

**SANTA BARBARA COUNTY PLANNING COMMISSION**  
**Staff Report for Creekside Village Apartments**

**Hearing Date: February 11, 2009**  
**Staff Report Date: January 23, 2009**  
**Case Nos.: 08GPA-00000-00003**  
**08DVP-00000-00011**  
**08GOV-00000-00024**  
**08RDN-00000-00005**

**Deputy Director: Z. Abresch**  
**Division: Dev. Rev. North**  
**Supervising Planner: A. McCurdy**  
**Staff Contact: A. McCurdy**

**Environmental Document: 08NGD-00000-00030**

**Planner's Phone #: 934-6256**

**OWNER/APPLICANT:**

Housing Authority of Santa Barbara County  
Jason Rojas and John Polanskey  
815 W. Ocean Avenue  
Lompoc, CA 93436  
(805) 736-3423, Ext: 219

**ENGINEER:**

Sid Goldstien  
650 Alamo Pintado, Suite 302  
Solvang, CA 93463  
(805) 688-1526

**ARCHITECT:**

David Goldstein  
650 Alamo Pintado Road, Suite 303  
Solvang, CA 93463  
(805) 688-1530

VICINITY MAP



Assessor Parcel Number 101-110-035, located at the northerly terminus of Saint Joseph Street and extending west along the northerly bank of San Antonio Creek, in the township of Los Alamos, Third Supervisorial District

## 1.0 REQUEST

Hearing on the request of Jason Rojas and John Polanskey, agents for The Housing Authority of the County of Santa Barbara, to consider the following:

1. Case Number 08GPA-00000-00003 [application filed on March 19, 2008] to amend to Development Standard FLD-LA-1.1.5 of the Los Alamos Community Plan as follows:

Development Standard FLD-LA-1.1.5 1.2.2: Residential units that are proposed in areas prone to flooding ~~which are required by~~ shall comply with the requirements of the County Flood Control District ~~to provide raised finish floor elevations shall accomplish this requirement by use of a raised foundation rather~~

~~than by the use of fill above what is required to provide adequate drainage of the lot.~~ (Attachment C)

2. Case Number 08DVP-00000-00011 [application filed on March 19, 2008] for approval of a Development Plan in compliance with Land Use Development Code Section 35.82.080, in order to develop a 39 unit apartment project. The affordable rentals would be owned and managed by the Housing Authority of Santa Barbara County. The project is located on a 5.0 acre (4.0 acres net) site in a DR 4.6 zone district that has an Affordable Housing Overlay (AHO). The AHO allows for a density of 8.0 residential units per gross acre;
3. Case Number 08GOV-00000-00024 [application filed on March 19, 2008] to acquire an excess 10 foot strip along St. Joseph Street and an excess 10 – 15 foot strip along Kahn Way from the County as road abandonments.
4. Case Number 08RDN-00000-00005 [application filed on March 19, 2008] to re-name Kahn Way as Gonzales Drive in compliance with Land Use Development Code Section 35.76; and

to approve the Mitigated Negative Declaration (08NGD-00000-00030) pursuant to the State Guidelines for the Implementation of the California Environmental Quality Act. As a result of this project, significant but mitigable effects on the environment are anticipated in the following areas: Aesthetics, Air Quality, Biological Resources, Cultural Resources, Fire Protection, Geologic Processes, Land Use, Noise, Public Facilities, and Water Resources/Flooding.

The project is proposed for Assessor Parcel Number 101-110-035, located at the northerly terminus of Saint Joseph Street and extending west along the northerly bank of San Antonio Creek, in the township of Los Alamos, Third Supervisorial District.

The Mitigated Negative Declaration and all documents may be reviewed at the Planning and Development Department, 624 W. Foster Road, Santa Maria, CA 93455.

Application Complete: May 9, 2008  
Processing Deadline: 60 days from approval of ND

## **2.0 RECOMMENDATION AND PROCEDURES**

Follow the procedures outlined below and recommend approval of Case Nos. 08GPA-00000-00003, 08DVP-00000-00011, 08GOV-00000-00024 and 08RDN-00000-00005, marked "Officially Accepted, County of Santa Barbara February 11, 2009, County Planning Commission Exhibit 1", based upon the project's consistency with the Comprehensive Plan including the Los Alamos Community Plan and based on the ability to make the required findings.

Your Commission's motion should include the following:

1. Recommend that the Board of Supervisors adopt the required findings for the project specified in Attachment A of this staff report, including CEQA findings.
2. Recommend that the Board of Supervisors approve the Mitigated Negative Declaration No. 08NGD-00000-00030 (included as Attachment B) and adopt the mitigation monitoring program contained in the conditions of approval.
3. Recommend that the Board of Supervisors adopt a General Plan Amendment to revise Development Standard FLD-LA-1.1.5 of the Los Alamos Community Plan as follows:  

Development Standard FLD-LA-1.1.5 ~~1.2.2~~: Residential units that are proposed in areas prone to flooding ~~which are required by~~ shall comply with the requirements of the County Flood Control District, ~~to provide raised finish floor elevations shall accomplish this requirement by use of a raised foundation rather than by the use of fill above what is required to provide adequate drainage of the lot.~~ (Attachment C)
4. Find that the proposed abandonment of a portion of the Saint Joseph Street right-of-way and a portion of the Kahn Way right-of-way would be consistent with the General Plan.
5. Recommend that the Board of Supervisors approve the project subject to the conditions included as Attachment F.

Refer back to staff if the County Planning Commission takes other than the recommended action for appropriate findings and conditions.

### **3.0 JURISDICTION**

The proposed Comprehensive Plan Amendment is under the Jurisdiction of the Board of Supervisors. All other permits are under the original jurisdiction of the Planning Commission. Pursuant to Section 35.80.020 of the Land Use and Development Code, when two or more discretionary applications are submitted that relate to the same development project and the individual applications are under the separate jurisdiction of more than one review authority, all applications for the project shall be under the jurisdiction of the review authority with the highest jurisdiction. In this case, the highest jurisdiction is the Board of Supervisors. When the Board of Supervisors is the review authority for a project, the Commission shall make an advisory recommendation to the Board of Supervisors on each project.

### **4.0 ISSUE SUMMARY**

The Housing Authority of the County of Santa Barbara (HACSB), a private nonprofit company not affiliated with County government, proposes to build an affordable housing project in Los Alamos. All 39 of the proposed 2, 3, and 4-bedroom apartment units would be affordable to very low and low income households. A priority of the project would be to provide housing for households in which at least one resident is employed full-time in the local agricultural industry. The project is located on

a 5.0 acre (4.0 acres net) site in a DR 4.6 zone district that has an Affordable Housing Overlay (AHO). The AHO allows for a density of 8.0 residential units per gross acre for projects that have an affordable housing component, which would equate to forty (40) units on the subject site. Since this zoning was established back in 1994, other properties within the project area have developed with single family homes in the 4,000 to 7,000 square foot range. The proposed project includes a housing type that is unique to the immediate neighborhood. However, the project is consistent with both the existing Community Plan and the recently initiated Community Plan update.

## 5.0 PROJECT INFORMATION

### 5.1 Site Information

<b>5.1 Site Information</b>	
Comprehensive Plan Designation	Urban; Residential 4.6, AHO Overlay 8.0 units per acre
Zoning District, Ordinance	“Design Residential – 4.6” (DR-4.6); Article III, maximum 4.6 units per acre Affordable Housing Overlay Zoning: DR-8.0, maximum 8.0 units per acre
Site Size	5.0 Acres Gross (4.0 Acres net)
Present Use & Development	The project site is vacant and is bounded on the south by San Antonio Creek.
Surrounding Uses/Zoning	North: Single-family residential (DR 4.6) and agriculture (AG-II-100) South: San Antonio Creek, residential (DR 1.8) and commercial (C-3) East: Single-family residential (DR 4.6 and 1-E-1) West: Open space and grazing land
Access	Access to units would be via a proposed new road within the existing and currently unimproved right-of-way for Kahn Way. Kahn Way extends to the west from the northerly terminus of Saint Joseph Street.
Public Services	<u>Water Supply:</u> Los Alamos Community Services District (LACSD) <u>Sewage:</u> Los Alamos Community Services District (LACSD) <u>Fire:</u> SB County Fire Station #24 (99 Centennial, Los Alamos) <u>Schools:</u> Los Alamos School District (Olga Reed Elementary School, K-8) , Santa Maria Joint Union High School District (Ernest Righetti High School)

### 5.2 Setting

**Project Site and Surrounding Land Uses:** The project site is located in the northwest portion of the Los Alamos community planning area. The site is essentially flat and vacant, and is bounded on the south by San Antonio Creek. There are no permanent buildings or services on the site. The site fronts on Saint Joseph Street and extends to the west, between San Antonio Creek to the south and the Kahn Way right-of-way to the north. The site is 5.0 acres (4.0 acres net) located in an area designated for residential development at a density of 4.6 units per acre, or 8.0 units per acre if the development qualifies as an affordable housing project.

The project site is bordered to the northeast by new housing tracts. The two residential projects that have been recently built out to the north and northeast of the site are the Lomita de Oro (formerly Harmony Homes) tract and the Oakridge tract, at 35 lots and 18 lots, respectively. Property to the

north and west is predominately open space. Bordering the project site to the south is San Antonio Creek, and south of that is a mixture of commercial and residential uses. Uses that have been developed along Saint Joseph Street south of the project site consist mostly of single-family residences. Grazed non-native grassland is located to the west of the project property.

**Slope/Topography:** The project site slopes very gradually towards San Antonio Creek. Runoff from the Lomita de Oro project traverses the site in a concrete lined channel and flows from north to south into the Creek.

**Flora:** The project site consists of approximately 5 acres of non-native grassland, with a few small fruit trees and dense riparian vegetation along San Antonio Creek. A Biological Assessment was prepared based on a field survey and records search (Watershed Environmental, April 14, 2005). Vegetation onsite is primarily non-native grassland, with a corridor of Arroyo Willow Riparian habitat along San Antonio Creek. The site also contains a small (0.01 acre) patch of native grasses. There is also a hedgerow of ornamental trees (*Myoporum*) running north-to-south that separates undisturbed areas from areas used for storage and staging. In addition to the grasslands, riparian corridor and hedgerow, there are five (5) small fruit trees and a 29' dbh box elder on the site that is dead or diseased beyond reclamation. The riparian vegetation would be protected, but the box elder, fruit trees and hedgerow would be removed. According to the Biologists, the project would not impact special status species.

**Fauna:** The Biological Assessment also surveyed the site for the potential presence of sensitive animal species. There is no suitable breeding habitat on the site for the California tiger salamander (CTS). A seasonal pond located 600 feet east of the project site was surveyed in the past and no CTS were found (Collins, 2000). The nearest CTS breeding pond is 1.7 air miles SSE of the project site. No CTS have been found in the Los Alamos area between Highway 101 and San Antonio Creek. According to the Biological Assessment, while a variety of sensitive bird species may on occasion forage and/or roost in habitats found on or in the immediate vicinity of the project site, none are expected to nest on the portion of the property that is to be developed.

The California red-legged frog (CRLF) has been found to occur in the western end of the Town of Los Alamos and in Canada de las Flores, more than three (3) miles west of the project site. Surveys of San Antonio Creek were conducted in 1991 and in the fall of 2005 and it was determined that no suitable breeding habitat for the CRLF existed in San Antonio Creek between Bell Street and Highway 101 (Collins, 1991; T. Mullens, 2005). In addition, sensitive amphibian surveys were conducted at the Los Alamos Community Services District wastewater ponds in 2003 and there were focused CRLF surveys conducted in the ponds in Fall 2005. No CRLF were encountered. Western spadefoot toad, Southwestern pond turtle and American badger are also not expected to occur at the project site.

**Archaeological Sites:** Historic records indicate that several Chumash villages were located within the watershed of San Antonio Creek, with the village of Socciol having been located somewhere near the town of Los Alamos. In the project vicinity, the areas that are most likely to contain

cultural resources are generally located adjacent to San Antonio Creek. Since the project site is adjacent to San Antonio Creek, a Phase I cultural resources survey was required. A Phase I survey that included the project site but that also encompassed a larger area was done in 1999 by Carole Denardo of Applied Earthworks, and another, site-specific Phase I survey was conducted by Laurence Spanne in 2005. On January 8, 2009 an extended Phase I was conducted by Ron Rose, of Cultural Resources Management Services. No historic or prehistoric cultural resources were discovered during either the surface or subsurface testing of the parcel. Based on the survey work conducted to date, it is not expected that any cultural resources would be encountered during construction activities.

**Soils:** Soils on the project site are the Botella loam (BsA), which is a dark gray loam commonly found in floodplains. The Class II soil is commonly used for dry-farmed hay, grain and beans and for annual pasture. The soil is also commonly used for corn silage, sugar beets and artichokes. These soils are considered to be prime agricultural soils.

### **5.3 Description**

#### **08DVP-00000-00011**

**Dwelling Units and Site Development.** The proposed development is a 39 apartment unit rental project. All of the units would be rented at rates considered affordable to very low and low income households. The proposal consists of a total of nine buildings throughout the site with the construction of two, three and four bedroom units and a community center. The height of the buildings would range from 24 feet in height to 34 feet in height. The lot coverage would be approximately 31,376 square feet of structures. The applicant proposes to have a fulltime manager residing on site as well as maintenance staff employed onsite. All development would be located outside of the 50-foot setback from the bank of San Antonio Creek. A priority of the project would be to provide housing for households where at least one of the residents is employed full-time in the local agriculture industry.

**Grading and Drainage.** Approximately 9,000 cubic yards of fill would be required for the project, much of it to elevate floor elevations above the base flood elevation per County Flood Control requirements. The site will be graded in such a manner that fill areas will range from 0 to 4 feet, with the deepest fill areas located on the eastern portion. Runoff from the project site would be directed to San Antonio Creek via the existing open concrete channel. A new, smaller culvert from the proposed cul-de-sac and westerly portions of the site would also convey runoff to San Antonio Creek. Drainage improvements affecting the creek would require permits from the California Department of Fish and Game and possibly the US Army Corps of Engineers.

**Utilities and Services:** The Los Alamos Community Service District (LACSD) would provide water and sewer service to the proposed project. Fire protection services would be provided by Station 24 of the Santa Barbara County Fire Department (99 Centennial Street in Los Alamos) and Olga Reed Elementary School and Ernest Righetti High School would provide school service.

**Amenities and Open Space.** The project would maintain a minimum 50-foot structural setback from the northerly bank of San Antonio Creek, as a buffer for the purposes of water quality, protection of biological resources, and recreation. This area, and other landscaped areas between buildings, would be common open space. Within the common open space, the applicant would develop trails and a tot lot with play equipment for children. The trails along the creek would be accessible not only for residents of the project but for the public as well. In total, approximately 113,787 square feet (51%) of the project site would be devoted to recreation or open space, which meets and exceeds the 40% open space requirement of the “Design Residential” zone district.

### **08GPA-00000-00003**

The General Plan Amendment is proposed to revise the Los Alamos Community Plan, Development Standard FLD-LA-1.1.5 as follows:

Development Standard FLD-LA-1.1.5 1.2.2: Residential units that are proposed in areas prone to flooding ~~which are required by~~ shall comply with the requirements of the County Flood Control District. ~~to provide raised finish floor elevations shall accomplish this requirement by use of a raised foundation rather than by the use of fill above what is required to provide adequate drainage of the lot.~~

This proposed revision is also part of the recently initiated Los Alamos Community Plan Update.

### **08GOV-00000-00024**

Kahn Way is currently an 80-foot wide unimproved or “paper” street that runs from the northerly terminus of Saint Joseph Street to the westerly boundary of the project site and then dead ends. The right-of-way for Saint Joseph Street is also 80 feet in width. Both right-of-ways extend 40 feet from centerline onto the project site and 40 feet from centerline onto lands of others. The current County Standard right-of-way width is only 60 feet, which would be 30 feet from centerline. The applicant proposes to acquire an excess 10 foot strip along St. Joseph Street and a 10 – 15 foot strip along Kahn Way from the County as road abandonments.

### **08RDN-00000-00005**

**Road naming:** submitted to rename that portion of Kahn Way to Gonzales Drive as conditioned by Santa Barbara County Fire Department for emergency purposes.

## **5.4 Background Information**

In 2005 a similar project, St. Joseph Place, was submitted to the County by the Housing Authority of Santa Barbara County for development of 28 condominiums for sale. In response

input from the community, the Housing Authority redesigned the project as rental units in 2008 in order to allow for better control over the long term operation and maintenance of the project.

The project site is located within the Los Alamos Community Plan area in the township of Los Alamos. The proposed project site was identified as being located within “Subarea 6” of the Community Plan, and potential development constraints that were identified include flooding, traffic, water demand, noise and adjacent agriculture.

The Final EIR (92-EIR-7) that was prepared for the Los Alamos Community Plan identified a number of significant and unavoidable (Class I) impacts that would result from the buildout of the Los Alamos community. The Class I impacts that were identified included impacts related to flooding and drainage, use of ground water supplies, the cumulative loss of agricultural lands, changes to the visual character of the planning area, a decline in habitat values resulting from development and increased human population, potential impacts to historical and archaeological resources, demands for police, fire, solid waste disposal and school services, and air quality. The Board of Supervisors adopted a Statement of Overriding Considerations for these impacts.

## **6.0 PROJECT ANALYSIS**

### **6.1 Environmental Review**

Planning and Development staff prepared a Mitigated ND (MND) for the proposed Creekside Village project. The MND identified potentially significant but mitigable project-specific impacts on Aesthetics, Air Quality (short-term), Biological Resources, Cultural Resources, Fire Protection, Geologic Processes (short-term erosion), Land Use, Noise, Public Facilities, and Water Resources/Flooding. Environmental impacts that would result from the future buildout of the Creekside Village project are fully discussed in the environmental document conducted for this project, included as Attachment B of this staff report. Attachment B also includes the minutes from the Environmental Review hearing held on the MND in Los Alamos on December 8, 2008.

### **6.2 Comprehensive Plan Consistency**

<b>POLICY CONSISTENCY ANALYSIS</b>	
<b>REQUIREMENT</b>	<b>DISCUSSION</b>
<b>Los Alamos Community Plan (LACP) Policies</b>	



<p><b><u>Land Use – Residential</u></b></p> <p><b>Policy LUR LA-1.2:</b> <i>In order to follow existing development patterns in the community, reduce conflicts between agricultural operations and urban uses and reduce automobile trips, low density residential designations near the community's periphery shall be retained wherever feasible.</i></p>	<p><b>Consistent:</b> The project parcel is within the Urban Boundary line of the Los Alamos Community Plan. The project site is zoned DR 4.6, but allows density up to 8.0 units per acre. The proposed lots would be consistent with that level of development. The proposed project is not adjacent to any agricultural operations or parcel zoned agriculture.</p>
<p><b><u>Housing</u></b></p> <p><b>Development Standard H-LA-2.1.1:</b> <i>The County shall apply an affordable housing overlay to appropriate parcels in Los Alamos.</i></p> <p><b>Development Standard H-LA-2.1:</b> <i>The following standards shall apply to any development proposed on APNs 101-110-01, 03, 04, 05, and 35:</i></p> <ol style="list-style-type: none"> <li>1. <i>To reduce water demand, new development shall maximize the use of drought-tolerant native or Mediterranean species for landscaping purposes.</i></li> <li>2. <i>Excavation and grading shall be limited to the dry season of the year; graded surfaces shall be immediately reseeded with native ground cover; temporary and permanent erosion control measures shall be installed.</i></li> <li>3. <i>In order to reduce impacts to San Antonio Creek during construction, grading activities shall be prohibited within 50 feet of the creek's top of bank, and other measures to reduce siltation and pollution into the creek shall be implemented as necessary.</i></li> <li>4. <i>Any improvement of the St. Joseph Street bridge or construction of a secondary access bridge shall not be performed at the specific site during nesting of sensitive riparian-dependent birds, and graded areas shall be revegetated</i></li> </ol>	<p><b>Consistent:</b> The proposed Creekside Village development implements the Affordable Housing Overlay and development standards applied to the site, and will provide 100% affordable housing.</p> <p><b>Consistent:</b></p> <ol style="list-style-type: none"> <li>1. The preliminary landscape plan for common open space areas indicates that a variety of native and low-water using plant varieties would be used. Landscaping that requires extensive water use (i.e. turf) has been minimized.</li> <li>2. Proposed mitigation measure GEO-1 would require that grading on the project site be limited to the dry season of the year (i.e. April 15 to November 1) unless a Building &amp; Safety approved erosion and sediment control plan is in place and all measures therein are in effect, and that disturbed areas be revegetated with an approved seed mix and/or landscaping plan.</li> <li>3. All project-related grading would occur more than 50 feet from San Antonio Creek. Compliance with existing regulatory programs, such as the implementation of the Storm Water Pollution Prevention Plan would reduce the potential for sedimentation impacts to the creek to a less than significant level.</li> <li>4. No bridge improvements will be required to serve the proposed project, and the proposed emergency secondary access would be towards the north and U.S. Highway 101, not towards San Antonio Creek which is south of the project site.</li> </ol>

<p><i>with a native seed mix.</i></p> <p>5. <i>A minimum 50 foot landscape buffer along San Antonio Creek consisting of native trees and shrubs shall be required.</i></p> <p>6. <i>A tree preservation and replacement plan for native oak trees shall be required.</i></p> <p>7. <i>In order to reduce aesthetic impacts, natural building materials and colors shall be used, and a Mediterranean and/or native plant landscaping plan shall be implemented.</i></p> <p>8. <i>A recycling and composting program shall be implemented to help reduce solid waste impacts.</i></p> <p>9. <i>As necessary, grading shall be phased to reduce short-term particulates.</i></p> <p>10. <i>Development should be designed to allow convenient access to bike paths and public transit if available.</i></p> <p>11. <i>An acoustical analysis shall be required which demonstrates that interior noise levels for residential structures would not exceed 45 dBA and noise levels in exterior living spaces would not exceed CNEL 65 dBA. The analysis shall provide recommendations on how to achieve these acceptable noise levels.</i></p> <p>12. <i>A Phase I archaeological survey shall be performed prior to site preparation.</i></p>	<p>5. The project would include such a buffer.</p> <p>6. The proposed project would not result in the removal of any oak trees.</p> <p>7. Proposed mitigation measure AES-2 requires the use of natural building materials and earth tone colors. Preliminary landscape plans for common open space areas indicate the extensive use of native and low-water using plant varieties.</p> <p>8. The project would be served by recycling programs that have been implemented by the County and private waste haulers.</p> <p>9. Conditions imposed by the Air Pollution Control District (APCD) would require the project to implement measures to reduce fugitive dust from construction activities. The grading and development for the proposed project will not be phased.</p> <p>10. The proposed project allows public access to the open space buffer along the creek, and Bell Street is within a short walking distance. Public transportation is not available within the town of Los Alamos.</p> <p>11. The project site is not exposed to ambient noise levels at or exceeding 65 dBA.</p> <p>12. A Phase I and extended Phase I archaeological surveys have been prepared for the project site. These studies did not detect the presence of any significant cultural resources. None the less, a mitigation measure requiring that all work be stopped in the event archaeological remains are encountered has been added as Condition #12.</p>
--	---

<p>13. <i>Development shall be restricted on slopes of 20-30% in the eastern portion of the site.</i></p>	<p>13. No structures have been proposed on slopes that have a gradient in excess of 20%. Grading for roadway construction would be minor and would not result in significant visual, erosion or drainage impacts. Other than the small portion of hillside that would be affected by roadway construction, the site is essentially flat.</p>
<p><b><u>Air Quality</u></b></p> <p><b>Policy AQ-LA-1.1:</b> <i>The County shall impose appropriate restrictions and control measures upon construction activities associated with each future development project, in order to avoid significant deterioration of air quality.</i></p> <p><b>Development Standard AQ-LA-1.1.2:</b> <i>Project construction shall minimize the generation of pollution and fugitive dust during construction.</i></p>	<p><b>Consistent:</b> All impacts associated with air emissions would be mitigated through standard conditions placed on the grading plan as implemented through Chapter 14 (Grading Ordinance) of the County Code.</p> <p><b>Consistent:</b> Implementation of grading plan conditions would reduce potential short-term dust impacts to a less than significant level. The project would not result in significant project-specific long-term air quality impacts. The proposed project would be consistent with this policy and development standard.</p>
<p><b><u>Flooding</u></b></p> <p><b>Development Standard FLD-LA-1.1.4:</b> <i>The County shall discourage the use of impervious surfaces in new development and encourage the use of permeable surfaces (e.g., avoid concrete drainage structures, devices, and install porous ground cover such as gravel, turf block, etc.).</i></p> <p><b>Development Standard FLD-LA-1.1.5:</b> <i>Residential units that are proposed in areas prone to flooding which are required by the County Flood Control District to provide raised finish floor elevations shall accomplish this requirement by use of a raised foundation rather than by the use of fill above what is required to provide adequate drainage of the lot.</i></p>	<p><b>Consistent:</b> The gutters and parking lots will be constructed of permeable concrete. In addition a bio-swale is proposed as a treatment for storm water runoff.</p> <p><b>Consistent:</b> The project was redesigned to remove all fill from the 50-foot creek setback area and reduce the amount of fill in the flood zone by 1,000 cubic yards. However, there are still residential units built on fill in areas that are prone to flooding. As part of this project the applicant is requesting that Development Standard FLD-LA-1.1.5 be amended because this project has brought its intent and purpose into question. With an amendment that affords discretion to determine how best to protect structures in flood prone areas on a case-by-case basis, the project would be consistent.</p>
<p><b><u>Traffic, Circulation and Parking</u></b></p> <p><b>Policy CIRC-LA-1.7.</b> <i>If required by the Fire Department or Public Works Department, a secondary access road shall be provided prior to</i></p>	<p><b>Consistent:</b> An emergency secondary access has been provided by the adjoining tract that installed a removable fence panel in the sound wall along</p>

<p><i>development of the [project site]. The specific alignment of this road shall be subject to review and approval by appropriate agencies.</i></p> <p><b>Policy CIRC-LA-2.1.</b> <i>New development shall be sited and designed to encourage pedestrian and bicycle travel and provide maximum access to facilities that offer alternative modes of transportation.</i></p>	<p>Highway 101. The Santa Barbara County Fire Department and Caltrans have approved this emergency access.</p> <p><b>Consistent:</b> The proposed project offers walkways and public access along San Antonio Creek and is within a short walking distance to Bell Street.</p>
<p><b><u>Parks, Recreation and Trails</u></b></p> <p><b>Policy PRT-LA-1.1.</b> <i>Diverse outdoor and indoor recreation opportunities shall be encouraged to enhance Los Alamos recreational resources and to ensure that current and future recreational needs of residents are met.</i></p>	<p><b>Consistent:</b> The proposed project would provide a tot lot for small children and walking trails for the general public.</p>
<p><b><u>Sewer Service</u></b></p> <p><b>Policy SD-LA-1.1.</b> <i>For those areas within the Los Alamos Community Services District boundaries, buildout shall be accommodated within eventual projected capacity of the wastewater treatment plant.</i></p>	<p><b>Consistent:</b> The Los Alamos Community Services District (LACSD) has indicated that adequate treatment capacity is available to serve the project. The project’s contribution to cumulative increases in waste water flows would be reduced to less than significant levels through the payment of annexation fees, which would be used as a contribution towards making required upgrades to the existing sewer system.</p>
<p><b><u>Water</u></b></p> <p><b>Policy WAT-LA-1.2.</b> <i>All new development shall minimize exterior water usage for landscaping purposes.</i></p>	<p><b>Consistent:</b> The preliminary landscape plan for the common open space areas that would be provided on the project site use native and other low-water using plant varieties.</p>
<p><b><u>Biological Habitats</u></b></p> <p><b>Policy BIO-LA-1.2.</b> <i>Pollution of streams, sloughs, drainage channels, and underground water basins and areas adjacent to such waters shall be minimized.</i></p>	<p><b>Consistent:</b> Compliance with existing regulations and proposed mitigation measures would reduce the potential for the project to result in short-term construction-related impacts to water quality to a less than significant level. The project would install filters within the proposed drainage system to minimize concentrations of urban pollutants such as oil, grease and garden products.</p>

<p><b>Policy BIO-LA-1.5.</b> <i>Species native to the immediate area (i.e. oaks, willows, sycamores) shall be incorporated into all landscape plans in order to preserve the existing oak savanna character of the area.</i></p>	<p><b>Consistent:</b> Vegetation within the 50-foot buffer area would be left natural. Planting in common open space areas would include the use of natives.</p>
<p><b>Noise</b></p> <p><b>Policy N-LA-1.1.</b> <i>Noise sensitive receptors should not be exposed to exterior noise levels exceeding 65 dBA CNEL, or interior noise levels exceeding 45 dBA.</i></p>	<p><b>Consistent:</b> The project site is not exposed to noise levels at or exceeding 65 dBA.</p>
<p><b>Visual Resources</b></p> <p><b>Policy VIS-LA-1.1:</b> <i>The informal, semi-rural visual character of the community and its existing neighborhoods shall be respected to the maximum extent feasible along the Highway 101 corridor (defined as that area visible from Highway 101 within the town's urban boundaries).</i></p> <p><b>Development Standard VIS-LA-1.1.2:</b> <i>The County shall give special consideration to potential visual impacts that may occur upon development of “gateway parcels. In addition to any measures which would be required as a result of site-specific review at the time of development, the following measures shall apply to any development proposed for these parcels.</i></p> <ol style="list-style-type: none"> <li>1. <i>At a minimum, development of structures shall be prohibited within 50 feet of the property line, unless this precludes reasonable development.</i></li> <li>2. <i>Any structure with potential to obstruct views of the Purisima Hills or of the Solomon Hills from a public viewpoint or travel corridor shall be designed so as to preserve views of these hills to the maximum extent feasible.</i></li> <li>3. <i>Grading for structural improvements on slopes in excess of 20% shall be prohibited.</i></li> <li>4. <i>Outdoor lighting shall be directed toward the ground. Property owners should install low-pressure sodium lights, directed to the ground, for exterior-yard night-lighting.</i></li> </ol> <p><b>Development Standard VIS-LA-1.3.1:</b> <i>New</i></p>	<p><b>Consistent:</b> The site is not visible from the Highway 101 corridor.</p> <p><b>Consistent:</b> The project site is not a “gateway parcel.”</p> <p><b>Consistent:</b> The proposed project consists of a</p>

<p><i>housing developments shall be consistent with the small rural atmosphere of Los Alamos by avoidance of tract-style development patterns, by providing a variety of non-obtrusive housing styles and types and by incorporating grid pattern street networks.</i></p>	<p>higher density than the neighboring development which is single family residential. However, the proposed development is consistent with the residential density planned for the site. The project design retains a substantial amount of open space. In addition, the design features of the apartment complex provide increased visual compatibility with the rural visual character of Los Alamos. The project is designed to be compatible with the scale and character of the existing community, while minimizing visibility from the highway corridor. The project site is not visible to motorists on U.S. 101 or Bell Street or any other significant public viewing location. No vegetation removal or grading is proposed within the 50-foot creek setback area. The parcel slopes gently from east to west and in order to reduce visual impacts, the three story buildings are proposed to be located in the areas of lower topography, located in the interior and western portions of the site. Two of the buildings are proposed to be a combination of two and three story, with the three story element located to the rear of the building, backing up to the creek. In addition, the finished floor elevation of the three story buildings would be lower than that of the two story buildings. The dense vegetation along the creek and the topography northwest of the site would limit the visibility of the development, including the three story buildings, and thus would limit the project's visual effects. Mitigation measure AES-1 requires BAR approval and consistency with Visual Resources policies of the Los Alamos Community Plan.</p>
<p><b>COMPREHENSIVE PLAN POLICIES</b></p>	
<p><b>REQUIREMENT</b></p>	<p><b>DISCUSSION</b></p>
<p><b><u>Land Use Element</u></b></p> <p><i>Land Use Development Policy #. 4. Prior to issuance of a use permit, the County shall make the finding, based on information provided by environmental documents, staff analysis, and the applicant, that adequate public and private services and resources (i.e., water, sewer, roads, etc.) are available to serve the proposed development. The applicant shall assume full responsibility for costs incurred in service</i></p>	<p><b>Consistent.</b> The LACSD would provide water and sewer service for the proposed project. Water for the project would be obtained from the San Antonio ground water basin, which is in a state of overdraft. Water use by the proposed project, however, would not exceed the threshold of significance that has been established for the San Antonio ground water basin. Therefore, adequate water resources are available to serve the project</p>

<p><i>connections or improvements that are required as a result of the proposed project. Lack of available public or private services or resources shall be grounds for denial of the project or reduction in the density otherwise indicated in the land use plan.</i></p> <p><b>Land Use Development Policy #5.</b> <i>Within designated urban areas, new development other than that for agricultural purposes shall be serviced by the appropriate public sewer and water district or an existing mutual water company, if such service is available.</i></p>	<p>The LACSD has indicated that adequate wastewater treatment capacity is available to serve the project. Roadways and intersections in the Los Alamos area operate at acceptable levels of service, and would continue to operate within the acceptable range after the addition of project-related traffic.</p> <p><b>Consistent:</b> The LACSD would provide sewer and water service to the project.</p>
<p><b><u>Hillside and Watershed Protection Policies</u></b></p> <p><b>Policy #1.</b> <i>Plans for development shall minimize cut and fill operations. Plans requiring excessive cutting and filling may be denied if it is determined that the development could be carried out with less alteration of the natural terrain.</i></p> <p><b>Policy #2.</b> <i>All development shall be designed to fit the site topography, soils, geology, hydrology, and any other existing conditions and be oriented so that grading and other site preparation is kept to an absolute minimum. Natural features, landforms, and native vegetation, such as trees, shall be preserved to the maximum extent feasible. Areas of the site which are not suited to development because of known soil, geologic, flood, erosion or other hazards shall remain in open space.</i></p> <p><b>Policy #3.</b> <i>For necessary grading operations on hillsides, the smallest practical area of land shall be exposed at any one time during development, and the length of exposure shall be kept to the shortest practicable amount of time. The clearing of land should be avoided during the winter rainy season and all measures for removing sediments and stabilizing slopes should be in place before the beginning of the rainy season.</i></p>	<p><b>Consistent:</b> The proposed project would involve a very minor amount of cut but would require approximately 9,000 cubic yards of fill in order to elevate finish floor levels as required by the County’s flood control regulations. Notwithstanding the fill required for flood protection, the proposed grading would be minimized and would not be excessive given the topography of the site and its surroundings.</p> <p><b>Consistent:</b> The proposed project would not result in substantial changes in existing drainage patterns or the topography of the project site. Grading that is proposed is required by the County. No grading on slopes with a gradient of more than 20% would occur for the development of residential units or recreational amenities. The proposed project would not require the removal of any significant trees and the area along San Antonio Creek would be retained as natural open space.</p> <p><b>Consistent:</b> The project site is not a hillside, but several erosion control and water quality measures are being required.</p>

