

# The Golden Inn & Village

## Santa Ynez, California



# GOLDEN INN AND VILLAGE DEVELOPMENT PLAN REVISION

### Sheet Index

#### ARCHITECTURAL

- A1.00 Overall Site Plan & Code Compliance
- A1.10 Site - Parcel 1
- A1.20 Site - Parcel 2
- A1.30 Site - Parcel 3
- A1.40 Site Details
- A1.41 Site Details
- A1.50 Exterior Lighting
- A2.30 Bldg. 2 Ext. Elevations
- A2.31 Bldg. 2 Ext. Elevations
- A3.30 Bldg. 3 & 5 Ext. Elevations
- A3.31 Bldg. 3 & 5 Ext. Elevations
- A4.30 Bldg. 4 Ext. Elevations
- A4.31 Bldg. 4 Ext. Elevations

#### CIVIL (FOR REFERENCE ONLY)

- C2.1 Existing Topography & Site Preparation
- C5.1 Grading & Drainage
- C5.3 Grading & Drainage

#### ELECTRICAL

- E1.00 Lighting Plan
- E7.00 Lighting Plan
- E8.00 Lighting Plan



peikert +  
rrm design group  
10 E. Figueroa St., Suite 1  
Santa Barbara, CA 93101  
Tel: 805.963.8283  
Fax: 805.963.8184  
www.rrmdesign.com



Project Name:  
**The Golden Inn & Village**  
  
Hwy. 246 & Refugio Rd.  
Santa Ynez, CA 93460  
  
Parcel 1, 2 & 3 - Site Improvements

**NOTE:** This project is subject to Mitigation and/or Condition Compliance Monitoring and Reporting. All aspects of project construction shall adhere to the approved plans, notes, and conditions of approval, and Mitigation Measures from the Mitigated Negative Declaration, 14NGD-00000-00007.

Consultant:



Planning & Dev. Submittal	06/06/2017
06/15/2015	
Revisions:	
△	
△	
△	
△	
△	
△	

Sheet Title:  
**Site Lighting Amendment**

Sheet No.:  
**G1.0**

### Project Team

**Owner:**  
Housing Authority of the County of Santa Barbara  
815 W Ocean Ave  
Lompoc, CA 93436  
(805) 736-3423  
Contact: John Polansky

**Architect:**  
Peikert + RRM Design Group  
10 East Figueroa Street, Suite 1  
Santa Barbara, CA 93101  
(805) 963-8283  
Contact: Scott Hopkins

**Civil Engineer:**  
RRM Design Group  
3765 South Higuera St., Ste. 102  
San Luis Obispo, CA 93401  
(805) 543-1794  
Contact: Joshua Roberts P.E.

**Structural:**  
Smith Structural Group, LLP  
811 El Capitan Way, Suite 240  
San Luis Obispo, CA 93401  
(805) 439-2110  
Contact: Kelsey Anne Parolini, P.E., S.E.

**Mechanical & Plumbing:**  
JVA Mechanical Engineering, Inc  
510 State Street, Suite 275, Santa Barbara, CA 93101  
(805) 543-3190  
Contact: Tyler Reynolds

**Electrical Engineer:**  
Gray Electrical Consulting + Engineering, LLC  
P.O. Box #368 - 719 S. McClelland Street  
Santa Maria, CA 93456  
(805) 234-8058  
Contact: Heather Gray

**Landscape Architect:**  
Arcadia Studio  
202 E Cota St  
Santa Barbara, CA 93101  
(805) 962-9055  
Contact: Bob Cunningham

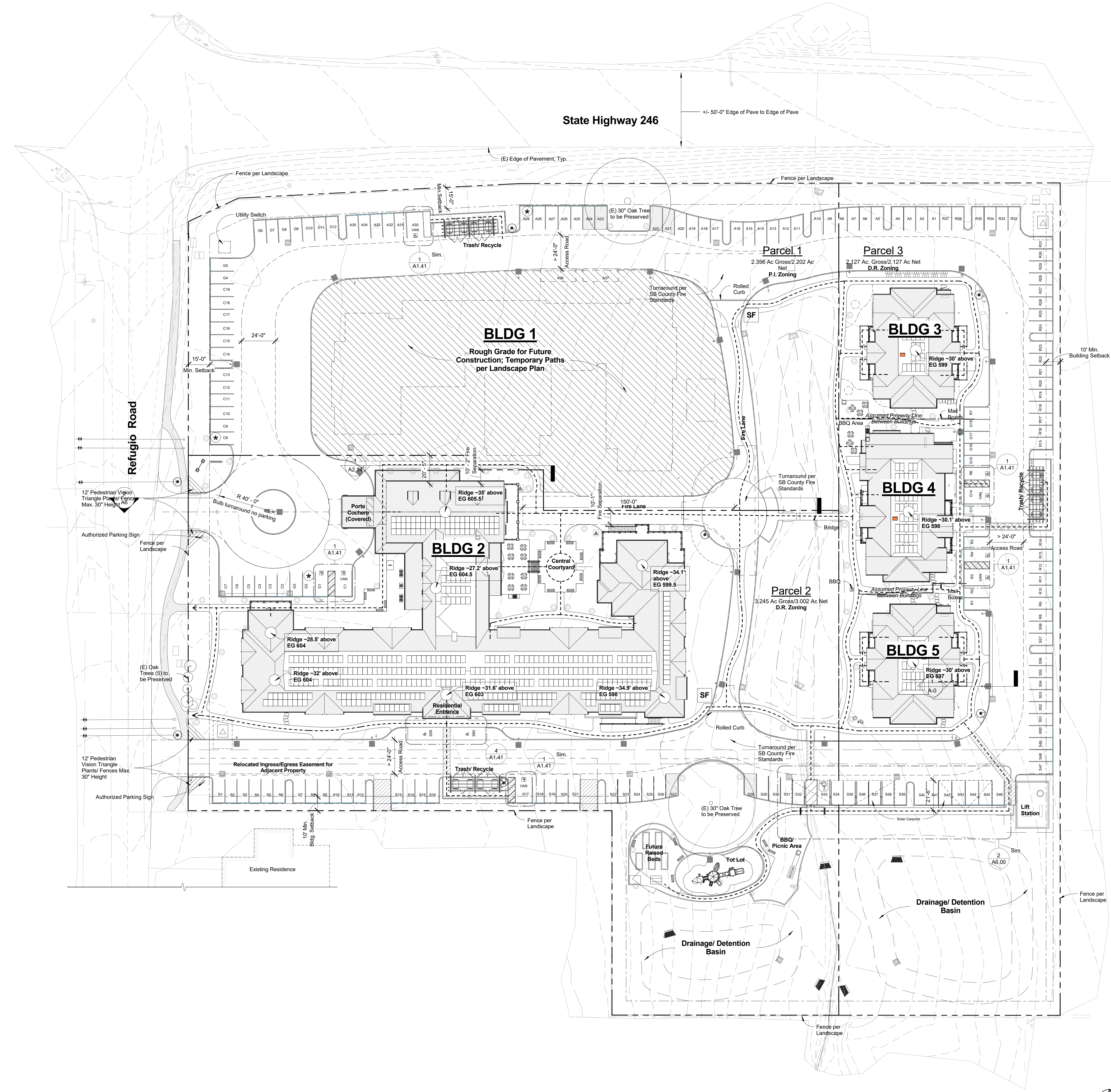
**Energy/ GreenPoint Rated Consultant:**  
Integrated Commissioning & Energy  
3930 Hollyhock Way  
San Luis Obispo, CA 93401  
(805) 453-0224  
Contact: Peggy Myrick, CEA, GPR

**Interior Designer:**  
Shannon Scott Design  
2353 Hollister street, suite d, Los Olivos, CA 93441  
(805) 688-6286  
Contact: Shannon Scott

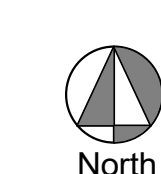
### Vicinity Map







**Site Plan**  
SCALE: 1" = 30'-0"



**Site Legend**

- Accessible Path of Travel & Means of Egress
- Fire Hydrant per Civil Plans
- ⬮ Pole Light per Electrical Plans
- ⊙ Bollard per Electrical Plans
- Path Lights per Electrical Plans
- ⊠ Parking Spaces Identified by A-, C-, S-, R-, G- correspond to required number of spaces per building, see G1.0 Site Improvements Set
- ⊠ Accessible Parking Stalls Provided In Compliance CBC 11B - 208:
  - BLDG\_1(A) Table 11B-208.2 37 Spaces Reqs: 2 Acc., inc. 1 Van Acc.
  - BLDG\_2(C) Table 11B-208.2 19 Spaces Reqs: 1 Van Acc.
  - BLDG\_2(S) Reqs. (1) space per 11B(5% of 60) Mobility Units: 3 Acc, inc. 1 Van Acc. Plus 5% of Covered Parking: 1 Van Acc.
  - BLDG\_3-5 (R) Reqs. (1) space per 11B(5% of 28) Mobility Units: 2 Acc Plus 2% Additional (>1 space per unit): 1 Acc Total Req. at Bldg. 3-5: 3 spaces inc. 1 Van Acc.
- ⊠ Guest: Table 11B-208.2 18 Spaces Req. 1 Van Acc. (2 are provided for proximity to Senior Bldg. Entrance & Family Bldg.)
- ⊠ Total Accessible Parking Spaces: 10 inc. 5 Van Acc.
- ⊠ CalGreen Designated Spaces:
  - (3) Provided: Provide designated parking for any combination of low-emitting, fuel-efficient and carpool/van pool vehicles in accordance with CGBSC Table 5.106.5.2. [CGBSC 5.106.5.2]
- ⊠ SF Post Sign at Fire Lane indicating "EMERGENCY VEHICLES ONLY BEYOND THIS POINT"

