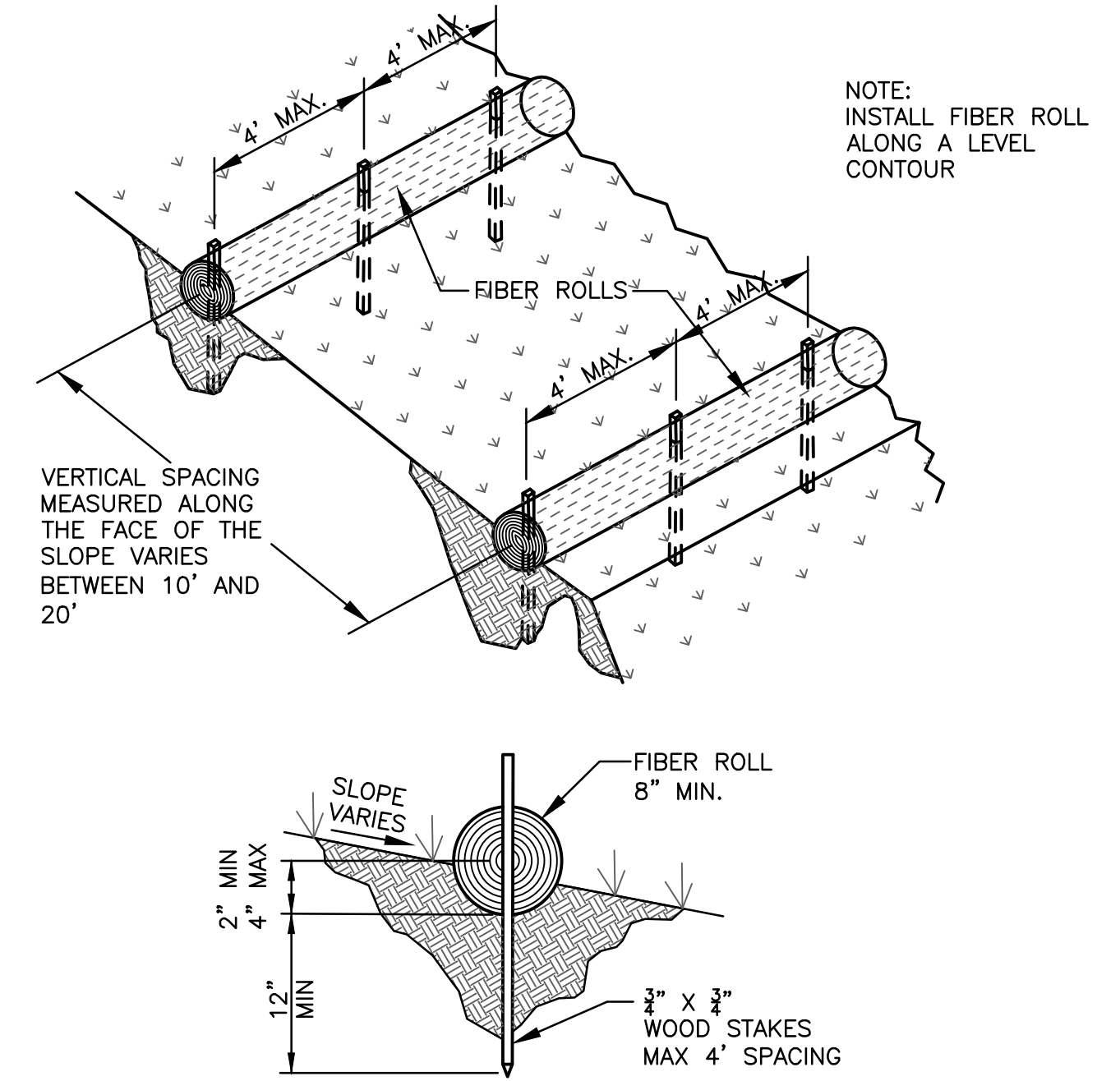
**C**  
**Erosion Control**



Notes:

Soil/Slope stabilization practices shall be designed to preserve existing vegetation where feasible and to revegetate open areas as soon as feasible after grading. These control practices shall include temporary seeding, permanent seeding, mulching, sod stabilization, vegetative buffer strips, protection of trees, or other soil stabilization practices. Soil stabilization shall be implemented on all inactive disturbed areas from November 1 thru April 15 and on all disturbed areas during a rain event or potential rain. Stabilization practices shall control/prevent erosion from the forces of wind and water. Stabilization practices shall be implemented in conjunction with sediment trapping/filtering practices and practices to reduce the tracking of sediment onto paved roads. When using straw mulching, the minimum application shall be 2 tons/acre. Mulch must be anchored immediately to minimize loss by wind or water. When using hydroseeding/mulching, the minimum application of wood fiber shall be 1,500 lbs/acre, that does not contain more than 50 percent newsprint. For seeding recommendations, contact: USDA, Natural Resources Conservation Service or Ventura County RCD.