<p><b>Policy #4.</b> <i>Sediment basins (including debris basins, desilting basins, or silt traps) shall be installed on the project site in conjunction with the initial grading operations and maintained through the development process to remove sediment from runoff waters. All sediment shall be retained on-site unless removed to an appropriate dumping location.</i></p> <p><b>Policy #5.</b> <i>Temporary vegetation, seeding, mulching, or other suitable stabilization methods shall be used to protect soils subject to erosion that have been disturbed during grading or development. All cut and fill slopes shall be stabilized as rapidly as possible with planting of native grasses and shrubs, appropriate non-native plants, or with acceptable landscaping practices.</i></p> <p><b>Policy #6.</b> <i>Provisions shall be made to conduct surface water to storm drains or suitable watercourses to prevent erosion. Drainage devices shall be designed to accommodate increased runoff resulting from modified soil and surface conditions as a result of development. Water runoff shall be retained onsite whenever possible to facilitate groundwater recharge.</i></p> <p><b>Policy #7.</b> <i>Degradation of the water quality of groundwater basins, nearby streams, or wetlands shall not result from development of the site. Pollutants, such as chemicals, fuels, lubricants, raw sewage, and other harmful waste, shall not be discharged into or alongside coastal streams or wetlands either during or after construction.</i></p>	<p><b>Consistent:</b> Mitigation measures related to Biological Resources, Geological Processes and Water Resources ensure compliance with each of these Hillside and Watershed Protection policies.</p>
<p><b><u>Visual Resources</u></b></p> <p><b>Policy #3.</b> <i>In areas designated as urban on the land use plan maps and in designated rural neighborhoods, new structures shall be in conformance with the scale and character of the existing community. Clustered development, varied circulation patterns, and diverse housing types shall be encouraged.</i></p>	<p><b>Consistent:</b> The proposed project would provide a diverse housing type for Los Alamos, clustered in a way that protects San Antonio Creek. Although there are few apartments in Los Alamos, the proposed buildings are similar in terms of height and scale to other buildings in Los Alamos, and would have a western architectural style. Given the site’s designation for a residential density of up to 8 units per acre, the proposed development conforms to the existing Community Plan, and is also consistent with the density proposed for the site in the newly-initiated Community Plan Update.</p>



<p><b>Policy #5.</b> <i>Utilities, including television, shall be placed underground in new developments in accordance with the rules and regulations of the California Public Utilities Commission, except where cost of undergrounding would be so high as to deny service.</i></p>	<p><b>Consistent:</b> County regulations require that all utilities to serve the new development must be placed underground.</p>
<p><b><u>Housing Element</u></b></p> <p><b>Development Standard 1.9.2:</b> <i>The county shall encourage development of low, moderate and workforce income housing at medium to higher densities on the limited remaining urban in-fill sites by:</i></p> <ul style="list-style-type: none"> <li>• <i>Strongly supporting development of medium to higher density residential uses at or near the maximum designated densities, on urban in-fill sites while respecting environmental constraints and protecting neighborhood compatibility;</i></li> <li>• <i>Encouraging development of Density Bonus projects on urban in-fill sites with limited constraints;</i></li> <li>• <i>Providing priority permit processing for development on in-fill sites that include affordable, special needs, or rental housing units.</i></li> </ul> <p><b>Development Standard 5.1.4:</b> <i>To the maximum extent feasible, the bulk and scale of new structures shall blend in as effectively as possible to be compatible with adjoining properties with transition between established neighborhoods and newer ones, recognizing that in certain instances bulk and scale of development may be different but should be designed to be as compatible as possible. Design features should reduce visual prominence.</i></p>	<p><b>Consistent:</b> The proposed project would provide housing for very low and low income families on an urban infill site designated for such development. The project density is at or near the maximum designated density.</p> <p><b>Consistent:</b> The proposed project would be 100% affordable and may be found compatible, or “in harmony,” with surrounding residential developments. The design and scale of the project received favorable input from the Central Board of Architectural Review and will be subject to additional design review. The project proposes two and three-story buildings in a neighborhood which currently consists of single story and two story homes. The three story structures would represent a change from the current development patterns in the area. The parcel slopes gently from east to west and in order to reduce visual impacts, the three story buildings are proposed to be located in the areas of lower topography, located in the interior and western portions of the site creating a transition away from the single family dwellings located to the east. Two of the buildings are proposed to be a combination of two and three story, with the three story element located</p>

**Development Standard 5.1.6:** *The county shall take into account public view sheds when considering new developments.*

**Policy 6.1:** *Where affordable housing is to be provided, required Agreements to Provide Affordable Housing for Sale and/or Rent shall be signed by the project applicant prior to map recordation (or in the case of the development of rental units where no subdivision of property has occurred, prior to land use clearance). In addition, for subdivisions, restrictive covenants shall be recorded against the title of the affected properties at the time of first sale that shall:*

- *Require that affordable units produced under the Inclusionary Housing Program be rented or sold at affordable levels for at least a 45-year period beginning from the date of occupancy clearance unless Policy 9.4 applies. In such cases, the time period of the agreement shall be no less than the maximum allowed by the government program. The 45-year period restarts with each resale of an owner occupied affordable unit for a maximum period of 90 years if the owner sells the unit before the end of the 45 year period.*
- *Be consistent with the conditions of project approval and the provisions of this Housing Element.*
- *Permit institutional financing and refinancing with reasonable terms and conditions, as determined by the director of CHCD.*
- *Subordinate to the rights of an institutional lender that is the maker of a loan secured by a deed of trust recorded in first priority in the event*

to the rear of the building, backing up to the creek. In addition, the finished floor elevation of the three story buildings would be lower than that of the two story buildings. The dense vegetation along the creek and the topography northwest of the site would limit the visibility of the development, including the three story buildings, and thus would limit the project's visual effects.

**Consistent:** The project site is not visible to motorists on U.S. 101 or Bell Street or any other significant public viewing location. Furthermore, the project would be subject to design review to insure that its design would be compatible with surrounding development.

**Consistent:** The proposed project would be 100% affordable and provide housing to very low and low income households. Prior to Zoning Clearance issuance an Agreement to Provide Affordable Housing for rent will be required as condition #21.

<i>of foreclosure.</i>	
------------------------	--

### 6.3 Zoning: Land Use and Development Code Compliance

#### 6.3.1 Compliance with Land Use and Development Code Requirements

The following DR zone district regulations apply to the project.

<b>ZONING REQUIREMENT</b>	<b>DISCUSSION</b>
<p><b>Purpose and Intent:</b> The DR zone is applied to areas appropriate for one-family, two-family, and multi-family dwellings. This zone is intended to ensure comprehensively planned and well designed residential development, while allowing flexibility and encouraging innovation and diverse design, and requiring that substantial open space be maintained within new residential developments.</p>	<p><b>Consistent:</b> Consistent with the intent of the DR zone, the project has been designed to provide multi-family dwellings while preserving the riparian corridor of San Antonio Creek as open space. The project includes 39 two, three, and four-bedroom apartment units. These types of units are allowed within the DR zone district. Within the common open space along the creek, the applicant would develop trails and a tot lot with play equipment for children. The trails along the creek would be accessible not only for residents of the project but for the public as well.</p>
<p><b>Lot Size:</b> Dwelling Units per Gross Acre = 4.6, with an AHO Overlay of 8 units per acre.</p>	<p><b>Consistent:</b> The density of the project is 8 units per acre.</p>
<p><b>Setbacks: Front</b> = Twenty (20) feet from the right-of-way line of any street. <b>Side and Rear</b> = Ten (10) feet from any side or rear property line, however the Planning Commission may increase this requirement to provide reasonable light, air, and privacy requirements.</p>	<p><b>Consistent:</b> All front setbacks are a minimum of 20 feet. All rear setbacks are a minimum of 10 feet.</p>
<p><b>Building Coverage:</b> Not to exceed 30 percent of the net area of the property.</p>	<p><b>Consistent:</b> Building coverage for the project is approximately 14 percent of the net area of the property.</p>
<p><b>Height Limit:</b> No building or structure shall exceed 35 feet.</p>	<p><b>Consistent:</b> The apartment units range in height from 24 feet to 34 feet.</p>

<b>ZONING REQUIREMENT</b>	<b>DISCUSSION</b>
<p><b>Parking:</b> For multi-family residential projects, the County’s zoning regulations require 1 space per two bedroom unit and 2 spaces per three or more bedroom units, plus 1 guest space for every five units. The total parking required for this project is therefore 68 spaces, calculated as follows:</p> <p style="padding-left: 40px;">18 two bedroom units x 1 required space =  <b>18 spaces</b></p> <p style="padding-left: 40px;">21 three (or more) bedroom units x 2 required spaces = <b>42 spaces</b></p> <p style="padding-left: 40px;"><u>+ 39 total units ÷ 5 = 8 visitor spaces</u></p> <p style="padding-left: 80px;"><b>68 parking spaces required</b></p>	<p><b>Consistent:</b> The applicant has provided for a total of 82 off-street parking, uncovered spaces. The project would therefore more than comply with the County regulations for parking for affordable housing projects.</p>
<p><b>Open Space and Landscaping:</b> Not less than 40 percent of the gross area of the property shall be devoted to common open space.</p>	<p><b>Consistent:</b> The site plan designates approximately 113,787 square feet (51%) of the project site as recreation or open space, which meets and exceeds the 40% open space requirement of the “Design Residential” zone district.</p>

#### 6.4 Subdivision/Development Review Committee

The project was reviewed by the Subdivision/Development Review Committee (SDRC) on April 17, 2008. All conditions required by other Departments are included as Department Condition letters (Attachment F). The following requirements were identified at the SDRC meeting:

<p><b>Roads:</b> Standard tract map conditions; fees for each new peak hour trip; encroachment permit; haul permit for transport of 3,000 cubic yards of earth, work with applicant about private/public road issue.</p>
<p><b>Flood:</b> Comply with standard conditions of project approval; comply with 50’ set back from top of bank; finished floors must be 2’ above flood plain elevation; plan check fees; storm drainage management plan; require certification from engineer that site was built per plan; elevation certification.</p>
<p><b>Clean Water:</b> Requires treatment of storm water for the design storm event; plan check fees; maintenance agreement; review treatment types.</p>
<p><b>Parks:</b> Fees on the apartments prior to occupancy.</p>
<p><b>Fire:</b> Fees; approved locking system for gated access; addressing; change road name from Kahn Way to Gonzales Drive. If road is private, road width shall be 40’.</p>
<p><b>EHS:</b> Requires a Can &amp; Will serve letter from LACSD.</p>
<p><b>B&amp;S:</b> Building permits; grading and drainage plan; soils report accessible units; erosion control.</p>

#### 6.5 Board of Architectural Review

On May 30, 2008 and August 22, 2008, the project received conceptual review by the Central Board of Architectural Review (CBAR). The CBAR minutes are included as Attachment D. On May 30, 2008, the CBAR provided extensive comments on the design elements of the project. These comments addressed building colors and materials, building details, and landscaping, among other issues. On August 22, 2008, the CBAR acknowledged that the revised drawings submitted by the applicant adequately addressed the CBAR’s previous comments, except that the CBAR was still requesting that the applicant maximize tree planting at driveway entrances.

**6.6 Los Alamos Planning Advisory Committee Review**

On October 16, 2006, November 20, 2006 and December 4, 2006, the Los Alamos Planning Advisory Committee (LAPAC) reviewed the original St. Joseph’s Place project, a proposed 28-unit affordable residential condominium development for qualifying farm workers. The following issues and concerns were raised at these meetings: need for maintenance and upkeep of the buildings and grounds; potential over-crowding of the units; visual impacts; traffic; water and sewer services; lack of law enforcement services; flooding; impacts to schools; and biological resources. On December 4, 2006, LAPAC voted 5-1 to support the St. Joseph Street Agricultural Workers Project. On July 7, 2008 LAPAC reviewed the Creekside Village Project. The following issues were discussed at this meeting: aesthetics, incompatibility with the neighborhood, public services, traffic, public safety, flooding, and biological issues. The minutes are attached as Attachment E.

**6.7 Development Impact Mitigation Fees**

A series of ordinances and resolutions adopted by the County Board of Supervisors require the payment various development impact mitigation fees. This project is subject to the fees as shown in the following table. The amounts shown are estimates only. The actual amounts will be calculated in accordance with the fee resolutions in effect when the fees are paid.

The developer of a project that is required to pay development impact mitigation fees may appeal to the Board of Supervisors for a reduction, adjustment or waiver of any of those fees based on the absence of a reasonable relationship between the impacts of the proposed project and the fee category for which fees have been assessed. The appeal must be in writing and must state the factual basis on which the particular fee or fees should be reduced, adjusted or waived. The appeal must be submitted to the director(s) of the relevant departments within 15 calendar days following the determination of the fee amount(s). For a discretionary project, the date of determination of fee amounts is the date on which the decision-maker adopts the conditions of approval and approves the project.

<b>Estimated Countywide Development Impact Mitigation Fees</b>			
<b>Fee Program</b>	<b>Base Fee (per unit or 1,000 sf)</b>	<b>Estimated Fee</b>	<b>Fee due at</b>
Recreation (Parks)	\$456.00	\$17,784.00	LUP or Map Recordation
Transportation	\$493.00 PHT	\$16,762.00	LUP or Map Recordation

## **6.8 Issues Associated with Proposed General Plan Amendment**

### **6.8.1 Community Benefit**

In accordance with Government Code requirements, any project which includes a General Plan Amendment and/or Rezone must result in a benefit to the community. The proposed project will be in the public interest as it proposes to develop 39 residential units which will all be managed as affordable rental housing. The requested General Plan Amendment would modify the Los Alamos Community Plan Flood Development Standard LA-1.1.5 to allow a greater flexibility in the design of new residential projects. The current development standard requires that new residential development which is located in flood prone areas be built with raised foundations, if needed, to maintain a finished floor height above the 100-year flood elevation. The proposed text amendments to this development standard would allow the Flood Control District to determine what method (i.e. raised foundation, grading, etc.) is appropriate for maintaining this required finished floor height. This change provides a potential benefit to the community as it gives the Flood Control District a greater flexibility to determine the best project design on a case by case basis. Additionally, this change to the development standard could provide aesthetic benefits such as lower structure height and architecturally superior building facades. Finally, by allowing new development to be placed on grades above the expected flood levels, the requirements for costly flood insurance would be reduced. This would assist affordable housing projects such as the Creekside Development in maintaining a lower cost of ownership and/or operation.

### **6.8.2 Cumulative Effects of General Plan Amendment**

The proposed project includes grading to raise portions of the project site above the 100-year flood level. Currently the Los Alamos Community Plan (Development Standard Flood LA-1.1.5) requires that all new development use raised foundations instead of grading to achieve a finished floor elevation above the mean flood elevation. A disadvantage of the current development standard is the expense of flood insurance for structures whose foundations would come into contact with flood waters. The proposed project includes a text amendment to the Los Alamos Community Plan which would allow either method (grading or raised foundations) to achieve the necessary finished floor height, as deemed acceptable by the County's Flood Control District.

This text amendment would have the cumulative affect of allowing future development within the floodplain to also use grading to achieve the appropriate finished floor elevation. In addition to the subject parcel, there are several other undeveloped and underdeveloped parcels within the Flood Hazard Overlay within the Los Alamos Community Plan area. The revised development standard would apply to the future development of these parcels as well. Figure 1 shows the parcels which would be affected by the proposed change.

As previously mentioned, the use of grading instead of raised foundations would be subject to the review and approval of the Flood Control District. Existing Flood Control District requirements state that structural development within a flood plain shall not occur if cumulative

development would cause an increase in flood levels of more than one foot. Even an increase of less than one foot in floodwater elevation could affect properties built at the floodwater elevation. However, under the new development standard, County Flood Control would have the authority to allow or prohibit the use of fill, depending on project-specific circumstances, in order to protect people and property from flood hazards. Therefore, cumulative effect of the proposed change to Development Standard Flood LA 1.1.5 would be less than significant.

### **6.8.3 Consultation with Native Americans**

On December 14, 2007, the Office of Long Range Planning sent letters to the Santa Ynez Band of Chumash Indians and the Coastal Band of the Chumash Nation offering to consult pursuant to SB 18 regarding the Los Alamos Community Plan Update. The General Plan Amendment involving the change to Development Standard FLD-LA-1.1.5 is a part of the proposed Los Alamos Community Plan Update. According to Office of Long Range Planning staff (Bret McNulty, January 21, 2009), neither group responded to the County's offer to consult regarding the proposed General Plan Amendment.

## **7.0 APPEALS PROCEDURE**

The action of the Planning Commission is a recommendation to the Board of Supervisors.

## **ATTACHMENTS**

- A. Findings
- B. Final MND with Hearing Notes
- C. Draft Comprehensive Plan Amendment Resolution
- D. CBAR Minutes
- E. LAPAC Minutes
- F. Conditions of Approval (CUP, SUP) with attached Departmental letters
- G. Site Plan, Floor Plan, Elevations

## **ATTACHMENT A: FINDINGS**

### **1.0 CEQA FINDINGS**

- 1.1 The Planning Commission has considered the Mitigated Negative Declaration, 08NGD-00000-00030, together with the comments received and considered during the public review process. The mitigated negative declaration reflects the independent judgment of the Planning Commission and has been completed in compliance with CEQA, and is adequate for this proposal.
- 1.2 The Planning Commission finds that through feasible conditions placed upon the project, the significant impacts on the environment have been eliminated or substantially mitigated.
- 1.3 The documents and other materials which constitute the record of proceedings upon which this decision is based are in the custody of the Secretary of the Santa Barbara County Planning Commission, Ms. Dianne Black, Planning and Development, located at 624 West Foster Road, Suite C, Santa Maria, CA 93455.
- 1.4. Public Resources Code Section 21081.6 requires the County to adopt a reporting or monitoring program for the changes to the project which it has adopted or made a condition of approval in order to mitigate or avoid significant effects on the environment. The approved project description and conditions of approval, with their corresponding permit monitoring requirements, are hereby adopted as the monitoring program for this project. The monitoring program is designed to ensure compliance during project implementation.

### **2.0 ADMINISTRATIVE FINDINGS**

#### **2.1 COMPREHENSIVE PLAN AMENDMENT FINDING**

In accordance with Government Code requirements, any project which includes a General Plan Amendment and/or Rezone must result in a benefit to the community. The proposed project will be in the public interest as it proposes to develop 39 residential units which will all be managed as affordable rental housing. The requested General Plan Amendment would modify the Los Alamos Community Plan Flood Development Standard LA-1.1.5 to allow a greater flexibility in the design of new residential projects. The current development standard requires that new residential development which is located in flood prone areas be built with raised foundations, if needed, to maintain a finished floor height above the 100-year flood elevation. The proposed text amendments to this development standard would allow the Flood Control District to determine what method (i.e. raised foundation, grading, etc.) is appropriate for maintaining this required finished floor height. This change provides a potential benefit to the community as it gives the Flood Control District a greater flexibility to determine the best project design on a case by case basis. Additionally, this change to the development standard could provide aesthetic benefits such as lower structure height and architecturally superior building facades. Finally, by allowing new development to be placed on grades above the expected flood levels, the requirements for costly flood insurance would be



reduced. This would assist affordable housing projects such as the Creekside Development in maintaining a lower cost of ownership and/or operation.

## **FINAL DEVELOPMENT PLAN FINDINGS**

**In compliance with Subsection 35.82.080.E, prior to the approval or conditional approval of an application for a Development Plan the review authority shall first make all of the following findings:**

### **1. Findings for all Preliminary or Final Development Plans.**

#### ***2.1.1 That the site for the project is adequate in size, shape, location, and physical characteristics to accommodate the density and intensity of development proposed.***

The location of development is within a designated urban area with slopes of less than 20%. The site was determined to be an appropriate location for DR zoning, with a maximum density of 4.6 units per acre with an affordable housing overlay allowing 8.0 units per acre onsite. The design of the development provides for open spaces along the creek as well as adequate recreational amenities. Further, the location of development is located within the identified development areas in accordance with the requirements of the Los Alamos Community Plan. Therefore, the site is adequate in size, shape, location, and physical characteristics for the type and density of development as shown on the project plans.

#### ***2.2.2 That adverse impacts are mitigated to the maximum extent feasible.***

The Negative Declaration, 08NGD-00000-00030 (Attachment B) identified potentially significant, but mitigable impacts to Aesthetics, Air Quality, Biological Resources, Cultural Resources, Fire Protection, Geologic Processes, Land Use, Noise, Public Facilities, and Water Resources/Flooding. Mitigation measures included in the conditions of approval (Attachment F) will reduce these impacts to the maximum extent feasible.

#### ***2.2.3 That streets and highways are adequate and properly designed.***

The Public Works Roads Department has accepted the location and design of the proposed roads per the project plans subject to certain conditions, including the private drive located in the Kahn Way right-of-way.

#### ***2.2.4 That there are adequate public services, including but not limited to, fire protection, water supply, sewage disposal, and police protection to serve the project.***

As described in the MND, adequate public services exist, or will be available prior to Zoning Clearance Permit issuance. The Fire Department has approved the design of the project subject to their conditions of approval included in Attachment F. Water and sewage service is available from the Los Alamos Community Services District. Other public services including police protection and schools are adequate to serve the project.

**2.2.5 *That the project will not be detrimental to the health, safety, comfort, convenience, and general welfare of the neighborhood and will not be incompatible with the surrounding areas.***

The proposed project has been located and designed in accordance with the requirements of both the Land Use and Development Code and the Los Alamos Community Plan. The proposed project will not be detrimental to the health, safety, comfort, convenience, and general welfare of the surrounding neighborhood. During preparation and adoption of the Los Alamos Community Plan, the project site was determined to be an appropriate location for residential development with an affordable housing overlay. All of the existing surrounding land uses were planned or present at the time this determination was made. The proposed project will allow a total of 39 apartment units consisting of 2, 3, and 4 bedroom units on the project site. The project will not be incompatible with the surrounding area. Residential uses on the site will be sized and architecturally designed so that they will be compatible with surrounding residential land uses. Traffic generated by the proposed project will not significantly affect roadways used by residents of the surrounding area. The proposed residential development does not have the potential to generate smoke, odors or noise, which would be incompatible with the surrounding area or could affect the comfort and convenience of residents or recreationalists in the surrounding area.

**2.2.6 *That the project is in conformance with the applicable provisions of this Development Code and the Comprehensive Plan.***

As noted in Sections 6.2 and 6.3 of the staff report, the project is in conformance with the applicable provisions of the Comprehensive Plan and Land Use and Development Code (zoning ordinance).

**2.2.7 *Within Rural areas as designated on the Comprehensive Plan maps, the use will be compatible with and subordinate to the agricultural, rural, and scenic character of the rural areas.***

The project is located within the urban boundary line. However, aesthetic conditions of approval have been included with the project to lessen the project's impact on surrounding areas.

**2.2.8 *That the project will not conflict with any easements required for public access through or public use of a portion of the property.***

No known public easements exist on the property.

**2.3 Findings for All Road Namings (LUDC 35.76.050.E.2)**

The Road Name Selection states that the objective of regulated road naming is to ensure that proposed road names are pleasant sounding; easy to read (so that the public, and children in particular, can readily pronounce the name in an emergency); and add to the pride of home and community. In order to meet that objective, the following criteria were adopted and must be met in order to approve the naming of a road.

**2.3.1 A road name shall not be duplicated within the area served by the same post office, or fire or police department. No name should duplicate another road name used elsewhere in the County. Similar sounding names are considered duplicates regardless of spelling.**

The proposed name change from “Kahn Way” to “Gonzales Drive” was found to conform to the rules and regulations pertaining to road naming and was given clearance by the Santa Barbara County Fire Department, Sheriff’s Department and the County Surveyor. The proposed renaming of “Kahn Way” has been requested by the Fire Department in their letter dated April 15, 2008 for the proposed Creekside Project. Therefore, the proposed renaming is consistent with this criterion.

**2.3.2 A road shall not be named after a living person, except that a road may be named with a family surname prominent in County history, even if a family member still resides in the area.**

The road name “Gonzales Drive” does not reference a surname.

**2.3.3 A road name shall have less than 24 letters, including punctuation, spacing, and road classification (e.g., lane, street, way).**

The road name “Gonzales Drive” contains 16 letters, including spacing and the road classification.

**2.3.4 A road name shall be easy to pronounce and spell.**

The road name “Gonzales Drive” is easy to pronounce and spell.

**2.3.5 A road name shall be grammatically correct whether in English or a foreign language.**

The road name “Gonzales Drive” is grammatically correct.

**2.3.6 A road name shall include the appropriate road classification (e.g., lane, street, way).**

The road name “Gonzales Drive” includes the road classification.

**ATTACHMENT B: ENVIRONMENTAL DOCUMENT**



COUNTY OF SANTA BARBARA

Planning and Development

[www.sbcountyplanning.org](http://www.sbcountyplanning.org)

**Final  
Mitigated Negative Declaration**

**Creekside Village**

**08NGD-00000-00030**

**January 20, 2009**

**OWNER/APPLICANT**

Housing Authority of the County of Santa Barbara  
815 W. Ocean Avenue  
Lompoc, CA 93436

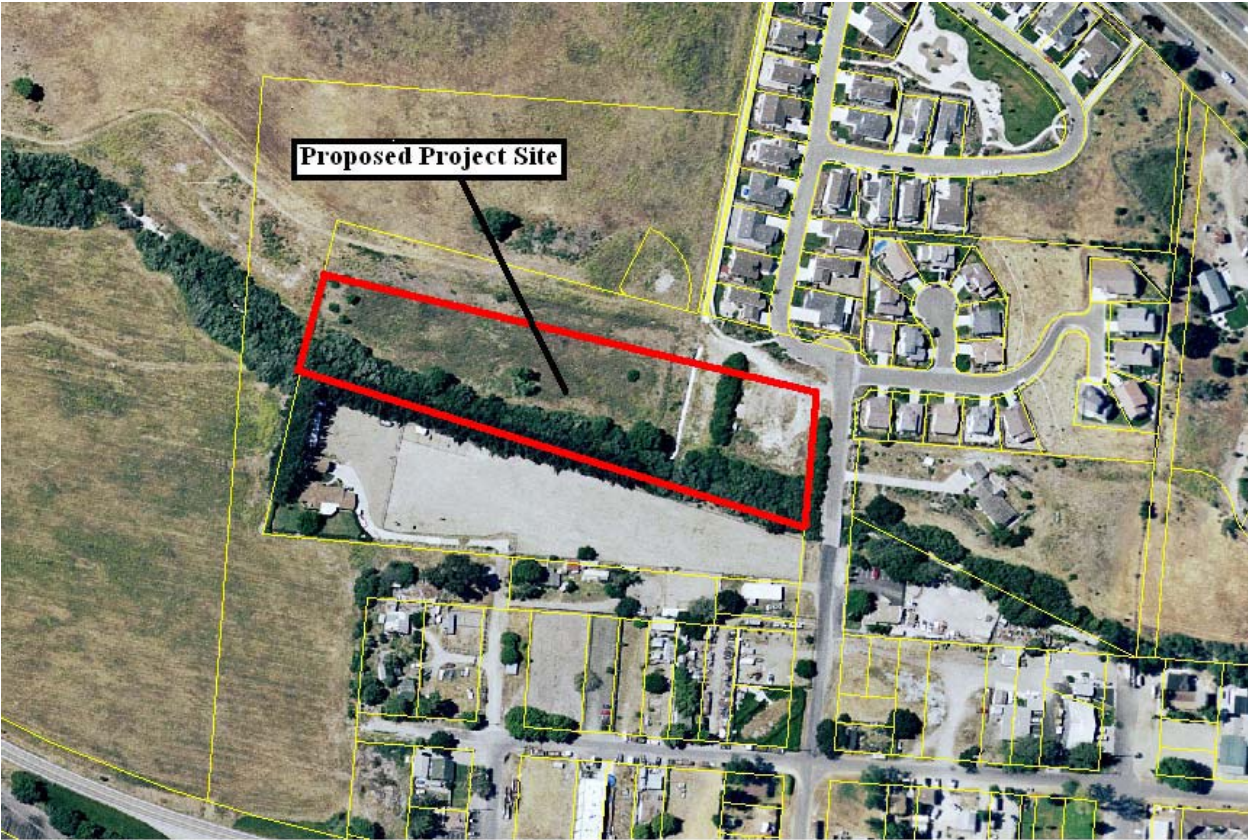
**AGENT**

Jason Rojas and John Polanskey  
Housing Authority of the County of Santa Barbara  
815 W. Ocean Avenue  
Lompoc, CA 93436

**ENGINEER**

Sid Goldstien  
650 Alamo Pintado, Suite 302  
Solvang, CA 93463

For More Information Contact Florence Trotter-Cadena, Development Review Division – North County , Planner (805) 934-6253



## 1.0 REQUEST/PROJECT DESCRIPTION

### 08DVP-00000-00011

**Dwelling Units and Site Development.** The proposed development is for a 39 apartment unit rental project. The proposal consists of a total of nine buildings throughout the site with the construction of two, three and four bedroom units and a community center. The height of the buildings would range from 24 feet in height to 34 feet in height. The lot coverage would be approximately 31,376 square feet of structures. All development would be located outside of the 50-foot setback from the bank of San Antonio Creek.

**Grading and Drainage.** Approximately 9,000 cubic yards of fill would be required for the project, much of it to elevate floor elevations above the base flood elevation per County Flood Control requirements. Runoff from the project site would be directed to San Antonio Creek via the existing open concrete channel. A new, smaller culvert from the proposed cul-de-sac and westerly portions of the site would also convey runoff to San Antonio Creek. Drainage improvements affecting the creek would require permits from the California Department of Fish and Game and possibly the US Army Corps of Engineers.

**Utilities and Services:** The Los Alamos Community Services District (LACSD) would provide water and sewer service to the proposed project. Fire protection services would be provided by Station 24 of the Santa Barbara County Fire Department (99 Centennial Street in Los Alamos) and Olga Reed Elementary School and Ernest Righetti High School would provide school service.

The proposed project site is located in the community of Los Alamos, within the area that is included in the Los Alamos Community Plan. The site is located south of U.S. Highway 101 and immediately north of San Antonio Creek, on the west side of Saint Joseph Street. The subject site is zoned “Design Residential, 4.6 units per acre” (DR-4.6), with an “Affordable Housing Overlay (AHO)” District that allows 8.0 units per acre if the project is at least 50% affordable to low-to-moderate income households, or 30% affordable to very low income households. At only 8 units per acre on the 5 acre site, the proposed project would be 100% affordable and well within the allowable density. The applicants proposed 39 units, but the zoning would allow up to 40 units.**Amenities and Open Space.** The project would maintain a minimum 50-foot structural setback from the northerly bank of San Antonio Creek, as a buffer for the purposes of water quality, protection of biological resources, and recreation. This area, and other landscaped areas between buildings, would be common open space. Within the common open space, the applicant would develop trails and a tot lot with play equipment for children. The trails along the creek would be accessible not only for residents of the project but for the public as well. In total, approximately 113,787 square feet (51%) of the project site would be devoted to recreation or open space, which meets and exceeds the 40% open space requirement of the “Design Residential” zone district.

### 08GPA-00000-00003

**The General Plan Amendment is to address the Los Alamos Community Plan, Development Standard FLD-LA-1.1.5** *Residential units that are proposed in areas prone to flooding which are required by the County Flood Control District to provide raised finish floor elevations shall accomplish this requirement by use of a raised foundation rather than by the use of fill above what is required to provide adequate drainage of the lot. The General Plan Amendment would revise this development standard to state: “Residential units that are proposed in areas prone to flooding shall comply with the requirements of the County Flood Control District.”*

**08GOV-00000-00024**

Kahn Way is currently an 80-foot wide unimproved or “paper” street that runs from the northerly terminus of Saint Joseph Street to the westerly boundary of the project site and then dead ends. The right-of-way for Saint Joseph Street is also 80 feet in width. Both right-of-ways extend 40 feet from centerline onto the project site and 40 feet from centerline onto lands of others. The current County Standard right-of-way width is only 60 feet, which would be 30 feet from centerline. The applicant proposes to acquire an excess 10 foot strip along St. Joseph Street and a 10 – 15 foot strip along Kahn Way from the County as road abandonments.

**08RDN-00000-00005**

**Road naming:** submitted to rename that portion of Kahn Way to Gonzales Drive as conditioned by Santa Barbara County Fire Department for emergency purposes.

**2.0 PROJECT LOCATION**

Assessor Parcel number 101-110-035, located south of U.S. Highway 101 and immediately north of San Antonio Creek, on the west side of Saint Joseph Street, in the Los Alamos area, Third Supervisorial District.

<b>2.1 Site Information</b>	
Comprehensive Designation	Plan Urban; Residential 4.6, Affordable Housing Overlay 8.0 units per acre
Zoning District, Ordinance	“Design Residential – 4.6” (DR-4.6); Land Use Development Code, maximum 4.6 units per acre Affordable Housing Overlay Zoning; DR-8.0, maximum 8.0 units per acre
Site Size	5.1 acres gross, 4.0 acres net
Present Use & Development	The project site is vacant and has previously been used for equipment storage.
Surrounding Uses/Zoning	North: Single-family residential (DR 4.6) and agriculture (AG-II-100) South: San Antonio Creek, residential (DR 1.8) and commercial (C-3) East: Single-family residential (DR 4.6 and 1-E-1) West: Open space and grazing land
Access	Access to units would be via a proposed new road within the existing and currently unimproved right-of-way for Kahn Way. Kahn Way extends to the west from the northerly terminus of Saint Joseph Street.
Public Services	<u>Water Supply:</u> Los Alamos Community Services District (LACSD) <u>Sewage:</u> Los Alamos Community Services District (LACSD)

	<p><u>Fire:</u> SB County Fire Station #24 (99 Centennial, Los Alamos) <u>School:</u> Los Alamos School District (Olga Reed Elementary School, K-8), Santa Maria Joint Union High School District (Ernest Righetti High School)</p>
--	---

### 3.0 ENVIRONMENTAL SETTING

**Project Site and Surrounding Land Uses:** The project site is located in the northwest portion of the Los Alamos community planning area. The site is essentially flat and vacant, and has apparently been used only for storage and as a staging area for construction in the area. There are no permanent buildings or services on the site. The site fronts on Saint Joseph Street and extends to the west, between San Antonio Creek to the south and the Kahn Way right-of-way to the north. The site is 5.0 acres (4.0 acres net) located in an area designated for residential development at a density of 4.6 units per acre, or 8.0 units per acre if the development qualifies as an affordable housing project.

The project site is bordered to the east and northeast by new housing tracts, specifically the Lomita de Oro (formerly Harmony Homes) tract and Oakridge tract, at 35 lots and 18 lots, respectively. Property to the west and northwest is predominately open space. Bordering the project site to the south is San Antonio Creek, and south of that is a mixture of commercial and residential uses. Uses that have been developed along Saint Joseph Street south of the project site consist mostly of single-family residences. Grazed non-native grassland is located to the west of the project property.

**Slope/Topography:** The project site is essentially flat but does slope very gradually towards San Antonio Creek. Runoff from the Lomita de Oro project traverses the site and flows from north to south into the Creek.