**General Notes: Site**

1. 1:30 Plan superimposed over Existing Grade for purpose of indicating roof heights above existing grade. See Civil Plans for Finished Grading.
2. Exterior Building Walls are Dimensioned to Edge of Foundation and Face of Sheathing (Grid-lines, Edge of Foundation and Face of Sheathing Align).
3. All Sidewalks, Crosswalks, Common Areas & Building Entrances shall be fully accessible and in compliance with CBC 11B.
  - a. Floor & Ground Surfaces shall be stable, firm, and slip resistant.
  - b. Openings in floor or ground surfaces shall not allow passage of a sphere >1/2"
  - c. Vertical changes in level shall not exceed 1/4". Changes in level between 1/4" and 1/2" shall be beveled with a slope not steeper than 1:2. Changes in level >1/2" shall be ramped.
  - d. Abrupt changes in level exceeding 4" shall be identified by min. 6" warning curbs or guard rails (exception between walks adjacent to driveways).
  - e. The clear width for sidewalks and walks shall be 48" min. (60" Typical proposed).
4. Refer to Civil for details at Accessible Parking, Curb Ramps, Parking Striping & Signage.
5. All curbing not within a parking space shall be painted RED to designate the fire lanes.
6. Contractor to review landscape plans to avoid conflicts between plantings and utilities, i.e. meter locations, electric transformer, backflow preventers, sewer lines and electric conduit (pole lighting at driveway), etc.
7. Refer to Conditions of Compliance for monitoring and construction requirements including, but not limited to:
  - a. The site is to remain trash-free throughout construction. Recycling implementation and monitoring shall comply with conditions and GreenPoint Rating Checklist.
  - b. The Contractor shall separate demolition and excess construction materials onsite for reuse/recycling or proper disposal. Provide separate bins onsite as needed for materials to be recycled throughout construction. Provide P&D with receipts for recycled materials.
  - c. Contractor shall stop or redirect work immediately in the event archaeological remains are encountered during grading, construction, landscaping or other construction-related activity. The Owner/applciant shall retain a P&D approved archaeologist and Native American representative to evaluate the significance of the find in compliance with the provisions of Phase 2 investigations of the County Archaeological Guidelines and funded by the Owner/Architect.
  - d. During construction, use water trucks or sprinkler systems to keep all areas of vehicle movement damp enough to prevent dust from leaving the site. At a minimum, this should include wetting down such areas in the late morning and after work is completed for the day. Increased watering frequency should be required whenever the wind speed exceeds 15 mph. Reclaimed water should be used whenever possible. However, reclaimed water should not be used in or around crops for human consumption. Minimize amount of disturbed area and reduce on site vehicle speeds to 15 mph or less. If importation, exportation and stockpiling of fill material is involved, soil stockpiled for more than two days shall be covered, kept moist, or treated with soil binders to prevent dust generation. Trucks transporting fill material to and from the site shall be tarped from the point of origin. Gravel pads shall be installed at all access points to prevent tracking of mud onto public roads. After clearing, grading, earth moving or excavation is completed, treat the disturbed area by watering, or revegetating, or by spreading soil binders until the area is paved or otherwise developed so that dust generation will not occur.
  - e. The contractor or builder shall designate a person or persons to monitor the dust control program and to order increased watering, as necessary, to prevent transport of dust offsite. Their duties shall included holiday and weekend periods when work may not be in progress. The name and telephone number of such persons shall be provided to the Air Pollution Control District prior to land use clearance for map recordation and land use clearance for finish grading of the structure.
8. Refer to Tract Improvements Set (Separate Submittal) for grading, drainage, erosion control and construction requirements.
9. All exterior night lighting installed on the project site shall be of low intensity, low glare design, minimum height, and shall be hooded to direct light downward onto the subject lot and prevent spill-over onto adjacent lots. Lights shall be installed on timers or otherwise dimmed after 9pm. See electrical plans for complete lighting plan.
10. Refer to Tree Disposition Plan for tree protection requirements including fencing, irrigation and cutting.
11. All walks/sidewalks are Accessible and shall comply with CBC 11B-403, all subsections inclusive (widths, slopes, slip resistant surfaces, gratings, level changes, etc.).
12. When assigned parking is provided, designated accessible parking for the dwelling unit shall be provided on request of residents with disabilities on the same terms available for other residents (all parking spaces uncovered).

**peikert + rrm design group**  
10 E. Figueroa St., Suite 1  
Santa Barbara, CA 93101  
Tel: 805.963.8283  
Fax: 805.963.8184  
www.rrmdesign.com

**Housing Authority of the County of Santa Barbara**  
815 West Ocean Avenue  
Lompoc, CA 93436  
Tel: 805.736.3423 Fax: 805.735.7672  
www.hacsb.org

**RONA BARRETT FOUNDATION**  
P.O. Box 1559  
Santa Ynez, CA 93400  
www.ronabarrettfoundation.org

Project Name:  
**The Golden Inn & Village**  
Hwy. 246 & Refugio Rd.  
Santa Ynez, CA 93460  
Parcel 1, 2 & 3 - Site Improvements

NOTE: This project is subject to Mitigation and/or Condition Compliance Monitoring and Reporting. All aspects of project construction shall adhere to the approved plans, notes, and conditions of approval, and Mitigation Measures from the Mitigated Negative Declaration, 14NGD-00000-00007.

Consultant:

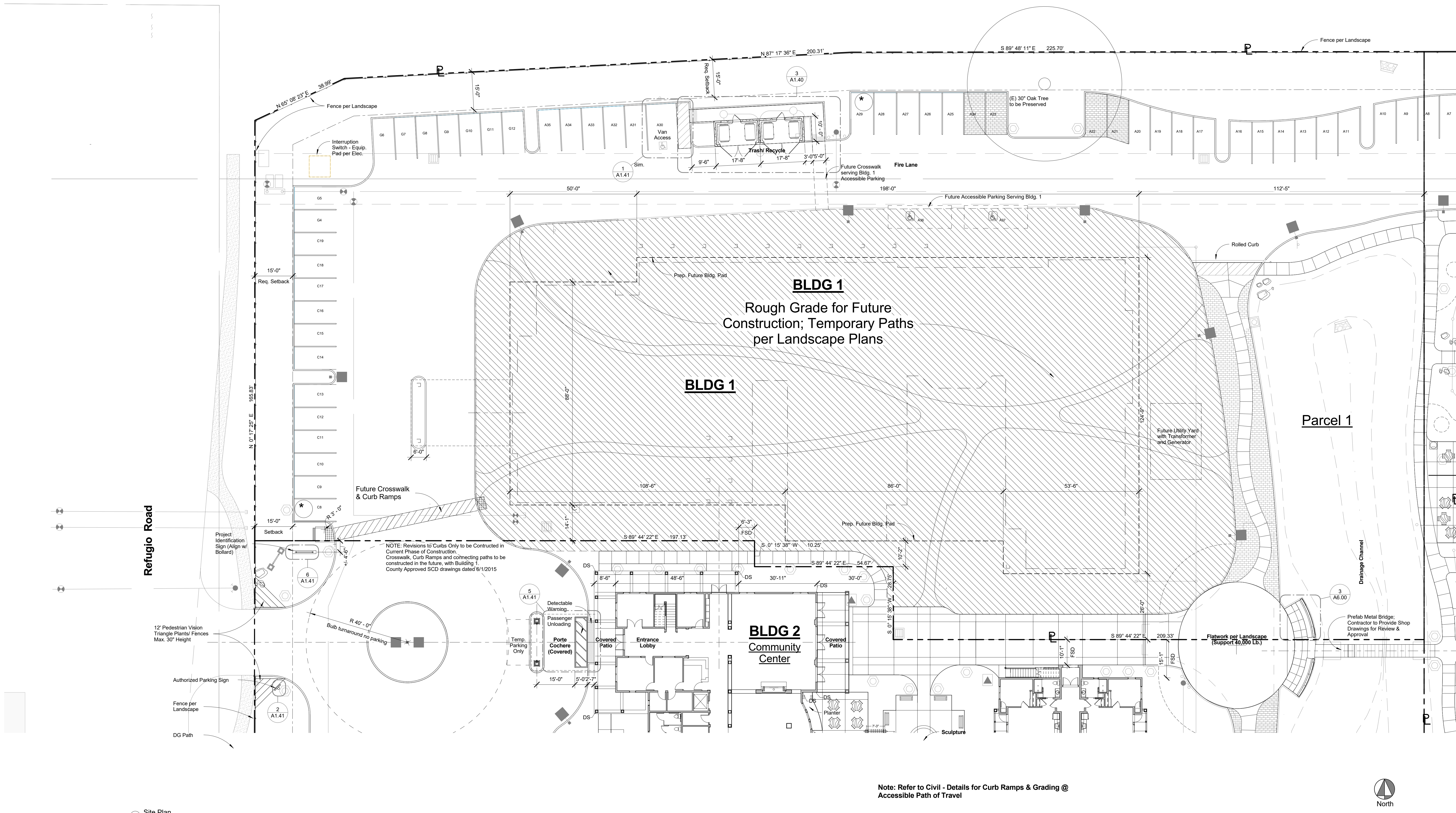
Stamp:

Building Permit Submittal	06/06/2017
Revisions:	
⊠ CBAR LUC Submittal	11.21.2014
⊠ Code Compliance Review	12.22.2014
⊠ Code Compliance Review 2	02.04.2015
⊠ Record Drawings	12.20.2016

Sheet Title:  
**Overall Site Plan & Code Compliance**

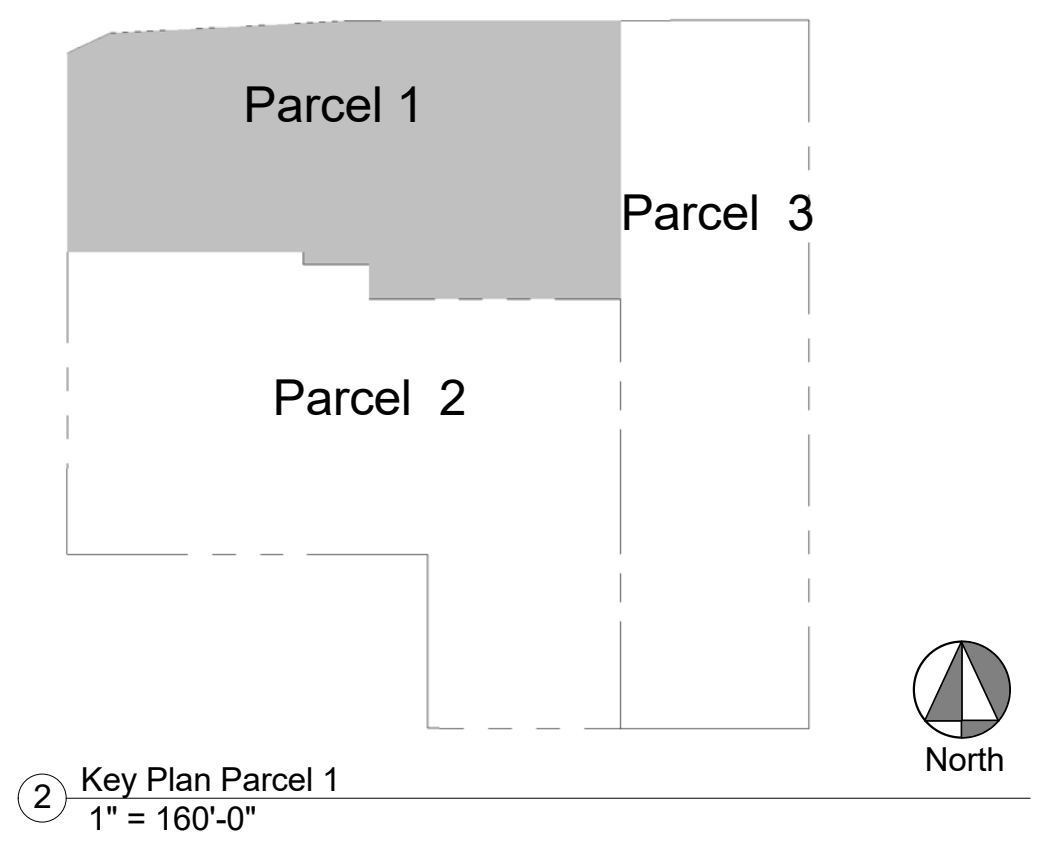
Sheet No.:  
**A1.00**





Note: Refer to Civil - Details for Curb Ramps & Grading @ Accessible Path of Travel