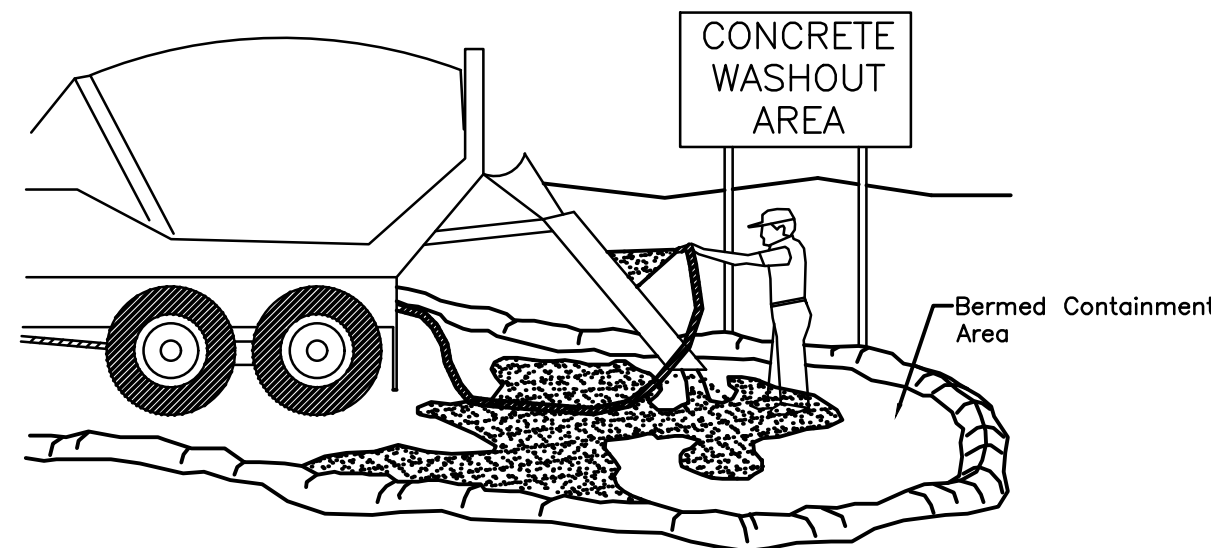
**D**  
**TYPICAL FIBER ROLL INSTALLATION**



**ENTRENCHMENT DETAIL**

NOT TO SCALE

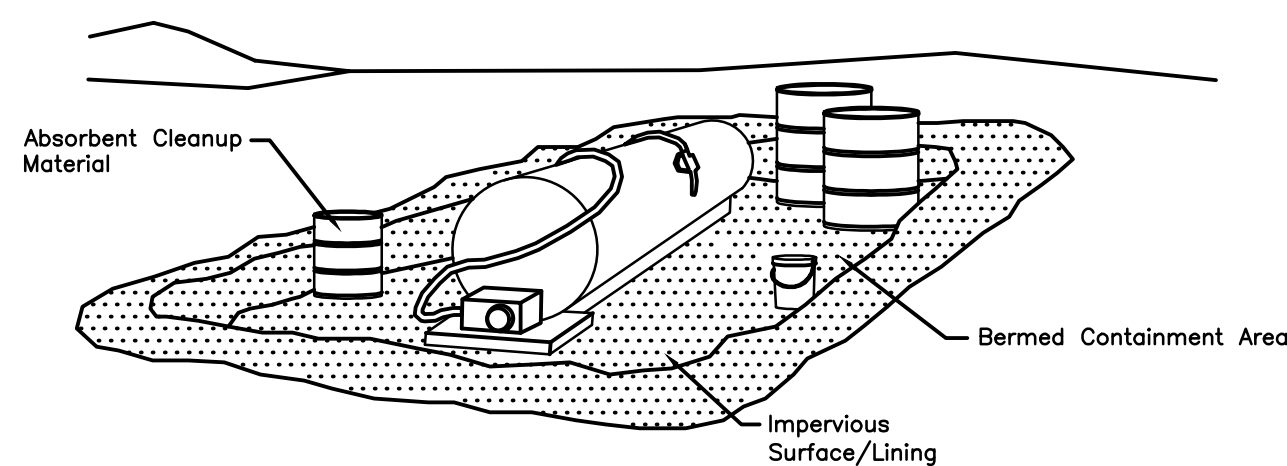
**E**  
**Concrete Waste Management**



Notes:

1. Excess and waste concrete shall not be washed into the street or into a drainage system.
2. Washout of concrete and mortar products will not be allowed on this site.
3. Slurry from concrete and asphalt saw cutting shall be vacuumed or contained, dried, picked up and disposed of properly.