**Biological Resources:** A Biological Assessment was prepared based on a field survey and records search (Watershed Environmental, April 14, 2005). Plant communities include native (small patch) and non-native grassland, with a corridor of dense Arroyo Willow Riparian habitat along San Antonio Creek. There is also a hedgerow of ornamental trees (*Myoporum*) running north-to-south that separates undisturbed areas from areas used in the past for storage and staging. In addition to the grasslands, riparian corridor and hedgerow, there are five (5) small fruit trees and a 29' dbh box elder on the site that is dead or diseased beyond reclamation. The riparian vegetation would be protected with a minimum 50-foot setback from the creek. The box elder, fruit trees and hedgerow would be removed. According to the Biologists, the project would not impact special status species.

**Archaeological Sites:** Historic records indicate that several Chumash villages were located within the watershed of San Antonio Creek, with the village of Socciol having been located somewhere near the town of Los Alamos. Since the project site is in an area of sensitivity with respect to cultural resources, a Phase I cultural resources survey was required. A Phase I survey that included the project site but that also encompassed a larger area was done in 1999 by Carole Denardo of Applied Earthworks, and another, site-specific Phase I survey was conducted by Laurence Spanne in 2005. On January 8, 2009 an extended Phase I was conducted by Ron Rose of Cultural Resources Management Services. No historic or prehistoric cultural resources were discovered during either the surface or subsurface surveys of the parcel. Although there is a cultural site within the project vicinity, the project site contains no surface artifacts of any significance and according to the Phase I and extended Phase I reports, it is highly unlikely that any would be encountered during construction activities.

**Soils:** Soils on the project site are the Botella loam (BsA), which is a dark gray loam commonly found in floodplains. This prime agricultural (Class II) soil is commonly used for dry-farmed hay, grain and beans and



for annual pasture. The soil is also commonly used for corn silage, sugar beets and artichokes and belong to the Corrolitos series.

## 4.0 POTENTIALLY SIGNIFICANT EFFECTS CHECKLIST

The following checklist indicates the potential level of impact and is defined as follows:

**Potentially Significant Impact:** A fair argument can be made, based on the substantial evidence in the file, that an effect may be significant.

**Less Than Significant Impact with Mitigation:** Incorporation of mitigation measures has reduced an effect from a Potentially Significant Impact to a Less Than Significant Impact.

**Less Than Significant Impact:** An impact is considered adverse but does not trigger a significance threshold.

**No Impact:** There is adequate support that the referenced information sources show that the impact simply does not apply to the subject project.

**Reviewed Under Previous Document:** The analysis contained in a previously adopted/certified environmental document addresses this issue adequately for use in the current case and is summarized in the discussion below. The discussion should include reference to the previous documents, a citation of the page(s) where the information is found, and identification of mitigation measures incorporated from the previous documents.

### 4.1 AESTHETICS/VISUAL RESOURCES

Will the proposal result in:	Poten. Signif.	Less than Signif. with Mitigation	Less Than Signif	No Impact	Reviewed Under Previous Document
a. The obstruction of any scenic vista or view open to the public or the creation of an aesthetically offensive site open to public view?				X	X
b. Change to the visual character of an area?		X			X
c. Glare or night lighting which may affect adjoining areas?				X	X
d. Visually incompatible structures?				X	X

#### Impact Discussion:

The project site is presently vacant, consisting primarily of grass covered flood plain. Public views of the site are limited to local streets in the immediate project vicinity. This site is not visible from Bell Street or Highway 101 because of topography and the dense vegetation of the creek corridor. The Open Space Element

of the Comprehensive Plan designates the segment of U.S. 101 between Los Alamos and Buellton as a “most scenic, major capacity, primary destination route,” which is the highest and most scenic evaluation category. The segment of U.S. 101 that bisects Los Alamos has not been designated as a State Scenic Highway, although it is eligible for such a designation.

The project is subject to the following Los Alamos Community Plan Policy and Development Standard:

**Policy VIS-LA-1.3:** *“New housing developments should be designed to be compatible with existing adjacent neighborhoods with regard to character and design.”*

**Development Standard VIS-LA-1.3.1:** *“New housing developments shall be consistent with the small rural atmosphere of Los Alamos by avoidance of tract-style development patterns, by providing a variety of non-obtrusive housing styles and types and by incorporating grid pattern street networks.”*

To minimize aesthetic impacts that can result from grading on steeply sloping areas, the Los Alamos Community Plan requires that “grading for structural improvements on slopes in excess of 20% shall be prohibited.” Proposed buildings would be situated in areas that are essentially flat; however, the westerly portion of the Kahn Way right-of-way does contain a small area of slopes in excess of 20%. No buildings are proposed in this area, but minor grading would be required for the private drive that extends west of the proposed cul-de-sac. This grading (and potentially a retaining wall less than five feet in height) would not be visible from public view. The minor cuts and fills occurring in the westerly and easterly portions of the site, respectively, would not substantially change the site’s topography. No vegetation removal or grading is proposed within the 50-foot creek setback area. Upon the completion of site grading, disturbed areas would be promptly revegetated. Therefore, the proposed slope modifications would not result in a significant aesthetic impact.

- a. **Potential to Affect Public Views.** The project site is not visible to motorists on U.S. 101 or Bell Street or any other significant public viewing location. Furthermore, the project would be subject to design review to insure that its design would be compatible with surrounding development. Therefore, the project would not create an aesthetically offensive site open to public views.
- b. **Changes to Visual Character.** The proposed project would result in the conversion of a vacant area to an urban use. Portions of the project site have been zoned for residential uses since the early 1960’s, and the project site has been designated for urban development by the Los Alamos Community Plan (1994). The proposed project would be consistent with the residential use and density designations that are specified by the Community Plan and the site also has an Affordable Housing Overlay. The project would also have to comply with the policies listed above and would be subject to approval by the Central Board of Architectural Review (CBAR).

The project proposes two and three-story buildings in a neighborhood which currently consists of single story and two story homes. The three story structures would represent a change from the current development patterns in the area. The parcel slopes gently from east to west and in order to reduce visual impacts, the three story buildings are proposed to be located in the areas of lower topography, located in the interior and western portions of the site. Two of the buildings are proposed to be a combination of two and three story, with the three story element located to the rear of the building, backing up to the creek. In addition, the finished floor elevation of the three story buildings would be lower than that of the two story buildings. The dense vegetation along the creek and the topography

northwest of the site would limit the visibility of the development, including the three story buildings, and thus would limit the project's visual effects.

The project would provide open space adjacent to the creek, and would be consistent with other measures included in the Community Plan to reduce potential visual impacts to the extent possible. Furthermore, although the project would represent a change from the existing visual character, the property has an Affordable Housing Overlay, and there is therefore a presumption that housing may be more dense on this site than on surrounding properties.

The proposed project includes a modification to Development Standard FLD-LA-1.1.5 of the Los Alamos Community Plan. This standard currently reads as follows:

*“Residential units that are proposed in areas prone to flooding which are required by the County Flood Control District to provide raised finish floor elevations shall accomplish this requirement by use of a raised foundation rather than by the use of fill above what is required to provide adequate drainage of the lot.”*

According to Flood Control staff, the Development Standard does not have an engineering basis. To the contrary, Flood Control prefers fill in many instances and, most importantly, prefers to have the ability to determine whether fill or raised floors are appropriate on a case-by-case basis. The applicant prefers fill over raised floors because it would avoid the need to pay flood insurance, and would thus help to keep the units affordable. In this case, the applicant's engineer and County Flood Control engineers agree that the proposal for up to three feet of fill onsite would have a negligible impact on the height of flood waters in the area, and indeed would be a better solution from an engineering standpoint.

In terms of the broader implications of the change to Development Standard FLD-LA-1.1.5, the use of an excessive amount of fill could create an abrupt and unnatural elevation change that could be aesthetically unappealing on highly visible sites. There may also be cases where the fill is inappropriate for engineering reasons. Aesthetics and flooding issues would be dealt with in the normal course of project review whether Development Standard FLD-LA-1.1.5 exists or not. Therefore, revising this standard would not have a significant effect on the environment.

- c. **Potential Lighting Impacts.** The Los Alamos Community Plan Final EIR determined that additional residential development in open space areas that are visible from U.S. 101 would result in a significant increase in nighttime lighting. This site, however, is not visible from Highway 101. The proposed project must comply with zoning regulations relative to lighting, and is subject to BAR review and approval. The proposed project does not have the potential to have a significant adverse effect relative to lighting.
- d. **Potential to Develop Visually Incompatible Structures.** The Los Alamos Community Plan Final EIR determined that new development would have the potential to be incompatible with existing development in regard to scale, color, visual bulk, design, landscaping and fencing. This potential impact addressed new development that occurs in the vicinity of older residential areas and in the Bell Street corridor. The Los Alamos Community Plan includes design guidelines only for the Bell Street Commercial Core. The proposed project would not be located in the vicinity of the older homes that are located in the central portion of the community and would not be visible from the Bell Street corridor. The proposed project abuts two recently built subdivisions, and would be the only multi-

family/apartment style development in the project area. The proposed project is comprised of nine buildings. Four of the buildings would be two-story, three would be three-story, and two would have both two and three story elements. Due to the topographical changes on the site, the three-story building finish floor elevations are lower than the two-story buildings. However, the three-story building roof height is higher than the two story buildings by approximately 2 feet. The project has had initial design review by the Central Board of Architectural Review (CBAR), and would be subject to additional review in order to ensure that the project is compatible with surrounding development. The CBAR will address architectural style, colors, materials, fencing, lighting, and landscaping, in order to ensure that the project is compatible with the neighborhood.

**Mitigation and Residual Impact:**

1. The design, scale and character of the project architecture shall be compatible with the visual character of the Los Alamos community. **Plan Requirement and Timing:** At minimum, the applicant shall submit the following information to P&D and the Board of Architectural Review (BAR) for review and approval, prior to approval of Zoning Clearance Permits: grading plans, building designs for each proposed floor plan/house style, building designs for the recreation building, colors and materials, detailed planting and irrigation plans for on- and off-site landscaping, fence details, and site lighting. **Monitoring:** P&D shall inspect the project site prior to occupancy clearance to ensure compliance with approved plans.
  
2. Building materials and colors compatible with surrounding terrain (earthtones and non-reflective paints) shall be used on exterior surfaces of all structures. **Plan Requirement:** Materials shall be denoted on BAR plans, LUP plans and building plans. **Timing:** All structures and landscaping shall be in place and consistent with approved plans prior to occupancy clearance. **Monitoring:** P&D shall inspect prior to occupancy clearance.

Implementation of the above mitigation measures would reduce potential visual impacts of the proposed project to a less than significant level. No additional mitigation measures are required.

**4.2 AGRICULTURAL RESOURCES**

<b>Will the proposal result in:</b>	<b>Poten. Signif.</b>	<b>Less than Signif. with Mitigation</b>	<b>Less Than Signif.</b>	<b>No Impact</b>	<b>Reviewed Under Previous Document</b>
<b>a.</b> Convert prime agricultural land to non-agricultural use, impair agricultural land productivity (whether prime or non-prime) or conflict with agricultural preserve programs?				X	X
<b>b.</b> An effect upon any unique or other farmland of State or Local Importance?				X	X

**Impact Discussion:** The project site may have historically been dry farmed or used for pasture but it is fallow today and has been for the recent past years. Soils that are located on the project site are of the Botella soil series and have a prime (Class II) soil capability rating. The site soils could support dry farmed hay, grain and beans; pasture; and corn silage, sugar beets and artichokes (based on 1972 USDA Soil Survey). However, the sandy-loam to silty-clay soil is poorly drained and crops would be restricted by the high water table.

a-b. **Potential Impacts to Agricultural Resources.** The agricultural viability of the project area was reviewed by the Los Alamos Community Plan Final EIR. The project site would not be classified as a viable agriculture operation based on the following criteria:

1. The project site is approximately 5 acres in size and is too small for an economically viable agricultural operation.
2. There are no developed water sources on the property and the underlying San Antonio groundwater basin is in a state of overdraft
3. The site is currently not utilized for agriculture
4. The site is designated for residential uses (4.6 – 8.0 units/acre).
5. The site is adjacent to residential uses to the south, north and east.

The site would also not be viable based on the County’s Agricultural Viability Thresholds, as follows:

**Santa Barbara County Agricultural Viability Screening  
Per Adopted Environmental Thresholds and Guidelines Manual**

<b>Category</b>	<b>Points Assigned</b>	<b>Reason</b>
<b>Parcel Size</b>	<b>0-3</b>	<b>Net site area is &lt; 5 acres</b>
<b>Soils</b>	<b>11-13</b>	<b>Soils are Class II, prime</b>
<b>Water Availability</b>	<b>3-7</b>	<b>no developed water source but adequate supply potentially available</b>
<b>Agricultural Suitable</b>	<b>6-8</b>	<b>Highly Suitable for dry farming and pasture</b>
<b>Existing and Historic Use</b>	<b>1-3</b>	<b>Fallow for at least 10 years</b>
<b>Comprehensive Plan Designation</b>	<b>0</b>	<b>Residential less than 5 acres</b>
<b>Adjacent Land Use</b>	<b>7-8</b>	<b>Ag on one side, urban development on other sides</b>
<b>Agricultural Preserve Potential</b>	<b>0</b>	<b>Can not Qualify</b>
<b>Combined Agricultural Uses</b>	<b>0</b>	<b>No Combined Use</b>
<b>Total</b>	<b>28-39</b>	
<b>Average</b>	<b>33.5</b>	

A subdivision or other discretionary act which converts land to an urban use is typically considered to have a potentially significant impact where the points total 60 or more. Even under the best-case scenarios, the points would not come close to this threshold. Therefore, given the point range assigned to the project site above, the project site would not be considered agriculturally viable and the project would not be considered to have a significant impact on agricultural resources.

### 4.3 AIR QUALITY

<b>Will the proposal result in:</b>		Less than Signif. with Mitigation	Less Than Signif.	No Impact	Reviewed Under Previous Document
	Poten. Signif.				

<b>Will the proposal result in:</b>	<b>Poten. Signif.</b>	<b>Less than Signif. with Mitigation</b>	<b>Less Than Signif.</b>	<b>No Impact</b>	<b>Reviewed Under Previous Document</b>
<b>a.</b> The violation of any ambient air quality standard, a substantial contribution to an existing or projected air quality violation including, CO hotspots, or exposure of sensitive receptors to substantial pollutant concentrations (emissions from direct, indirect, mobile and stationary sources)?			X		
<b>b.</b> The creation of objectionable smoke, ash or odors?			X		
<b>c.</b> Extensive dust generation?		X			

**Impact Discussion:**

*(a) Less than significant impact.* The County is presently in non-attainment status for state air quality standards for ozone precursors and particulate matter. The threshold for a significant impact to air quality is 25 pounds per day for vehicle emissions and 55 pounds per day for total project emissions of reactive organic compounds (ROC) or nitrogen oxides (NOx). Air pollutant emissions from vehicle trips associated with the future development of thirty-nine residential apartment units would be far below the County threshold of significance for air quality impacts. The average daily total of project generated ADTs were run through the URBEMIS 2007 (Version 9.2.4) air emissions modeling program, and the following potential emissions are expected: 2.19 pounds per day of ROC and 3.02 pounds per day of NOx. As previously indicated this level of emission production is well below the 25 pounds per day threshold. This modeling was conducting assuming this development would produce ~~262~~ 259 ADTs based on information provided by Will Robertson, of the Public Works Department, Roads Division.

*(b) Less than significant impact.* The future development of thirty-nine residential apartment units would not have the potential to result in significant impacts from smoke, ash, or odors. Such uses as would commonly produce significant amounts of smoke, ash, or objectionable odors (i.e. agriculture, manufacturing, etc.) are not allowed uses in the Residential zone districts which are proposed by the project. Therefore, the approval of the proposed project would not create any new significant impacts.

*(c) Less than significant with mitigation.* Temporary nuisance dust generation during earthwork for minor grading, creation of building pads, or similar activities would have the potential to affect adjacent residences. However, the project would be subject to standard Air Pollution Control District measures for dust suppression (e.g., watering of graded areas and stockpiles; monitoring), which are applied pursuant to the County Air Quality Attainment Plan to mitigate cumulative air quality effects from incremental project contributions. Adherence to these measures would ensure that potential impacts to air quality would be less than significant.

**Mitigation and Residual Impact:**

With the incorporation of the following measures, impacts to air quality would be mitigated to a less than significant level (Class II).

3. If the construction site is graded and left undeveloped for over four weeks, the applicant shall employ the following methods immediately to inhibit dust generation:

- a. seeding and watering to revegetate graded areas; and/or
- b. spreading of soil binders; and/or
- c. any other methods deemed appropriate by Planning and Development.

**Plan Requirements:** These requirements shall be noted on all plans.

**Timing:** Plans are required prior to Zoning Clearance.

**MONITORING:** Grading Inspector shall perform periodic site inspections.

4. Dust generated by the development activities shall be kept to a minimum with a goal of retaining dust on the site. Follow the dust control measures listed below.
  - a. During clearing, grading, earth moving, excavation, or transportation of cut or fill materials, water trucks or sprinkler systems are to be used to prevent dust from leaving the site and to create a crust after each day's activities cease.
  - b. During construction, water trucks or sprinkler systems shall be used to keep all areas of vehicle movement damp enough to prevent dust from leaving the site. At a minimum, this would include wetting down such areas in the later morning and after work is completed for the day and whenever wind exceeds 15 miles per hour.
  - c. Soil stockpiled for more than two days shall be covered, kept moist, or treated with soil binders to prevent dust generation.

**Plan Requirements:** All requirements shall be shown on grading and building plans.

**Timing:** Condition shall be adhered to throughout all grading and construction periods.

**MONITORING:** P&D shall ensure measures are on plans. P&D Grading and Building inspectors shall spot check; Grading and Building shall ensure compliance on-site. APCD inspectors shall respond to nuisance complaints.

5. The contractor or builder shall designate a person or persons to monitor the dust control program and to order increased watering as necessary to prevent transport of dust off-site. Their duties shall include holiday and weekend periods when work may not be in progress.

**Plan Requirements:** The name and telephone number of such persons shall be provided to the APCD.

**Timing:** The dust monitor shall be designated prior to Zoning Clearance.

**MONITORING:** P&D shall contact the designated monitor as necessary to ensure compliance with dust control measures.

## 4.4 BIOLOGICAL RESOURCES

<b>Will the proposal result in:</b>		<b>Known Signif.</b>	<b>Unknown Poten. Sig.</b>	<b>Poten. Signif. and Mitig.</b>	<b>Not Signif.</b>	<b>Reviewed Under Previous Document</b>
<b>FLORA</b>						
<b>a.</b>	A loss or disturbance to a unique, rare or threatened plant community?				X	X
<b>b.</b>	A reduction in the numbers or restriction in the range of any unique, rare or threatened species of plants?				X	X
<b>c.</b>	A reduction in the extent, diversity, or quality of native vegetation (including brush removal for fire prevention and flood control improvements)?				X	X
<b>d.</b>	An impact on non-native vegetation whether naturalized or horticultural if of habitat value?				X	X
<b>e.</b>	The loss of healthy native specimen trees?				X	X
<b>f.</b>	Introduction of herbicides, pesticides, animal life, human habitation, non-native plants, or other factors that would change or hamper the existing habitat?			X		X
<b>FAUNA</b>						
<b>g.</b>	A reduction in the numbers, a restriction in the range, or an impact to the critical habitat of any unique, rare, threatened, or endangered species of animals?				X	X
<b>h.</b>	A reduction in the diversity or numbers of animals onsite (including mammals, birds, reptiles, amphibians, fish or invertebrates)?				X	X
<b>i.</b>	A deterioration of existing fish or wildlife habitat (for foraging, breeding, roosting, nesting, etc.)?			X		X
<b>j.</b>	Introduction of barriers to movement of any resident or migratory fish or wildlife species?				X	X
<b>k.</b>	Introduction of any factors (light, fencing, noise, human presence and/or domestic animals) which could hinder the normal activities of wildlife?				X	X

**Existing Plant and Animal Communities/Conditions:**

A Biological Assessment was prepared for the project (Watershed Environmental, April 2005). The Biological Assessment is incorporated herein by reference, and summarized below. The Assessment was done prior to a recent redesign of the project. The redesign pulled all buildings, parking areas and grading outside the 50-foot creek setback area. References in the assessment to impacts and mitigation associated with this “encroachment” are therefore no longer applicable.



High quality Arroyo Willow riparian habitat occurs onsite along San Antonio Creek. In addition to willows, within this riparian corridor there are also three (3) Cottonwood trees, a Box Elder tree and a Coast Live Oak. None of this vegetation is proposed to be impacted and any construction phase impacts would be mitigated by the installation of protective fencing during construction. The balance of the site, where all proposed development is located, consists primarily of grassland with some ornamental shrubs and hedges.

There is a small patch of native grass surrounded by non-native grassland that would be removed as part of the project. This 0.01-acre patch is well below Santa Barbara County's 0.25-acre threshold of significance. There is also one Box Elder tree and six or fewer fruit trees that would be removed as part of the project. The Box Elder tree was badly diseased at the time of the survey and may have already died. The removal of these trees is also not considered a significant impact.

The Biological Assessment also surveyed the site for the potential presence of sensitive animal species. There is no suitable breeding habitat on the site for the California tiger salamander (CTS). A seasonal pond located 600 feet east of the project site was surveyed in the past and no CTS were found (Collins, 2000). The nearest known CTS breeding pond is 1.7 miles SSE of the project site. No CTS have been found in the Los Alamos area between Highway 101 and San Antonio Creek. The California red-legged frog (CRLF) has been found to occur in the western end of the Town of Los Alamos and in Canada de las Flores, more than three (3) miles west of the project site. Surveys of San Antonio Creek were conducted in 1991 and in the fall of 2005 and it was determined that no suitable breeding habitat for the CRLF existed in San Antonio Creek between Bell Street and Highway 101 (Collins, 1991; T. Mullens, 2005). In addition, sensitive amphibian surveys were conducted at the Los Alamos Community Services District wastewater ponds in 2003 and there were focused CRLF surveys conducted in the ponds in Fall 2005. No CRLF were encountered. Western spadefoot toad, Southwestern pond turtle and American badger are also not expected to occur at the project site.

According to the Biological Assessment, while a variety of sensitive wildlife species may on occasion forage and/or roost in habitats found on or in the immediate vicinity of the project site, none are expected to nest on the portion of the property that is to be developed. The short- and long-term impacts to wildlife caused by the project are considered a Class III (Adverse but less than Significant) impact for the following reasons:

1. The wildlife species that will be impacted are considered relatively common.
2. A small amount of wildlife habitat will be lost relative to the amount of habitat that remains in undeveloped areas adjacent to the project.
3. The loss of this type and amount of wildlife habitat will not substantially reduce or eliminate:
  - a. species diversity or abundance,
  - b. quality or quantity of nesting areas,
  - c. reproduction capacity through losses of individuals or habitat,
  - d. foraging areas and/or access to food sources,
  - e. the range of dispersal.

Finally, the Biological Assessment looked at the potential for water quality impacts that could impact biological resources. Runoff from the site is and would be directed to San Antonio Creek. The project is subject to state and federal regulation under the Clean Water Act and California Fish and Game Code. The project would have to comply with those regulations, and County erosion control requirements, and no building or grading would occur within 50 feet of the creek bank.

The Los Alamos Community Plan Final EIR determined that implementation of the Community Plan would contribute to the overall decline in habitat value in the project area. This was considered to be a significant and unavoidable cumulative impact (Class I).

**Impact Discussion:**

- c-e. **Potential impacts to native and non-native vegetation.** Only one (1) native tree, a Box Elder, is proposed for removal and it is badly diseased and perhaps dead. In addition, six (6) fruit trees would be removed.

Wetland vegetation and other native species associated with San Antonio Creek would be retained on the project site, but should be protected during construction so that it is not inadvertently damaged. The balance of the project site is covered by non-native grassland or ornamental shrubs. This is not a sensitive habitat and its removal would not result in a significant impact.

- a-b, f-k. **Potential Impacts to Biological Resources.** As mentioned above, an analysis of this particular project's potential impacts on Biological Resources was conducted by Watershed Environmental. Others have done similar surveys in the project area. Special status species are not expected to occur on the project site and are therefore not expected to be impacted by the project.

Wildlife species that may be impacted by the project, indirectly and to a less than significant extent, are common species that are not protected. In summary, the Biological Assessment by Watershed Environmental identified six (6) ways in which the project could impact biological resources:

- 1) The project would disturb plant communities, but to an extent that is less than significant.
- 2) The project would remove mature trees, but to an extent that is less than significant.
- 3) The project would result in a loss of wildlife habitat, but to an extent that is less than significant.
- 4) The may disturb wildlife in adjacent habitats, but to an extent that is less than significant.
- 5) The project has the potential to degrade surface water quality, to an extent that warrants mitigation. With this mitigation, which is standard and in fact required by state and federal agencies, the potential impact is less than significant.

Short-term impacts from construction activities, including an increase in erosion, sedimentation, and the potential for the release of construction-related materials such as fuel, solvents, paints, concrete, etc, may have the potential to result in significant impacts to the quality of runoff water that enters the on-site wetland and San Antonio Creek. The project would be required to comply with the requirements of the National Pollution Discharge Elimination System (NPDES) general construction permit. Additionally, the State Water Resources Control Board will require that the project prepare and implementation of a Storm Water Pollution Prevention Plan (SWPPP), that outlines the "best management practices" that would be implemented to minimize construction-related water quality impacts. The Regional Water Quality Control Board is responsible for reviewing and approving SWPPPs. With the implementation of these existing regulatory programs, along with proposed mitigation measures that are provided in section 4.8 (Geologic Processes) of this Initial Study, the potential for short-term project-related construction activities to result in impacts to surface water

quality would be reduced to a less than significant level. No additional mitigation measures are required.

After construction activities are completed, project site runoff would be collected by a series of drop inlets that would convey water through underground pipes to a new drainage channel on the west side of the project site, or to the existing open channel that runs through the project. All of the proposed drop inlets would be provided with a "Fossil Filter" which is a type of filter that reduces concentrations of urban runoff pollutants such as oil and grease. Therefore, with adequate maintenance of the proposed filters, runoff from the project site would not result in significant long-term impacts to the water quality of San Antonio Creek.

The new drainage discharge to San Antonio Creek would have the potential to result in the removal of existing vegetation adjacent to the creek and erosion impacts to the creek bank. Installation of the new creek discharge in accordance with the requirements of the Santa Barbara County Flood Control District and the California Department of Fish and Game would reduce potential erosion and vegetation removal impacts to a less than significant level.

#### **Mitigation and Residual Impact:**

6. With the exception of drainage conveyances, the tot lot, fencing, flat work and tree removals (diseased/dead Box elder, fruit trees ornamental hedge) expressly shown on approved plans, there shall be no grading, trenching or vegetation removal within 50 feet of the top-of-bank of San Antonio Creek, a sensitive riparian habitat area. The area shall be fenced during construction with a fencing type and in a location acceptable to P&D. **Plan Requirements:** The riparian habitat area, and type and location of protective fencing, shall be shown on all grading plans. **Timing:** Fencing shall be installed prior to any earth movement. **Monitoring:** P&D shall perform site inspections throughout the construction phase.
7. No alteration to stream channels or banks shall be permitted until the Department of Fish and Game has been contacted to determine if the drainage falls under its jurisdiction. **Plan Requirements and Timing:** Prior to approval of Zoning Clearance Permits, the applicant must receive all necessary permits from California Department of Fish and Game.
8. Prior to approval of Zoning Clearance Permits for grading, the applicant shall obtain a U.S. Army Corps of Engineers 404 permit for any grading or fill activity (i.e., headwall or rip-rap) within San Antonio Creek. **Plan Requirements and Timing:** A copy of the 404 permit or waiver shall be submitted to P&D prior to approval of Zoning Clearance Permits.
9. To minimize pollutants impacting downstream water bodies or habitat, storm drain filters/inserts, inline clarifiers, or separators shall be installed in the project area storm drain inlets and/or paved areas. The filters/inserts shall be maintained in working order. **Plan Requirements:** Prior to approval of Zoning Clearance Permits for grading, the applicant shall submit grading and building plans identifying the type and location of filters/inserts to P&D for review and approval. The location of such filters/inserts shall be noted on grading and building plans. The requirements and schedule for cleaning and maintaining the filters shall be specified in the project CC&Rs. **Timing:** Filters/inserts shall be installed prior to the final building inspection/occupancy permit and shall be cleaned per the CC&Rs, or at least twice a year, once immediately prior to November 1 (i.e. before the start of the rainy season) and once in January. **Monitoring:** P&D shall site inspect periodically throughout the construction phase to ensure

proper installation. Records of maintenance shall be maintained by the Santa Barbara County Housing Authority and shall be submitted to P&D on an annual basis prior to the start of the rainy season and for five years thereafter. **After the fifth** year the records shall be maintained by the Santa Barbara County Housing Authority and be made available to P&D on request. P&D shall review the maintenance records and site inspect as needed following completion of construction to ensure periodic cleanout.

- 10.** During construction, washing of concrete trucks, paint, equipment, or similar activities shall occur only in areas where polluted water and materials can be contained for subsequent removal from the site. Wash water shall not be discharged to the storm drains, street, drainage ditches, creeks, or wetlands. Areas designated for washing functions shall not be located within the 50-foot creek setback. The location(s) of the washout area(s) shall be clearly noted at the construction site with signs. **Plan Requirements:** The applicant shall designate a washout area, acceptable to P&D, and this area shall be shown on the construction and/or grading and building plans. **Timing:** The wash off area shall be designated on all plans prior to approval of Zoning Clearance Permits. The washout area(s) shall be in place and maintained throughout construction. **Monitoring:** P&D staff shall check plans prior to approval of Zoning Clearance Permits and compliance staff shall site inspect throughout the construction period to ensure proper use and maintenance of the washout area(s).

With the implementation of the proposed mitigation measures, the project would not result in significant project-specific impacts to biological resources and would not result in a substantial contribution to the loss or disturbance of biological resources in the Los Alamos area.

## 4.5 CULTURAL RESOURCES

	Known Signif.	Unknown Poten. Sig.	Poten. Signif. and Mitig.	Not Signif.	Reviewed Under Previous Document
<b>Will the proposal result in:</b>					
<b>Archaeological Resources</b>					
<b>a.</b> Disruption, alteration, destruction, or adverse effect on a recorded prehistoric or historic archaeological site (note site number below)?				X	X
<b>b.</b> Disruption or removal of human remains?				X	X
<b>c.</b> Increased potential for trespassing, vandalizing, or sabotaging archaeological resources?				X	X
<b>d.</b> Ground disturbances in an area with potential cultural resource sensitivity based on the location of known historic or prehistoric sites?			X		X
<b>Ethnic Resources</b>					
<b>e.</b> Disruption of or adverse effects upon a prehistoric or historic archaeological site or property of historic or cultural significance to a community or ethnic group?				X	X
<b>f.</b> Increased potential for trespassing, vandalizing, or sabotaging ethnic, sacred, or ceremonial places?				X	X
<b>g.</b> The potential to conflict with or restrict existing				X	X

<b>Will the proposal result in:</b>	<b>Known Signif.</b>	<b>Unknown Poten. Sig.</b>	<b>Poten. Signif. and Mitig.</b>	<b>Not Signif.</b>	<b>Reviewed Under Previous Document</b>
religious, sacred, or educational uses of the area?					

**Impact Discussion:**

a-g **Potential to Impact Cultural Resources.** A Phase I archaeological survey of the project site was conducted in 1999 by Carole Denardo of Applied Earthworks. No archaeological sites, or other culturally significant sites or artifacts, were encountered on the site, although there is a historic site within the project vicinity. No springs, rock outcrops, or other useful natural resources were noted within or adjacent to the project area.

A record search was also conducted at the State Information Center at the University of California at Santa Barbara. The records search indicated that within a one-mile radius of the site, there have been 23 archaeological surveys performed that revealed two (2) archaeological sites. The recommendation from UCSB was to consult the reports prior to any construction. An archaeologist, Laurence W. Spanne, was retained to study past surveys and visit the site one more time to ensure that no significant resources are present. Again, no artifacts were observed. Mr. Spanne concluded that no further archaeological investigations are required and that the project can proceed with the standard discovery provision. On January 8, 2009 an extended Phase 1 was conducted by Ron Rose of Cultural Resources Management Services. No historic or prehistoric cultural resources were discovered during either the surface or subsurface survey of the parcel.

**Mitigation and Residual Impact:**

11. In the event archaeological remains are encountered during grading, work shall be stopped immediately or redirected until a P&D qualified archaeologist and Native American representative are retained by the applicant to evaluate the significance of the find pursuant to Phase 2 investigations of the County Archaeological Guidelines. If remains are found to be significant, they shall be subject to a Phase 3 mitigation program consistent with County Archaeological Guidelines and funded by the applicant. **Plan Requirements/Timing:** This condition shall be printed on all building and grading plans. **Monitoring:** P&D shall check plans prior to approval of Zoning Clearance Permits and shall spot check in the field.

**4.6 ENERGY**

<b>Will the proposal result in:</b>	<b>Known Signif.</b>	<b>Unknown Poten. Sig.</b>	<b>Poten. Signif. and Mitig.</b>	<b>Not Signif.</b>	<b>Reviewed Under Previous Document</b>
<b>a.</b> Substantial increase in demand, especially during peak periods, upon existing sources of energy?				X	X
<b>b.</b> Requirement for the development or extension of new sources of energy?				X	X

**Impact Discussion:**

- a-b. Potential to Result in Energy Impacts. The proposed project would result in an incremental increase in energy demand. The project would not, however, result in the use of an excessive amount of energy or cause it to be used in a wasteful manner. Existing energy utilities exist in the project vicinity. Therefore, impacts from utility extensions would not be significant.

**Mitigation and Residual Impact:**

The proposed project would not result in significant energy-related impacts. No mitigation measures are required. However, the County of Santa Barbara has a voluntary program, the Innovative Building Review Program (IBRP), to promote energy-efficient building design. The applicant is strongly encouraged to take advantage of this opportunity to consult with technical experts in the area of energy-efficient building design at no cost. Benefits include expedited building plan-check, a reduction in the energy plan-check fee by 50%, a reduction in utility bills, and a potential increase in the market value of the project. For more information on the IBRP, the applicant is encouraged to please contact Kathy McNeal Pfiefer at (805) 568-2507.