1 Site Plan  
1/16" = 1'-0"



2 Key Plan Parcel 1  
1" = 160'-0"



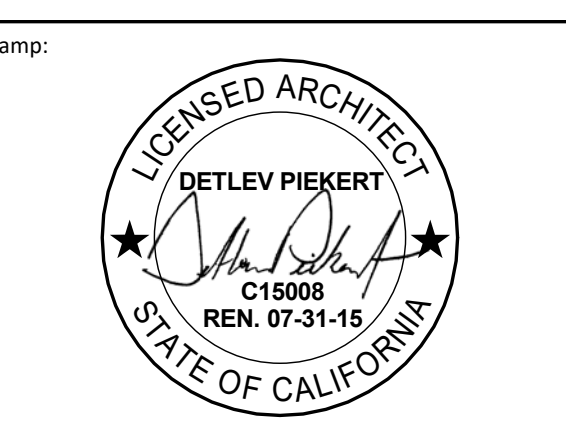
peikert +  
rrm design group  
10 E. Figueroa St., Suite 1  
Santa Barbara, CA 93101  
Tel: 805.963.8283  
Fax: 805.963.8184  
www.rrmdesign.com



Project Name:  
**The Golden Inn & Village**  
Hwy. 246 & Refugio Rd.  
Santa Ynez, CA 93460  
Parcel 1, 2 & 3 - Site Improvements

NOTE: This project is subject to Mitigation and/or Condition Compliance Monitoring and Reporting. All aspects of project construction shall adhere to the approved plans, notes, and conditions of approval, and Mitigation Measures from the Mitigated Negative Declaration, 14NGD-00000-00007.

Consultant:

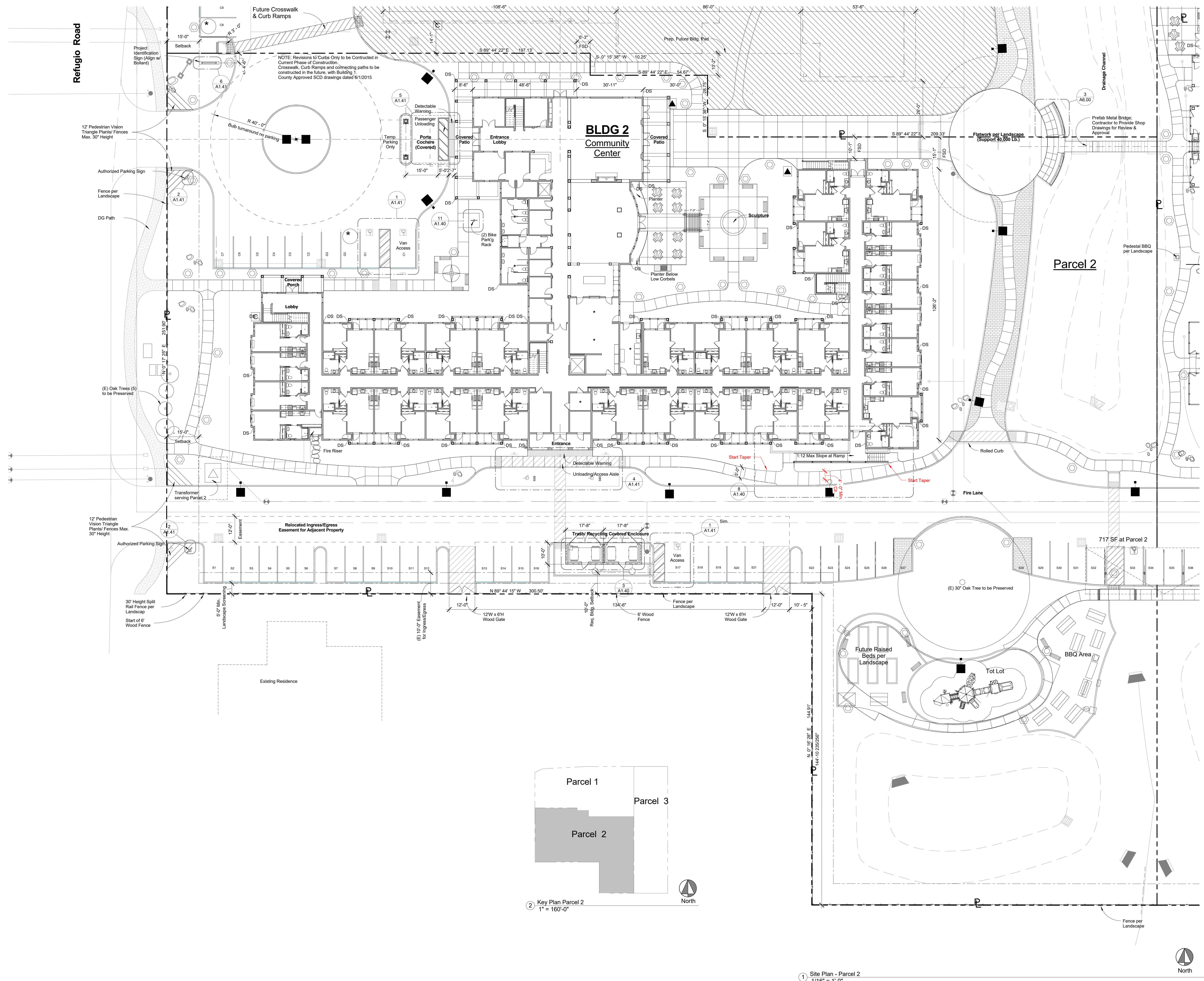


Building Permit Submittal	06/06/2017
Revisions:	
1 CBAR LUC Submittal	11.21.2014
2 Code Compliance Review	12.22.2014
3 Code Compliance Review 2	02.04.2015
4 Bid Addendum	03.06.2015
5 Record Drawings	12.20.2016

Sheet Title:  
**Site - Parcel 1**

Sheet No.:  
**A1.10**





**peikert + rrm**  
design group

10 E. Figueroa St., Suite 1  
Santa Barbara, CA 93101

Tel: 805.963.8283  
Fax: 805.963.8184  
www.rrmdesign.com

**HACSB**  
Housing Authority  
of the County of Santa  
Barbara

815 West Ocean Avenue  
Lompoc, CA 93436  
Tel: 805.736.3423 Fax: 805.735.7672  
www.hacsb.org

**RONA BARRETT FOUNDATION**  
P.O. Box 1559  
Santa Ynez, CA 93460  
www.ronabarrettfoundation.org

Project Name:

**The Golden Inn & Village**

Hwy. 246 & Refugio Rd.  
Santa Ynez, CA 93460

Parcel 1, 2 & 3 - Site  
Improvements

NOTE: This project is subject to Mitigation and/or Condition Compliance Monitoring and Reporting. All aspects of project construction shall adhere to the approved plans, notes, and conditions of approval, and Mitigation Measures from the Mitigated Negative Declaration, 14NGD-00000-00007.

Consultant:

Stamp:

Revisions:	Building Permit Submittal	06/06/2017
△	CBAR LUC Submittal	11.21.2014
△	Code Compliance Review	12.22.2014
△	Code Compliance Review 2	02.04.2015
△	Bid Addendum	03.06.2015
△	Record Drawings	12.20.2016

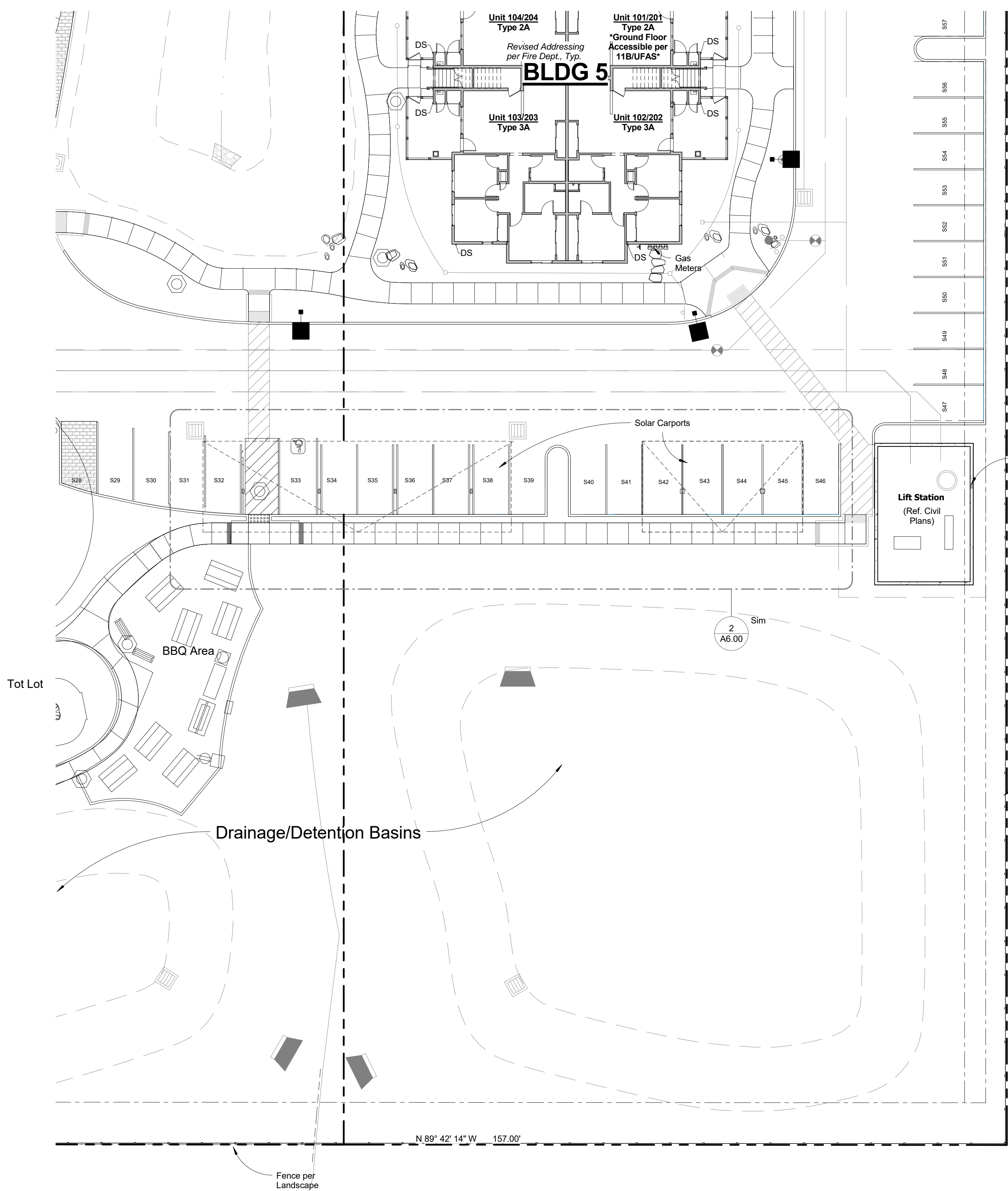
Sheet Title:

**Site - Parcel 2**

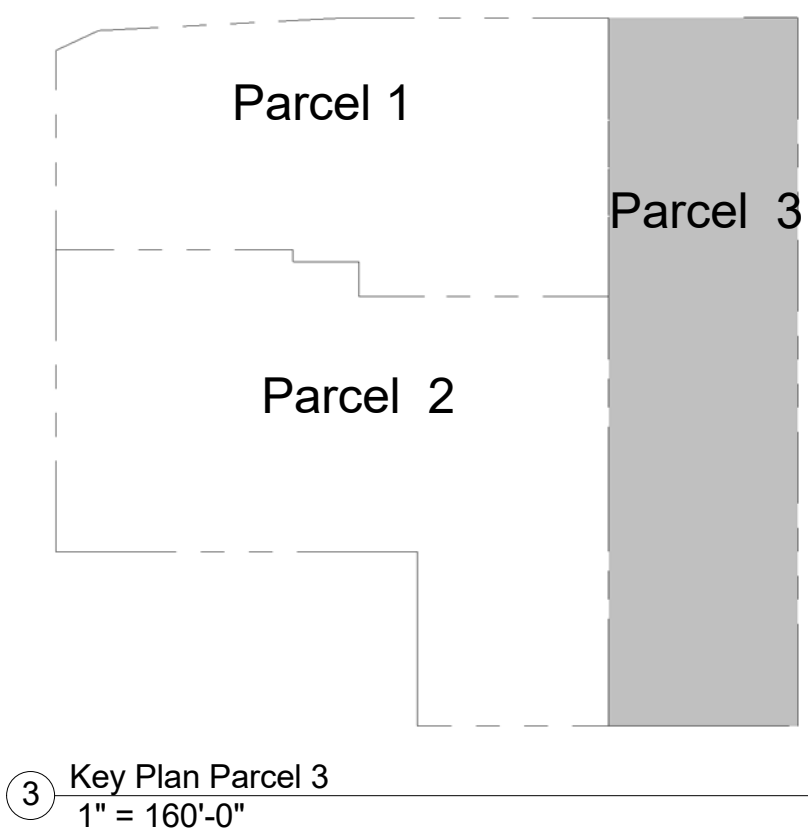
Sheet No.:

**A1.20**

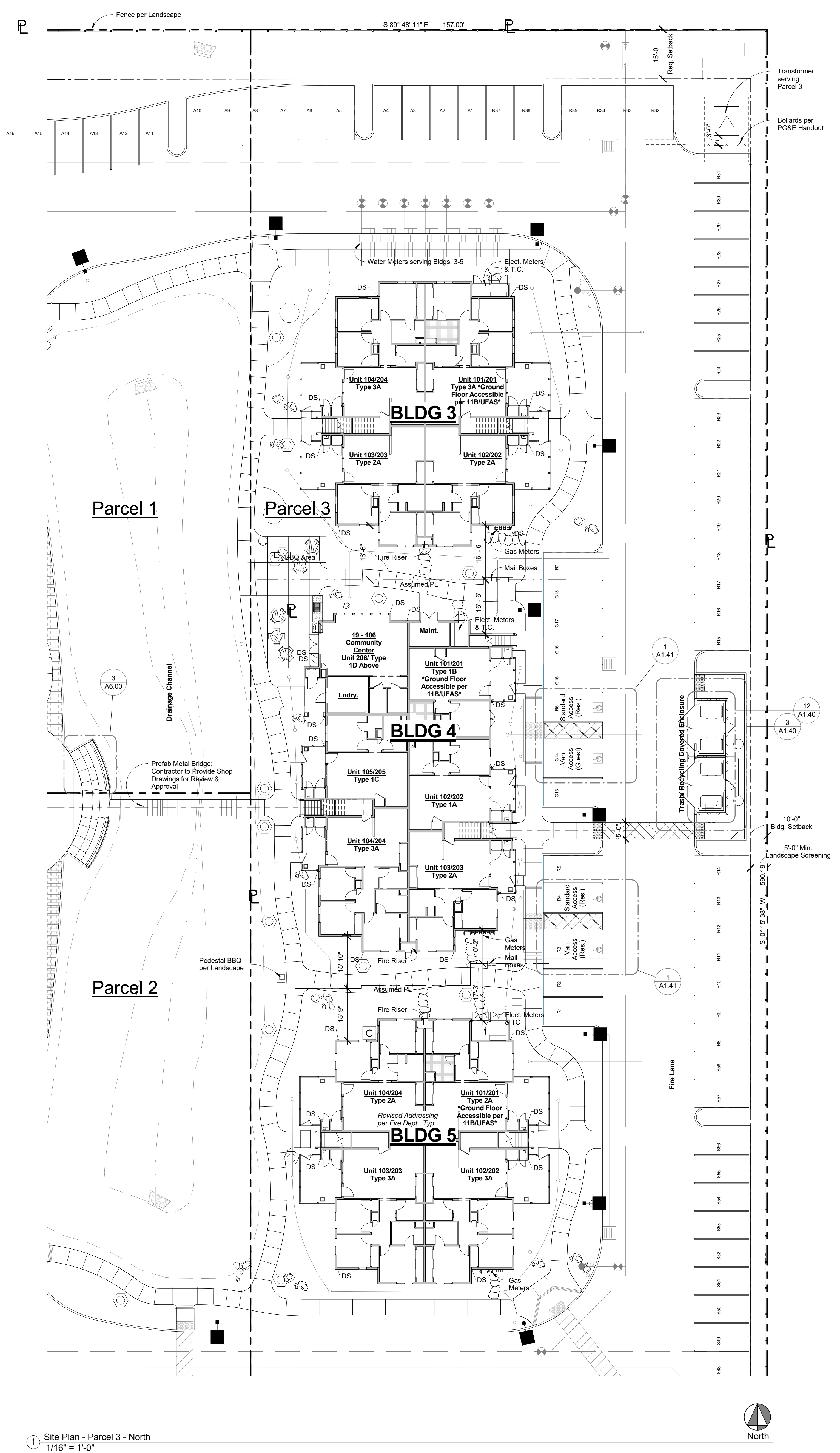




2 Site Plan - Parcel 3 - South  
1/16" = 1'-0"



3 Key Plan Parcel 3  
1" = 160'-0"



1 Site Plan - Parcel 3 - North  
1/16" = 1'-0"

peikert +  
rrm design group  
10 E. Figueroa St., Suite 1  
Santa Barbara, CA 93101  
Tel: 805.963.8283  
Fax: 805.963.8184  
www.rrmdesign.com

Housing Authority  
of the County of Santa  
Barbara  
815 West Ocean Avenue  
Lompoc, CA 93436  
Tel: 805.736.3423 Fax: 805.735.7672  
www.hacsb.org

RONA BARRETT FOUNDATION  
P.O. Box 1559  
Santa Ynez, CA 93460  
www.ronabarrettfoundation.org

Project Name:  
**The Golden Inn & Village**  
Hwy. 246 & Refugio Rd.  
Santa Ynez, CA 93460  
Parcel 1, 2 & 3 - Site Improvements

NOTE: This project is subject to Mitigation and/or Condition Compliance Monitoring and Reporting. All aspects of project construction shall adhere to the approved plans, notes, and conditions of approval, and Mitigation Measures from the Mitigated Negative Declaration, 14NGD-00000-00007.

Consultant:

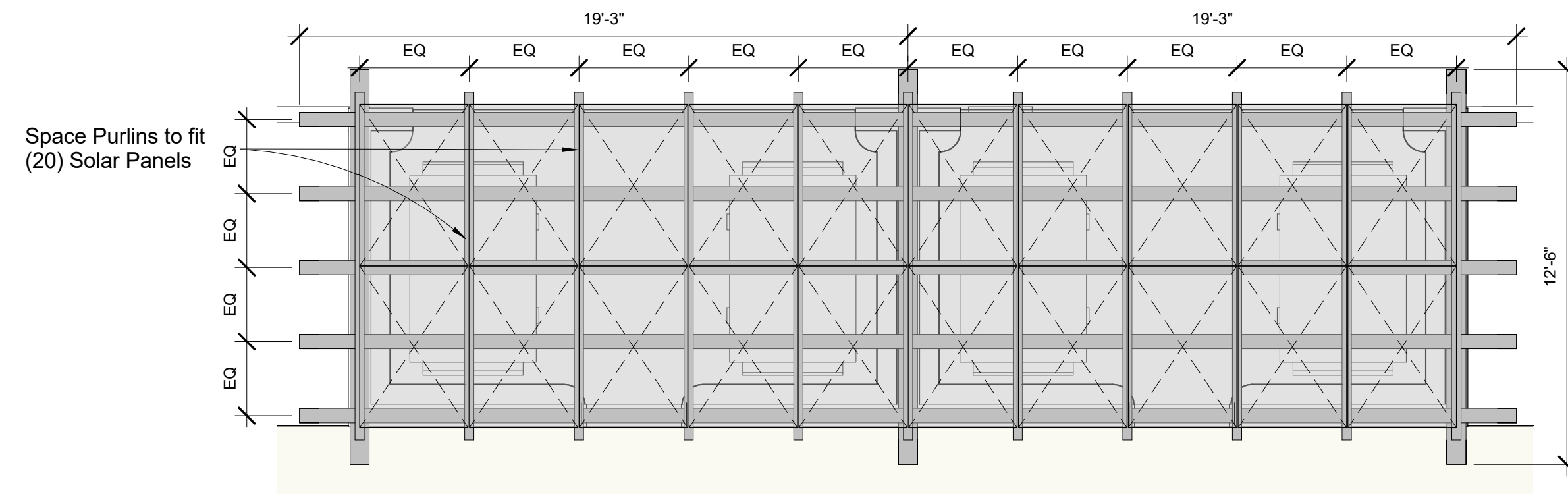
Building Permit Submittal 06/06/2017

Revisions:	Date
Code Compliance Review	12.22.2014
Code Compliance Review 2	02.04.2015
Record Drawings	12.20.2016