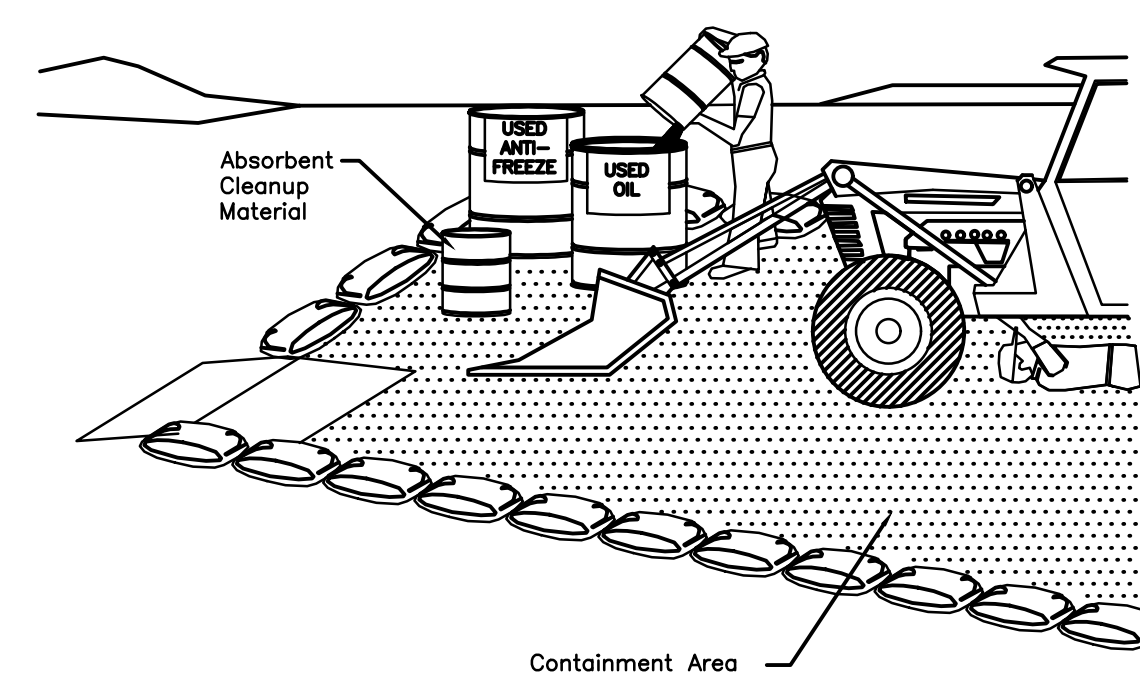
**F**  
**Vehicle/Equipment Fueling**



Notes:

1. Fueling shall be performed in a designated area, away from drainage courses.
2. Absorbent cleanup material shall be on site and used immediately in the event of a spill.