**4.7 FIRE PROTECTION**

<b>Will the proposal result in:</b>	<b>Known Signif.</b>	<b>Unknown Poten. Sig.</b>	<b>Poten. Signif. and Mitig.</b>	<b>Not Signif.</b>	<b>Reviewed Under Previous Document</b>
<b>a.</b> Introduction of development into an existing high fire hazard area?				X	X
<b>b.</b> Project-caused high fire hazard?				X	X
<b>c.</b> Introduction of development into an area without adequate water pressure, fire hydrants or adequate access for fire fighting?			X		X
<b>d.</b> Introduction of development that will hamper fire prevention techniques such as controlled burns or backfiring in high fire hazard areas?				X	X
<b>e.</b> Development of structures beyond safe Fire Dept. response time?				X	X

**Impact Discussion:**

- a, d. High Fire Hazard Area Development. The project site is primarily surrounded by urban development, with some grass lands to the north (which would be across the street) and west. The project area does not present a significant wildfire risk. Therefore, the proposed project would not result in new development in a high fire hazard area.
- b, c. Project-Related Fire Hazards. Access to the project site is provided by St. Joseph Street, which includes a bridge that crosses San Antonio Creek. The Santa Barbara County Fire Department required developers of the adjacent subdivision to install a secondary emergency access directly to Highway 101. In the future, it is possible that another egress could be provided along an existing farm road that is located on the adjacent property to the west, extending from St. Joseph Street along the north side of San Antonio Creek approximately 4,800 feet to Bell Street.

- e. Fire Station 24 is located at 99 Centennial Street, one block east of the project site. Emergency response time to the project site would be less than 5 minutes. Station 24 is assisted by mutual aid agreements with surrounding fire departments.

**Mitigation and Residual Impact:**

A letter from the Fire Department to P&D dated April 15, 2008 indicates conditions that must be satisfied in connection with obtaining a building permit and getting an occupancy permit (i.e., final inspection). The conditions include such things as painting curbs red and installing no parking signs along Kahn Way and installing fire hydrants with the required water pressure. Compliance with standard Fire Department requirements would reduce potential fire prevention and suppression impacts to a less than significant level. The Los Alamos Community Plan Final EIR determined that buildout of the Community Plan would not result in significant fire protection impacts as adequate water supplies and pressure would be available throughout the community.

## 4.8 GEOLOGIC PROCESSES

<b>Will the proposal result in:</b>	<b>Known Signif.</b>	<b>Unknown Poten. Sig.</b>	<b>Poten. Signif. and Mitig.</b>	<b>Not Signif.</b>	<b>Reviewed Under Previous Document</b>
<b>a.</b> Exposure to or production of unstable earth conditions such as landslides, earthquakes, liquefaction, soil creep, mudslides, ground failure (including expansive, compressible, collapsible soils), or similar hazards?				X	X
<b>b.</b> Disruptions, displacements, compaction or overcovering of the soil by cuts, fills, or extensive grading?				X	X
<b>c.</b> Permanent changes in topography?				X	X
<b>d.</b> The destruction, covering or modification of any unique geologic, paleontologic, or physical features?				X	X
<b>e.</b> Any increase in wind or water erosion of soils, either on or off the site?			X		X
<b>f.</b> Changes in deposition or erosion of beach sands or dunes, or changes in siltation, deposition or erosion which may modify the channel of a river, or stream, or the bed of the ocean, or any bay, inlet or lake?			X		X
<b>g.</b> The placement of septic disposal systems in impermeable soils with severe constraints to disposal of liquid effluent?				X	X
<b>h.</b> Extraction of mineral or ore?				X	X
<b>i.</b> Excessive grading on slopes of over 20%?				X	X
<b>j.</b> Sand or gravel removal or loss of topsoil?				X	X
<b>k.</b> Vibrations, from short-term construction or long-term operation, which may affect adjoining areas?				X	X

<b>Will the proposal result in:</b>	<b>Known Signif.</b>	<b>Unknown Poten. Sig.</b>	<b>Poten. Signif. and Mitig.</b>	<b>Not Signif.</b>	<b>Reviewed Under Previous Document</b>
<b>I.</b> Excessive spoils, tailings or over-burden?				X	X

**Impact Discussion:**

The project site is essentially flat, with fill being required (outside creek setback) to get finish floors at least two (2) feet above the base flood elevation. The Santa Barbara County Flood Control District would require that fill to be compacted to 95% relative compaction, per their July 26, 2005 letter to P&D. A Geotechnical Engineering Investigation for the proposed development has been conducted (Krazan & Associates, Inc., March 25, 2002). The groundwater is 15-18 feet below the surface and the potential for liquefaction is low.

The project proposes up to three (3) feet of fill in the northeast portion of the site. Native material must be removed and re-compacted prior to the placement of any additional fill and/or prior to construction. Soils are also very expansive, and non-expansive Engineered Fill would be required as needed throughout the project site.

The Geotechnical Engineering Investigation concludes that, with the incorporation of measures that address loose surface soils, the soil expansiveness and fill, the site is suitable for proposed development. No significant grading (other than flat work and landscaping) would occur within the creek setback area.

The Los Alamos Community Plan Final EIR identified potentially significant geological impacts related to grading on slopes with gradients in excess of 20%, and resulting slope stability, erosion and sedimentation that may result. This project does not propose grading on slopes in excess of 20%. Potential impacts related to faulting, ground shaking and other geologic hazards were determined to be less than significant.

a Potential to Result in Geologic Hazards. The project site is not underlain by any known fault and compliance with existing building regulations would reduce potential ground shaking impacts caused by movement along a distant fault to a less than significant level. According to the Geotechnical Engineering Investigation, liquefaction potential is low, but the site has highly expansive soils and engineered fill would be required. This and other soils-related hazards would be reduced to a less than significant level if the recommendations of the Geotechnical Engineering Investigation are implemented in foundation design, site preparation and construction techniques. The project must comply with building regulations, and implementation of measures contained in the soils report.

b,c,i Potential for Grading-Related Impacts. The proposed project would result in approximately 9,000 cubic yards of fill and a very minor amount of cut. The cut would occur in the northwest portion of the site, where the private access drive extends past the cul-de-sac along the base of a knoll. A retaining wall with a height of approximately three (3) feet would be required to contain the project outside of the creek riparian area setback. The fill is proposed as a means to comply with the County’s floodplain management regulations. The resulting graded site would increase ground levels by up to three (3) feet and would not result in a significant alteration of the character of the project site.



e-f Potential Erosion and Sedimentation Impacts. Grading operations that would occur on the project site would remove non-native grasses and disturb the ground surface, thereby increasing the potential for erosion and sedimentation impacts. A substantial increase in sediment transport to San Antonio Creek would result in a significant impact. As described in section 4.4 (Biological Resources), the proposed project would be required to comply with NPDES requirements for construction sites, prepare a Storm Water Pollution Prevention Plan, and implement “best management practices” to control construction site erosion. There would also be no substantial grading or vegetation removal within the 50-foot creek setback area. The implementation of the regulatory requirements described above, along with recommended project specific mitigation measures, would reduce the potential for short-term construction activities to result in erosion-related impacts to a less than significant level.

The proposed project includes the revegetation of disturbed open space areas and the installation of filters on drainage inlets. These measures would reduce the potential for the project to result in long-term erosion-related impacts to a less than significant level.

d, g, h Other Potential Geological Hazards. There are no unique geological features located on the project site, and the project would not result in the use of septic systems. The project would not involve mining, the loss of topsoil, or construction-related vibrations.

### **Mitigation and Residual Impact:**

12. Excavation and grading shall be limited to the dry season of the year (April 15 – November 1). A grading and erosion control plan shall be designed to minimize erosion and shall include the following measures:
- a. A fence (see #6) shall be installed across the entire project site in an east-west direction at a point at least 50 feet from the top of the San Antonio Creek bank. Grading shall be prohibited within this 50-foot setback area (except the minor trenching and flat work that has expressly been authorized).
  - b. Methods such as retention basins, drainage diversion structures and spot grading shall be used to reduce siltation into San Antonio Creek during grading and construction activities.
  - c. Graded areas shall be revegetated within two (2) weeks of the completion of grading activities with deep rooted, native, drought-tolerant species to minimize slope failure and erosion potential. Planning and Development shall review and approve the proposed revegetation plan. Geotextile binding fabrics shall be used if necessary to hold slope soils until vegetation is established.

**Plan Requirements:** The grading and erosion control plan shall be submitted for review and approval by P&D prior to P & D’s approval of the **Development Plan**. The applicant shall notify Permit Compliance prior to commencement of grading. **Timing:** Components of the grading plan shall be implemented throughout the project construction period. **Monitoring:** Permit Compliance will photo document revegetation and ensure compliance with approved plans. Grading inspectors shall monitor technical aspects of the grading activities.

13. All runoff water from impervious areas shall be conveyed by impervious approved drainage conveyances (i.e., the open concrete channel, San Antonio Creek). **Plan Requirements and Timing:** A drainage plan which incorporates the above and includes a maintenance and inspection program to ensure proper functioning shall be submitted prior to approval of Zoning Clearance Permits by the applicant to P&D and the Flood Control District for review and approval. **Monitoring:** P&D shall site inspect during construction.
14. All site preparation, grading and foundation work shall be consistent with the recommendations contained in the Geotechnical Engineering Investigation (Krazan & Associates, Inc., March 25, 2002). **Plan Requirements and Timing:** These recommendations shall be printed on grading plans submitted at the Zoning Clearance Permit and Building Permit stage. The recommendations shall be checked and cross-referenced with the Geotechnical Investigation prior to the issuance of a Zoning Clearance Permit, Building Permit or Grading Permit. **Monitoring:** P&D shall site inspect during construction.

Implementation of the above mitigation measures, along with other regulatory programs and mitigation measures that are contained in section 4.4 (Biological Resources) would reduce potential erosion and sedimentation impacts to a less than significant level. No other measures are required to minimize potential geological hazard impacts.

## 4.9 HAZARDOUS MATERIALS/RISK OF UPSET

<b>Will the proposal result in:</b>	<b>Known Signif.</b>	<b>Unknown Poten. Sig.</b>	<b>Poten. Signif. and Mitig.</b>	<b>Not Signif.</b>	<b>Reviewed Under Previous Document</b>
<b>a.</b> In the known history of this property, have there been any past uses, storage, or discharge of hazardous materials? (e.g., fuel or oil stored in underground tanks, pesticides, solvents, or other chemicals)?				X	X
<b>b.</b> The use, storage, or distribution of hazardous or toxic materials?				X	X
<b>c.</b> A risk of an explosion or the release of hazardous substances (including, but not limited to oil, gas, biocides, bacteria, pesticides, chemicals or radiation) in the event of an accident or upset conditions?				X	X
<b>d.</b> Possible interference with an emergency response plan or an emergency evacuation plan?				X	X
<b>e.</b> The creation of a potential public health hazard?				X	X
<b>f.</b> Public safety hazards (e.g., due to development near existing chemical or industrial activity, producing oil wells, toxic disposal sites, etc.)?				X	X
<b>g.</b> Exposure to hazards from oil or gas pipelines or oil well facilities?				X	X

<b>Will the proposal result in:</b>	<b>Known Signif.</b>	<b>Unknown Poten. Sig.</b>	<b>Poten. Signif. and Mitig.</b>	<b>Not Signif.</b>	<b>Reviewed Under Previous Document</b>
<b>h.</b> The contamination of a public water supply?				X	X

**Impact Discussion:**

a-h. Potential Hazardous Materials/Risk of Upset Impacts. The proposed project would result in the development of 39 apartment units and associated parking and open space facilities. The use of common household materials (cleaners, garden and automotive products, etc.) on the project site would not result in significant hazardous materials/waste impacts. Traffic that would be generated by the project would not substantially interfere with emergency response capabilities to the project site or to other properties in the project area. Based on the proposed road width, the Fire Department would require a red curb and “no parking” signs along one side of Kahn Way (April 15, 2008 letter to P&D). This and other Fire Department requirements specified in said April 15, 2008 letter must be complied with.

**Mitigation and Residual Impact:**

The proposed project would not result in significant hazardous material or risk of upset impacts. No mitigation measures are required.

### 4.10 HISTORIC RESOURCES

<b>Will the proposal result in:</b>	<b>Known Signif.</b>	<b>Unknown Poten. Sig.</b>	<b>Poten. Signif. and Mitig.</b>	<b>Not Signif.</b>	<b>Reviewed Under Previous Document</b>
<b>a.</b> Adverse physical or aesthetic impacts on a structure or property at least 50 years old and/or of historic or cultural significance to the community, state or nation?				X	X
<b>b.</b> Beneficial impacts to an historic resource by providing rehabilitation, protection in a conservation/open easement, etc.?				X	X

**Impact Discussion:** The Los Alamos Community Plan Final EIR indicated that new in-fill development that occurs adjacent to historic structures would have the potential to result in significant and unavoidable (Class I) impacts related to the preservation of the Community’s historic resources. There are no historic structures located on or near the project site. Historic resources in the community of Los Alamos are primarily located along Bell Street, which is approximately 1,200 feet south of the project site.

a-b. There are no historic structures on or near the project site and the distance between the project and Bell Street would prevent the project from resulting in significant direct or indirect impacts to historic resources.

**Mitigation and Residual Impact:**

The project would not result in significant impacts to historical resources and would not result in a substantial contribution to potential cumulative impacts to historical resources that may result from the buildout of the Los Alamos Community Plan. No mitigation measures are required.

**4.11 LAND USE**

4.12

<b>Will the proposal result in:</b>	<b>Known Signif.</b>	<b>Unknown Poten. Signif.</b>	<b>Poten. Signif. And Mitig.</b>	<b>Not Signif.</b>	<b>Reviewed Under Previous Document</b>
<b>a.</b> Structures and/or land use incompatible with existing land use?			X		X
<b>b.</b> Conflict with any applicable land use plan, policy, or regulation of an agency with jurisdiction over the project (including, but not limited to the general plan, specific plan, local coastal program, or zoning ordinance) adopted for the purpose of avoiding of mitigating an environmental effect?				X	X
<b>c.</b> The induction of substantial growth or concentration of population?				X	X
<b>d.</b> The extension of sewer trunk lines or access roads with capacity to serve new development beyond this proposed project?				X	X
<b>e.</b> Loss of existing affordable dwellings through demolition, conversion or removal?				X	X
<b>f.</b> Displacement of substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere?				X	X
<b>g.</b> Displacement of substantial numbers of people, necessitating the construction of replacement housing elsewhere?				X	X
<b>h.</b> The loss of a substantial amount of open space?				X	X
<b>i.</b> An economic or social effect that would result in a physical change? (i.e. Closure of a freeway ramp results in isolation of an area, businesses located in the vicinity close, neighborhood degenerates, and buildings deteriorate. Or, if construction of new freeway divides an existing community, the construction would be the physical change, but the economic/social effect on the community would be the basis for determining that the physical change would be significant.)				X	X
<b>j.</b> Conflicts with adopted airport safety zones?				X	X

**Impact Discussion:**

- a. Potential to Result in Incompatible Land Uses. Existing uses that are adjacent to the project site consist mostly of open space and residential uses. The development of the proposed 39 apartment units (including two and three-story buildings) and associated improvements on the project site would not result in significant long-term traffic, aesthetic, noise, safety or other impacts that could result in significant land use compatibility conflicts with surrounding land uses. Portions of this site have been zoned for residential use since the early 1960's. The property to the immediate north and west has a "DR-4.6" zoning designation and could be used for residential development in the future. Like the project site, this property also has an Affordable Housing Overlay that allows for up to eight units per acre. Beyond the adjoining parcel, the property north and west of the project site is designated as agricultural land and is outside the urban boundary.

The development of urban uses, particularly residential uses, has the potential to result in conflicts with surrounding agricultural operations. However, the only agricultural operation that is in the vicinity of the project site is the grazing land to the west, and that property has a residential zoning designation over the easterly 50-100 feet adjoining the project site. The nearby agricultural property is not used for crop production and therefore does not use pesticides or generate significant dust. The site does not currently appear to be used for grazing, as there is no fence to contain livestock and stop them from venturing onto the subject property or Saint Joseph Street for that matter. If the property owner decides to run cattle on the property, it would be his responsibility to fence the property. Nevertheless, the Los Alamos Community Plan has a policy and development standard addressing this issues, as follows:

**Policy LUR-LA-1.3:** In order to reduce conflicts between residences and agricultural operations, proposed residential development which borders on agriculturally-designated land shall integrate mechanisms (such as fences and/or buffer areas) into the project design.

**Development Standard LUR-LA-1.3.1:** As a condition of approval for all discretionary residential projects that are immediately adjacent to agricultural lands, potential purchasers of lots adjacent to agricultural land shall be notified on the property title of the potential for agricultural activities on adjacent parcels.

The above policies and development standards would not apply to the Creekside Village project as it does not border on agriculturally designated land.

Potential for Conflicts with Planning Programs. The proposed project would be consistent with the site's Comprehensive Plan land use designation (Residential 4.6), "DR-4.6" zoning designation, and Affordable Housing Overlay (AHO). This overlay allows up to 8 units per acre if the project has an affordable component. The proposed project is 100% affordable and therefore qualifies for the density of the AHO. A more detailed evaluation of the project's consistency with applicable policies of the Comprehensive Plan and the Los Alamos Community Plan is provided in section 9.0 of this Initial Study.

- c, d. Potential Growth Inducing Impacts. The proposed project would be consistent with the residential densities that have been planned for the project site. The project would not result in an extension of urban services that would have the potential to promote growth on properties that are not planned for urban development. Therefore, the project would not have the potential to result in significant growth inducing impacts.

e, f, g. Potential Housing Impacts. The proposed project would not result in the removal of any housing or the displacement of any people. Therefore, the project would not result in significant housing impacts.

Conversion of Open Space. The proposed project would result in the conversion of a vacant parcel that is approximately 5 acres in area to urban use. The 1994 Los Alamos Community Plan has designated the project site for residential development, and the site has been zoned for residential use since the 1960's. Additionally, the project would preserve as natural open space all areas within 50 feet of San Antonio Creek (1.8 acres), plus other open space areas (0.74 acres) that together total approximately 62.7% of the site. Therefore, the proposed project would not result in a significant impact related to the loss of open space.

i. Potential Economic Impacts. The proposed project would not result in economic impacts that would have the potential to result in significant environmental effects.

Potential Airport Conflicts. There are no airports located in the project area.

**Mitigation and Residual Impact:** The potential for the project to result in conflicts with future agricultural operations is not considered to be significant, with the following mitigation:

~~15. — To reduce potential conflicts between residential and potential agricultural operations, the westerly property line and westerly portion of the northerly property line to the common access drive shall be fenced to block dust and potential pesticide drift and prohibit free passage by persons or animals. The Planning Commission and/or BAR shall determine the precise location and design of the fence in the normal course of project review. The fencing shall be designed, installed and maintained for the life of the project. Unless alternative fencing is ultimately approved by the Planning Commission or BAR, P&D envisions a solid wood fence or decorative masonry wall from six (6) to eight (8) feet in height. **Plan Requirement:** Plans submitted for a Zoning Clearance Permit and Building Permit shall indicate the precise location and design details of fencing throughout the project. **Timing:** Plans shall be reviewed for conformity with discretionary approvals prior to Zoning Clearance Permit issuance; all fencing shall be installed prior to occupancy clearance.~~

~~16. — The following "Right to Farm" buyer notification shall be recorded on a separate information sheet with the final map. Additionally, prior to recordation of the final map, the applicant shall request the State Department of Real Estate to include the following note in its public subdivision report (white sheet). Finally, this notice shall be printed in all sales brochures for lots arising from this tract map:~~

~~————— **"IMPORTANT: BUYER NOTIFICATION"**~~

~~This property is located adjacent to property zoned to allow for agricultural uses and is located in an area that has been planned for agricultural uses. The Board of Supervisors has determined that it is in the public interest to preserve agricultural land and operations within the County of Santa Barbara and to specifically protect these lands for exclusive agricultural use. Through enactment of an ordinance adding Section 3-23, Article V to Chapter 3 of the County Code, any inconvenience or discomfort from properly conducted agricultural operations, including noise, odors, dust, and chemicals, will not be deemed a nuisance."~~

### 4.13 NOISE

<b>Will the proposal result in:</b>	<b>Known Signif.</b>	<b>Unknown Poten. Sig.</b>	<b>Poten. Signif. and Mitig.</b>	<b>Not Signif.</b>	<b>Reviewed Under Previous Document</b>
<b>a.</b> Long-term exposure of people to noise levels exceeding County thresholds (e.g. locating noise sensitive uses next to an airport, etc.)?				X	X
<b>b.</b> Short-term exposure of people to noise levels exceeding County thresholds?			X		X
<b>c.</b> Project-generated substantial increase in the ambient noise levels for adjoining areas (either day or night)?				X	X

#### Impact Discussion:

- a. Potential Long-Term Noise Impacts. The Noise Element of the County’s Comprehensive Plan, along with the policies of Los Alamos Community Plan, require that interior noise levels not exceed a level of 45 dBA and exterior noise levels not exceed a level of 65 dBA. The project site is outside of the elevated noise levels resulting from traffic along U.S. Highway 101. According to the Los Alamos Community Plan (Figure 23), exterior noise levels on the project site are below 60 dBA. This means that simply complying with the Uniform Building Code (UBC) would ensure that interior noise levels are below the interior noise threshold of 45 dBA. The establishment of residential uses on the project site would not subject the residents to exterior noise levels in excess of 65 dB(A) CNEL nor interior noise levels in excess of 45 dB(A) CNEL. Potential long-term noise impacts would be less than significant.
- b. Potential to Result in Short-Term Noise Increases. Construction activities that would occur at the project site would require the use of equipment that has the potential to result in noise levels that can reach 85-90 dBA. The highest construction noise levels would most likely result from the use of heavy construction equipment during the site preparation phase of the project. Inclusion of standard construction hour mitigation measures would ensure that impacts from short-term construction related noise would be less than significant.
- c. Potential to Result in Ambient Noise Level Increases. Long-term noise that would be generated by the proposed residential project would be similar to ambient noise levels that generally exist in the Los Alamos area. The project would result in the generation of an average of approximately 262 vehicle trips per day, which would be distributed onto roadways in the project area. Project-generated traffic would not result in a noticeable increase in traffic noise within the Los Alamos community.

#### Mitigation and Residual Impact:

Implementation of the following mitigation measures would reduce short-term noise impacts to a less than significant level.

17. Construction activity for site preparation and for project development shall be limited to the hours between 7:00 a.m. and 4:00 p.m., Monday through Friday. No construction shall occur on State holidays (i.e. Thanksgiving, Labor Day). Construction equipment maintenance shall be limited to the same hours. Non-noise generating construction activities such as interior painting are not subject to these restrictions. **Plan Requirements:** A sign stating these restrictions shall be provided by the applicant and posted on site. If the tract is developed by individual lot sale and development, each homebuilder shall sign an agreement agreeing to comply with this condition prior to approval of Zoning Clearance Permits. **Timing:** Signs shall be in place prior to beginning of and throughout grading and construction activities. Violations may result in suspension of permits. **Monitoring:** Building Inspectors and Permit Compliance shall spot check and respond to complaints.

#### 4.14 PUBLIC FACILITIES

<b>Will the proposal result in:</b>	<b>Known Signif.</b>	<b>Unknown Poten. Sig.</b>	<b>Poten. Signif. and Mitig.</b>	<b>Not Signif.</b>	<b>Reviewed Under Previous Document</b>
<b>a.</b> A need for new or altered police protection and/or health care services?				X	X
<b>b.</b> Student generation exceeding school capacity?				X	X
<b>c.</b> Significant amounts of solid waste or breach any national, state, or local standards or thresholds relating to solid waste disposal and generation (including recycling facilities and existing landfill capacity)?			X		X
<b>d.</b> A need for new or altered sewer system facilities (sewer lines, lift-stations, etc.)?				X	X

#### Impact Discussion:

- a. **Police and Health Care Services.** The proposed residential project would house approximately 204 117-123 people (Housing Authority of Santa Barbara County and U.S. Census Bureau, Census 2000; Average households size of 3.15 for renter occupied units in Los Alamos). This additional population would not result in a significant increase in demand for law enforcement or health care services within the community of Los Alamos. The project would have an onsite manager who would be responsible for providing site security. Furthermore, the units would be available only to tenants without a criminal history. In the event that a tenant, member of the tenant's household or guest of tenant is involved in a criminal activity, such a circumstance would be grounds for eviction. The Los Alamos Community Plan Final EIR determined that the buildout



of the Community Plan would result in a significant and unavoidable cumulative impact to law enforcement services (Class I). The Board of Supervisors adopted findings of overriding considerations for this cumulative impact when the Community Plan was approved. No further mitigation is required.

- b. **School Capacity**. The project would be served by the Olga Reed Elementary School in the Los Alamos School District (K-8) and by Righetti High School in the Santa Maria Joint Union High School District. Based on student generation factors of 0.546 K-8 students and 0.137 high school students per housing unit, the project could generate approximately 21 K-8 students and 5 high school students. The impact on school capacity that would be generated by the project would be below the thresholds of significance established by the County (K-8: 29 students, and High School: 28 students). Therefore, the project specific impact would be less than significant. The project would also be subject to standard school fees to address increased demand for school services.

The Los Alamos Community Plan Final EIR identified a significant, unavoidable impact from community plan buildout due to an increase in the student population served by the Santa Maria High School District beyond existing capacity. The proposed project would incrementally contribute to this cumulative impact. The Board of Supervisors previously adopted a Statement of Overriding Considerations for this impact.

- c. **Solid Waste**. The *Environmental Thresholds and Guidelines Manual (2008)* indicates that if a project were to generate more than 196 tons of solid waste per year, it would result in a significant project-specific and cumulative impact. Based on generation factors contained in the *Environmental Thresholds and Guidelines Manual*, the project would generate approximately 98.2 tons of solid waste per year:  $2.65 \text{ persons per household} \times 39 \text{ units} \times 0.95 = 98.18$ . Therefore, project-specific solid waste generation impacts of the project would not be significant.

In addition, the Thresholds Manual also refers to a cumulative threshold of significance for projects. This threshold is at 40 tons of solid waste per year. Projects that exceed this threshold are considered to have a cumulatively significant contribution (class III) to regional cumulative solid waste impacts. This impact would be mitigated by the preparation and implementation of a Solid Waste Management Plan. In this case, the project's incremental contribution to cumulative impacts, 98.2 tons of solid waste per year, exceeds the cumulative impact threshold. One of the possible ways to mitigate this impact, according the Thresholds Manual, is to implement a curbside recycling program to serve the new development. The Los Alamos area is currently provided with recycling service from Health Sanitation Services (HSS). This curbside recycling program would be extended to the future residences within the project area to offset this cumulative impact.

The Los Alamos Community Plan Final EIR identified a significant, unavoidable impact from community plan buildout due to an increase in demand for solid waste services. The proposed project would incrementally contribute to this cumulative impact. The Board of Supervisors previously adopted a Statement of Overriding Considerations for this impact.

- d. **Sewer System**. The Los Alamos Community Services District (LACSD) provides waste water collection, treatment and disposal services in the Los Alamos community. In meetings with district staff, the LACSD has confirmed that the property can feasibly be served by the District with the construction by the developer of any necessary extension to the District's existing water distribution and sewer collection system lines. The District concluded that adequate capacity

exists to serve the project. Therefore, the proposed project would not result in a significant wastewater treatment impact or substantially contribute to a significant wastewater impact.

**Mitigation and Residual Impact:**

With application of the following measures, the impacts to public facilities resulting from the project would be mitigated to a less than significant level (Class II).

18. The applicant shall develop and implement a Solid Waste Management Plan (SWMP) to be approved by the Public Works Solid Waste Division and P&D and shall include the following components at a minimum:
- a. Provision of space and bins for storage of recyclable materials within the project site.
  - b. Development of a plan for accessible collection of materials on a regular basis (may require establishment of private pick-up depending on availability of County-sponsored programs).
  - c. Implementation of a green waste source reduction program, including the creation of lot or common composting areas, and the use of mulching mowers in all common open space lawns.

**Plan Requirement/Timing:** The applicant shall submit a Solid Waste Management Program to P&D for review and approval prior to Zoning Clearance. Program components shall be implemented prior to occupancy clearance and throughout the life of the project.

**MONITORING:** P&D shall site inspect during construction, prior to occupancy, and after occupancy to ensure solid waste management components are established and implemented.

19. To prevent construction and/or employee trash from blowing offsite, covered receptacles shall be provided onsite prior to commencement of grading or construction activities. Waste shall be picked up weekly or more frequently as directed by Permit Compliance staff. **Plan Requirements and Timing:** Prior to Zoning Clearance approval, applicant shall designate and provide to Planning and Development the name and phone number of a contact person(s) to monitor trash/waste and organize a clean-up crew. Additional covered receptacles shall be provided as determined necessary by Permit Compliance staff. This requirement shall be noted on all plans. Trash control shall occur throughout all grading and construction activities.

**MONITORING:** Permit Compliance staff shall inspect periodically throughout grading and construction activities.

The proposed project would not result in significant project-specific impacts to public facilities and no mitigation measures are required. The Board of Supervisors previously adopted a Statement of Overriding Considerations for cumulative law enforcement and school impacts that would result from the buildout of the Los Alamos Community Plan. No additional mitigation measures are required for the proposed project's contribution to cumulative public service impacts.

## 4.14 RECREATION

	Known Signif.	Unknown Poten. Sig.	Poten. Signif. and Mitig.	Not Signif.	Reviewed Under Previous Document
<b>Will the proposal result in:</b>					
<b>a.</b> Conflict with established recreational uses of the area?				X	X
<b>b.</b> Conflict with biking, equestrian, and hiking trails?				X	X
<b>c.</b> Substantial impact on the quality or quantity of existing recreational opportunities (e.g., over use of an area with constraints on numbers of people, vehicles, animals, etc. which might safely use the area)?				X	X

**Impact Discussion:**

a-c. **Recreation Facilities.** The proposed project would not conflict with any formal recreational uses that have been established in the project area. The project would include a tot lot and other open space areas that would be available to project residents as well as the public in general. Therefore, the project would not result in a significant impact to local or regional recreation facilities or result in a substantial contribution to cumulative recreation impacts.

**Mitigation and Residual Impact:**

The proposed project would not result in significant impacts to recreational facilities. No mitigation measures are required.

**4.15 TRANSPORTATION/CIRCULATION**

	Known Signif.	Unknown Poten. Sig.	Poten. Signif. and Mitig.	Not Signif.	Reviewed Under Previous Document
<b>Will the proposal result in:</b>					
<b>a.</b> Generation of substantial additional vehicular movement (daily, peak-hour, etc.) in relation to existing traffic load and capacity of the street system?				X	X
<b>b.</b> A need for private or public road maintenance, or need for new road(s)?				X	
<b>c.</b> Effects on existing parking facilities, or demand for new parking?				X	X
<b>d.</b> Substantial impact upon existing transit systems (e.g. bus service) or alteration of present patterns of circulation or movement of people and/or goods?				X	X
<b>e.</b> Alteration to waterborne, rail or air traffic?				X	X

<b>Will the proposal result in:</b>		<b>Known Signif.</b>	<b>Unknown Poten. Sig.</b>	<b>Poten. Signif. and Mitig.</b>	<b>Not Signif.</b>	<b>Reviewed Under Previous Document</b>
<b>f.</b>	Increase in traffic hazards to motor vehicles, bicyclists or pedestrians (including short-term construction and long-term operational)?				X	X
<b>g.</b>	Inadequate sight distance?				X	X
	ingress/egress?				X	X
	General road capacity?				X	X
	Emergency access?				X	X
<b>h.</b>	Impacts to Congestion Management Plan system?				X	X

**Impact Discussion:** Access to the project site is provided from St. Joseph Street, which intersects with Bell Street (Highway 135) approximately 1,300 feet south of the project property. Will Robertson, of the Santa Barbara County Public Works Department, Roads Division reports that all of the roadways and intersections in the Los Alamos community operate at acceptable levels of service.

According to the County’s Environmental Thresholds and Guidelines Manual, a significant traffic impact occurs when:

- a. The addition of project traffic to an intersection increases the volume to capacity (V/C) ratio by the value provided below or sends at least 5, 10 or 15 trips to at LOS F, E or D.

**LEVEL OF SERVICE  
(including project)**

**INCREASE IN V/C  
GREATER THAN**

A	0.20
B	0.15
C	0.10

**OR THE ADDITION OF:**

D	15 trips
E	10 trips

**F**

**5 trips**

- b. Project access to a major road or arterial road would require a driveway that would create an unsafe situation or a new traffic signal or major revisions to an existing traffic signal.
- c. Project adds traffic to a roadway that has design features (e.g., narrow width, road side ditches, sharp curves, poor sight distance, inadequate pavement structure) or receives use which would be incompatible with substantial increases in traffic (eg. rural roads with use by farm equipment, livestock, horseback riding, or residential roads with heavy pedestrian or recreational use, etc.) that will become potential safety problems with the addition of project or cumulative traffic. Exceedance of the roadways designated Circulation Element Capacity may indicate the potential for the occurrence of the above impacts.

- d. Project traffic would utilize a substantial portion of an intersection(s) capacity where the intersection is currently operating at acceptable levels of service (A-C) but with cumulative traffic would degrade to or approach LOS D (V/C 0.81) or lower. Substantial is defined as a minimum change of 0.03 for intersections which would operate from 0.80 to 0.85 and a change of 0.02 for intersections which would operate from 0.86 to 0.90, and 0.01 for intersections operating at anything lower.

In this case, project traffic would not impact a street or intersection that is operating at a LOS D, E, or F, and the project would constitute a negligible fraction of the capacity of area roadways and intersections. The project does not propose unsafe driveways nor would it otherwise cause or exacerbate an unsafe traffic condition. The project therefore would not have a significant impact related to traffic.

- a. **Potential Impacts to the Street System.** The proposed project would generate approximately 259 average daily vehicle trips and approximately 34 peak hour vehicle trips per Will Robertson, Public Works Department, Roads Division. The addition of this traffic onto roadways in the Los Alamos area would not result in significant traffic-related impacts.
- b. **Need for New Roads or Road Maintenance.** The proposed project includes a request for the County to vacate surplus right-of-way for St. Joseph Street and Kahn Way. The segment that would be vacated is a 10-foot width along the site's entire street frontage. The County standard right-of-way width is 60 feet. Both Saint Joseph Street and Kahn Way have 80-foot right-of-ways. The applicants also suggest that portions of Kahn Way that lie west of the proposed cul-de-sac be abandoned, but this is not a critical or required element of the project. The project would not require additional roads and may result in reduced right-of-way widths.

Saint Joseph Street and Kahn Way (currently unimproved County right-of-way) are public streets that would be improved as necessary by the developer but that would then be maintained by the County. Traffic that would be generated by the project would not result in significant impacts to public streets that would require a significant amount of increased roadway maintenance.

- c. **Parking.** For multi-family residential projects, the County's zoning regulations require 1 space per two bedroom unit and 2 spaces per three or more bedroom units, plus 1 guest space for every five units. The total parking required for this project is therefore 68 spaces, calculated as follows:

$$\begin{array}{r} 18 \text{ two bedroom units} \times 1 \text{ required space} = \mathbf{18} \text{ spaces} \\ 21 \text{ three (or more) bedroom units} \times 2 \text{ required spaces} = \mathbf{42} \text{ spaces} \\ + 39 \text{ total units} \div 5 = \mathbf{8} \text{ visitor spaces} \\ \hline \mathbf{68} \text{ parking spaces required} \end{array}$$

The applicant has provided for a total of 82 off-street parking, uncovered spaces. The project would therefore more than comply with the County regulations for parking for affordable housing projects. The proposed project would therefore not have significant effects relative to parking.