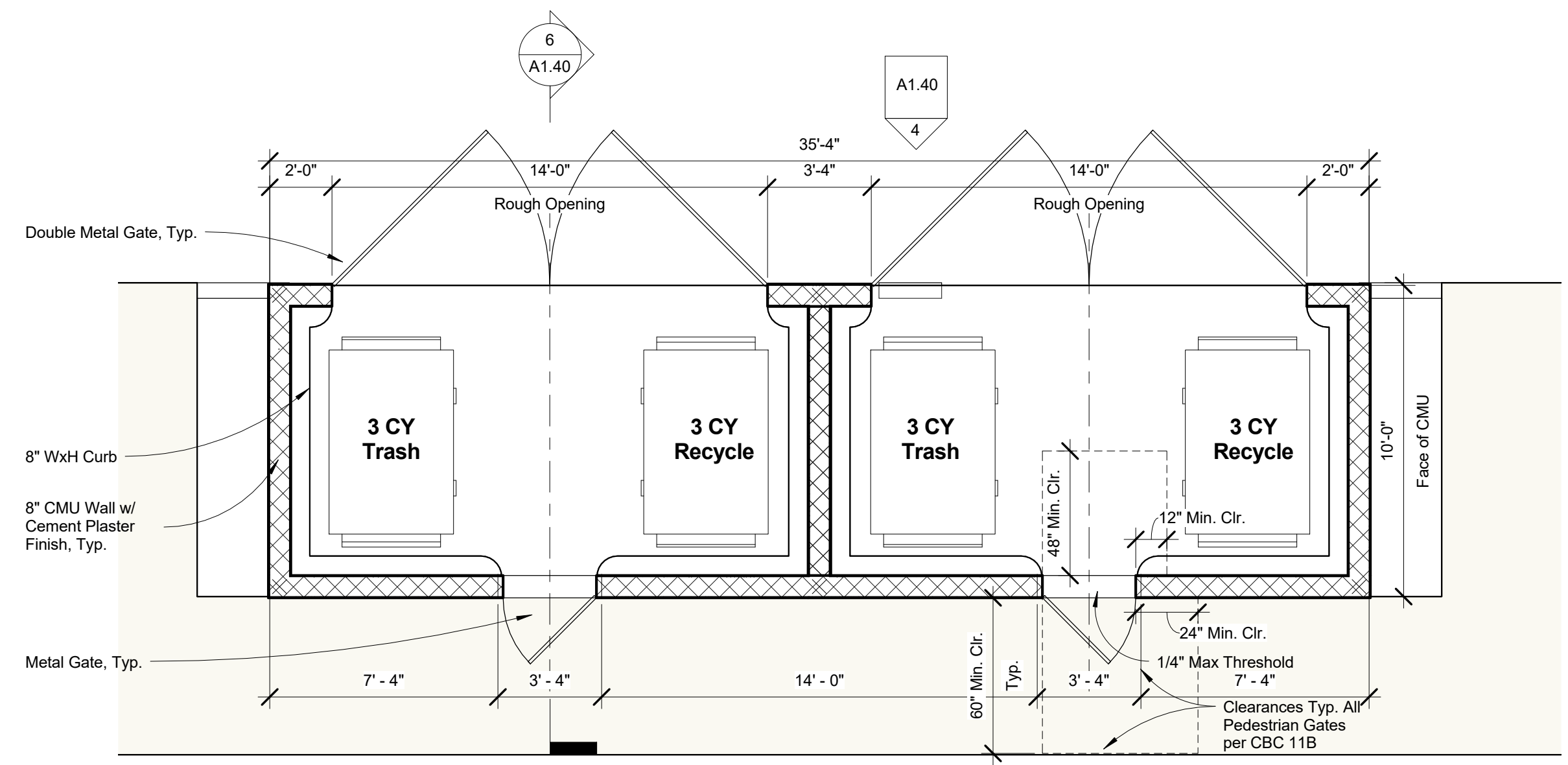
Sheet Title:  
**Site - Parcel 3  
North & South**

Sheet No.:  
**A1.30**



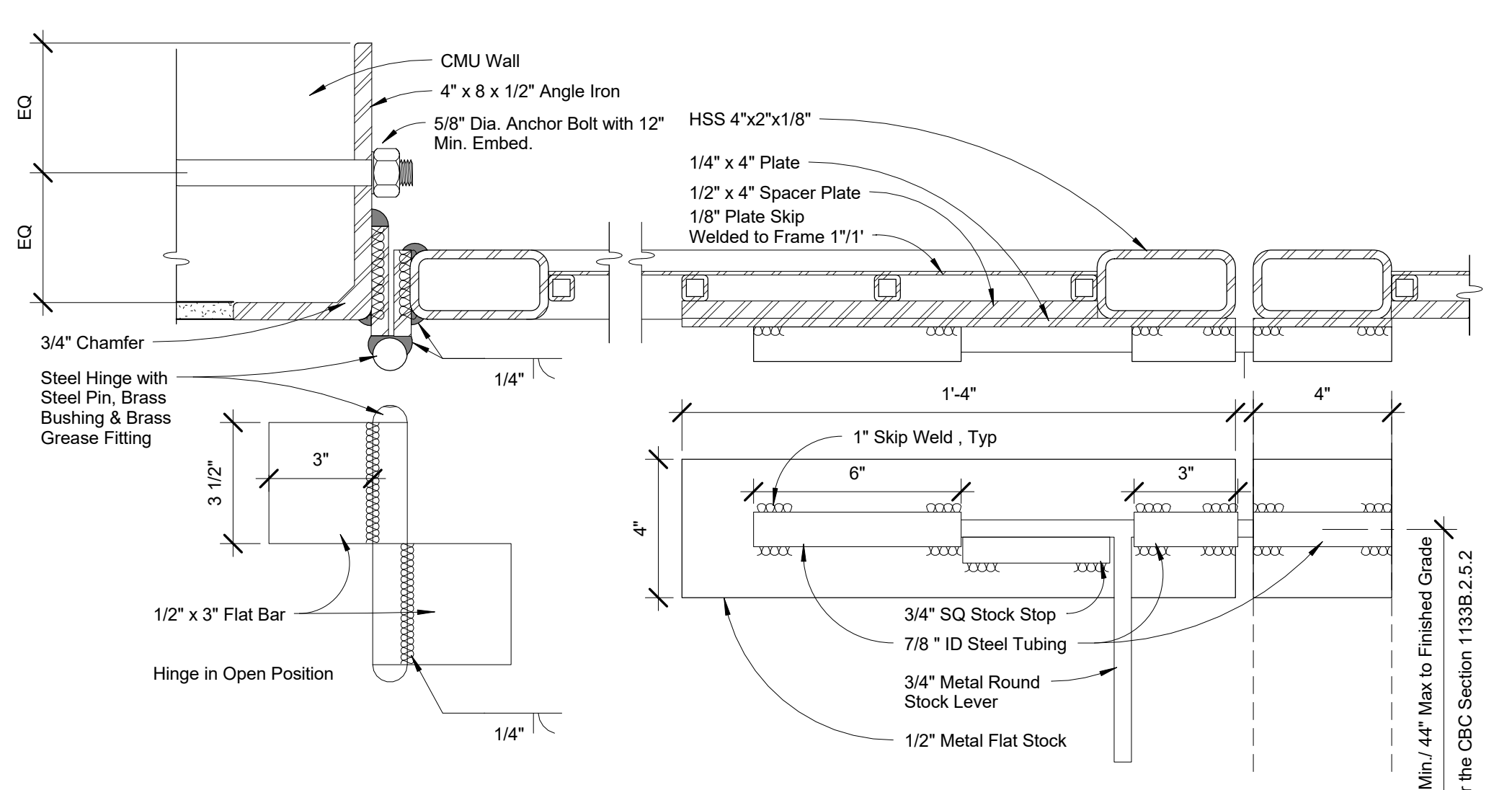


**12** Trash Enclosure - Solar/Trellis Cover  
SCALE: 1/4" = 1'-0"



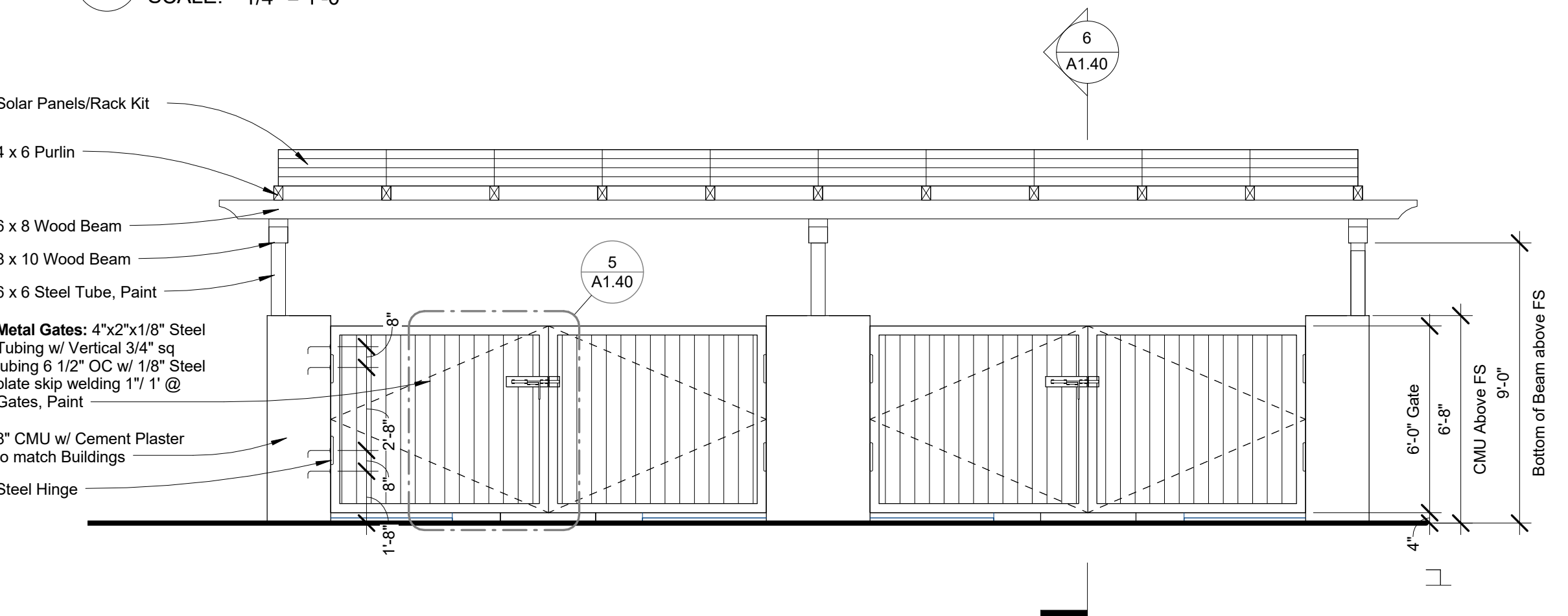
**3** Trash Enclosure Plan, Typical  
SCALE: 1/4" = 1'-0"