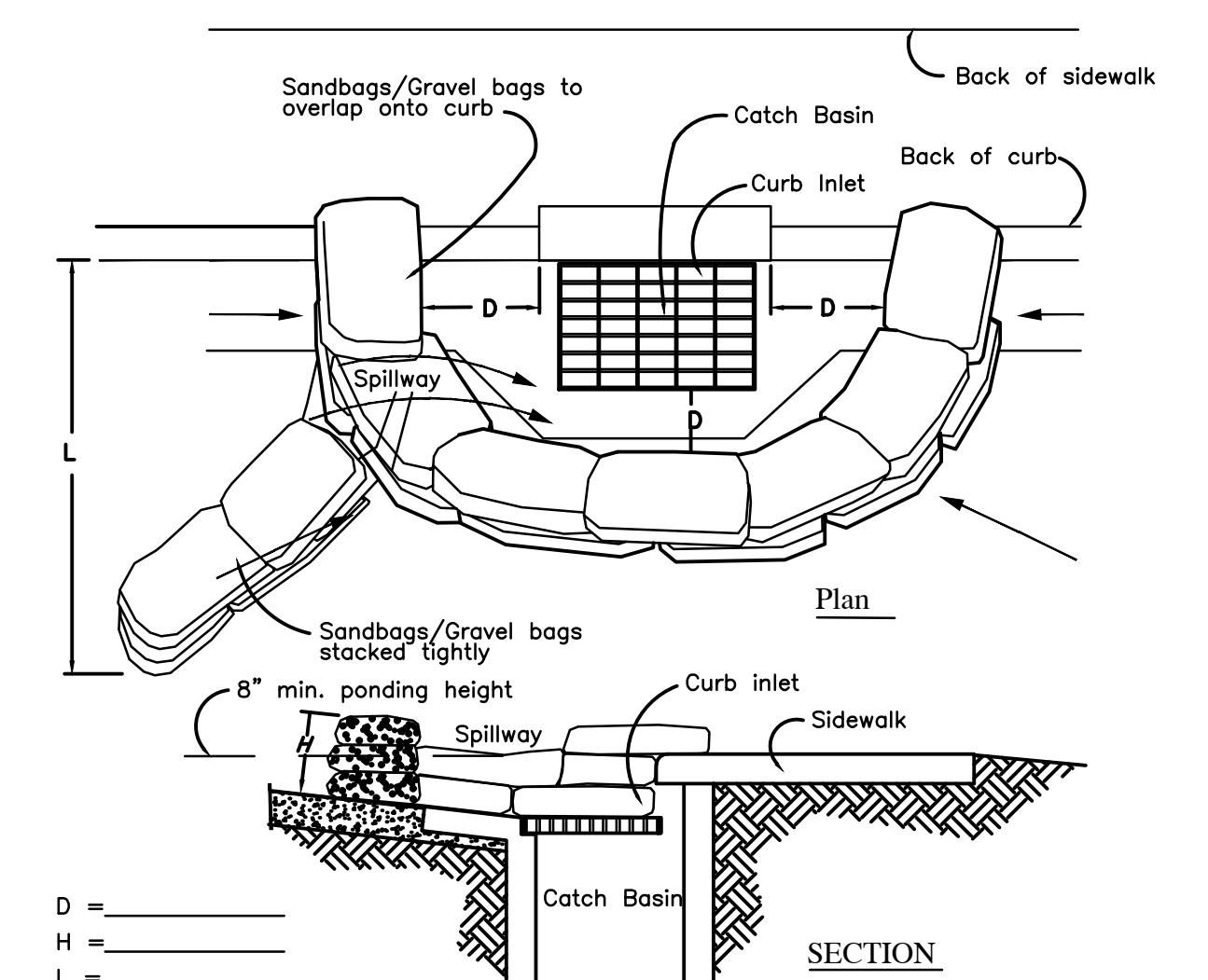
**G**  
**Equipment Repair/Maintenance**



Notes:

1. Leaking vehicles and equipment shall not be allowed on-site. Equipment and vehicles shall be inspected frequently for leaks and shall be repaired immediately. Clean up spills and leaks promptly with absorbent materials; do not flush with water.
2. Vehicles and equipment shall not be maintained, and repaired on-site.
3. Legally dispose of used oils, fluids, and lubricants.
4. Oil, fuel, and chemical drums shall not be stored onsite.
5. Maintain an adequate supply of absorbent spill cleanup materials onsite.

**H**  
**Catch Basin/Inlet Protection**



Notes:

1. Catch Basin/Inlet protection shall be installed wherever there is a potential of stormwater or non-stormwater being discharged into it.
2. Inlet protection is required along with other pollution prevention measures such as; erosion control, soil stabilization, and measures to prevent tracking onto paved surfaces.
3. Modify inlet protection as needed to avoid creating traffic hazards.
4. Include inlet protection measures at hillside v-ditches and misc. drainage swales.
5. Inlet protection shall be inspected and accumulated sediments removed. Sediment shall be disposed of properly and in a manner that assures that the sediment does not enter the storm drain system.
6. Damaged bags shall be replaced immediately.
7. Additional sandbag sediment traps shall be placed at intervals as indicated on site plan.

PLOT DATE: 10/27/2022 2:27:14 PM PLOT SCALE: 1:1

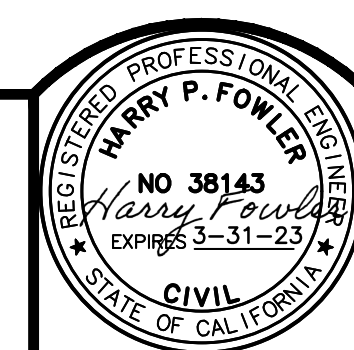
PLOT BY: Harry

42-ENG\_SAVE DATE: 10/27/2022 11:53:35 AM

NO.	DATE	REVISIONS	APPD.