- d, e. **Transit.** The proposed project would not result in significant transit- or transportation-related impacts.
- f, g. **Traffic Hazards and Emergency Access.** Access to the project site over San Antonio Creek would be provided by an existing bridge, which is adequate to accommodate project-related traffic. The additional traffic that would be created by the proposed project would not result in significant traffic safety impacts.

Emergency secondary access for the proposed project is provided by a connection through an adjoining subdivision to the U.S. 101 right-of-way, as mentioned above. The project therefore would not have significant hazards or emergency access impacts.

- h. **Congestion Management Plan.** Roadways and intersections in the Los Alamos area operate at acceptable levels of service and are not subject to Congestion Management Plan requirements.

**Mitigation and Residual Impact:**

The proposed project would not result in potentially significant traffic-related impacts and no mitigation measures are required.

### 4.16 WATER RESOURCES/FLOODING

<b>Will the proposal result in:</b>	<b>Known Signif.</b>	<b>Unknown Poten. Sig.</b>	<b>Poten. Signif. and Mitig.</b>	<b>Not Signif.</b>	<b>Reviewed Under Previous Document</b>
<b>a.</b> Changes in currents, or the course or direction of water movements, in either marine or fresh waters?				X	X
<b>b.</b> Changes in percolation rates, drainage patterns or the rate and amount of surface water runoff?				X	X
<b>c.</b> Change in the amount of surface water in any water body?				X	X
<b>d.</b> Discharge into surface waters, or alteration of surface water quality, including but not limited to temperature, dissolved oxygen, turbidity, or thermal water pollution (e.g., eutrophication)				X	X
<b>e.</b> Alterations to the course or flow of flood waters, or need for private or public flood control projects?			X		X
<b>f.</b> Exposure of people or property to water related hazards such as flooding (placement of project in 100 year flood plain), accelerated runoff or tsunamis?			X		X
<b>g.</b> Alteration of the direction or rate of flow of groundwater?				X	X
<b>h.</b> Change in the quantity of groundwaters, either through direct additions or withdrawals, or through interception of an aquifer by cuts or excavations or recharge interference?				X	X
<b>i.</b> Overdraft or overcommitment of any groundwater basin? Or, a significant increase in the existing overdraft or overcommitment of any groundwater basin?				X	X

<b>Will the proposal result in:</b>	<b>Known Signif.</b>	<b>Unknown Poten. Sig.</b>	<b>Poten. Signif. and Mitig.</b>	<b>Not Signif.</b>	<b>Reviewed Under Previous Document</b>
<b>j.</b> The substantial degradation of groundwater quality including saltwater intrusion?				X	X
<b>k.</b> Substantial reduction in the amount of water otherwise available for public water supplies?				X	X

**Impact Discussion:**

a-d. **Surface Water.** The project site slopes very slightly to the south and runoff presently sheet-flows to San Antonio Creek. Runoff from other lands upstream is conveyed across the subject site via an open concrete channel. Development of the proposed project would result in an increase in impervious surface area and a corresponding increase in storm water runoff. Runoff from the project site would be directed to San Antonio Creek via drop inlets (with state-of-the art filters), pipes and culverts. The discharge of runoff from the project site must occur in accordance with the standard requirements of the Santa Barbara County Flood Control District.

Additionally, the State Water Resources Control Board will require that the project prepare and implement a Storm Water Pollution Prevention Plan (SWPPP) that outlines the “best management practices” that would be utilized to minimize construction-related water quality impacts. The Regional Water Quality Control Board is responsible for reviewing and approving SWPPPs. The project would therefore not result in significant drainage impacts.

Short-term construction activities, the installation of new roadways and the proposed residential uses, may result in increased discharges of sediment and other pollutants commonly associated with urban development. Compliance with existing regulatory requirements to prepare and implement a Storm Water Pollution Prevention Plan for the project site would reduce the potential for short-term construction-related impacts to water quality to a less than significant level. The project has proposed to install filters on storm water drainage inlets that would substantially reduce concentrations of urban pollutants (oil, grease, garden products, etc) in runoff from the project site. Proposed mitigation measure BIO- 4 would require that the Santa Barbara County Housing Authority be responsible for maintaining the filters. With the implementation of regulatory requirements and proposed mitigation measures, the project’s potential to result in impacts to surface water quality would be reduced to a less than significant level.

e, f. **Flooding.** The easterly half (+/-) of the proposed project site is located within the 100-year flood plain of San Antonio Creek. The applicant proposes to raise the building pads so that the future residences would have finished floors that are a minimum of two-feet above the 100-year flood level. A mitigation measure requiring that all future finished floor elevations are a minimum of two feet above the 100-year flood level would ensure that significant flood-related impacts are less than significant. With this mitigation measure, the project would not result in significant flood-related impacts. According to County Flood Control District staff, there is no engineering-based reason why foundations built on raised floors would be preferred over those built on fill with regard to flood protection and in fact it appears the opposite is true in this particular case.

The proposed project includes grading to raise portions of the project site above the 100-year flood level. Currently the Los Alamos Community Plan (Development Standard Flood LA-1.1.5)

requires that all new development use raised foundations instead of grading to achieve a finished floor elevation above the mean flood elevation. A disadvantage of the current development standard is the expense of flood insurance for structures whose foundations would come into contact with flood waters. The proposed project includes a text amendment to the Los Alamos Community Plan which would allow either method (grading or raised foundations) to achieve the necessary finished floor height, as deemed acceptable by the County’s Flood Control District.

This text amendment would have the cumulative affect of allowing future development within the floodplain to also use grading to achieve the appropriate finished floor elevation. In addition to the subject parcel, there are several other undeveloped and underdeveloped parcels within the Flood Hazard Overlay within the Los Alamos Community Plan area. The revised development standard would apply to the future development of these parcels as well. Figure 1 shows the parcels which would be affected by the proposed change.

As previously mentioned, the use of grading instead of raised foundations would be subject to the review and approval of the Flood Control District. Existing Flood Control District requirements state that structural development within a flood plain shall not occur if cumulative development would cause an increase in flood levels of more than one foot. Even an increase of less than one foot in floodwater elevation could affect properties built at the floodwater elevation. However, under the new development standard, County Flood Control would have the authority to allow or prohibit the use of fill, depending on project-specific circumstances, in order to protect people and property from flood hazards. Therefore, cumulative effect of the proposed change to Development Standard Flood LA 1.1.5 would be less than significant.

g-k. **Groundwater.** The project site is located within the San Antonio groundwater basin. This basin is in a state of overdraft and has an estimated storage life of approximately 89 years. However, the status of this basin was updated in 1999 by P&D and the County Water Agency (Baca/Ahlroth memo dated 7-9-99). The basin is in a state of overdraft by 9,431 AFY. The CEQA Threshold is therefore now 22 AFY. (*Environmental Thresholds and Guidelines Manual, 2002*).

The proposed project would result in the development of 39 apartment units. The Los Alamos Community Services District would provide potable water service to the project. Using water demand and consumptive use factors that are contained in the *Environmental Thresholds and Guidelines Manual*, it is estimated that the proposed project, including landscaping, would have a long-term net water use of approximately 10.14 acre-feet per year (see Table 4.16-1).

The Board of Supervisors adopted a Statement of Overriding Considerations along with its adoption of the Los Alamos Community Plan for the impact of water demand. However, this particular project’s use of ground water would not exceed the adopted significance threshold, and therefore would not result in a significant project-specific or cumulative water use impact.

**Table 4.16-1  
 Water Demand**

<b>Project Component</b>	<b>Number of Units/Area</b>	<b>Water Use Rate</b>	<b>Consumptive Use Factor</b>	<b>Water Use</b>
Apartments	39 units	0.30 AFY/Unit (1)	0.75 (1)	8.8 AFY
Irrigated Open Space	0.74 acres	2.4 AFY/acre (1)	0.75 (1)	1.34 AFY
Total	--	--	--	10.14 AFY



(1) Source: *Environmental Thresholds and Guidelines Manual (2002)*

**Mitigation and Residual Impact:** With the following mitigation measures the project would not result in significant impacts to surface water or ground water resources:

20. The applicant shall submit proof of exemption or a copy of the Notice of Intent to obtain coverage under the Construction General Permit of the National Pollutant Discharge Elimination System issued by the California Regional Water Quality Control Board. **Plan Requirements and Timing:** Prior to approval of Zoning Clearance Permits the applicant shall submit proof of exemption or a copy of the Notice of Intent and shall provide a copy of the required Storm Water Pollution Prevention Plan (SWPPP) to P&D. A copy of the SWPPP must be maintained on the project site during grading and construction activities. **Monitoring:** P&D shall review the documentation prior to approval of Zoning Clearance Permits. P&D shall site inspect during construction for compliance with the SWPPP.
21. Pursuant to County Ordinance 3898, the lowest finish floor elevation of all new structures shall be at least 2 feet above the 100 year water surface elevation. Graded lot pads with slab on grade foundations shall be at least 1.5 feet above the 100-year water surface elevation, with finish floor 2' above 100 year elevation. Finish floor elevations may be increased if deemed necessary by the Flood Control Engineer. Finish floor elevations shall be higher than overland escape of adjacent streets, bridges and other obstructions. **Plan Requirements and Timing:** The finish floor elevations shall be shown on site, building and grading plans prior to approval of grading and zoning clearance permits. **Monitoring:** Flood Control and Building and Safety shall review plans and site inspect to ensure project compliance with this condition
22. Prior to zoning clearance approval, the applicant shall enter into a maintenance agreement with the District to assure perpetual maintenance of all on- and off-site private drainage improvements **or** the applicant shall demonstrate to the satisfaction of P&D that adequate provisions exist for the long-term maintenance (i.e. life of the project) of all flood control improvements related to the project. This may occur through the recordation of Conditions, Covenants and Restrictions (CCR) or similar private maintenance agreement acceptable to P&D and County Counsel or by the County's acceptance of said flood control improvements. **Monitoring:** P&D shall verify acceptance of flood control improvements into the County's maintenance system.
23. Construction materials and waste such as paint, mortar, concrete slurry, fuels, etc. shall be stored, handled, and disposed of in a manner which minimizes the potential for storm water contamination. **Plan Requirements and Timing:** Bulk storage locations for construction materials and any measures proposed to contain the materials shall be shown on the grading plans submitted to P&D for review prior to approval of Zoning Clearance Permits. **Monitoring:** P&D shall site inspect prior to the commencement of, and as needed during all, grading and construction activities.
24. To prevent storm water contamination during roadwork or pavement construction, concrete, asphalt, and seal coat shall be applied during dry weather. Storm drains and manholes within the construction area shall be covered when paving or applying seal coat, slurry, fog seal, etc. **Plan Requirements and Timing:** These requirements shall be specified on the grading and building plans submitted to P&D prior to approval of Zoning Clearance Permits. **Monitoring:** P&D shall site inspect, as needed during construction.

25. The parking area and associated driveways shall be designed to minimize degradation of storm water quality. Best Management Practices (BMPs) such as oil/water separators, sand filters, landscaped areas for infiltration, basins or equivalent BMPs shall be installed to intercept and effectively prohibit pollutants from discharging to the storm drain system. The BMPs selected shall be maintained in working order. The landowner is responsible for the maintenance and operation of all improvements and shall maintain annual maintenance records. **Plan Requirements and Timing:** The location and type of BMP shall be shown on the site and grading plans. The plans and maintenance program shall be submitted to P&D for approval prior to zoning clearance. **Monitoring:** P&D shall site inspect for installation prior to occupancy clearance. The landowner shall make annual maintenance records available for review by P&D upon request.

With implementation of the above mitigation measures, impacts of the project on water resources would be less than significant.

## 5.0 INFORMATION SOURCES

### 5.1 County Departments Consulted

Police, Fire, Public Works, Flood Control, Parks, Environmental Health, Special Districts, Regional Programs, Other : \_\_\_\_\_

### 5.2 Comprehensive Plan

<input checked="" type="checkbox"/> Seismic Safety/Safety Element	<input checked="" type="checkbox"/> Conservation Element
<input checked="" type="checkbox"/> Open Space Element	<input checked="" type="checkbox"/> Noise Element
<input type="checkbox"/> Coastal Plan and Maps	<input checked="" type="checkbox"/> Circulation Element
<input type="checkbox"/> ERME	<input type="checkbox"/>

### 5.3 Other Sources

<input type="checkbox"/> Field work	<input type="checkbox"/> Ag Preserve maps
<input type="checkbox"/> Calculations	<input checked="" type="checkbox"/> Flood Control maps
<input type="checkbox"/> Project plans	<input checked="" type="checkbox"/> Other technical references (reports, survey, etc.)
<input checked="" type="checkbox"/> Traffic studies	<input checked="" type="checkbox"/> Planning files, maps, reports
<input type="checkbox"/> Records	<input checked="" type="checkbox"/> Zoning maps
<input checked="" type="checkbox"/> Grading plans	<input type="checkbox"/> Soils maps/reports
<input checked="" type="checkbox"/> Elevation, architectural renderings	<input type="checkbox"/> Plant maps
<input type="checkbox"/> Published geological map/reports	<input checked="" type="checkbox"/> Archaeological maps and reports
<input type="checkbox"/> Topographical maps	<input type="checkbox"/> Other
	_____
	_____
	_____

## 6.0 PROJECT SPECIFIC (*SHORT- AND LONG-TERM*) AND CUMULATIVE IMPACT SUMMARY

## 7.0 MANDATORY FINDINGS OF SIGNIFICANCE

<b>Will the proposal result in:</b>	<b>Poten. Signif.</b>	<b>Less than Signif. with Mitigation</b>	<b>Less Than Signif.</b>	<b>No Impact</b>	<b>Reviewed Under Previous Document</b>
1. Does the project have the potential to substantially degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, substantially reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?				X	X
2. Does the project have the potential to achieve short-term to the disadvantage of long-term environmental goals?			X		X
3. Does the project have impacts that are individually limited, but cumulatively considerable? (“Cumulatively considerable” means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects and the effects of probable future projects.)		X			X
4. Does the project have environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly?				X	X
5. Is there disagreement supported by facts, reasonable assumptions predicated upon facts and/or expert opinion supported by facts over the significance of an effect which would warrant investigation in an EIR ?			X		X

Compliance with required mitigation measures and the project’s 50 foot setback from San Antonio Creek would avoid significant impacts to the biological resources associated with the riparian corridor. Flood hazard impacts would be mitigated by requiring the finished floors of the units to be elevated a minimum of two feet above the 100- year flood level. The project’s effects on air quality, traffic, water, and public services would be below adopted thresholds of significance. The project would exceed the cumulative impact threshold for solid waste. However, this impact would be reduced to insignificance by the implementation of a Solid Waste Management Plan.

## 8.0 PROJECT ALTERNATIVES

*If potentially significant, adverse unmitigable impacts would result, identify potential project alternatives to minimize these effects (reduced project, alternative use, alternative site location, etc.)*

Not Applicable. The proposed project does not have potential impacts that cannot be feasibly mitigated to less than significant levels. The project has already been redesigned from the original submittal.

## **9.0 INITIAL REVIEW OF PROJECT CONSISTENCY WITH APPLICABLE SUBDIVISION, ZONING AND COMPREHENSIVE PLAN REQUIREMENTS**

### **Zoning**

The project site is zoned “DR-4.6” (4.6 units per acre) under the Land Use and Development Code Zoning Ordinance. However, there is also an Affordable Housing Overlay (AHO) that allows 8.0 units per acre if the project includes an affordable component. The proposed project would result in the development of 39 residential apartment units at a density of approximately 8 units per acre units per acre. The project is consistent with zoning and the affordable housing overlay density.

### **Comprehensive Plan**

The following policies from the County’s Comprehensive Plan and the Los Alamos Community Plan (LACP) are applicable to the proposed project: Flooding, Cultural Resources, Agricultural, Traffic, Aesthetics/Visual Resources, Biological Resources.

## 10.0 RECOMMENDATION BY P&D STAFF

### On the basis of the Initial Study, the staff of Planning and Development:

- Finds that the proposed project WILL NOT have a significant effect on the environment and, therefore, recommends that a Negative Declaration (ND) be prepared.
- Finds that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because the mitigation measures incorporated into the REVISED PROJECT DESCRIPTION would successfully mitigate the potentially significant impacts. Staff recommends the preparation of an ND. The ND finding is based on the assumption that mitigation measures will be acceptable to the applicant; if not acceptable a revised Initial Study finding for the preparation of an EIR may result.
- Finds that the proposed project MAY have a significant effect on the environment, and recommends that an EIR be prepared.
- Finds that from existing documents (previous EIRs, etc.) that a subsequent document (containing updated and site-specific information, etc.) pursuant to CEQA Sections 15162/15163/15164 should be prepared.

Potentially significant unavoidable adverse impact areas:

With Public Hearing       Without Public Hearing

**PREVIOUS DOCUMENT:** Los Alamos Community Plan EIR, 1994.

**PROJECT EVALUATOR:** *Florence Trotter Cadena*      **DATE:** 11/10/08

## 11.0 DETERMINATION BY ENVIRONMENTAL HEARING OFFICER

- I agree with staff conclusions. Preparation of the appropriate document may proceed.  
 I DO NOT agree with staff conclusions. The following actions will be taken:  
 I require consultation and further information prior to making my determination.

SIGNATURE: *A.K. McCurdy*      INITIAL STUDY DATE: 11/10/08  
SIGNATURE: *AK McCurdy*      NEGATIVE DECLARATION DATE: 11/20/08  
SIGNATURE: \_\_\_\_\_      REVISION DATE: \_\_\_\_\_  
SIGNATURE: \_\_\_\_\_      FINAL NEGATIVE DECLARATION DATE: \_\_\_\_\_



## PLANNING AND DEVELOPMENT ENVIRONMENTAL REVIEW MINUTES

---

**MEETING OF December 8, 2008  
6 p.m.**

**COUNTY OF SANTA BARBARA**

Los Alamos Senior Center  
690 Bell Street  
Los Alamos, Ca 93440

---

**Public Comment:**

Chris Wrather, chair of LAPAC, requested the opportunity to speak prior to the item on the hearing agenda. Mr. Wrather stated that one of LAPAC's functions is to advise the P/C on projects. He received the draft ND on November 24th, but said that unfortunately the project applicant and planner did not coordinate with LAPAC. No notice was posted in the Post Office. There was no opportunity for a LAPAC meeting, although they did meet to discuss the project on 7/7/08.

**Regular Agenda**

Creekside Village Apartments Mitigated Negative Declaration; 08NGD-00000-00030  
Published November 26, 2008

**PROJECT DESCRIPTION:** The Housing Authority of the County of Santa Barbara proposes to develop a 39 apartment unit rental project immediately north of San Antonio Creek, on the west side of Saint Joseph Street, in the Los Alamos area, Third Supervisorial District, on Assessor Parcel Number 101-110-035 (5.1 gross acres; 4.0 net acres). The project involves a General Plan Amendment, Development Plan, and Road Naming (08GPA-00000-00003, 08DVP-00000-00011; and 08RDN-00000-00005). The affordable apartments would be owned and managed by the Housing Authority. The proposed project consists of the construction of a total of nine buildings throughout the site, including the apartment units and a community center. The units would be a mix of two, three, and four bedrooms. The buildings would range from 24 to 34 feet in height. The total lot coverage would consist of approximately 31,376 square feet of structures.

**ENVIRONMENTAL REVIEW FINDINGS:** The County has prepared a Draft Negative Declaration (08NGD-00000-00030) pursuant to Section 15073 of the State Guidelines for the Implementation of the California Environmental Quality Act (CEQA) and the County of Santa Barbara Guidelines for the Implementation of CEQA. P&D's issuance of a Negative Declaration affirms our opinion that any significant adverse impacts associated with the proposed project may be reduced to a less than significant level with the adoption of mitigation measures, and that the project therefore does not require the preparation of an Environmental Impact Report (EIR). The Negative Declaration prepared for the project identifies and discusses potential impacts, mitigation measures, residual impacts and monitoring requirements for

identified subject areas. Significant but mitigable effects on the environment are anticipated in the following areas: **Aesthetics, Air Quality, Biological Resources, Cultural Resources, Fire Protection, Geologic Processes, Land Use, Noise, Public Facilities, and Water Resources/Flooding.**

**NOTE:** If you challenge this environmental document in court, you may be limited to raising only those issues raised by you or others in written correspondence or in hearings on the proposed project.

Alice McCurdy, Hearing Officer: Introduced staff, and explained that the purpose of the hearing is to hear from the community regarding the accuracy and adequacy of the environmental document. Because some of the notices did not go out on time, the deadline for comments on the ND has been extended until January 5, 2009. Read the project description into the record.

Florence Trotter, Project Manager: Summarized the findings of the MND, including the project's potential environmental impacts and required mitigation measures.

**Written Comments Received:**

No letters have been received at the time of this hearing.

**Public Testimony:**

Jose Jiminez: The parking discussion assumes there would only be one car per unit. People will overflow the parking onto the street. There are not enough guest parking spaces.

Sonny Russell: My family used to own and farm this property; we used to find arrowheads and grinding stones there. In order to find artifacts you would have to dig there. Water used to pond on this property. If this project is built the water will have to go across the way. Project will need flood insurance and residents will be in harms way, like the people in New Orleans.

Tom Fayram: County Flood Control: We do have flood maps; the 100 year flood plain is set. Under the County's flood plain management practices, you are allowed to build in the floodway fringe if you elevate the finished floors above the floodwater elevation. This project is outside the floodway, in the floodway fringe. If everyone built in the floodway fringe, there would be a one foot rise in the elevation of flood waters.

Jean Naughton: You can't look at this project alone. The Legacy Estates EIR concluded that flooding is potentially significant. Is the county prepared for all the lawsuits? The project would not be visually compatible with the neighborhood. There are willow flycatchers breeding onsite. The estimate of 2.6 people per unit should be reconsidered as it is too low.

Carolyn Morthole: I am concerned with the proposed three story buildings; they would create a precedent and are not in line with the Community Plan.



Amber Naranjo: My husband is a design engineer. He says that the water will go toward Bell St, not to the west. Two people per bedroom equals 204 residents, and 408 trips minimum. There will be more than 2 people per bedroom. These would be the only apartment buildings in the whole area. Who's going to pay for the sewer plant?

Sheila Glaser: Why did this project not go to LAPAC? I am concerned as there are no crosswalks across Bell Street. Notice of this hearing was not posted on the bulletin board in the Post Office. I am concerned about flooding and the lack of crosswalks.

Will Robertson, County Public Works Department: The discussion of traffic in the document is based on national averages for projects of this type. Apartments by their nature are affordable, so using traffic statistics for apartments would be applicable for affordable apartment units. I will look at the roads affected by the project again. All intersections in the area operate at Level of Service A, the best level. The County is in negotiations with Caltrans regarding crosswalks across Bell Street. I think Caltrans will agree to a crosswalk across from the Post Office.

Mr. Russell: There used to be a crosswalk at Centennial and Bell. The People's Self Help housing in Los Alamos now has 2-3 families per dwelling unit.

Mr. Robertson: If they choose, the community groups can hire their own traffic consultants and submit additional information. My opinion is that we have analyzed the traffic issues correctly. The project is way below the threshold of significance for traffic impacts. I like the San Diego Association of Governments traffic figures, as they reflect west coast weather and behavior better than national data. I will look at the parking requirements for the project again. Some of the concerns that have been raised are really quality of life issues rather than pure traffic issues; the Board of Supervisors and the Planning Commission will look at quality of life aspects of the project.

Bob Field: There should be a community meeting on this project. Traffic was estimated at 6 trips per unit per day; I think you are looking at 20-30 trips per day per unit. I had a previous experience where Public Works refused to straighten out the record. The County has the attitude that "you have to prove us wrong". The data being used for the project is inconceivable. The document needs to discuss cumulative impacts.

John Polansky, Applicant: This is my 6th meeting in Los Alamos on this project; four of them have been LAPAC meetings. We are a public agency and do not do anything to avoid the public process.

The comments that have been made here tonight regarding the number of people are not reality. Our real life experience from doing these kinds of projects is that households that qualify for affordable units are lucky to have a car. We control residency at our projects. The primary cause of eviction is unauthorized household members living in units. We did a Santa Maria project where renters had to certify that they had only one car. Our goal is that this housing is a stepping stone for residents, not an end game. In our community center we will provide ESL classes, budgeting classes, and computer labs. We will also have onsite partnerships with the Boys' and

Girls' Clubs. We will also have a management office. The Housing Authority is known for being responsive and consistent in terms of enforcing rules. I would invite anyone to ask our neighbors or tenants about how our facilities are managed and maintained. I would be willing to attend another LAPAC meeting, but would ask people to get their biases out of the way. At prior LAPAC meetings on the St. Joseph's project, the primary issue was lack of control once units were sold. We listened to that concern, and spent 2 years converting the project to a rental project. It is unfair to say we are flying under the radar. There are people living in this community today in substandard housing. We will address existing community needs, and will give preference points to locals. Our estimate is 1.5 people/bedroom.

Ms. Naughton: I am concerned about water and sewage volumes from the project and the impact on the Community Services District.

Ms. Naranjo: I work for a property management company and know the problems they have with tenants.

Mr. Polansky: The Housing Authority operates under state and federal law, which give us the authority to restrict occupancy. If a condition of approval limits us to a certain number of people and cars, we can do that. We will have an onsite property manager.

Mr. Field: The document underestimates the number of people who will live onsite, and therefore underestimates impacts related to traffic, water, sewage, and students. The number of students cited in the ND comes close to the threshold of significance. The project would have 62 bedrooms beyond the parent's bedrooms, yet you have only estimated 26 students.

Alice McCurdy: Thanks to everyone for their attendance and testimony. We will look into the issues raised tonight. The deadline for comments on the ND has been extended until January 5, 2009. This hearing is adjourned.

**NOTE:** These minutes provide a summary of the comments provided at the hearing. The County recorded the full discussion of the hearing on an audio tape.

**ATTACHMENT C: Draft Comprehensive Plan Amendment Resolution**

**RESOLUTION OF THE BOARD OF SUPERVISORS  
COUNTY OF SANTA BARBARA, STATE OF CALIFORNIA**

IN THE MATTER OF APPROVING ) RESOLUTION NO. 09- \_\_\_\_\_  
AMENDMENTS TO SANTA BARBARA ) CASE NO.: 08GPA-00000-00003  
COUNTY'S LOS ALAMOS COMMUNITY PLAN )  
TEXT REGARDING FLOODING AND DRAINAGE)

WITH REFERENCE TO THE FOLLOWING:

- A. On February 8, 1994, by Resolution No. 94-96, the Board of Supervisors of the County of Santa Barbara adopted the Los Alamos Community Plan.
- B. It is now deemed in the interest of the orderly development of the County and important to the preservation of the health, safety, and general welfare of the residents of said County to amend the Los Alamos Community Plan as follows:

Development Standard FLD-LA-1.1.5 1.2.2: Residential units that are proposed in areas prone to flooding ~~which are required by~~ shall comply with the requirements of the County Flood Control District, to provide raised finish floor elevations shall accomplish this requirement by use of a raised foundation rather than by the use of fill above what is required to provide adequate drainage of the lot.

- C. Public officials and agencies, civic organizations, and citizens have been consulted on and have advised the County Planning Commission on said proposed amendments in a public hearing pursuant to Section 65353 of the Government Code, and the County Planning Commission has sent its written recommendations to the Board pursuant to Section 65354 of the Government Code.
- D. This Board has held a duly noticed public hearing, as required by Section 65355 and 65856 of the Government Code, on the proposed amendments, at which hearing the amendments were explained and comments invited from the persons in attendance.

NOW, THEREFORE, IT IS HEREBY RESOLVED as follows:

- 1. The above recitations are true and correct.
- 2. Pursuant to the provisions of Section 65356 and 65857 of the Government Code, the above described changes are hereby adopted as amendments to the Santa Barbara County Comprehensive Plan.

3. Upon the effective date hereof, the Chair and the Clerk of this Board are hereby authorized and directed to sign and certify all maps, documents and other materials in accordance with this Resolution to reflect the above described action by the Board.
4. Pursuant to the provisions of Government Code Section 65357 the Clerk of the Board, upon the effective date hereof, is hereby authorized and directed to send endorsed copies of this Resolution to the planning agency of each city within this County.

PASSED, APPROVED, AND ADOPTED by the Board of Supervisors of the County of Santa Barbara, State of California, this \_\_\_\_ day of \_\_\_\_\_, 2009 by the following vote:

AYES:

NOES:

ABSTAIN:

ABSENT:

\_\_\_\_\_  
JOSEPH CENTENO, Chair  
Board of Supervisors, County of Santa Barbara

ATTEST:

MICHAEL F. BROWN  
Clerk of the Board of Supervisors

By: \_\_\_\_\_  
Deputy Clerk

APPROVED AS TO FORM:

DENNIS A. MARSHALL  
County Counsel

By: \_\_\_\_\_  
Deputy County Counsel

# COUNTY OF SANTA BARBARA



---

**CENTRAL  
BOARD OF ARCHITECTURAL REVIEW  
APPROVED MINUTES  
Meeting Date: May 30, 2008**

Solvang Municipal Court  
1745 Mission Drive, Suite C  
Solvang, CA 93463  
(805) 934-6250

---

Bethany Clough, **Chair**  
C. Puck Erickson-Lohnas **Vice-Chair**  
Kris Miller Fisher,  
Evans Jones  
Robin Brady

Erich Brown, **Alternate**  
Lowell Lash, **Alternate**  
Gary Kaiser, **Supervising Planner**  
Leticia I. Rodriguez, **CBAR Secretary**

---

The regular meeting of the Santa Barbara County Central Board of Architectural Review was called to order by the Chair Clough, at 9:06A.M., in the Solvang Municipal Court, 1745 Mission Drive, Suite C, Solvang, California.

## **BOARD MEMBERS PRESENT:**

Bethany Clough - Chair  
C. Puck Erickson-Lohnas - Vice Chair  
Kris Miller Fisher  
Evans Jones  
Robin Brady

## **STAFF MEMBERS PRESENT:**

Leticia I. Rodriguez - Board Assistant  
Gary Kaiser - Supervising Planner, Development Review North  
Florence Trotter-Cabana - Planner, Development Review North  
Tammy Weber - Planner, Development Review North  
Joyce Gerber - Planner, Development Review North

## **BOARD MEMBERS ABSENT:**

Erich Brown  
Lowell Lash

**REPORTERS:** None in attendance.

**NUMBER OF INTERESTED PERSONS:** Approximately 4

**ADMINISTRATIVE AGENDA:** No changes where made to the agenda.

**I. PUBLIC COMMENTS:** None.

**II. AGENDA STATUS REPORT**

**III. MINUTES:** Clough moved, Brady seconded by and carried by a vote of 4 to 0 (Miller-Fisher, Brown, and Lash absent) to approve the Minutes of May 09, 2008, as revised.

**IV. CBAR MEMBERS INFORMATIONAL BRIEFINGS:**

Bethany Clough announced she attended the Joint Chairs meeting and reviewed the story poles table guidelines. Clough reported the revised conceptual review form checklist is in process of being printed.

V. **STAFF UPDATE:** Zoraida Abresch presented discussion regarding revised final application process.

VI. **STANDARD AGENDA:**

1. 08BAR-00000-00103      Creekside Village Development Plan      Los Alamos  
08DVP-00000-00011(Florence Trotter-Cadena, Planner)      Jurisdiction: Development Plan

Request of Jason Rojas, agent for the owners, Housing Authority of the County of Santa Barbara, to consider Case No. 08BAR-00000-00103 for **site visit of a new multi-family development of approximately 21,980 square feet**. No structures currently exist on the parcel. The proposed project will require approximately 9,000 cubic yards of cut and fill. The property is a 5.0 acre parcel zoned DR-8 AHO and shown as Assessor's Parcel Number 101-110-035, located at **33 St. Joseph Street** in the Los Alamos area, Third Supervisorial District.

Site visit only. No action taken.

2. 08BAR-00000-00103      Creekside Village Development Plan      Los Alamos  
08DVP-00000-00011(Florence Trotter-Cadena, Planner)      Jurisdiction: Development Plan

Request of Jason Rojas, agent for the owners, Housing Authority of the County of Santa Barbara, to consider Case No. 08BAR-00000-00103 for **conceptual review of a new multi-family development of approximately 21,980 square feet**. No structures currently exist on the parcel. The proposed project will require approximately 9,000 cubic yards of cut and fill. The property is a 5.0 acre parcel zoned DR-8 AHO and shown as Assessor's Parcel Number 101-110-035, located at **33 St. Joseph Street** in the Los Alamos area, Third Supervisorial District.

**CBAR COMMENTS:**

- **Yellow color on building exterior stands out in a manner that is not harmonious with other more subtle earth tones.**
- **The design should be revised to provide open exterior stairs with railings as they would look better than boxed stairs.**
- **Building 4 needs help with respect to exterior siding; study horizontal and vertical patterns more to avoid monotony.**
- **Add metal awnings to larger elevations to further reduce bulk and scale and add interest.**
- **Exterior fencing must be detailed to avoid maintenance and durability problems.**
- **Landscape islands need trees.**
- **Some or all of parking lot should be constructed of permeable material.**
- **More trees are also needed south of buildings between the development and the open space.**
- **Landscape plan needs to be detailed and designed at a larger scale.**
- **Pedestrian circulation needs to be re-studied to maximize planting areas.**
- **Return for further conceptual review after the project is reviewed by LAPAC, but before the project goes to the Planning Commission.**

Project received conceptual review only. Brown and Lash absent. No action taken. Applicant may submit for further conceptual review.

3. 06BAR-00000-00267      Luck Lucky Trust      Hollister Ranch  
06CDH-00000-00047 (Errin Briggs, Planner)      Jurisdiction: Ridgeline – Rural

Request of B. L. Burkhalter, architect for the owner, Luck Lucky Trust, A. Massie Trustee, to consider Case No. 06BAR-00000-00267 for **preliminary/final approval of a new single family**

CENTRAL  
BOARD OF ARCHITECTURAL REVIEW  
APPROVED MINUTES  
Meeting Date: August 22, 2008

Solvang Municipal Court  
1745 Mission Drive, Suite C  
Solvang, CA 93463  
(805) 934-6250

7. **08BAR-00000-00103 Creekside Village Development Plan** **Los Alamos**  
**08DVP-00000-00011**(Florence Trotter-Cadena, Planner) **Jurisdiction: DVP**

---

Request of Jason Rojas, agent for the owners, Housing Authority of the County of Santa Barbara, to consider Case No. 08BAR-00000-00103 for **further conceptual review of a new multi-family development of approximately 21,980 square feet**. No structures currently exist on the parcel. The proposed project will require approximately 9,000 cubic yards of cut and fill. The property is a 5.0 acre parcel zoned DR-8 AHO and shown as Assessor's Parcel Number 101-110-035, located at **33 St. Joseph Street** in the Los Alamos area, Third Supervisorial District. (Continued from 05/30/08 and 08/01/08)

**CBAR COMMENT:**

- Maximize tree planting at driveway entrances.