DTL 1 - Monument Sign  
DTL 2 - Family Mailboxes  
moved to A1.41

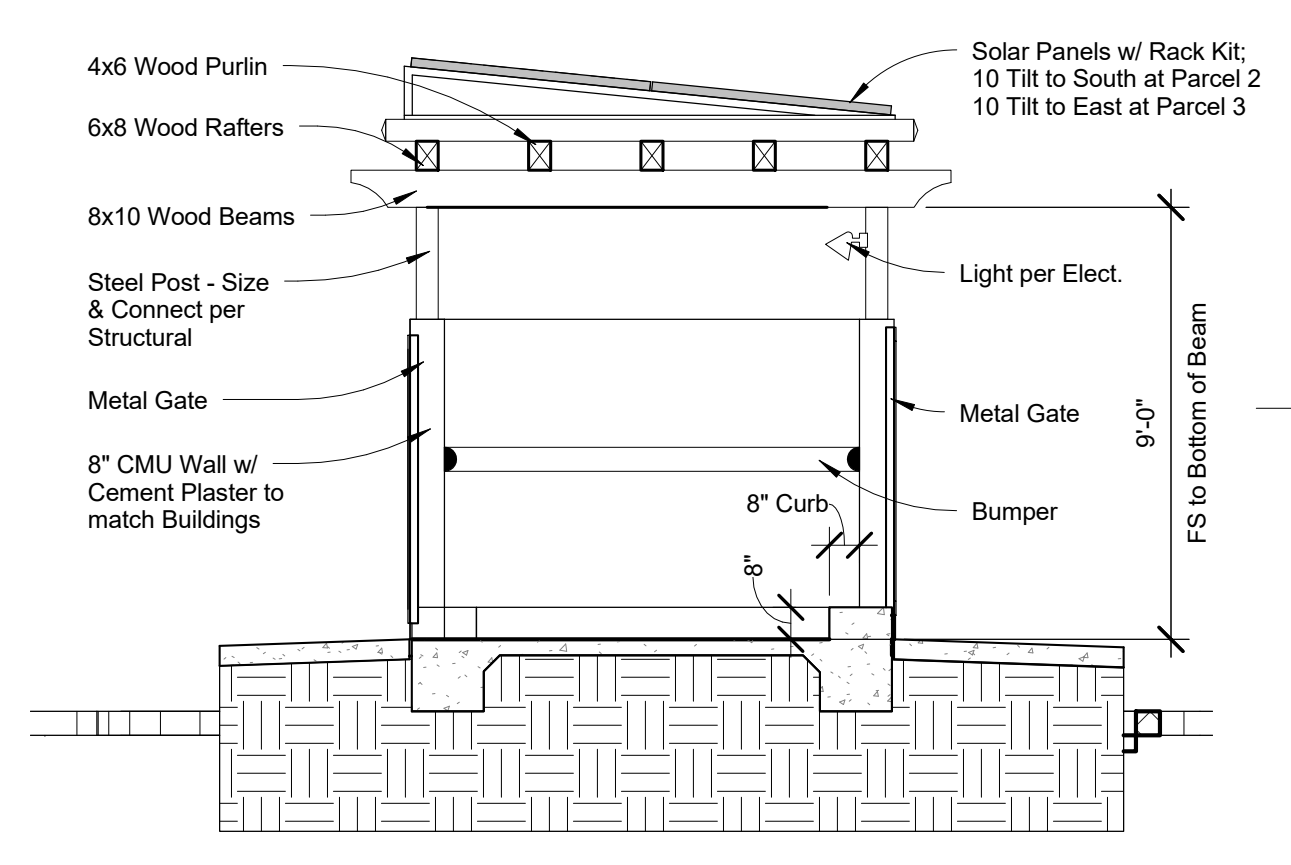


**5** Trash Enclosure Gate Latch & Hinges  
SCALE: 3" = 1'-0"

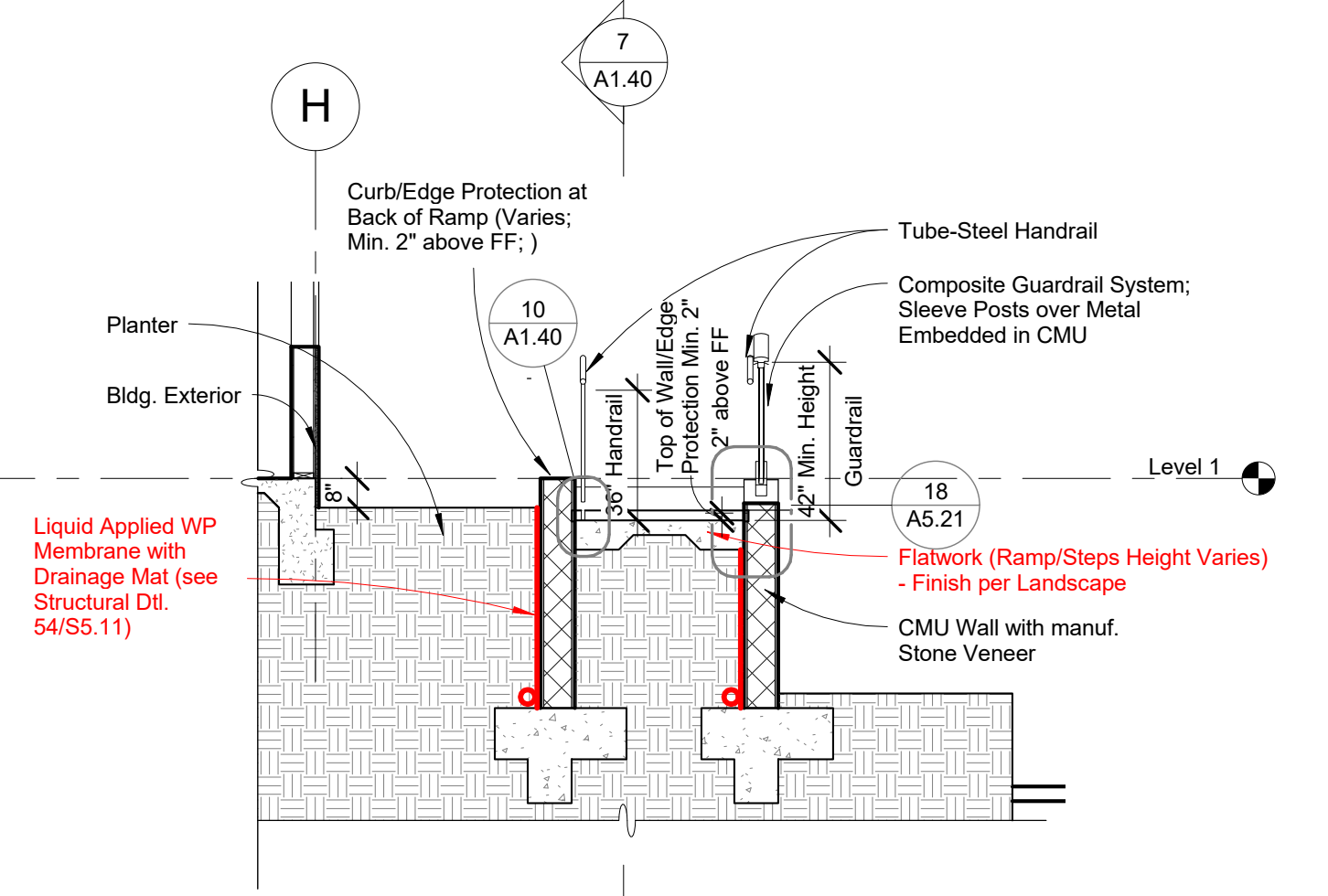
1133B.2.5 (2). Gates shall have a maximum opening force of 5 lbf (22.2 N).  
1133B.2.5.2 Hardware shall be centered between 30 inches (762 mm) and 44 inches (1118 mm) above the floor.



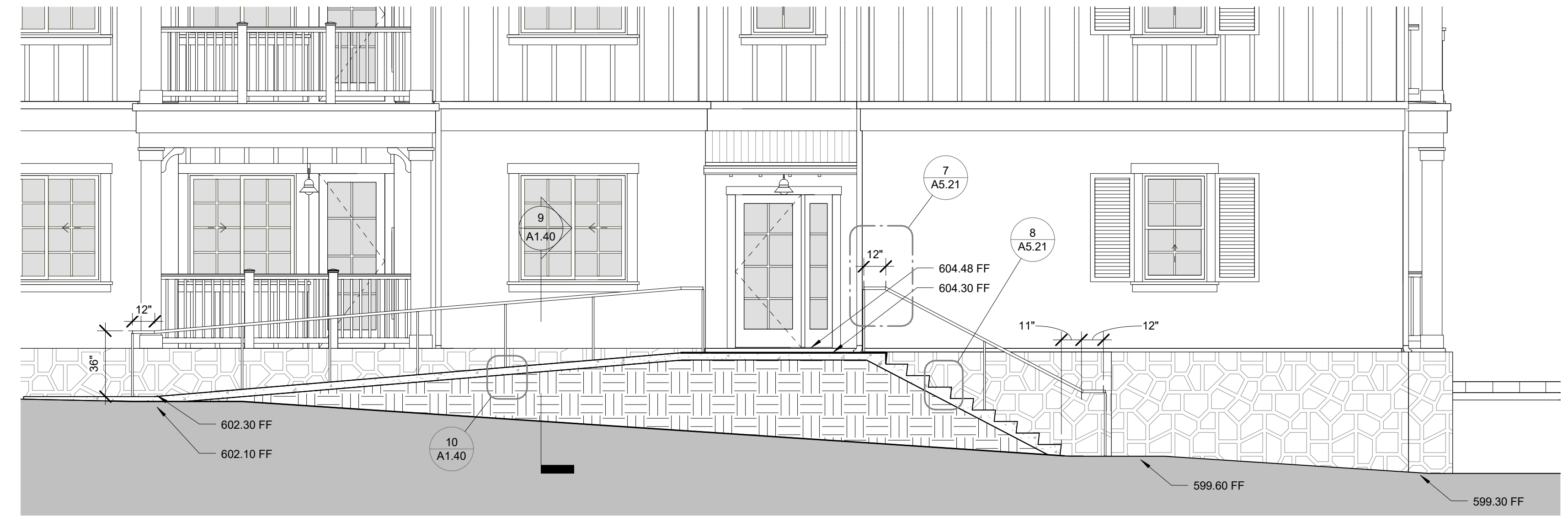
**4** Trash Enclosure Front Elevation  
SCALE: 1/4" = 1'-0"