**HARRY P. FOWLER, P.E.**  
**CIVIL ENGINEER**  
 765 OAK GROVE DRIVE  
 SANTA BARBARA, CA 93108  
 (805) 252-3183  
 harryfowler@verizon.net

DESIGN: HPF CHECKED: HPF  
 HARRY P. FOWLER DATE: 10-27-22  
 PROJECT ENGINEER  
 R.C.E. 38,143 (EXP. 3-31-23)



REVIEWING AGENCY  
 REVIEWED BY:  
 SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

**EROSION CONTROL DETAILS**  
**KLEIN RESIDENCE**  
**1297 NORTH ONTARE ROAD**  
**SANTA BARBARA, CALIFORNIA**

PROJECT NO. 2022-03  
 SHEET 5 OF 5  
 PLAN DATE OCTOBER 27, 2022

DRAWING: c:\users\harry\documents\project files\harry\civil\2nd alternate grading plan.dwg

## NOTICE OF EXEMPTION

**TO:** Santa Barbara County Clerk of the Board of Supervisors

**FROM:** Kevin De Los Santos, Planner, Planning & Development

The project or activity identified below is determined to be exempt from further environmental review requirements of the California Environmental Quality Act (CEQA) of 1970, as defined in the State and County Guidelines for the implementation of CEQA.

**APN:** 153-260-013

**Case No.:** 22EMP-00000-00001

**Location:** 1297 N. Ontare Rd.

**Project Title:** AKC Investments, LLC – Emergency Permit

**Project Applicant:** Mark Lloyd

**Project Description:** The request is for an Emergency Permit to allow a repair to an existing slope failure. The repair requires construction of a caisson supported retaining wall spanning approximately 100 feet in length with a maximum height of six feet. Grading will include 280 cubic yards of cut and 280 cubic yards of fill. No trees are proposed for removal. The parcel will continue to be served by the Goleta Water District, an existing septic system, and the Santa Barbara County Fire Department. Access will continue to be provided off of N. Ontare road. The property is a 2.37-acre parcel zoned MT-40 and shown as Assessor's Parcel Number 153-260-013 located at project address in the Eastern Goleta Valley Community Plan Area, First Supervisorial District.

The project constitutes an emergency because erosion of the slope located beneath the single family residence presents a risk of slope failure. The risk of slope failure presents an immediate health and safety risk to persons living in the single family dwelling that is approximately 12 feet above the top of the eroded slope area. The applicant hired a professional geologist, Doyle-Morgan Structural Engineering, Inc., to evaluate the slope and provide recommendations for the best course of action. Doyle-Morgan determined that the slope failure presents a serious health and safety risk and recommended that the repair occur prior to the 2022-2023 rainy season to avoid further slope failure and damage to the existing single-family residence located directly above. Building and Safety inspectors conducted site visits to evaluate the slope and determined that a present danger does exist and the project constitutes an emergency.

**Name of Public Agency Approving Project:** County of Santa Barbara

**Name of Person or Entity Carrying Out Project:** AKC Investments, LLC



**Exempt Status:**

- Ministerial
- Statutory Exemption
- Categorical Exemption
- Emergency Project
- Declared Emergency

**Cite specific CEQA and/or CEQA Guidelines Section:** Section 15269(c), Emergency Projects

**Reasons to support exemption findings:** *CEQA Guidelines* Section 15269(c) exempts “specific actions necessary to prevent or mitigate an emergency.” Emergency action is warranted in this case because the existing slope failure presents a dangerous risk to the existing single family dwelling located directly above. The applicant hired a professional geologist, Doyle-Morgan Structural Engineering, Inc., to evaluate the slope and provide recommendations for the best course of action. Doyle-Morgan determined that the slope failure presents a serious health and safety risk and recommended that the repair occur prior to the 2022-2023 rainy season to avoid further slope failure. Building and Safety inspectors conducted site visits to evaluate the slope and determined that a present danger exists and the project constitutes an emergency. Therefore, this statutory exemption applies to the proposed project.

**Lead Agency Contact Person:** Kevin De Los Santos, Planner

**Phone #:** (805) 884-8051      **Department/Division Representative:** Kevin De Los Santos

**Date:** March 1, 2023

**Acceptance Date:** \_\_\_\_\_

**Distribution:** Hearing Support Staff

**Date Filed by County Clerk:** \_\_\_\_\_