Project received conceptual review only. Erickson-Lohnas absent. No action taken. Applicant may submit for preliminary approval.

**Los Alamos**  
**Planning Advisory Committee (LAPAC)**  
**December 4, 2006**  
**Approved Minutes**

---

1. **Meeting Called to Order:** By Chris Wrather; Chair at 7:00 p.m.
2. **Administration of Oaths of Office:** Cintia Mendoza administered the Oath of Office to the LPAC members.
3. **Roll Call: Board Members Present:** Chris Wrather, David Tate, Natalie Werk, Jose Jimenez, Susan deWitt, Merle Blasjo.

**Board Members Absent:** Colleen Thompson.

**Staff Present:** Derek Johnson, Project Manager, Comprehensive Planning, Stephen Peterson, Senior Planner, Comprehensive Planning, Cintia Mendoza, Board Assistant Supervisor, Planning and Development, Tom Fayram, Deputy Director, County Flood Control, Jon Frye, Manager, County Flood Control.

4. **Public Comment:** None.
5. **Minutes:** The Minutes of November 6, 2006 (continued from 11/20/06) and November 20, 2006 were considered as follows:  

**ACTION:** Tate moved, seconded by Jimenez and carried by a vote of 5-0-1 (Werk abstained/Thompson absent) to approve the Minutes of November 6, 2006, as revised.

**ACTION:** Tate moved, seconded by Jimenez and carried by a vote of 5-0-1 (Blasjo abstained/Thompson absent) to approve the Minutes of November 20, 2006, as revised.
6. **St. Joseph Place Affordable Housing Project:** Proposal to develop 28 affordable condominium units on 4 acres located on the west side of St. Joseph Street, along the north side of San Antonio Creek.

**ACTION:** Wrather moved, seconded by Werk and carried by a vote of 5-1 (Tate no/Thompson absent) that:

The LAPAC supports the St. Joseph Street Agricultural Workers Project but has concerns relating to ensuring ongoing maintenance, controlling occupancy, enforcing purchaser qualifications and transferability limitations.

Therefore, the LAPAC recommends that prior to final approval by the Planning Commission, LAPAC be given the opportunity to review the draft CC&R's and Restrictive Covenants governing ownership of the project units, and that LAPAC make a recommendation to the Planning Commission as to the acceptability of the final CC&R's and Restrictive Covenants.



**7. Community Plan Update: Resources and Constraints**

- 7.1 Water Demand Update**
- 7.2 Flooding and Drainage**
- 7.3 Traffic, Circulation and Parking**
- 7.4 Road Rights-of-Way Abandonments**

**ACTION:** Tate moved, seconded by Werk and carried by a vote of 6-0 (Thompson absent) to continue Sections 7.2, Flooding and Drainage and 7.3, Traffic, Circulation and Parking to a future LAPAC meeting.

- 8. Tate moved, seconded by Jimenez and carried by a vote of 6-0 (Thompson absent) to adjourn the meeting to the LAPAC meeting of December 18, 2006.**

**Meeting adjourned at 9:20 p.m.**

  
\_\_\_\_\_  
Chris Wrath, Chair

**Los Alamos**  
**Planning Advisory Committee (LAPAC)**  
**July 7, 2008**  
**Approved Minutes**

---

1. **Meeting Called to Order:** By Chair, Chris Wrather at 7:05 p.m.

2. **Roll Call**

**LAPAC Members Present:** Chair Wrather, Blasjo, Jimenez, Thompson, deWit, Werk

**LAPAC Members Absent:** None

**Staff Present:**

Derek Johnson, Deputy Director, Long Range Planning  
Tom Fayram, Deputy Director, Flood Control  
John Frye, Engineer, Flood Control  
Alice McCurdy, Supervising Planner, Development Review  
Eric Lentz, Senior Planner, Long Range Planning  
Florence Trotter-Cadena, Senior Planner, Development Review

3. **Minutes:** The Minutes of June 16, 2008 were considered as follows:

**ACTION:** Jimenez moved, seconded by Blasjo and carried by a vote of 6-0 to approve the Minutes of June 16, 2008.

4. **Public Comment:**

John Galvin will be requesting the Planning Commission consider a zone change on the lot where the Skyview Motel is located from Commercial Highway (CH) to General Commercial (C-2).

5. **Announcements:**

- a. There is currently one (1) vacant LAPAC position. Those interested in applying for the LAPAC may download an application online at:

<http://longrange.sbcountyplanning.org/planareas/losalamos/lapac.php>

- b. On July 9<sup>th</sup>, the Planning Commission will be hearing the Draft Los Alamos Community Plan Update, Form-Based Code and Bell Street Design Guidelines for the purpose of recommending the documents for environmental review.

6. **Creekside Village Apartments:**

County staff from Development Review presented to the LAPAC the Creekside Village Apartments affordable housing project as proposed by the applicant, the Santa

Barbara County Housing Authority. The applicant along with support staff was present to answer specific questions related to this project.

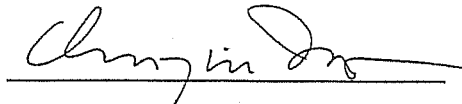
The LAPAC will make a formal recommendation on the Creekside Village apartments at a future meeting date during the environmental review process.

**7. Adjournment**

LAPAC will adjourn to a future meeting date. Staff will keep the LAPAC apprised of the Community Plan update process including notification of key milestone dates.

**ACTION: Thompson moved, seconded by Werk and carried by a vote of 6-0 to adjourn the July 7, 2008, meeting.**

**Meeting adjourned at 9:11 p.m.**

A handwritten signature in black ink, appearing to read "Chris Wrather", is written over a horizontal line.

Chris Wrather, Chair

## ATTACHMENT F: CONDITIONS OF APPROVAL

### **I. Project Description:**

1. This Final Development Plan is based upon and limited to compliance with the project description, the Planning Commission Hearing Exhibit marked "1", dated February 11, 2009 and conditions of approval set forth below. Any deviations from the project description, exhibits or conditions must be reviewed and approved by the County for conformity with this approval. Deviations may require approved changes to the permit and/or further environmental review. Deviations without the above-described approval will constitute a violation of permit approval.

**The project description is as follows:**

#### **08DVP-00000-00011**

**Dwelling Units and Site Development.** The proposed development is a 39 apartment unit rental project. All of the units would be rented at rates considered affordable to very low and low income households. The proposal consists of a total of nine buildings throughout the site with the construction of two, three and four bedroom units and a community center. The height of the buildings would range from 24 feet in height to 34 feet in height. The lot coverage would be approximately 31,376 square feet of structures. The applicant proposes to have a fulltime manager residing on site as well as maintenance staff employed onsite. All development would be located outside of the 50-foot setback from the bank of San Antonio Creek. A priority of the project would be to provide housing for households where at least one of the residents is employed full-time in the local agriculture industry.

**Grading and Drainage.** Approximately 9,000 cubic yards of fill would be required for the project, much of it to elevate floor elevations above the base flood elevation per County Flood Control requirements. This fill would raise the ground surface up to 3 feet. Runoff from the project site would be directed to San Antonio Creek via the existing open concrete channel. A new, smaller culvert from the proposed cul-de-sac and westerly portions of the site would also convey runoff to San Antonio Creek. Drainage improvements affecting the creek would require permits from the California Department of Fish and Game and possibly the US Army Corps of Engineers.

**Utilities and Services:** The Los Alamos Community Service District (LACSD) would provide water and sewer service to the proposed project. Fire protection services would be provided by Station 24 of the Santa Barbara County Fire Department (99 Centennial Street in Los Alamos) and Olga Reed Elementary School and Ernest Righetti High School would provide school service.

**Amenities and Open Space.** The project would maintain a minimum 50-foot structural setback from the northerly bank of San Antonio Creek, as a buffer for the purposes of water quality, protection of biological resources, and recreation. This area, and other landscaped areas between buildings, would be common open space. Within the common open space, the applicant would develop trails and a tot lot with play equipment for children. The trails along the creek would be

accessible not only for residents of the project but for the public as well. In total, approximately 113,787 square feet (51%) of the project site would be devoted to recreation or open space, which meets and exceeds the 40% open space requirement of the “Design Residential” zone district.

### **08GPA-00000-00003**

The General Plan Amendment is proposed to revise the Los Alamos Community Plan, Development Standard FLD-LA-1.1.5. This development standard reads as follows: *Residential units that are proposed in areas prone to flooding which are required by the County Flood Control District to provide raised finish floor elevations shall accomplish this requirement by use of a raised foundation rather than by the use of fill above what is required to provide adequate drainage of the lot.* **The General Plan Amendment would revise this policy to state:** “Residential units that are proposed in areas prone to flooding shall comply with the requirements of the County Flood Control District.”

This proposed revision is also part of the recently initiated Los Alamos Community Plan Update.

### **08GOV-00000-00024**

Kahn Way is currently an 80-foot wide unimproved or “paper” street that runs from the northerly terminus of Saint Joseph Street to the westerly boundary of the project site and then dead ends. The right-of-way for Saint Joseph Street is also 80 feet in width. Both right-of-ways extend 40 feet from centerline onto the project site and 40 feet from centerline onto lands of others. The current County Standard right-of-way width is only 60 feet, which would be 30 feet from centerline. The applicant proposes to abandon this excess 10 foot strip along St. Joseph Street and a 10 – 15 foot strip along Kahn Way.

### **08RDN-00000-00005**

**Road naming:** submitted to rename that portion of Kahn Way to Gonzales Drive as conditioned by Santa Barbara County Fire Department for emergency purposes.

## **II MITIGATION MEASURES FROM 08NGD-00000-00030**

- 2. AEST-1:** The design, scale and character of the project architecture shall be compatible with the visual character of the Los Alamos community. **Plan Requirement and Timing:** At minimum, the applicant shall submit the following information to P&D and the Board of Architectural Review (BAR) for review and approval, prior to approval of Zoning Clearance Permits: grading plans, building designs for each proposed floor plan/house style, building designs for the recreation building, colors and materials, detailed planting and irrigation plans for on- and off-site landscaping, fence details, and site lighting. **Monitoring:** P&D shall inspect the project site prior to occupancy clearance to ensure compliance with approved plans.

3. **AEST-2:** Building materials and colors compatible with surrounding terrain (earthtones and non-reflective paints) shall be used on exterior surfaces of all structures. **Plan Requirement:** Materials shall be denoted on BAR plans, Land Use Permit and Zoning Clearance plans and building plans. **Timing:** All structures and landscaping shall be in place and consistent with approved plans prior to occupancy clearance. **Monitoring:** P&D shall inspect prior to occupancy clearance.
4. **AQ-3:** If the construction site is graded and left undeveloped for over four weeks, the applicant shall employ the following methods immediately to inhibit dust generation:
  - d. seeding and watering to revegetate graded areas; and/or
  - e. spreading of soil binders; and/or
  - f. any other methods deemed appropriate by Planning and Development.

**Plan Requirements:** These requirements shall be noted on all plans. **Timing:** Plans are required prior to issuance of a Zoning Clearance Permit. **Monitoring:** Grading Inspector shall perform periodic site inspections. If the construction site is graded and left undeveloped for over four weeks, the applicant shall employ the following methods immediately to inhibit dust generation:

5. **AQ-4:** Dust generated by the development activities shall be kept to a minimum with a goal of retaining dust on the site. Follow the dust control measures listed below.
  - d. During clearing, grading, earth moving, excavation, or transportation of cut or fill materials, water trucks or sprinkler systems are to be used to prevent dust from leaving the site and to create a crust after each day's activities cease.
  - e. During construction, water trucks or sprinkler systems shall be used to keep all areas of vehicle movement damp enough to prevent dust from leaving the site. At a minimum, this would include wetting down such areas in the later morning and after work is completed for the day and whenever wind exceeds 15 miles per hour.
  - f. Soil stockpiled for more than two days shall be covered, kept moist, or treated with soil binders to prevent dust generation.

**Plan Requirements:** All requirements shall be shown on grading and building plans. **Timing:** Condition shall be adhered to throughout all grading and construction periods. **Monitoring:** P&D shall ensure measures are on plans. P&D Grading and Building inspectors shall spot check; Grading and Building shall ensure compliance on-site. APCD inspectors shall respond to nuisance complaints.

6. **AQ-5:** The contractor or builder shall designate a person or persons to monitor the dust control program and to order increased watering as necessary to prevent transport of dust off-site. Their duties shall include holiday and weekend periods when work may not be in progress. **Plan Requirements:** The name and telephone number of such persons shall be

provided to the APCD. **Timing:** The dust monitor shall be designated prior to issuance of a Zoning Clearance Permit. **Monitoring:** P&D shall contact the designated monitor as necessary to ensure compliance with dust control measures.

7. **BIO-6:** With the exception of drainage conveyances, the tot lot, fencing, flat work and tree removals (diseased/dead Box elder, fruit trees ornamental hedge) expressly shown on approved plans, there shall be no grading, trenching or vegetation removal within 50 feet of the top-of-bank of San Antonio Creek, a sensitive riparian habitat area. The area shall be fenced during construction with a fencing type and in a location acceptable to P&D. **Plan Requirements:** The riparian habitat area, and type and location of protective fencing, shall be shown on all grading plans. **Timing:** Fencing shall be installed prior to any earth movement. **Monitoring:** P&D shall perform site inspections throughout the construction phase.
8. **BIO-7:** No alteration to stream channels or banks shall be permitted until the Department of Fish and Game has been contacted to determine if the drainage falls under its jurisdiction. **Plan Requirements and Timing:** Prior to approval of Zoning Clearance Permits, the applicant must receive all necessary permits from California Department of Fish and Game.
9. **BIO-8:** Prior to approval of Zoning Clearance Permits for grading, the applicant shall obtain a U.S. Army Corps of Engineers 404 permit for any grading or fill activity (i.e., headwall or rip-rap) within San Antonio Creek. **Plan Requirements and Timing:** A copy of the 404 permit or waiver shall be submitted to P&D prior to approval of Zoning Clearance Permits.
10. **BIO-9:** To minimize pollutants impacting downstream water bodies or habitat, storm drain filters/inserts, inline clarifiers, or separators shall be installed in the project area storm drain inlets and/or paved areas. The filters/inserts shall be maintained in working order. **Plan Requirements:** Prior to approval of Zoning Clearance Permits for grading, the applicant shall submit grading and building plans identifying the type and location of filters/inserts to P&D for review and approval. The location of such filters/inserts shall be noted on grading and building plans. The requirements and schedule for cleaning and maintaining the filters shall be specified in the project CC&Rs. **Timing:** Filters/inserts shall be installed prior to the final building inspection/occupancy permit and shall be cleaned per the CC&Rs, or at least twice a year, once immediately prior to November 1 (i.e. before the start of the rainy season) and once in January. **Monitoring:** P&D shall site inspect periodically throughout the construction phase to ensure proper installation. Records of maintenance shall be maintained by the Santa Barbara County Housing Authority and shall be submitted to P&D on an annual basis prior to the start of the rainy season and for five years thereafter. **After the fifth** year the records shall be maintained by the Santa Barbara County Housing Authority and be made available to P&D on request. P&D shall review the maintenance records and site inspect as needed following completion of construction to ensure periodic cleanout.

11. **BIO-10:** During construction, washing of concrete trucks, paint, equipment, or similar activities shall occur only in areas where polluted water and materials can be contained for subsequent removal from the site. Wash water shall not be discharged to the storm drains, street, drainage ditches, creeks, or wetlands. Areas designated for washing functions shall not be located within the 50-foot creek setback. The location(s) of the washout area(s) shall be clearly noted at the construction site with signs. **Plan Requirements:** The applicant shall designate a washout area, acceptable to P&D, and this area shall be shown on the construction and/or grading and building plans. **Timing:** The wash off area shall be designated on all plans prior to approval of Zoning Clearance Permits. The washout area(s) shall be in place and maintained throughout construction. **Monitoring:** P&D staff shall check plans prior to approval of Zoning Clearance Permits and compliance staff shall site inspect throughout the construction period to ensure proper use and maintenance of the washout area(s).
  
12. **CULRES-11:** In the event archaeological remains are encountered during grading, work shall be stopped immediately or redirected until a P&D qualified archaeologist and Native American representative are retained by the applicant to evaluate the significance of the find pursuant to Phase 2 investigations of the County Archaeological Guidelines. If remains are found to be significant, they shall be subject to a Phase 3 mitigation program consistent with County Archaeological Guidelines and funded by the applicant. **Plan Requirements/Timing:** This condition shall be printed on all building and grading plans. **Monitoring:** P&D shall check plans prior to issuance of Zoning Clearance Permits and shall spot check in the field.
  
13. **GEO-12:** Excavation and grading shall be limited to the dry season of the year (April 15 – November 1) unless a Building & Safety approved erosion and sediment control plan is in place and all measures therein are in effect. All exposed graded surfaces shall be reseeded with ground cover vegetation to minimize erosion. A grading and erosion control plan shall be designed to minimize erosion and shall include the following measures:
  - d. A fence (see **BIO-6**) shall be installed across the entire project site in an east-west direction at a point at least 50 feet from the top of the San Antonio Creek bank. Grading shall be prohibited within this 50-foot setback area (except the minor trenching and flat work that has expressly been authorized).
  - e. Methods such as retention basins, drainage diversion structures and spot grading shall be used to reduce siltation into San Antonio Creek during grading and construction activities.
  - f. Graded areas shall be revegetated within two (2) weeks of the completion of grading activities with deep rooted, native, drought-tolerant species to minimize slope failure and erosion potential. Planning and Development shall review and approve the proposed revegetation plan. Geotextile binding fabrics shall be used if necessary to hold slope soils until vegetation is established.



**Plan Requirements:** The grading and erosion control plan shall be submitted for review and approval by P&D prior to issuance approval of the **Land Use Permit**. *The applicant shall notify Permit Compliance* prior to commencement of grading. **Timing:** Components of the grading plan shall be implemented throughout the project construction period. **Monitoring:** Permit Compliance will photo document revegetation and ensure compliance with approved plans. Grading inspectors shall monitor technical aspects of the grading activities.

14. **GEO-13:** All runoff water from impervious areas shall be conveyed by impervious approved drainage conveyances (i.e., the open concrete channel, San Antonio Creek). **Plan Requirements and Timing:** A drainage plan which incorporates the above and includes a maintenance and inspection program to ensure proper functioning shall be submitted prior to approval of Zoning Clearance Permits by the applicant to P&D and the Flood Control District for review and approval. **Monitoring:** P&D shall site inspect during construction.
15. **GEO-14:**All site preparation, grading and foundation work shall be consistent with the recommendations contained in the Geotechnical Engineering Investigation (Krazan & Associates, Inc., March 25, 2002). **Plan Requirements and Timing:** These recommendations shall be printed on grading plans submitted at the Zoning Clearance Permit and Building Permit stage. The recommendations shall be checked and cross-referenced with the Geotechnical Investigation prior to the issuance of a Zoning Clearance Permit, Building Permit or Grading Permit. **Monitoring:** P&D shall site inspect during construction.
16. **NOISE-16:** Construction activity for site preparation and for project development shall be limited to the hours between 7:00 a.m. and 4:00 p.m., Monday through Friday. No construction shall occur on State holidays (i.e. Thanksgiving, Labor Day). Construction equipment maintenance shall be limited to the same hours. Non-noise generating construction activities such as interior painting are not subject to these restrictions. **Plan Requirements:** A sign stating these restrictions shall be provided by the applicant and posted on site. **Timing:** Signs shall be in place prior to beginning of and throughout grading and construction activities. Violations may result in suspension of permits. **Monitoring:** Building Inspectors and Permit Compliance shall spot check and respond to complaints.
17. **SOLIDW-1:** The applicant shall develop and implement a Solid Waste Management Plan (SWMP) to be approved by the Public Works Solid Waste Division and P&D and shall include the following components at a minimum:
  - a. Provision of space and bins for storage of recyclable materials within the project site.
  - b. Development of a plan for accessible collection of materials on a regular basis (may require establishment of private pick-up depending on availability of County-sponsored programs).

- c. Implementation of a green waste source reduction program, including the creation of lot or common composting areas, and the use of mulching mowers in all common open space lawns.

**Plan Requirement/Timing:** The applicant shall submit a Solid Waste Management Program to P&D for review and approval prior to Zoning Clearance. Program components shall be implemented prior to occupancy clearance and throughout the life of the project. **Monitoring:** P&D shall site inspect during construction, prior to occupancy, and after occupancy to ensure solid waste management components are established and implemented.

18. **SOLIDW-2:** To prevent construction and/or employee trash from blowing offsite, covered receptacles shall be provided onsite prior to commencement of grading or construction activities. Waste shall be picked up weekly or more frequently as directed by Permit Compliance staff. **Plan Requirements and Timing:** Prior to Zoning Clearance approval, applicant shall designate and provide to Planning and Development the name and phone number of a contact person(s) to monitor trash/waste and organize a clean-up crew. Additional covered receptacles shall be provided as determined necessary by Permit Compliance staff. This requirement shall be noted on all plans. Trash control shall occur throughout all grading and construction activities. **Monitoring:** Permit Compliance staff shall inspect periodically throughout grading and construction activities.
19. **SOLIDW-3:** The applicant shall submit proof of exemption or a copy of the Notice of Intent to obtain coverage under the Construction General Permit of the National Pollutant Discharge Elimination System issued by the California Regional Water Quality Control Board. **Plan Requirements and Timing:** Prior to approval of Zoning Clearance Permits the applicant shall submit proof of exemption or a copy of the Notice of Intent and shall provide a copy of the required Storm Water Pollution Prevention Plan (SWPPP) to P&D. A copy of the SWPPP must be maintained on the project site during grading and construction activities. **Monitoring:** P&D shall review the documentation prior to approval of Zoning Clearance Permits. P&D shall site inspect during construction for compliance with the SWPPP.

### III. PROJECT SPECIFIC CONDITIONS

20. Pursuant to County Ordinance 3898, the lowest finish floor elevation of all new structures shall be at least 2 feet above the 100 year water surface elevation. Graded lot pads with slab on grade foundations shall be at least 1.5 feet above the 100-year water surface elevation, with finish floor 2' above 100 year elevation. Finish floor elevations may be increased if deemed necessary by the Flood Control Engineer. Finish floor elevations shall be higher than overland escape of adjacent streets, bridges and other obstructions. **Plan Requirements and Timing:** The finish floor elevations shall be shown on site, building and grading plans prior to approval of grading and zoning

clearance permits. **Monitoring:** Flood Control and Building and Safety shall review plans and site inspect to ensure project compliance with this condition

21. Prior to Zoning Clearance issuance, the applicant shall enter into and record an Agreement to Provide and Rental Restrictive Covenant and Preemptive Right based upon the County's model document which shall be subject to review and approval by Planning & Development, County Housing and Community Development (“HCD”) and County Counsel. Thirty-nine apartment units shall be provided at rental prices affordable to very low and low income households, as defined by the County's Housing Element and the Housing Element Implementation Guidelines. This document shall specify affordability consistent with the terms described above and shall include provisions describing marketing of rental of units and requiring County approval of proposed leases. Income eligibility of prospective renters shall be determined by the County or its designee, however, HCD may choose to authorize applicant to conduct income certifications at the discretion of HCD subject to review and monitoring by HCD. The maximum rental rate for the affordable units shall not exceed the maximum levels established by the Board of Supervisors, consistent with the provisions of the Housing Element. The Agreement shall specify that the affordable units shall remain affordable for a period of 45 years unless preempted by state or federal programs. **Monitoring:** P&D shall review the agreement and determine it to be appropriate prior to Zoning Clearance Issuance.
22. Prior to zoning clearance approval, the applicant shall enter into a maintenance agreement with the District to assure perpetual maintenance of all on- and off-site private drainage improvements **or** the applicant shall demonstrate to the satisfaction of P&D that adequate provisions exist for the long-term maintenance (i.e. life of the project) of all flood control improvements related to the project. This may occur through the recordation of Conditions, Covenants and Restrictions (CCR) or similar private maintenance agreement acceptable to P&D and County Counsel or by the County’s acceptance of said flood control improvements. **Monitoring:** P&D shall verify acceptance of flood control improvements into the County’s maintenance system.
23. Construction materials and waste such as paint, mortar, concrete slurry, fuels, etc. shall be stored, handled, and disposed of in a manner which minimizes the potential for storm water contamination. **Plan Requirements and Timing:** Bulk storage locations for construction materials and any measures proposed to contain the materials shall be shown on the grading plans submitted to P&D for review prior to approval of Zoning Clearance Permits. **Monitoring:** P&D shall site inspect prior to the commencement of, and as needed during all, grading and construction activities.
24. To prevent storm water contamination during roadwork or pavement construction, concrete, asphalt, and seal coat shall be applied during dry weather. Storm drains and manholes within the construction area shall be covered when paving or applying seal coat, slurry, fog seal, etc. **Plan Requirements and Timing:** These requirements shall be specified on the grading and building plans submitted to P&D prior to approval of

Zoning Clearance Permits. **Monitoring:** P&D shall site inspect, as needed during construction.

25. The parking area and associated driveways shall be designed to minimize degradation of storm water quality. Best Management Practices (BMPs) such as oil/water separators, sand filters, landscaped areas for infiltration, basins or equivalent BMPs shall be installed to intercept and effectively prohibit pollutants from discharging to the storm drain system. The BMPs selected shall be maintained in working order. The landowner is responsible for the maintenance and operation of all improvements and shall maintain annual maintenance records. **Plan Requirements and Timing:** The location and type of BMP shall be shown on the site and grading plans. The plans and maintenance program shall be submitted to P&D for approval prior to zoning clearance. **Monitoring:** P&D shall site inspect for installation prior to occupancy clearance. The landowner shall make annual maintenance records available for review by P&D upon request.

#### IV. STANDARD CONDITIONS FOR DEVELOPMENT PLANS

26. A trash storage area shall be installed which is architecturally compatible with the project design. The storage area shall be enclosed with a solid wall of sufficient height to screen the area and shall include a solid gate. The trash storage area shall be maintained in good repair. **Plan Requirement:** Location and design of trash storage area shall be denoted on project plans. **Timing:** Trash storage area shall be installed prior to occupancy clearance. **Monitoring:** P&D shall inspect prior to occupancy clearance.
27. All elements of the project (e.g., design, scale, character, colors, materials and landscaping) shall be compatible with vicinity development and shall conform in all respects to BAR approval (08BAR-00000-00103). **Plan Requirement and Timing:** The applicant shall submit architectural drawings of the project for review and shall obtain final approval by the Board of Architectural Review prior to issuance of a Zoning Clearance Permit. Grading plans, if required, shall be submitted to P&D concurrent with or prior to Board of Architectural Review plan filing.
28. Any exterior night lighting installed on the project site shall be of low intensity, low glare design, minimum height, and shall be hooded to direct light downward onto the subject parcel and prevent spill-over onto adjacent parcels. Applicant shall develop a Lighting Plan incorporating these requirements and provisions for dimming lights after 10:00 p.m. **Plan Requirements:** The locations of all exterior lighting fixtures and an arrow showing the direction of light being cast by each fixture and the height of the fixtures shall be depicted on a Lighting Plan to be reviewed and approved by P&D and the BAR. **Monitoring:** P&D and BAR shall review a Lighting Plan for compliance with this measure prior to issuance of a Zoning Clearance Permit for structures. Permit Compliance shall inspect structures upon completion to ensure that exterior lighting fixtures have been installed consistent with their depiction on the final Lighting Plan.

29. Drainage shall be consistent with approved drainage plans. **Plan Requirements:** Prior to issuance of Zoning Clearance Permit, a drainage plan shall be submitted to P&D and Flood Control for review and approval. The plan shall include the location(s) of all proposed pipelines, the entire length of all proposed pipelines, trees located within fifteen feet of the pipeline, pipe diameters, and locations where the pipe(s) would surface in the creek, and amount of water that would flow from each pipeline. **Timing:** The components of the drainage plan shall be implemented prior to issuance of a Zoning Clearance Permit. **Monitoring:** P&D shall site inspect during grading.
30. **Development Plan Expiration:** Approval of the Final Development Plan shall expire five (5) years after approval by the *Planning Commission*, unless prior to the expiration date, substantial physical construction has been completed on the development or a time extension has been applied for by the applicant. The decision-maker with jurisdiction over the project may, upon good cause shown, grant a time extension for one year.
31. **Final Development Plan conformity:** No permits for development, including grading, shall be issued except in conformance with the approved Final Development Plan. The size, shape, arrangement, use, and location of buildings, walkways, parking areas, and landscaped areas shall be developed in conformity with the approved development plan marked Exhibit 1, dated February 11, 2009. Substantial conformity shall be determined by the Director of P&D.
32. **Subsequent Development Plan:** On the date a subsequent Preliminary or Final Development Plan is approved for this site, any previously approved but un-built plans shall become null and void.
33. **Time Extension – Revision:** If the applicant requests a time extension for this project, the permit/project may be revised to include updated language to standard conditions and additional conditions which reflect changed circumstances or additional identified project impacts.
34. The project landscaping shall consist of drought-tolerant native and/or Mediterranean type species which adequately screen the project site from surrounding land uses. Landscaping shall be compatible with the character of the surroundings and the architectural style of the structure. **Plan Requirements/Timing:** Prior to occupancy clearance, the applicant/owner shall enter into an agreement with the County to install required landscaping and water-conserving irrigation systems and maintain required landscaping for the life of the project. The applicant shall also submit four copies of a final landscape and water-conserving irrigation plan to P&D for review and approval. Prior to occupancy clearance, landscape and irrigation shall be installed. **MONITORING:** Prior to occupancy clearance, Permit Compliance staff shall photo document installation. Permit Compliance staff shall check maintenance as needed. Release of any performance security requires Permit Compliance signature.

#### IV. COUNTY RULES, REGULATIONS, & LEGAL REQUIREMENTS

35. Prior to Improvements: Before using any land or structure, or commencing any work pertaining to the erection, moving, alteration, enlarging, or rebuilding of any building, structure, or improvement, the applicant shall obtain a Zoning Clearance and Building Permit from Planning and Development and Building and Safety. These Permits are required by ordinance and are necessary to ensure implementation of the conditions required by the Planning Commission.
36. Before any Permit will be issued by Planning and Development, the applicant must obtain written clearance from all departments having conditions; such clearance shall indicate that the applicant has satisfied all pre-construction conditions. A form for such clearance is available from Planning and Development.
37. Departmental Conditions: Compliance with Departmental letters and conditions:
  - a. Fire Department letter dated April 15, 2008
  - b. Environmental Health Services letter dated January 23, 2009.
  - c. Air Pollution Control District letter dated June 9, 2008.
  - d. Public Works, Roads Division letter dated January 20, 2009.
  - e. Public Works, Project Clean Water letter dated April 25, 2008.
  - f. Public Works, Flood Control letter dated April 17, 2008.
  - g. Parks Department letter dated January 14, 2009.
38. Building and Grading Plans: All applicable final conditions of approval shall be printed in their entirety on applicable pages of grading/construction or building plans submitted to P&D or Building and Safety Division. These shall be graphically illustrated where feasible.
39. Mitigation Monitoring Required: The applicant shall ensure that the project complies with all approved plans and all project conditions including those which must be monitored after the project is built and occupied. To accomplish this, the applicant agrees to:
  - a. Contact P&D compliance staff as soon as possible after project approval to provide the name and phone number of the future contact person for the project and give estimated dates for future project activities.
  - b. Contact P&D compliance staff at least two weeks prior to commencement of construction activities to schedule an on-site pre-construction meeting with the owner, compliance staff or other agency personnel, and with key construction personnel.
  - c. Pay fees prior to Zoning Clearance as authorized under ordinance and fee schedules to cover full costs of monitoring as described above, including costs for P&D to hire outside consultants when deemed necessary by P&D staff (e.g. non-

- compliance situations, special monitoring needed for sensitive areas including but not limited to biologists, archaeologists) to assess damage and/or ensure compliance. In such cases, the applicant shall comply with P&D recommendations to bring the project into compliance. The decision of the Director of P&D shall be final in the event of a dispute.
40. Signed Agreement to Comply with Conditions Required: Prior to Zoning Clearance, the applicant shall provide evidence that he/she has recorded an Agreement to comply with conditions on a form acceptable to Planning and Development. Such form may be obtained from the P&D office.
  41. Fees Required: Prior to recordation, the applicant shall pay all applicable P&D permit processing fees in full.
  42. Indemnity: Developer shall defend, indemnify and hold harmless the County or its agents, officers and employees from any claim, action or proceeding against the County or its agents, officers or employees, to attack, set aside, void, or annul, in whole or in part, for the County's approval of the Development Plan. In the event that the County fails promptly to notify the applicant of any such claim, action or proceeding, or that the County fails to cooperate fully in the defense of said claim, this condition shall thereafter be of no further force or effect.
  43. Legal Challenge: In the event that any condition imposing a fee, exaction, dedication or other measure is challenged by the project sponsors in an action filed in a court of law or threatened to be filed therein which action is brought in the time period provided for in section 66499.37, this approval shall be suspended pending dismissal of such action, the expiration of the limitation period applicable to such action, or final resolution of such action. If any condition is invalidated by a court of law, the entire project shall be reviewed by the Planning Commission and no approval shall be issued unless substitute feasible conditions/measures are imposed.

RECEIVED

APR 16 2008

COUNTY OF SANTA BARBARA (NORTH)  
PLANNING & DEVELOPMENT



# Memorandum

**Date:** April 15, 2008

**To:** Florence T. Cadena  
Planning & Development  
Santa Maria

**From:** Martin Johnson, Inspector *M.J.*  
Fire Department

**Subject:** APN: 101-110-035; Case #: 08DVP-00011/08GPA-00003  
Site: 33 St. Joseph Street, Los Alamos  
Project Description: Creekside Village

---

The above project is located within the jurisdiction of the Santa Barbara County Fire Department. To comply with the established standards, we submit the following with the understanding that the Fire Protection Certificate application may involve modifications, which may determine additional conditions.

## GENERAL NOTICE

1. Stop work immediately and contact the County Fire Department, Hazardous Materials Unit if visual contamination or chemical odors are detected while implementing the approved work at this site. Resumption of work requires approval of the HMU.

## PRIOR TO ERECTION OF COMBUSTIBLE BUILDING MATERIALS, THE FOLLOWING CONDITIONS MUST BE MET

2. All access ways (public or private) shall be installed and made serviceable. Roadway plans, acceptable to the fire department, shall be submitted for approval prior to any work being undertaken.

Because Kahn Way has been designated a possible future "Primary Residential Road", the required width of Kahn Way shall be 40 feet. (Refer to County of Santa Barbara Engineering Design Standards, page 6-9, attached.) The proposed 40-foot radius bulb turnaround at the end of Kahn Way will require red curbing and signage. The extension of Kahn Way, west of the proposed cul-de-sac, shall also be widened to 32 feet. Please note these corrections on future plans.

All driveways shall be paved.