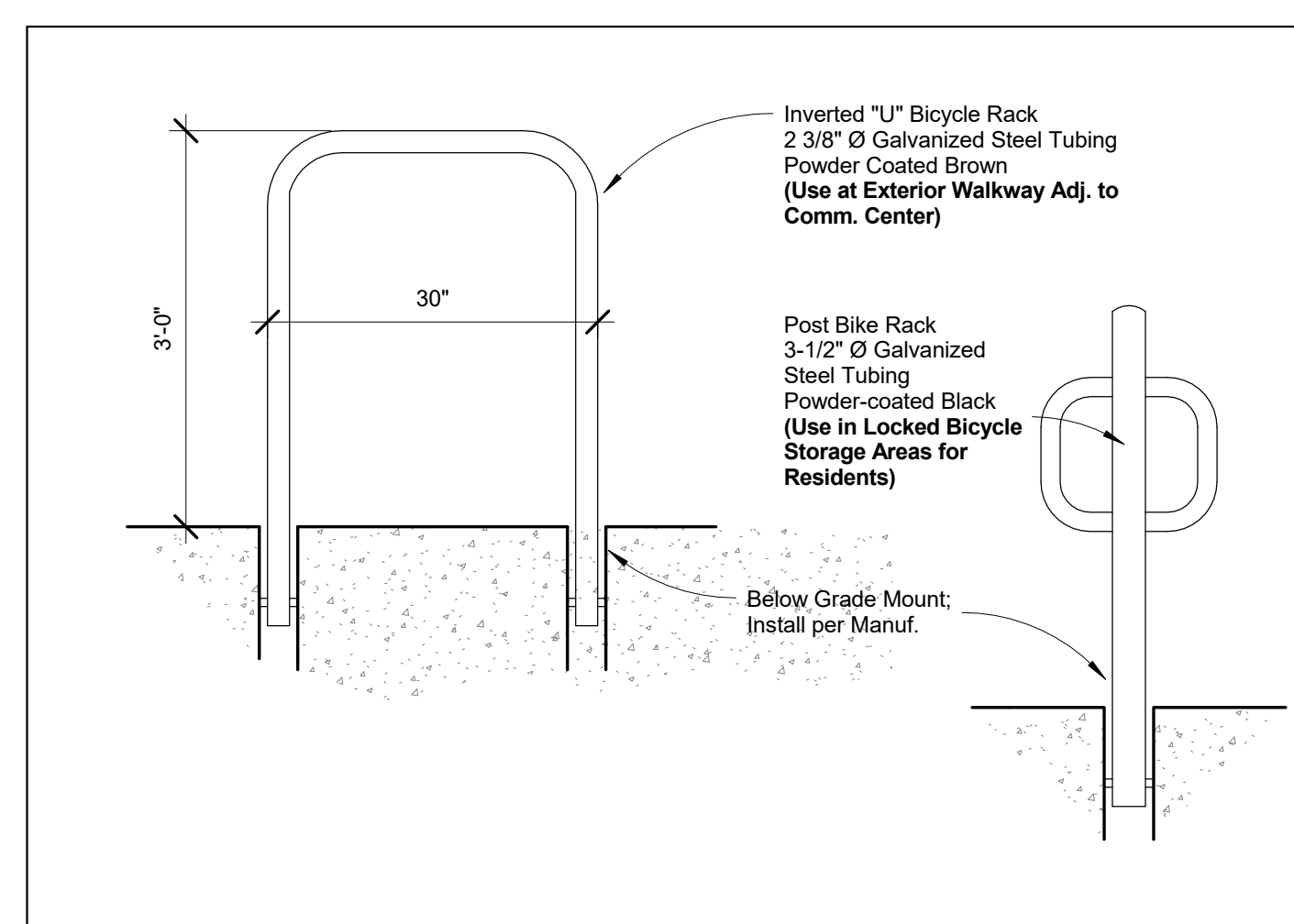
**6** Trash Enclosure Section  
SCALE: 1/4" = 1'-0"



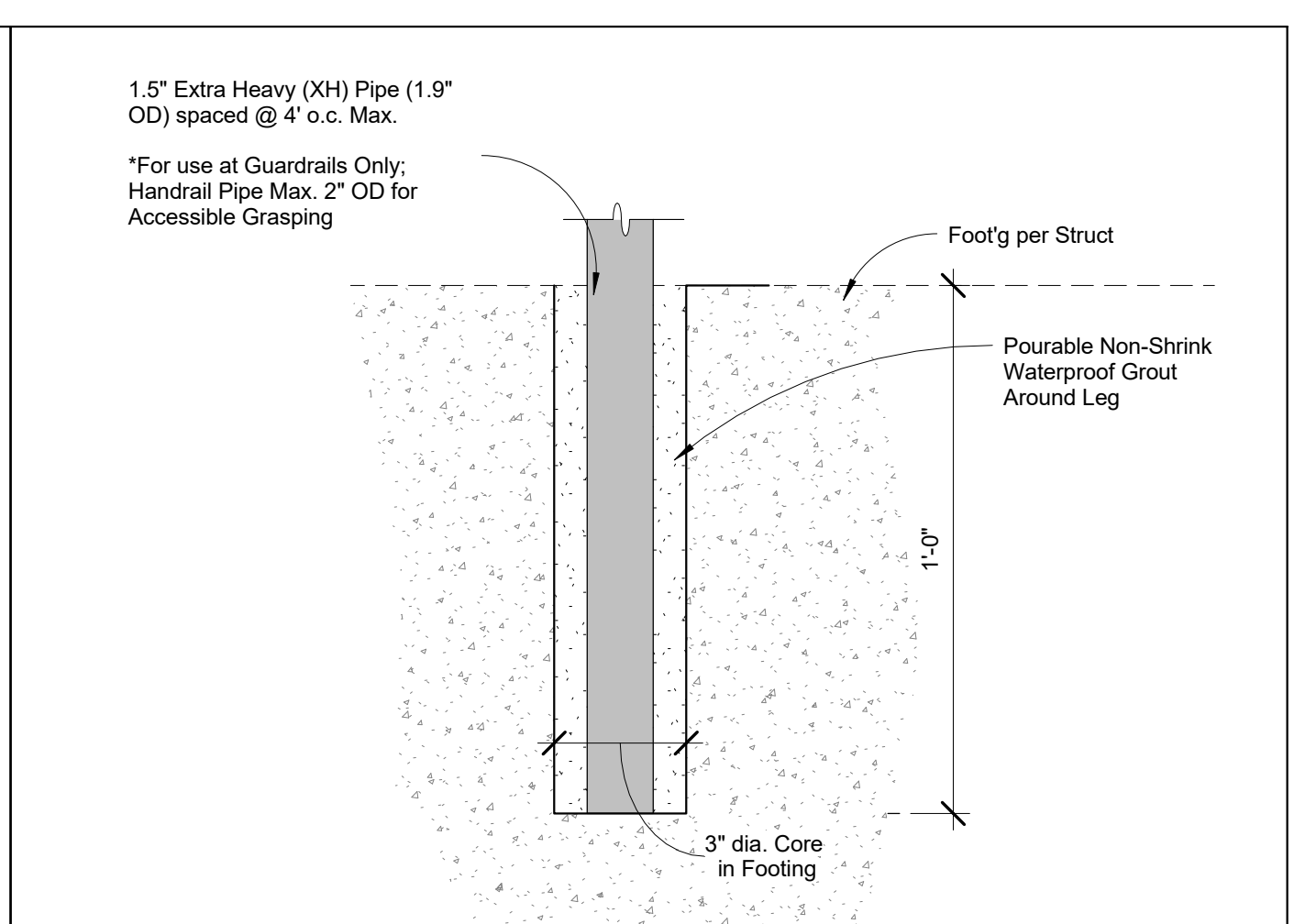
**9** Ramp Section  
SCALE: 1/4" = 1'-0"



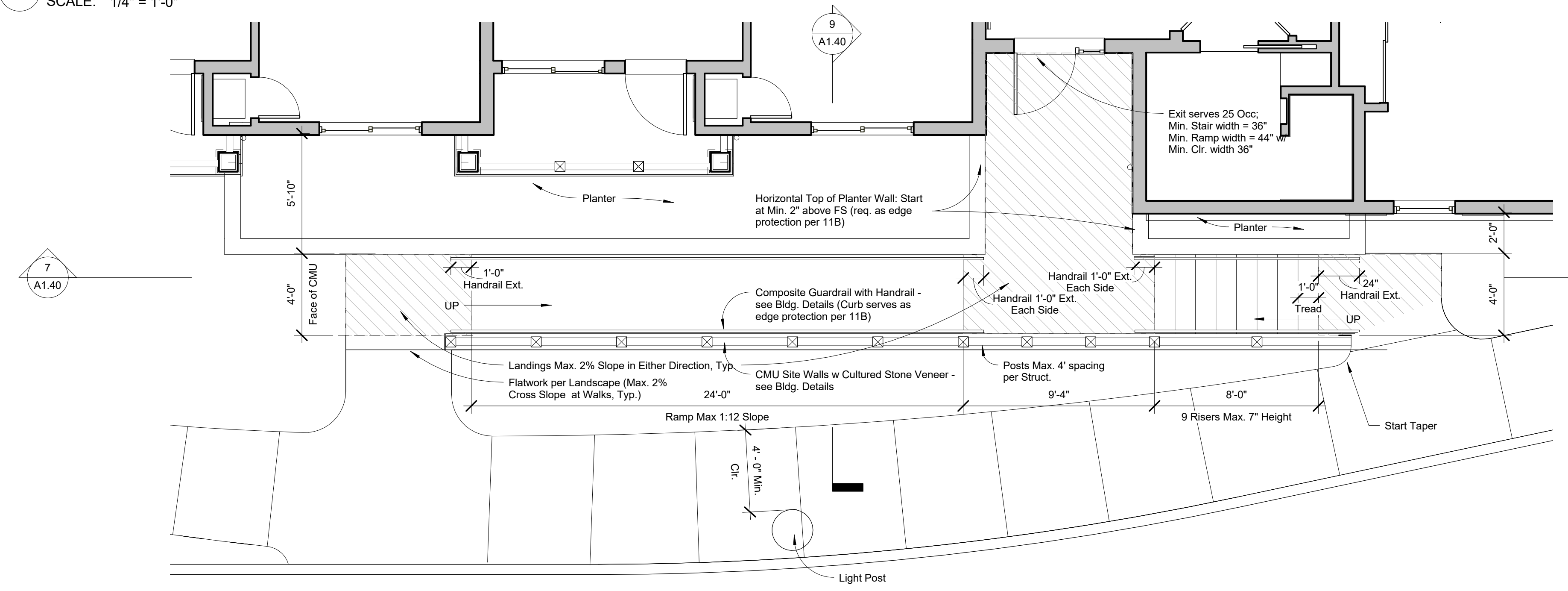
**7** Stair & Ramp Section  
SCALE: 1/4" = 1'-0"