3. The existing road name of "Kahn Way" will be changed to "Gonzales Drive" as part of the approval process.



4. **Three (3)** new fire hydrants shall be installed. The hydrants shall be located as shown on plans dated October 18, 2007 and shall flow **1250** gallons per minute at a 20 psi residual pressure with one 4-inch and two 2½ inch discharge outlets.

**PRIOR TO OCCUPANCY CLEARANCE,  
THE FOLLOWING CONDITIONS MUST BE MET**

5. Santa Barbara County Fire Department fire sprinkler system requirements shall be met. Fire sprinkler system plans shall be approved prior to installation. Location of any fire department connection shall be determined by the fire department.
6. Portable fire extinguisher(s) are required and shall be in accordance with the Santa Barbara County Code Chapter 15, Article 1.
7. Building address numbers shall be posted in conformance with fire department standards.
8. When access ways are gated a fire department approved locking system shall be installed.
9. Payment of development impact fees is required. The fees shall be computed on each new building, including non-habitable spaces.

Fees will be calculated as follows:

Mitigation Fee at \$.10 per square foot for structures with fire sprinkler systems

Mitigation Fee at \$.20 per square foot for structures without fire sprinkler systems

These conditions apply to the project as currently described. Future changes, including but not limited to further division, change of occupancy, intensification of use, or increase in hazard classification, may require additional mitigation to comply with applicable development standards in effect at the time of change.

As always, if you have any questions or require further information please call 681-5500.

MJ:jmd

c: Mr. David Goldstien, 650 Alamo Pintado, #303, Solvang, CA 93463  
Sid Goldstien, Civil Engineer Inc., 650 Alamo Pintado, #302, Solvang, CA 93463  
Housing Authority, County of Santa Barbara, 815 W. Ocean Ave., Lompoc, Ca 93436  
Los Alamos Community Svc District, PO Box 675, Los Alamos, CA 93440  
APN

# PUBLIC Health



DEPARTMENT

## Environmental Health Services

2125 S. Centerpointe Pkwy., #333 • Santa Maria, CA 93455-1340  
805/346-8460 • FAX 805/346-8485

Elliot Schulman, MD, MPH *Health Officer/ Director*  
Michele Mickiewicz *Deputy Director*  
Rick Merrifield *Environmental Health Director*

TO: Florence Trotter-Cadena, Planner  
Planning & Development Department  
Development Review Division

FROM: Paul Jenzen  
Environmental Health Services

DATE: January 23, 2009

SUBJECT: Case No. 08DVP-00000-00011 Los Alamos Area

Applicant: Housing Authority of the County of Santa Barbara  
815 W. Ocean Avenue  
Lompoc, CA. 93436


Property Location: Assessor's Parcel No. 101-110-035, zoned DR 4/8-AH, located at 33  
St. Joseph Street.

Case No. 08DVP-00000-00011 represents a request to construct a total of nine buildings that include thirty-nine apartment units and a community center.

Domestic water supply and sewage disposal are proposed to be provided by Los Alamos Community Services District.

Providing the Planning Commission grants approval of the applicant's request, Environmental Health Services recommends the following be included as Conditions of Approval:

1. Prior to Issuance of Zoning Clearance, Environmental Health Services shall approve written notice from the Los Alamos Community Services District indicating that said district can and will provide domestic water and municipal sewage collection and disposal upon demand and without exception and that all financial arrangements guaranteeing extension of services have been made by the applicant to the satisfaction of the district and Environmental Health Services.




---

Paul Jenzen, R.E.H.S  
Senior Environmental Health Specialist

cc: Applicant  
Los Alamos Community Services District  
Mark Matson, Planning & Development Dept, Building Div., Santa Maria



Santa Barbara County  
Air Pollution Control District

**RECEIVED**  
JUN 11 2008  
S.B.COUNTY (NORTH)  
PLANNING & DEVELOPMENT

To: North County Planning & Development Dept.

Attn: Florence Trotter-Cadena, Project Planner

From: Vijaya L. Jammalamadaka *VJ*

Date: June 9, 2008

Case #: 08DVP-00000-00011; Creekside Village (33 St. Joseph Place)

APN #'(s): 101-110-035

The Air Pollution Control District has reviewed the referenced case and offers the following:

\_\_\_\_\_ The applicant should determine whether the structure(s) proposed for demolition contains asbestos that is friable or has the potential to become friable during demolition or disposal. If the structure does contain friable asbestos, the asbestos should be removed by a contractor that is state certified for asbestos removal.

\_\_\_\_\_ Applicant is required to complete the "Notification for Renovation and Demolition" form (available on the APCD website). The completed form should be mailed to the Santa Barbara APCD no later than the date specified in Section I.B.1 of the instructions.

  X   Standard dust mitigation are recommended for all construction and/or grading activities. The name and telephone number of an on-site contact person must be provided to the APCD prior to issuance of land use clearance.

\_\_\_\_\_ Prior to issuance of land-use clearance, applicants for all wineries (existing and proposed) shall apply for, and obtain, either written permit exemptions or Authority to Construct permits from the APCD for winery-related equipment (fermentation and storage tanks, emergency standby generators, fire water pumps and boilers) as subject to APCD Rules and Regulations. The application forms can be downloaded from <http://www.sbcapcd.org/eng/winery/winery.htm>.

cc: Sid Goldstien, Agent  
TEA Chron File

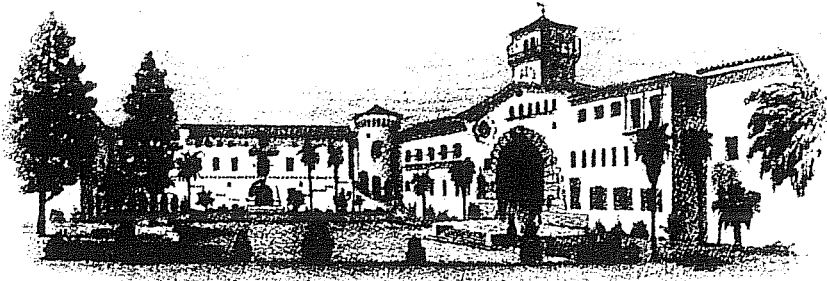


## STANDARD DUST CONTROL REQUIREMENTS

The first measure is required for all projects involving earthmoving activities regardless of the project size or duration; the other measures must be implemented as applicable to the project. Proper implementation of all of these measures, as necessary, is assumed to reduce fugitive dust emissions to a level of insignificance and is strongly recommended for all discretionary projects involving earthmoving.

- During construction, use water trucks or sprinkler systems to keep all areas of vehicle movement damp enough to prevent dust from leaving the site. At a minimum, this should include wetting down such areas in the late morning and after work is completed for the day.
- Increased watering frequency should be required whenever the wind speed exceeds 15 mph. Reclaimed water should be used whenever possible, unless prohibited by law. Reclaimed water should not be used in or around crops grown for human consumption.
- Minimize amount of disturbed area and reduce on site vehicle speeds to 15 miles per hour or less.
- Gravel pads must be installed at all access points to prevent tracking of mud on to public roads. A vacuum truck or suction sweeper should be used to collect soil on paved surfaces. The use of leaf blowers is prohibited.
- If importation, exportation, and stockpiling of fill material are involved, soil stockpiled for more than two days shall be covered, kept moist, or treated with soil binders to prevent dust generation. Trucks transporting fill material to and from the site shall be tarped from the point of origin.
- After clearing, grading, earth moving or excavation is completed, treat the disturbed area by watering, or revegetating, or by spreading soil binders until the area is paved or otherwise developed so that dust generation will not occur.
- The contractor or builder shall designate a person or persons to monitor the dust control program and to order increased watering, as necessary, to prevent transport of dust offsite. Their duties shall include holiday and weekend periods when work may not be in progress. The name and telephone number of such persons shall be provided to the Air Pollution Control District prior to land use clearance.
- Prior to land use clearance for map recordation (as applicable), the applicant shall include, as a note on a separate informational sheet to be recorded with map, these dust control requirements. All requirements shall be shown on grading and building plans. ❁

COUNTY OF SANTA BARBARA  
PUBLIC WORKS DEPARTMENT  
123 East Anapamu Street  
Santa Barbara, California 93101  
805/568-3232 FAX 805/568-3222



January 20, 2009

TO: Florence Trotter-Cadena, Planner  
Development Review

FROM: William Robertson, Transportation Planner  
Public Works, Transportation Division

SUBJECT: **Conditions of Approval (8 pages)**  
**Creekside Village Apartments**  
**08DVP-00000-00011, 08GPA-00000-00003**  
**APN: 101-110-035/ Los Alamos**  
**39 Attached Residential Units, 33 St. Joseph St.**

Traffic Mitigation Fees

1. Pursuant to Ordinance No. 4270 regarding Transportation Impact Fees, the applicant will be required to pay a fee for each new peak hour trip (PHT), for the purpose of funding transportation facilities within the Los Alamos Planning Area of the County.

Based on the current fee schedule, the total estimated fee for the proposed project is **\$16,762 (34 new PHT's x \$493/PHT)**. **Fees are due prior to land use clearance and shall be based on the fee schedule in effect when paid.** This office will not accept payment or process a check received prior to project approval.

Fees are payable to the County of Santa Barbara, and may be paid in person or mailed to: Santa Barbara County Transportation Division, 123 E. Anapamu St., 2<sup>nd</sup> Floor, Santa Barbara, CA 93101 or Santa Barbara County Transportation Division North, 620 West Foster Road, Santa Maria, CA 93455. Please phone this office prior to payment if unsure as to the final fee required.

Sight Distance

2. Prior to land use clearance, the developer shall design, and prior to occupancy, the developer shall provide intersection sight distance in a manner acceptable to the Department of Public Works Traffic Section.

When the criteria for sight distances cannot be met, the County may prohibit vehicle turning movements, require speed change lanes or require additional speed change lane lengths.

Driveways/Drive Aisles

3. Prior to land use clearance, the developer shall design, and prior to occupancy the developer shall construct, all site ingress and egress points in a manner acceptable to the Department of Public Works Traffic Section. All driveway accesses shall be improved to include all necessary pavement or cross gutters to match adjacent improvements as required by the Department of Public Works Traffic and Permit Sections.

Street Sections/Pavement Traffic Index

4. Prior to land use clearance or tract/parcel map approval, the developer shall design, and prior to occupancy, the developer shall construct pavement for all roadwork based on the appropriate road detail provided in the Santa Barbara County Engineering Design Standards. All designs and/or modifications shall be reviewed and approved by the Department of Public Works Traffic Section.
5. Prior to recordation of the Final Map or Zoning Clearance, the applicant shall engineer and post a surety acceptable to County Counsel for the construction of standard concrete curb, gutter, sidewalk and up to 18 feet of matching asphalt paving for all proposed public roads and applicable project frontages. Improvements shall be based on the appropriate road detail provided in the Santa Barbara County Engineering Design Standards and shall include any necessary off-site transitions.

Encroachment/Excavation Permit

6. An Excavation or Encroachment Permit shall be required for any work performed in the County right of way, including road construction, driveways, utilities, and connections.

The developer shall comply with all applicable Public Works Standard Conditions of Approval and Engineering Design Standards, as determined by the Public Works Traffic or Permit Sections, prior to issuance of an Encroachment Permit.

Encroachment Permits and/or Santa Barbara Engineering Design Standards and Public Works Standard Conditions of Approval can be obtained at the following locations:

North County Permits Section  
620 West Foster Road  
Santa Maria, CA 93455  
805-739-8788

South County Permits Section  
4417 Cathedral Oaks Road  
Santa Barbara, CA 93110  
805-681-4967

## Traffic Controls

7. Prior to land use clearance, traffic circulation and control on adjacent streets shall be designed as required by the Department of Public Works Traffic Section. This shall include, but is not limited to, curb openings, turn lanes and control signs for regulation, warning, and guidance of traffic.
8. Prior to land use clearance, traffic circulation and control onsite shall meet the approval of the Department of Public Works Traffic Section.
9. Prior to occupancy, all signs shall be installed, and prior to final clearance, the County may require the developer to add traffic safety devices, such as signing and striping, the need for which are not apparent at time of plan approval but which are warranted due to actual field conditions. The developer shall install the traffic safety devices prior to final clearance.

## Street Lights

10. As authorized by the Board of Supervisors Resolution No. 81-229, before the approval of any Final Subdivision Map, or Precise Plan in planned developments or of any Conditional Use Permit, Conditional Exception or Variance involving land development, the Developer or owner must provide a Road Lighting Plan to the Department of Public Works for approval

The plan must have the approval of the public utility or the public agency involved.

The Road Lighting Plan must show the location of each road light, the mounting height, luminaire arm length, the luminaire type, lamp type and lumen rating and conform to the Residential Road Standards as follows unless approved otherwise by the Public Works Traffic or Permit Sections.

- a. On all residential roads, the space between road lights on the same road will be not less than 180 feet, nor more than 240 feet measured along the centerline of the road. Minimum lamp size must be 5,800 lumen High Pressure Sodium Vapor lights.
- b. Whenever possible road lights must be placed on lot lines and at intersections.

**Residential and commercial road lighting poles may be required to be of an ornamental type acceptable to the Public Works Department and meeting the current standards filed by the utility company concerned in writing, with the Public Works Department.**

A written statement showing the number of lights, the amount of lumens and the monthly and yearly costs must accompany the Road Lighting Plan.

The Developer or owner, prior to final approval of occupancy, must deposit a check with the Public Works Department, payable to the County of Santa Barbara, sufficient in amount to maintain and energize the street lights shown of the approved lighting plan, from the requested date for occupancy clearance, up to the date the first charges or benefit assessments will be made or levied upon the property being developed.

All electrical equipment and installation must conform to the applicable standards of the following:

- a. Electrical safety orders of the Division of Industrial Relations, State of California

- b. Rules for overhead electric line construction, General Rule No. 95 of the California Public Utilities Commission.

Road lighting provided under Highway Lighting Districts or County Service Areas must only be installed in the right of way, roads, or other areas dedicated to the public.

The Department of Public Works may require increased illumination where it is found necessary for traffic or pedestrian safety, due to special circumstances affecting such areas.

11. Prior to recordation of the Final Map, the applicant must apply for annexation of the tract into County Service Area No. 5, and pay all fee's and costs for advertising public hearings in connection therewith.

#### Off-Site Road Improvements

12. Where off-site road improvements or a dedication of right of way for off-site improvements is required for which a need cannot be attributed to the project, the County shall deduct the value of construction or dedication from the payment that would otherwise be collected for Traffic Mitigation Fee's.

Improvements and dedication that are necessary to mitigate the specific impacts of a project on area roads are considered on-site and are not to be deducted from the Traffic Mitigation Fee's. If the value of the off-site road improvements or dedication exceeds the payment required, the County may:

1. Reimburse the applicant the difference between the amount of the payment and the value of the additional improvements and dedication, or
2. Enter into an agreement with the applicant to establish payment for the additional improvements and dedications.

If you have any questions, please contact me at 739-8785.

Sincerely,



William T. Robertson

1/20/09

Date

cc: 08DVP-00000-00011

Bret Stewart, Transportation Manager, County of Santa Barbara, Public Works Department  
J:\Group\Traffic\Winword\Planning\Los Alamos\Creekside Village 08DVP-Cond.doc



# COUNTY OF SANTA BARBARA



## DEPARTMENT OF PUBLIC WORKS

### Standard Conditions for Tentative Tract Map Approval

1. Construction of all improvements required by the Public Works Department in the approval of the Tentative Map shall be in accordance with County Subdivision Ordinance No. 1722, the Geometric Design Standards contained in the Engineering Design Standards Manual, the applicable portions of the California Department of Transportation Standard Specifications of current date and the Standard Detail contained in Appendix 4 of the Engineering Design Standards Manual.
2. Design of all improvements to be constructed as part of this development shall be performed by a Civil Engineer registered in the State of California. Specifications and plan and profile drawings, completed in accordance with Department of Public Works Standards shall be submitted to the Public Works Department and appropriate officials of other departments for their approval, and all bonds and fees shall be posted prior to recordation of the final development map.
3. Prior to recordation of the Final Map and start of any construction, the Developer shall designate to the Department of Public Works the road or roads he intends for construction access to the development to the extent to which subject roads will be used as haul roads. The Public Works Department may, at its option, designate an alternate off-site access or may require a security for the repair or reconstruction in the event subject road is damaged by construction traffic.
4. The Structural road section for all proposed public roads shall consist of the following:

Aggregate Base conforming to the provisions in Section 26, "Aggregate Bases", of the Standard Specifications shall be placed with a minimum thickness of 0.50 feet on all public roads. The actual thickness of the aggregate base shall be determined by "R" Values from Test Method 301- F, California Department of Transportation Specifications. When the Traffic Index is less than 5.5 the minimum section will be 0.2 feet of A.C. and 0.5 feet of A.B. When the Traffic Index is 5.5 or greater, the minimum section will be 0.3 feet A.C. and 0.5 feet Class II Base.
5. All underground utilities shall be extended to development boundaries and laterals stubbed out to the property lines clear of zone at each lot before the placement of concrete surfacing. Prior to release of the Road Improvement Security and acceptance of the roads within the development, it will be necessary for the Developer to have each utility company certify in writing that the above has been accomplished.
6. Prior to release of the Road Improvement Security, the Registered Civil Engineer or Licensed Land Surveyor who performed the construction staking for the development shall certify in writing, that all curbs, gutters, storm drains, and other related street work have been staked in the field accordance with the plan and profile drawings by the Director of Public Works.
7. Prior to approval of plan and profile drawings by the Department of Public Works, the Developer shall post Sureties and provide inspection fees in amounts to be determined by the Department of Public Works to insure required improvements within the road right of way
8. Hydraulic studies indicating drainage flows to be anticipated from the entire watershed within which the development is located shall be submitted to the Public Works Department and Flood Control Engineer for review and approval. Detailed hydraulic studies of storm water run-off to be carried in each gutter of each street shall be submitted by the Developer's Engineer for approval by the Public Works Department. The amount of storm water runoff to be carried in a street section shall be computed on the basis of a 10 year frequency storm. Special drainage facilities will be required when the capacity of the street section has been reached. The drainage facility design shall be prepared in conformance with Section 13 and Appendix 12 of the Engineering Design Standards Manual, and submitted for approval by the Department of Public Works and Flood Control Engineer. Design criteria for underground drainage facilities will be based on a minimum storm frequency of 25 years. Actual design frequency will be determined by the Department of Public Works or the Flood Control Engineer.

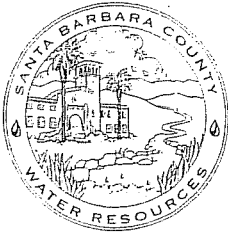
9. Developer shall furnish and install any required road name signs, traffic control signs. *And striping to County standards. All traffic control signs shall be installed after roads are paved and prior to being opened up to traffic, including construction traffic.*
10. All off-tract drainage and flood control facilities and installations shall be installed and completed prior to grading of subject development.
11. Developer shall offer for dedication as easement to the County, at no cost to the County, all road rights of way shown within the boundaries of subject development map, except roads proposed to be private roads. All road rights of way offered for dedication to the County shall be free and clear of any easements prior to recordation of the Final Map, unless approved otherwise by the Department of Public Works.
12. A denied access strip one foot wide shall be offered for dedication in fee to the County as a separate parcel of land, not part of the road right of way, and standard Public Works Department road barricades constructed across the end of all public roads extending to the tract boundaries of any unit of the tract, except where they are extensions of existing improved public roads.
13. Prior to approval of plan and profile drawings by the Public Works Department, the following utilities shall be shown on the plans and approved by an authorized representative of the utility:
  1. Sewer System
  2. Water Distribution System
  3. Gas Distribution System
  4. Storm Drains required by Flood Control

Additionally, a preliminary plan showing underground electrical, telephone and Cable T.V. service shall be submitted by each agency.

14. All plan and profile drawings presented to the Public Works Department for approval shall be in conformance with the requirements of the Engineering Design Standards Manual. All road widths shall be as specified in this Manual. Roadway classifications are as specified in the Circulation Element of the General Plan.
15. Water for compaction and dust control shall be made available within the boundaries of the development prior to starting any earth moving operations other than necessary for the installation of subject water source. Applicant shall provide a water availability letter from the appropriate water supply agency.
16. Prior to start of any earth moving or improvements within the development the Developer shall obtain a Road Excavation and Encroachment Permit from the Public Works Department as required by Board of Supervisors Ordinance No. 1491, dated November 26, 1963, and/or shall obtain a County Grading Permit per Santa Barbara County Ordinance No. 1795 dated May 20, 1967.
17. The program for reconstruction of any existing County road being used by public traffic shall be presented in writing to the Public Works Department a minimum of 4 working days ahead of the proposed starting date. The Progress Schedule of proposed work shall be approved prior to start of construction. After construction on any existing County road commences, the project shall be pursued continuously to completion. Any delay will provide good cause for issuance of a stop order on all other portions of the development.
18. The following utilities and services, both existing and proposed, shall be installed underground in the roads pursuant to Resolution No. 24416 and connected to each dwelling unit where housed are built, or stubbed out to each lot where lots only are sold: Gas, Water, Cable T.V., Telephone, Sanitary Sewer and Electrical Power.
19. After Sign-off by the Public Works Department Inspector, and prior to release of final security, the Developer's Engineer shall add "Record Drawing" information to the original tracings in red or orange ink and sign them as "RECORD DRAWING".
20. *On any proposed streets where curbs, gutters and sidewalks are required, the sidewalks shall have a total distance from curb face to back of sidewalk as prescribed in the Standard Details contained in Appendix 3 and 4 of the Engineering Design Standards Manual. Existing streetlights or fire hydrants within the sidewalk area shall be relocated behind the sidewalk, and any proposed streetlights or fire hydrants placed behind the sidewalk.*
21. Any double frontage lot (lots having a street both front and rear) shall have denied access to the rear street.

22. Concrete masonry block walls, if required by the Resource Management Department shall be constructed to the design and standards of the Building and Safety Division of the Public Works Department. Walls adjacent to road rights of way shall be shown on the Department of Public Works plan and profile drawings. A Building Permit may be required for such walls.
23. Developer shall comply with the Department of Public Works policy relating to Subdivision Street Trees and Utility Service Laterals on all subdivision streets.
24. Chain link fences, if required by the Resource Management Department of Flood Control, shall be constructed to Cal Trans Standard Plans. Subject fences shall be shown on the Department of Public Works plan and profile drawings if adjacent to County road rights of way.
25. Developer shall post Security and provide plan-checking fees in amounts to be determined by the Public Works Department to insure proper construction of all private streets within the development. Security will be released upon certification of a Civil Engineer registered in the State of California that subject streets have been constructed to approved standards.
26. Occupancy of any building within the development will be denied until all street improvements and drainage facilities are completed.
27. The developer's engineer *of record, as specified in these conditions*, shall certify to the Public Works Department *prior to release of any securities* that all private streets within the subject development are constructed according to approved plans prior to occupancy of any dwelling unit within the tract, *and that all rough grading has been completed in substantial conformance with the tract grading plan.*
28. Upon completion of construction and prior to occupancy, the entire road right of way abutting this project will be cleaned to allow Public Works Department Inspectors to check for damage to curbs, gutters, or sidewalks caused by construction traffic. Any damage will be repaired by the Developer prior to occupancy.
29. The Developer shall comply with the current Bikeway Element of the General Plan as to the dedication and construction of bikeways.
30. All roads shall be kept clear of mud *and/or other construction debris* during construction.
31. The Developer will be responsible for and fees required for materials retesting.
32. The Developer may be required by the Public Works Department to overlay *or chip seal a road, as determined by the Public Works Department*, after construction work has been completed if it is determined by the County that local patching is insufficient to mitigate project related construction and utility trenching damage.
33. Subdivider shall submit a Grading Plan acceptable to the Public Works Department for all streets and building pads prior to submitting the Final Map for approval. The Grading Plan shall show all lots draining to the street on which they front unless otherwise approved by the Public Works Department. The Grading Plan shall also show method and degree of compaction and proposed method of stabilizing exposed slopes. Subdivider shall plant and maintain all cut and fill slopes and maintenance shall be continued until the lot is occupied.
34. A preliminary Soils Report of the area, prepared by a Civil Engineer experienced in soil mechanics and slope stability, and registered in the State of California, will be required prior to the issuance of Grading Permits. The report shall include data regarding the distribution, stability and expansive nature of existing soils and conclusions and recommendations for grading procedures and design criteria for corrective measures.
35. All grading shall comply with the provisions of County Grading Ordinance No. 1795, and to Public Works Department standards.
36. Grading shall be designed so that natural drainage from off-tract property is not obstructed.
37. Provision shall be made to prevent off-tract drainage from being received by lots. Tract drainage shall not be drained to a public street gutter that does not have storm drainage inlets and where the tract drainage could, after being carried along the road gutter for some distance, be dumped into another tract.
38. No grading can be done prior to Final Map recordation except in compliance with County Code Chapter 21-8-C4.

39. All underground utility trench backfills on private property and in private roads shall be compacted and tested to a minimum of 90%, or to the satisfaction of the Public Works Director. Compaction test reports shall be submitted before and grading is finalized.
40. The Subdivider shall furnish one copy of the Final Tract Map to the Public Works Department prior to approval.
41. All debris, liter, and other construction waste generated by this development shall be removed from the site or adjacent property. Occupancy clearance of any building will be denied until debris removal is acceptable to the Public Works
42. Since certain areas of Santa Barbara County are prone to accelerated seasonal erosion by either wind or water, and acceptable Erosion Control Plan, with timing, may be required with the project Grading Plan.
43. Any tract which is to be graded out (mass graded) and developed as a Phased Build-Out will require a detailed engineered Erosion Control Plan which will apply to all graded areas which are not built out. This plan shall be maintained until the respective tract phases are built out. *This condition shall also apply to Lot Sale Subdivisions.*
44. *On lot sale subdivisions, no building permits shall be issued for any lot until all required utilities, rough grading, drainage facilities, and street improvements have been completed, unless otherwise approved by the Director of Public Works. This condition must be shown on the Final Map, along with the time allowed by the Subdividers Contract for the developer to complete said improvements.*
45. *Prior to issuance of any road construction and/or grading permits, the applicant shall verify to the Department of Public Works, in writing, that a registered civil engineer has been retained to act as the Engineer of Record during construction and testing operations. This engineer shall be responsible for any and all observation during construction, which he deems necessary to certify those aspects of construction requiring certification pursuant to these conditions. Where possible, the engineer whose signature and stamp appear on the tract plans should be retained as the Engineer of Record.*
46. *Regardless of all review and/or acceptance of tract plans, specifications, calculations, and reports by Public Works or other County departments, the registered civil engineer whose signature and stamp appear on the tract grading and road improvement plans is responsible for the accuracy and integrity of the design and base information relating to the plans and calculations. Design conflicts which arise during construction may result in work being stopped until discrepancies are resolved.*



County of Santa Barbara Public Works Department  
 Project Clean Water  
 123 E. Anapamu Street, Suite 240, Santa Barbara, CA 93101  
 (805) 568-3440 FAX (805) 568-3434  
 Website: www.countyofsb.org/project\_cleanwater



SCOTT D. MCGOLPIN  
 Director

THOMAS D. FAYRAM  
 Deputy Director

April 25, 2008

Florence Trotter-Cadena  
 County of Santa Barbara  
 Planning & Development Department  
 624 W. Foster Road Suite C  
 Santa Maria, CA 93455-3623

Re: 08DVP-00000-00011 08GPA-00000-00003 Creekside Village Apartments [REDACTED]  
 [REDACTED]  
 APN 101-110-055

Dear Ms. Trotter-Cadena:

The above referenced project is subject to the County of Santa Barbara's Standard Conditions for Project Plan Approval – Water Quality BMPs. The conditions apply because the project is more than 10 residential units and/or more than 1.0 acre residential development and/or more than 25 parking stalls exposed to storm water. These conditions require appropriate treatment of runoff from impervious surfaces for the design storm to remove potential pollutants (see attached conditions).

This project was similarly conditioned by letter dated Feb 8, 2006.

*Because of the relationship to topography and site layout, it is important to incorporate storm water quality treatment measures early in the design process.*

Examples of acceptable treatment for this project include open drainage channels as treatment bioswales (vs. buried drain pipe) and landscape planters for treatment bioretention in parking areas (vs. impervious concrete gutters). These features can be incorporated into the overall landscape design. Use of impervious paving materials will reduce the amount of runoff requiring treatment while addressing County policy to minimize overall imperviousness and break up areas of connected hardscape (i.e., roof drain to parking lot into pipe to creek).

The following specific provisions apply:

1. Prior to issuance of Zoning Clearance or Building or Grading Permits, the applicant shall submit to the Water Resources Division (attention: Project Clean Water) for review and approval either A) improvement plans, grading & drainage plans, landscape plans, and a

drainage study or B) a Storm Water Quality Management Plan that includes relevant details on improvements, grading & drainage, and landscaping.

At a minimum, the submittal(s) must:

- a. show the locations of all treatment facilities and their drainage (treatment) areas,
  - b. demonstrate how the treatment facilities comply with the conditions by treating runoff from the design storm, and
  - c. include a long-term maintenance plan appropriate for the proposed facilities.
2. Prior to issuance of Zoning Clearance or Building or Grading Permits, applicant shall submit the long-term maintenance plan for review and approval. The maintenance plan must identify the party responsible for maintenance of all required storm water runoff treatment control facilities and assure perpetual maintenance of the facilities. The maintenance plan shall be recorded with the County Clerk-Recorder.
3. Prior to issuance of Occupancy Clearance, all drainage improvements required as part of the above conditions shall be constructed in accordance with the approved plans and *certified by a Registered Civil Engineer*. A set of As-Built plans shall be submitted to Water Resources Division. A Drainage Improvement Certificate shall be signed and stamped by the engineer of record and be submitted to the Water Resources Division (attn: Cathleen Garnand).

Note that the applicant will be required to pay the current plan check fee deposit at the time the Storm Water Quality Management Plan or equivalent is submitted for review and approval.

Information on design requirements can be found on the Project Clean Water website:  
([http://www.sbprojectcleanwater.org/post\\_construction.html](http://www.sbprojectcleanwater.org/post_construction.html)).

Resources acceptable for use in the selection and design of treatment control BMPs include:

- California Stormwater Best Management Practice Handbooks – New Development and Redevelopment. California Stormwater Quality Association. 2003 (or most recent edition).
- Start at the Source. Bay Area Stormwater Management Agencies Association. 1999 (or most recent edition).
- Technical Guidance Manual for Stormwater Quality Control Measures. Ventura Countywide Stormwater Quality Management Program. 2002 (or most recent edition).
- Development Planning for Stormwater Management – A Manual for the Standard Urban Storm Water Mitigation Plan. Los Angeles County Department of Public Works. 2002 (or most recent edition).
- Post-Construction Storm Water Management in New Development & Redevelopment – National Menu of Best Management Practices for Stormwater Phase II. U.S. Environmental Protection Agency. (most recent: see <http://cfpub.epa.gov/npdes/stormwater/menuofbmps/menu.cfm>)

There are many additional resources available.

Please note that the project is subject to additional conditions from Planning and Development Department to protect water quality through site design and source control measures. Such measures include but are not limited to reducing directly connected impervious surfaces, reducing overall imperviousness, and use of drought-tolerant or native landscaping as per State Water Resources Control Board NPDES General Permit WQO 2003-0005-DWQ Attachment 4(B).

I would be happy to work with you and the applicant's project team in selecting effective and appropriate measures for this site. I can be reached at (805) 568-3561.

Sincerely,

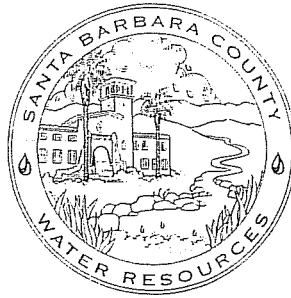


Cathleen Gamand  
Civil Engineering Associate

Attachment    Standard Conditions

cc:    Santa Barbara County Planning Commission  
      Housing Authority of Santa Barbara County, 815 West Ocean Ave., Lompoc, CA 93436  
      Sid Goldstien, 650 Alamo Pintado Road, #302, Solvang, CA 93463  
      David Goldstien, 650 Alamo Pintado Road, #302, Solvang, CA 93463

RECEIVED  
APR 17 2008  
S.B. COUNTY  
PLANNING & DEVELOPMENT



RECEIVED  
APR 18 2008  
S.B. COUNTY (NORTH)  
PLANNING & DEVELOPMENT

April 17, 2008

Santa Barbara County Public Works Department  
Flood Control & Water Agency

Planning Commission  
County of Santa Barbara  
Planning & Development Department  
123 E. Anapamu St.  
Santa Barbara, CA 93101

**RE: 08DVP-00000-00011, Creekside Village Apartments  
APN 101-110-035, Los Alamos**

Dear Commissioners:

The District recommends that approval of the above referenced project be subject to the following conditions:

1. General

- a. The applicant shall comply with the Santa Barbara County Flood Control District Standard Conditions of Approval dated November 2007 ([www.countyofsb.org/pwd/water/downloads/StdCond\\_PlnApproval.pdf](http://www.countyofsb.org/pwd/water/downloads/StdCond_PlnApproval.pdf)).
- b. The applicant shall provide a site plan of the proposed development following the guidelines provided in the Standard Conditions of Approval.

2. Design

- a. This project shall be designed in compliance with the setback requirements described in Chapter 15B of the Santa Barbara County Code.
- b. The applicant shall submit all improvement plans, grading plans, drainage plans, drainage studies and landscape plans to the District for review and approval.
- c. The applicant shall acquire and submit all required data, forms and certifications as described in the Standard Conditions of Approval.
- d. The applicant shall acquire and submit all required data, forms and certifications as described in the Standard Conditions of Approval.
- e. The lowest finish floor elevation of all new structures shall be at least 2 feet above the 100-year Base Flood Elevation (BFE) as they appear on the most current Federal Emergency Management Agency (FEMA) flood insurance rate map (FIRM).
- f. The applicant shall sign the Agreement for Payment of Plan Check Fees (attached to the Standard Conditions of Approval) and pay the appropriate plan check fee deposit at the time of the initial submittal of plans and studies.



3. Prior to Issuance of Development Permits

- a. The applicant shall dedicate real property for drainage within the subdivision, and easements on the Final Map or by a separate instrument.
- b. The applicant shall acquire and supply proof of drainage easements for off-site drainage conveyances.
- c. The applicant shall submit a copy of the project's HASBARCO Management Plan to the District for review and approval.
- d. The applicant shall post surety bonds for drainage improvements in amounts approved by the Public Works Director.
- e. The applicant shall submit to the District electronic drawings in PDF format of the approved final grading plans, improvement plans, drainage plans, drainage studies and landscape plans on a compact disc along with one hard copy of each.

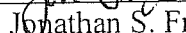
4. Prior to Occupancy Clearance

- a. The engineer of record shall submit a Drainage Improvement Certification (attached to the Standard Conditions of Approval).
- b. The applicant shall submit a Project Summary Report in PDF format to the District.
- c. The applicant shall submit an Elevation Certificate (FEMA Form 81-31) to the District's Floodplain Manager for all lots located within a Special Flood Hazard Area.

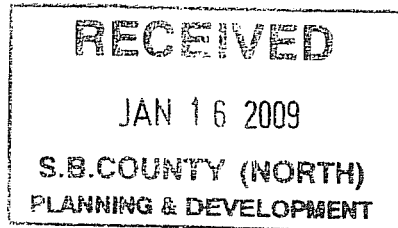
Sincerely,

SANTA BARBARA COUNTY FLOOD CONTROL & WATER CONSERVATION DISTRICT

By: \_\_\_\_\_

  
Jonathan S. Frye, P.E.  
Engineering Manager

Cc: Florence Trotter-Cadena, Planning & Development  
Housing Authority of Santa Barbara County, 815 West Ocean Ave., Lompoc, CA 93436  
Sid Goldstien, 650 Alamo Pintado Road, #302, Solvang, CA 93463  
David Goldstien, 650 Alamo Pintado Road, #302, Solvang, CA 93463



Daniel C. Hernandez, MPA  
Director of Parks  
(805) 568-2461

Michael Gibson, MPA  
Business Manager  
(805) 568-2477

Juan Beltranena, AIA, AICP  
Project Manager  
(805) 568-2470

Jeff Stone  
North County  
Deputy Director  
(805) 934-6145

Erik Axelsson  
South County  
Deputy Director  
(805) 681-5651

Park Administration Office  
610 Mission Canyon Road  
Santa Barbara, CA 93105  
Tel: (805) 568-2461  
Fax: (805) 568-2459

North County  
Park Operations  
300 Goodwin Road  
Santa Maria, CA 93455  
Tel: (805) 934-6123  
Fax: (805) 934-6213


South County  
Park Operations  
4568 Calle Real, Building E  
Santa Barbara, CA 93110  
Tel: (805) 681-5650  
Fax: (805) 681-5657

Cachuma Lake  
Recreation Area  
HC 59, Hwy. 154  
Santa Barbara, CA 93105  
Tel: (805) 686-5055  
Fax: (805) 686-5075

www.sbparcs.org  
Equal Opportunity Employer

January 14, 2009

TO: Florence Trotter-Cadena, Planner  
Planning & Development

FROM: Claude Garciacelay, Park Planner 

RE: **08DVP-011 Creekside Village Apartments**  
**APN 101-110-035**

County Parks recommends the following condition(s) to the approval of the above referenced project:

1) Pursuant to the provisions of Ordinance 4348 and 4363 and the appurtenant fee resolutions adopted by the Board of Supervisors, the applicant will be required to pay a development mitigation fee for new dwelling unit(s) to offset the project's potential impact on the County's park system. Said fee will be used in conjunction with other similar fees collected in the area to provide park and recreational facilities in the Regional Demand Area.

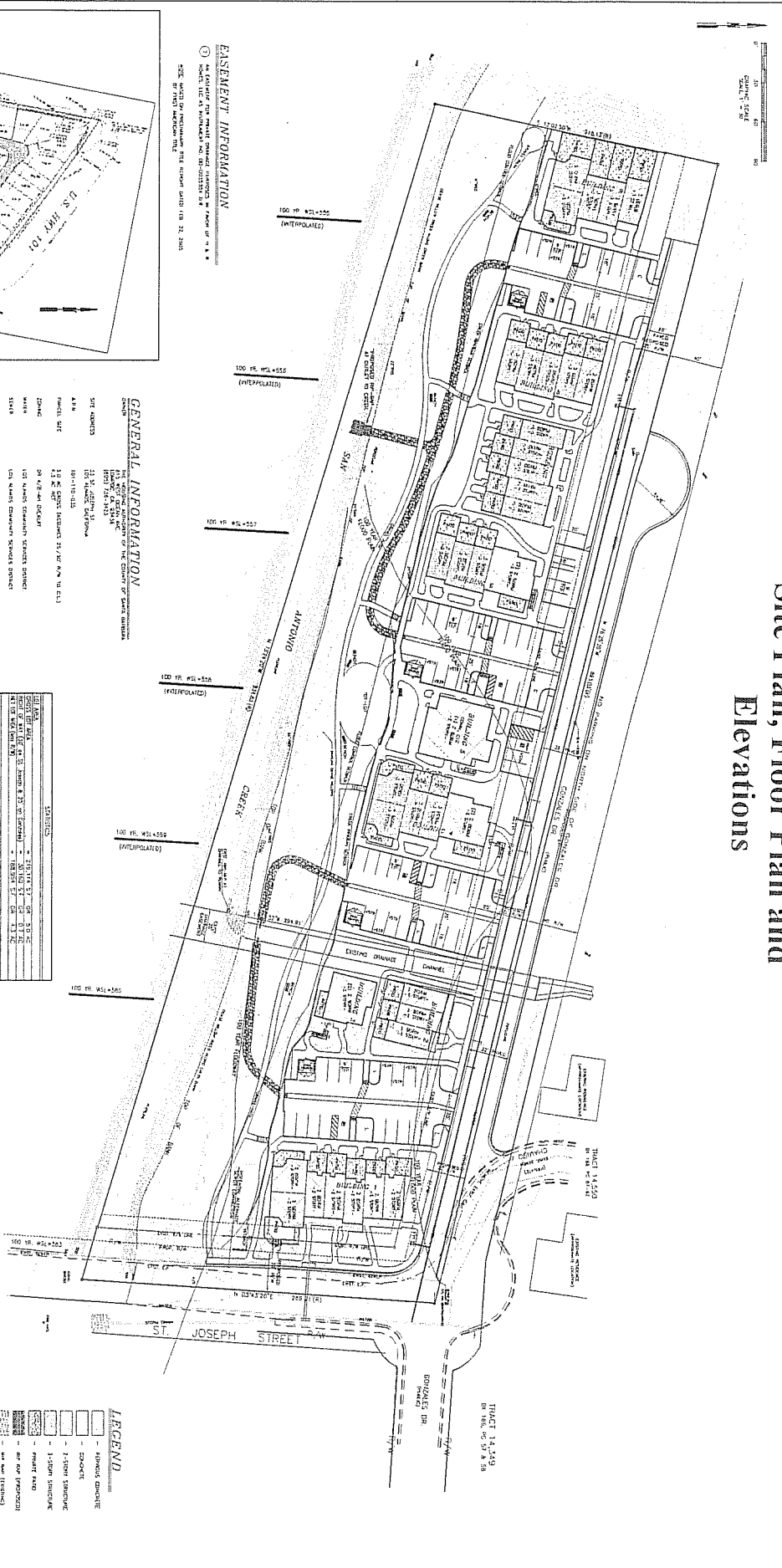
The current applicable fee in the demand area for apartment unit is \$760 per unit. Ordinance 4363 allows for a 40% reduction in fees for "beneficial projects" for this type of housing. The total fee for the project would be **\$17,784.00** (\$456 x 39 unit(s)). Fees are payable prior to final inspection, and shall be based on the fee schedule in effect when paid. Fee schedules are subject to yearly adjustments in July/August of every year. This office will not accept or process a check received prior to project permit approval by the decision maker.

The check must be made out to COUNTY OF SANTA BARBARA, and can be paid in person or mailed to: Santa Barbara County Parks, Rocky Nook Park, 610 Mission Canyon Road, Santa Barbara, CA 93105, or at our north county office at Waller Park, 300 Goodwin Road, Santa Maria, CA 93455.

cc: Applicant/Owner:  
Jason Rojas, Santa Barbara County Housing Authority  
815 W. Ocean Ave., Lompoc CA 93436-6526  
Agent:  
Robert Ruiz, Sid Goldstien Civil Engineer, Inc.  
650 Alamo Pintado Rd., Ste. 302, Solvang CA 93463

# Attachment G

## Site Plan, Floor Plan and Elevations

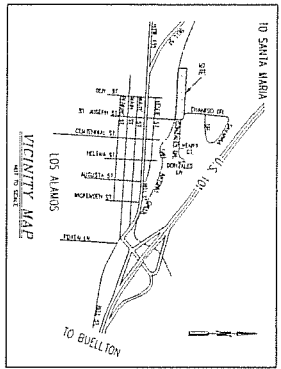


### EASEMENT INFORMATION

1. EASEMENT INFORMATION  
 SEE THE RECORDING OFFICE FOR THE LOCATION OF THE EASEMENT.  
 SEE THE RECORDING OFFICE FOR THE LOCATION OF THE EASEMENT.

### GENERAL INFORMATION

PROJECT NAME: HOUSING AUTHORITY OF THE COUNTY OF SANTA BARBARA  
 PROJECT ADDRESS: 10 SANTA BARBARA  
 PROJECT CITY: SANTA BARBARA, CALIFORNIA  
 PROJECT ZIP: 93101  
 PROJECT PHONE: (805) 964-1111  
 PROJECT FAX: (805) 964-1111  
 PROJECT EMAIL: info@housingauthority.org  
 PROJECT WEBSITE: www.housingauthority.org



NO.	DESCRIPTION	AREA (SQ. FT.)	AREA (SQ. YDS.)
1	LOT 1	10,000	230
2	LOT 2	10,000	230
3	LOT 3	10,000	230
4	LOT 4	10,000	230
5	LOT 5	10,000	230
6	LOT 6	10,000	230
7	LOT 7	10,000	230
8	LOT 8	10,000	230
9	LOT 9	10,000	230
10	LOT 10	10,000	230

NO.	DESCRIPTION	AREA (SQ. FT.)	AREA (SQ. YDS.)
1	LOT 1	10,000	230
2	LOT 2	10,000	230
3	LOT 3	10,000	230
4	LOT 4	10,000	230
5	LOT 5	10,000	230
6	LOT 6	10,000	230
7	LOT 7	10,000	230
8	LOT 8	10,000	230
9	LOT 9	10,000	230
10	LOT 10	10,000	230

NO.	DESCRIPTION	AREA (SQ. FT.)	AREA (SQ. YDS.)
1	LOT 1	10,000	230
2	LOT 2	10,000	230
3	LOT 3	10,000	230
4	LOT 4	10,000	230
5	LOT 5	10,000	230
6	LOT 6	10,000	230
7	LOT 7	10,000	230
8	LOT 8	10,000	230
9	LOT 9	10,000	230
10	LOT 10	10,000	230

NO.	DESCRIPTION	AREA (SQ. FT.)	AREA (SQ. YDS.)
1	LOT 1	10,000	230
2	LOT 2	10,000	230
3	LOT 3	10,000	230
4	LOT 4	10,000	230
5	LOT 5	10,000	230
6	LOT 6	10,000	230
7	LOT 7	10,000	230
8	LOT 8	10,000	230
9	LOT 9	10,000	230
10	LOT 10	10,000	230

NO.	DESCRIPTION	AREA (SQ. FT.)	AREA (SQ. YDS.)
1	LOT 1	10,000	230
2	LOT 2	10,000	230
3	LOT 3	10,000	230
4	LOT 4	10,000	230
5	LOT 5	10,000	230
6	LOT 6	10,000	230
7	LOT 7	10,000	230
8	LOT 8	10,000	230
9	LOT 9	10,000	230
10	LOT 10	10,000	230

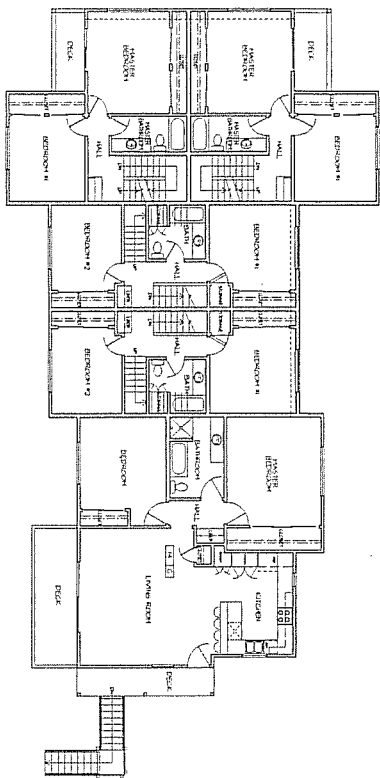
HOUSING AUTHORITY OF THE COUNTY OF SANTA BARBARA  
 "CREEKSIDE VILLAGE"  
 OBDP-00000-00011  
 DEVELOPMENT PLAN  
 SHEET 1 OF 2

SD GOLDSTEIN-CIVIL ENGINEER, INC.  
 PLANNING • DESIGN • STUDIES • RESIDENTIAL/COMMERCIAL DEVELOPMENT  
 1500 W. 10TH STREET, SUITE 100  
 SANTA ANA, CALIFORNIA 92703  
 TEL: (714) 952-2222  
 FAX: (714) 952-2222

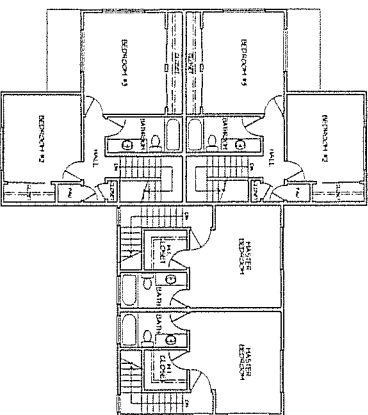




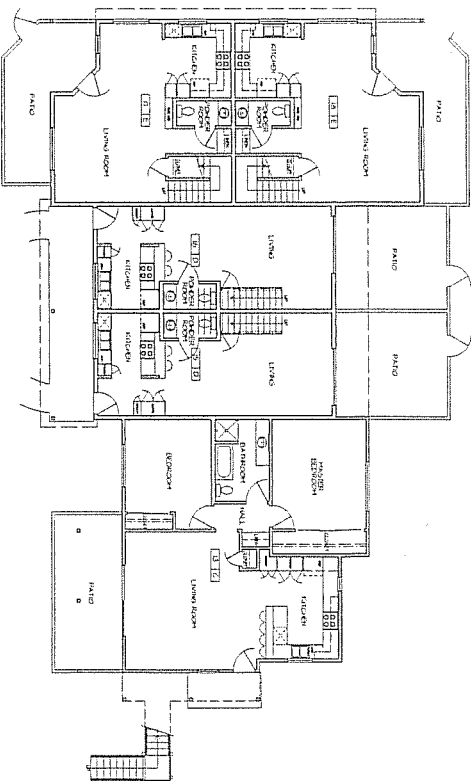
# Attachment G Site Plan, Floor Plan and Elevations



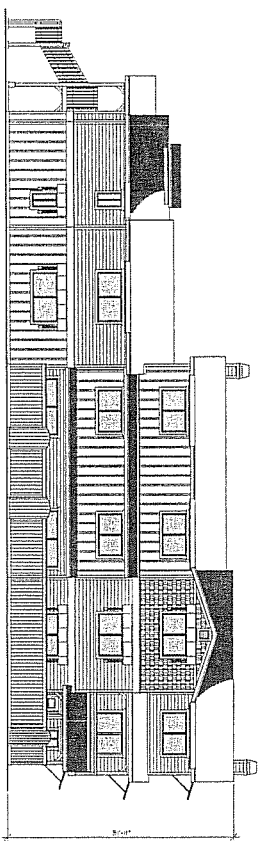
SECOND FLOOR PLAN  
DATE: 11/11/07



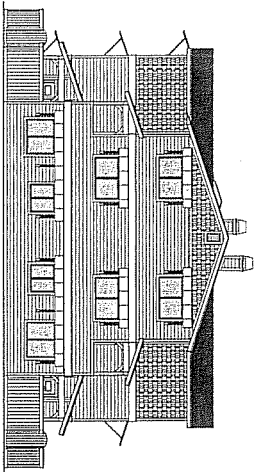
THIRD FLOOR PLAN  
DATE: 11/11/07



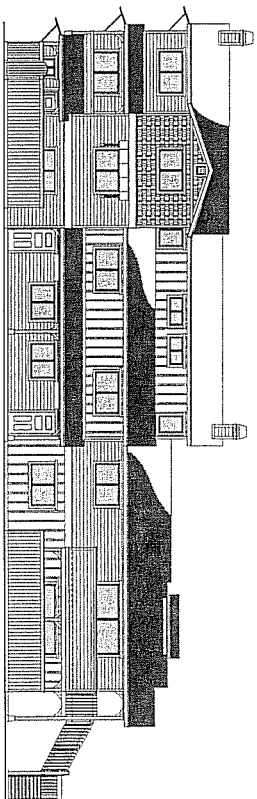
FIRST FLOOR PLAN  
DATE: 11/11/07



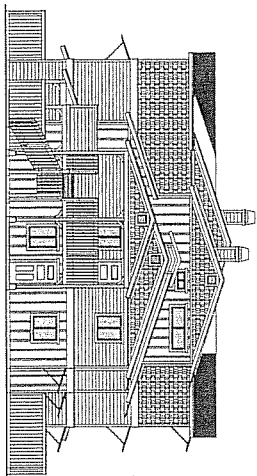
WEST ELEVATION  
DATE: 11/11/07



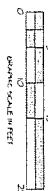
SOUTH ELEVATION  
DATE: 11/11/07



EAST ELEVATION  
DATE: 11/11/07



NORTH ELEVATION  
DATE: 11/11/07



GRAPHIC SCALE BAR

DAVID GOLDSTEN ARCHITECT  
 1000 West 10th Street  
 Santa Ana, CA 92701  
 949.445.5519

CREKESIDE VILLAGE APARTMENTS

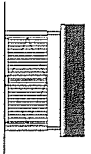
BUILDING 4

LOS ALAMOS, CA

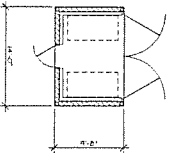
1-3-08 BAR REV  
 PROJECT: 1-3-08  
 DRAWN: PJA  
 DATE: 03/07

3

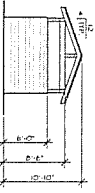
# Attachment G Site Plan, Floor Plan and Elevations



FRONT ELEVATION TRASH BUILDING  
0.5" = 1'-0"



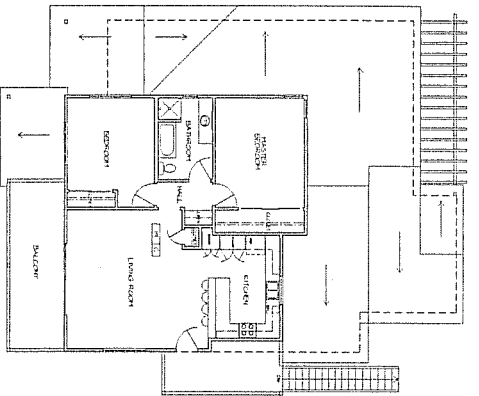
TOP TRASH BUILDING FLOOR PLAN  
0.5" = 1'-0"



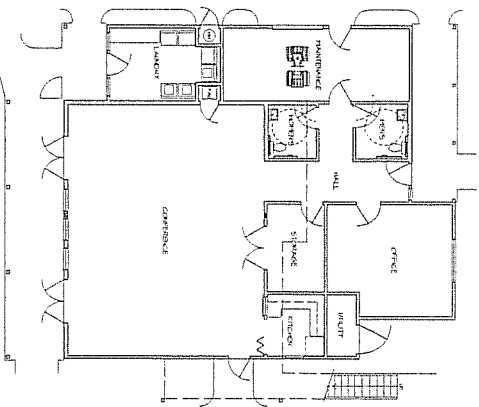
SIDE ELEVATION TRASH BUILDING  
0.5" = 1'-0"



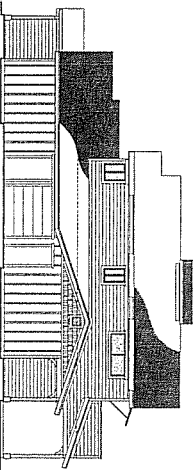
BACK ELEVATION TRASH BUILDING  
0.5" = 1'-0"



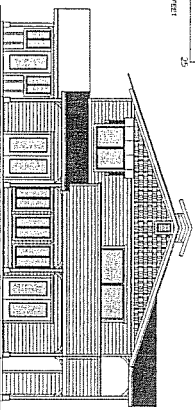
SECOND FLOOR PLAN  
0.5" = 1'-0"



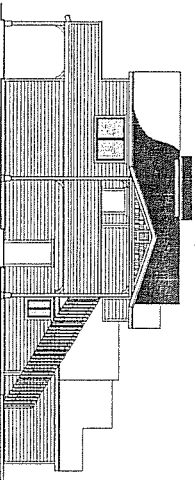
FIRST FLOOR PLAN  
0.5" = 1'-0"



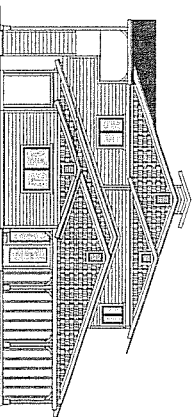
WEST ELEVATION  
0.5" = 1'-0"



SOUTH ELEVATION  
0.5" = 1'-0"



EAST ELEVATION  
0.5" = 1'-0"



NORTH ELEVATION  
0.5" = 1'-0"

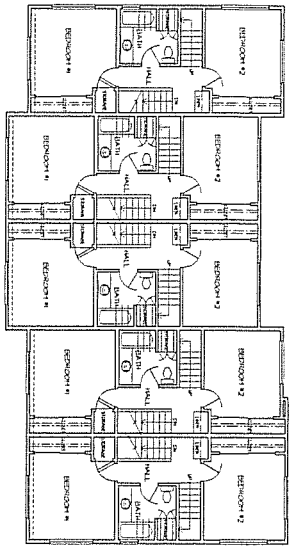


	DAVID GOLDSTEIN ARCHITECT AIA INC. 650 West Franklin Suite 200 San Jose, CA 95128 408.434.1111
	CREKESIDE VILLAGE APARTMENTS BUILDING 3 & TRASH AREA LOS ALAMOS, CA
PROJECT: PERIOD: 1-3-08 BAR REV/ 1-13-08 1-13-08 BAYON, F.A. SHEET 4	4

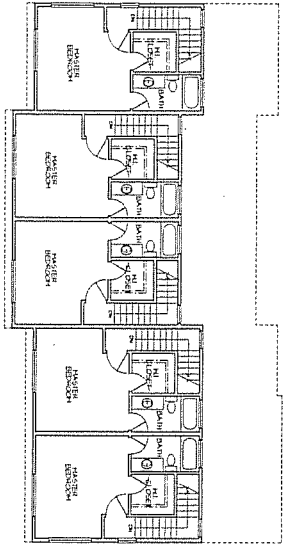




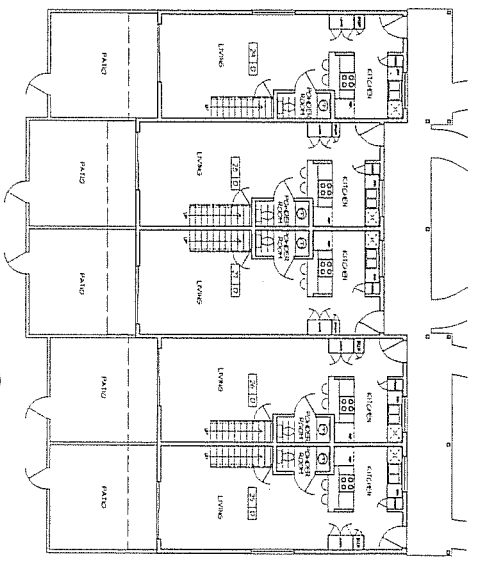
# Attachment G Site Plan, Floor Plan and Elevations



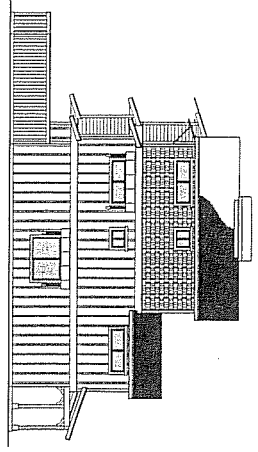
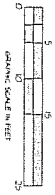
SECOND FLOOR PLAN  
1/8" = 1'-0"



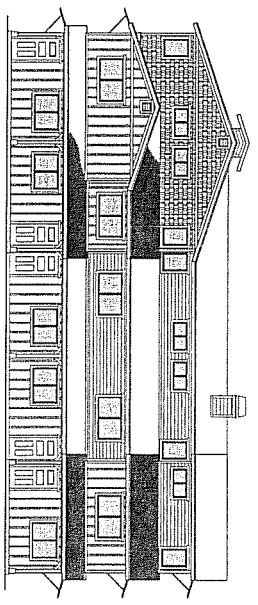
THIRD FLOOR PLAN  
1/8" = 1'-0"



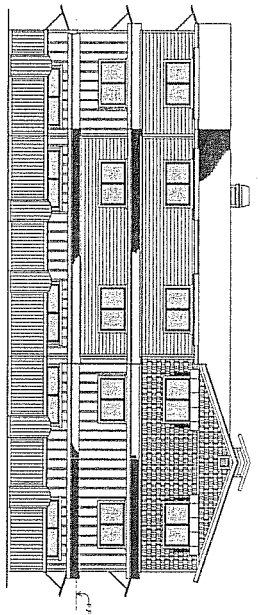
FIRST FLOOR PLAN  
1/8" = 1'-0"



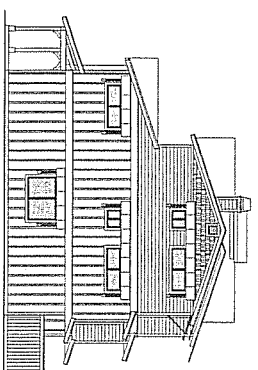
EAST ELEVATION  
1/8" = 1'-0"



NORTH ELEVATION  
1/8" = 1'-0"



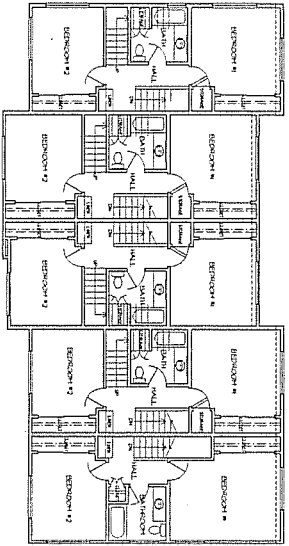
SOUTH ELEVATION  
1/8" = 1'-0"



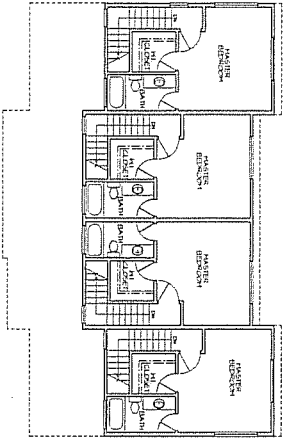
WEST ELEVATION  
1/8" = 1'-0"

<p>DAVID GOLDSTEIN ARCHITECT V.A. 650 Alhambra Plaza Suite 201 Alhambra, CA 91801 626.441.8500</p>	<p>CREEKSIDE VILLAGE APARTMENTS BUILDING 7 LOS ALAMOS, CA</p>	<p>7-2-09 BAR REV 7-2-09 H3-04 REVISION R/A REV 0331 DATE 03/31/09</p>	<p>6</p>
--	---	--	----------

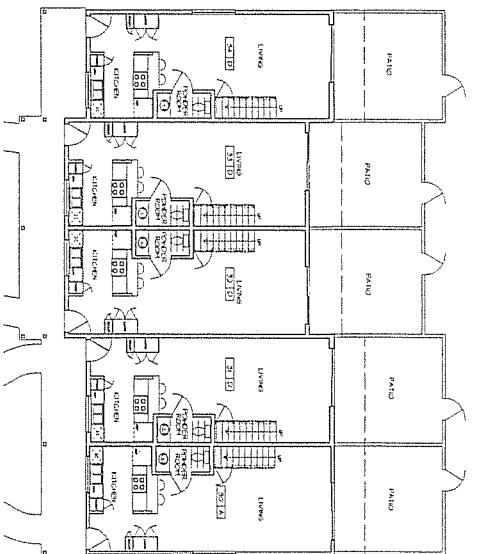
# Attachment G Site Plan, Floor Plan and Elevations



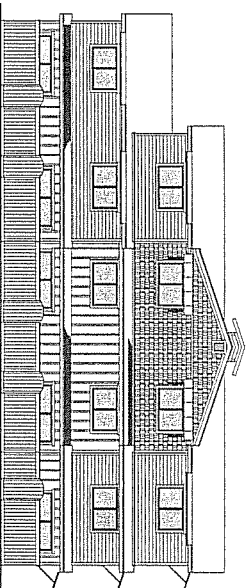
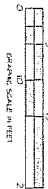
SECOND FLOOR PLAN  
1/8" = 1'-0"



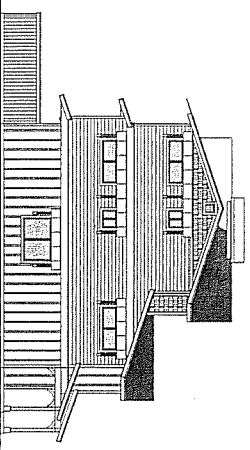
THIRD FLOOR PLAN  
1/8" = 1'-0"



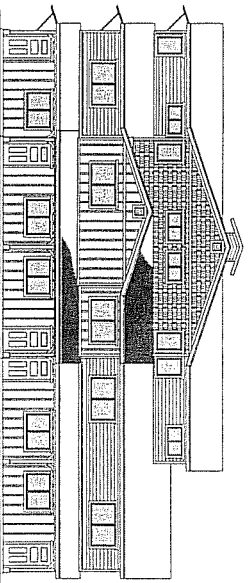
FIRST FLOOR PLAN  
1/8" = 1'-0"



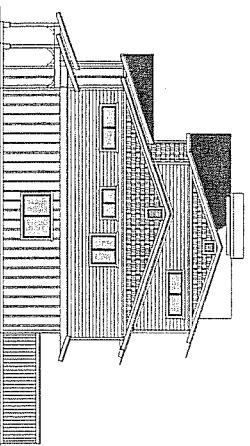
WEST ELEVATION  
1/8" = 1'-0"



SOUTH ELEVATION  
1/8" = 1'-0"



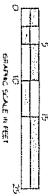
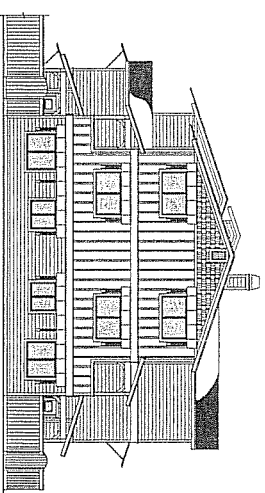
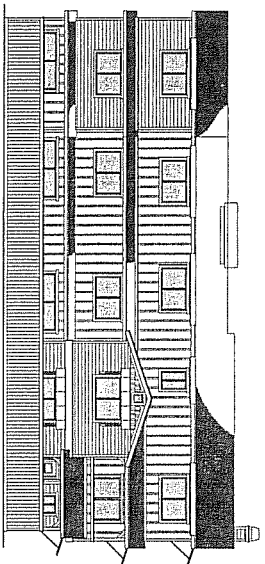
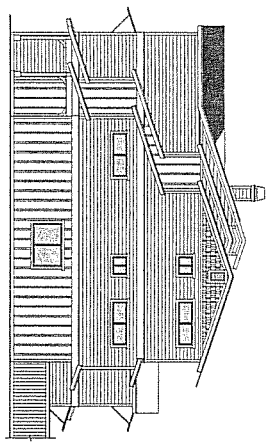
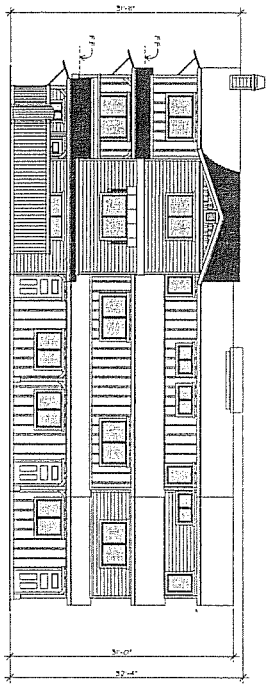
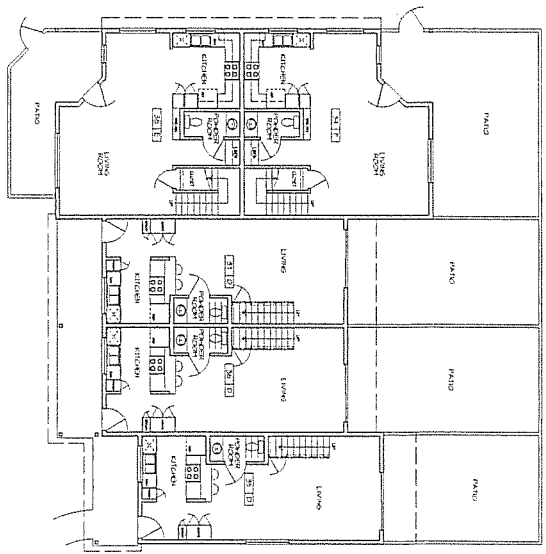
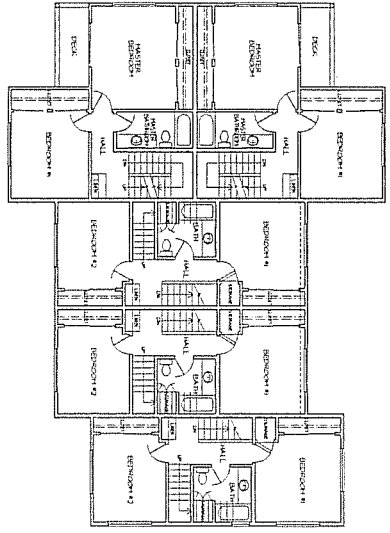
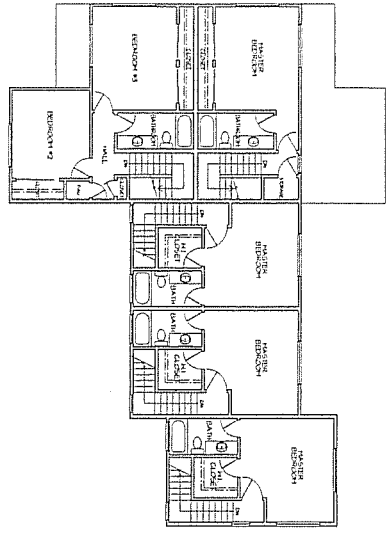
EAST ELEVATION  
1/8" = 1'-0"



NORTH ELEVATION  
1/8" = 1'-0"

# Attachment G

## Site Plan, Floor Plan and Elevations



DAVID GOLDSTEN ARCHITECT  
100 N. 10th St., Suite 200  
Pittsburgh, PA 15222  
Tel: 412.261.1111  
Fax: 412.261.1112

ONEKESIDE VILLAGE APARTMENTS  
BUILDING 9  
LOS ALAMOS, CA

DATE: 10/13/11  
DRAWN BY: J. B. OAKLEY  
CHECKED BY: J. B. OAKLEY  
PROJECT: ONEKESIDE VILLAGE APARTMENTS  
SHEET NO.: 03/31  
TOTAL SHEETS: 10  
8