**11** Bike Rack  
SCALE: 3/4" = 1'-0"



**10** Guardrail Baluster Embedment  
SCALE: 3" = 1'-0"



**8** Bldg. 2 SE Stair & Ramp  
SCALE: 1/4" = 1'-0"



peikert +  
rrm design group  
10 E. Figueroa St., Suite 1  
Santa Barbara, CA 93101  
Tel: 805.963.8283  
Fax: 805.963.8184  
www.rrmdesign.com

**hacsb**  
Housing Authority  
of the County of Santa  
Barbara  
815 West Ocean Avenue  
Lompoc, CA 93436  
Tel: 805.736.3423 Fax: 805.735.7672  
www.hacsb.org

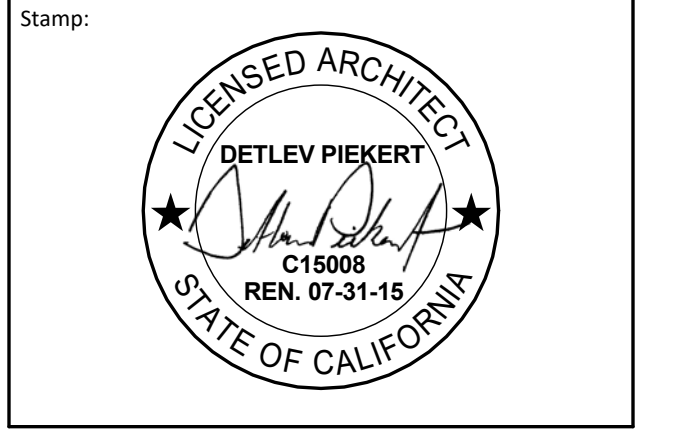


RONA BARRETT FOUNDATION  
P.O. Box 1559  
Santa Ynez, CA 93460  
www.ronabarrettfoundation.org

**The Golden Inn & Village**  
Hwy. 246 & Refugio Rd.  
Santa Ynez, CA 93460  
Parcel 1, 2 & 3 - Site  
Improvements

NOTE: This project is subject to Mitigation and/or Condition Compliance Monitoring and Reporting. All aspects of project construction shall adhere to the approved plans, notes, and conditions of approval, and Mitigation Measures from the Mitigated Negative Declaration, 14NGD-00000-00007.

Consultant:

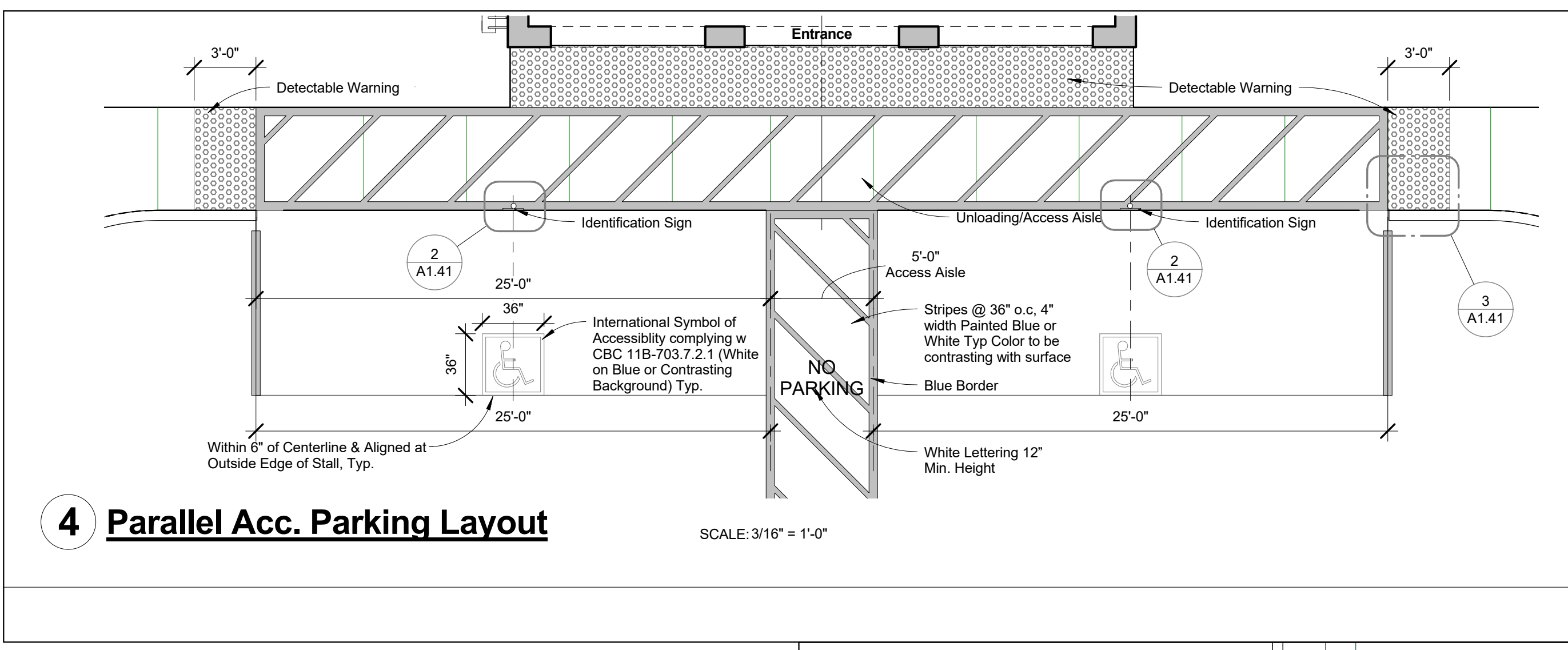


Building Permit Submittal	06/06/2017
Revisions:	
△ CBAR LUC Submittal	11.21.2014
△ Code Compliance Review	12.22.2014
△ Code Compliance Review 2	02.04.2015
△ Bid Addendum	03.06.2015
△ Record Drawings	12.20.2016

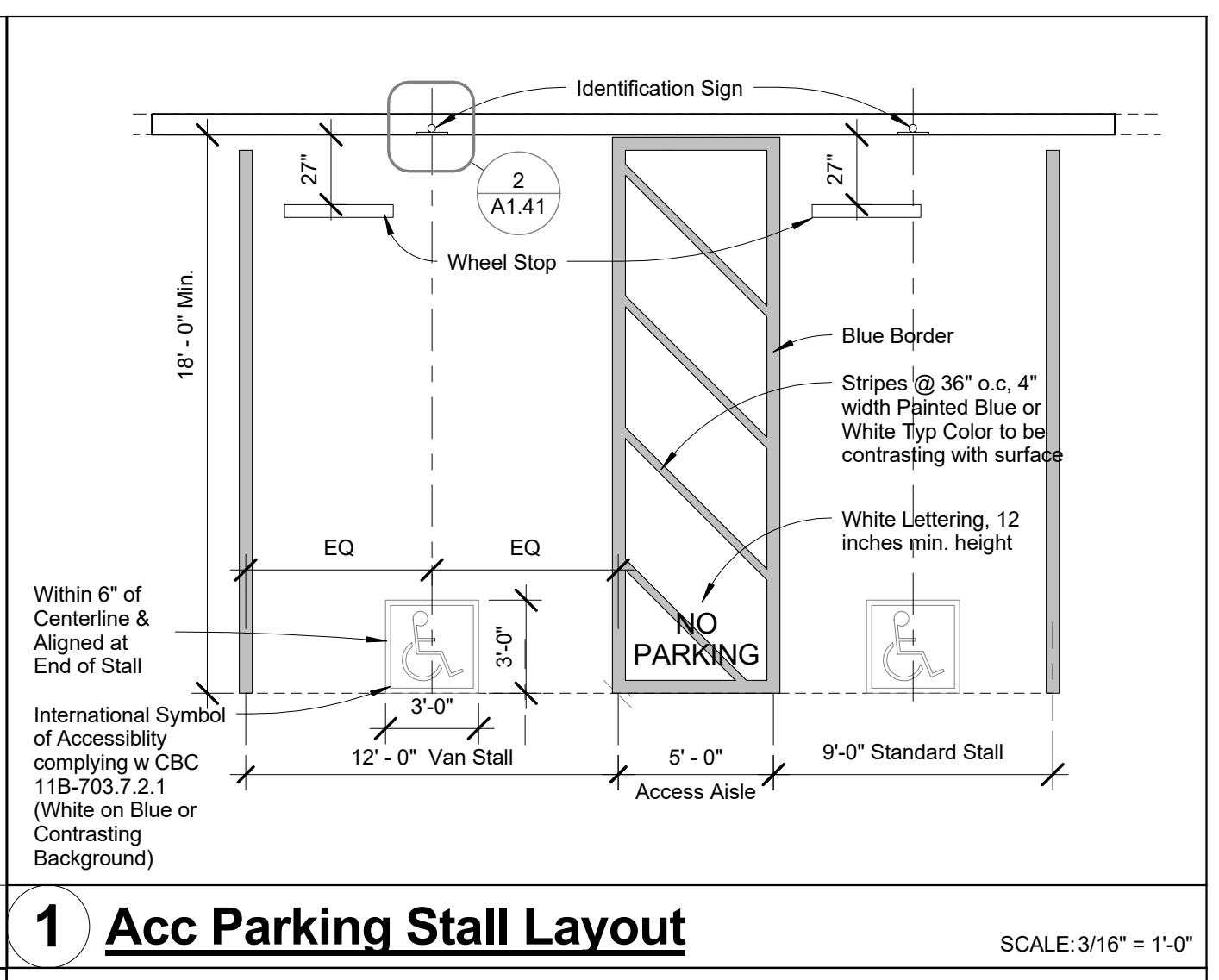
Sheet Title:  
**Site Details**

Sheet No.:  
**A1.40**





4 Parallel Acc. Parking Layout SCALE: 3/16" = 1'-0"



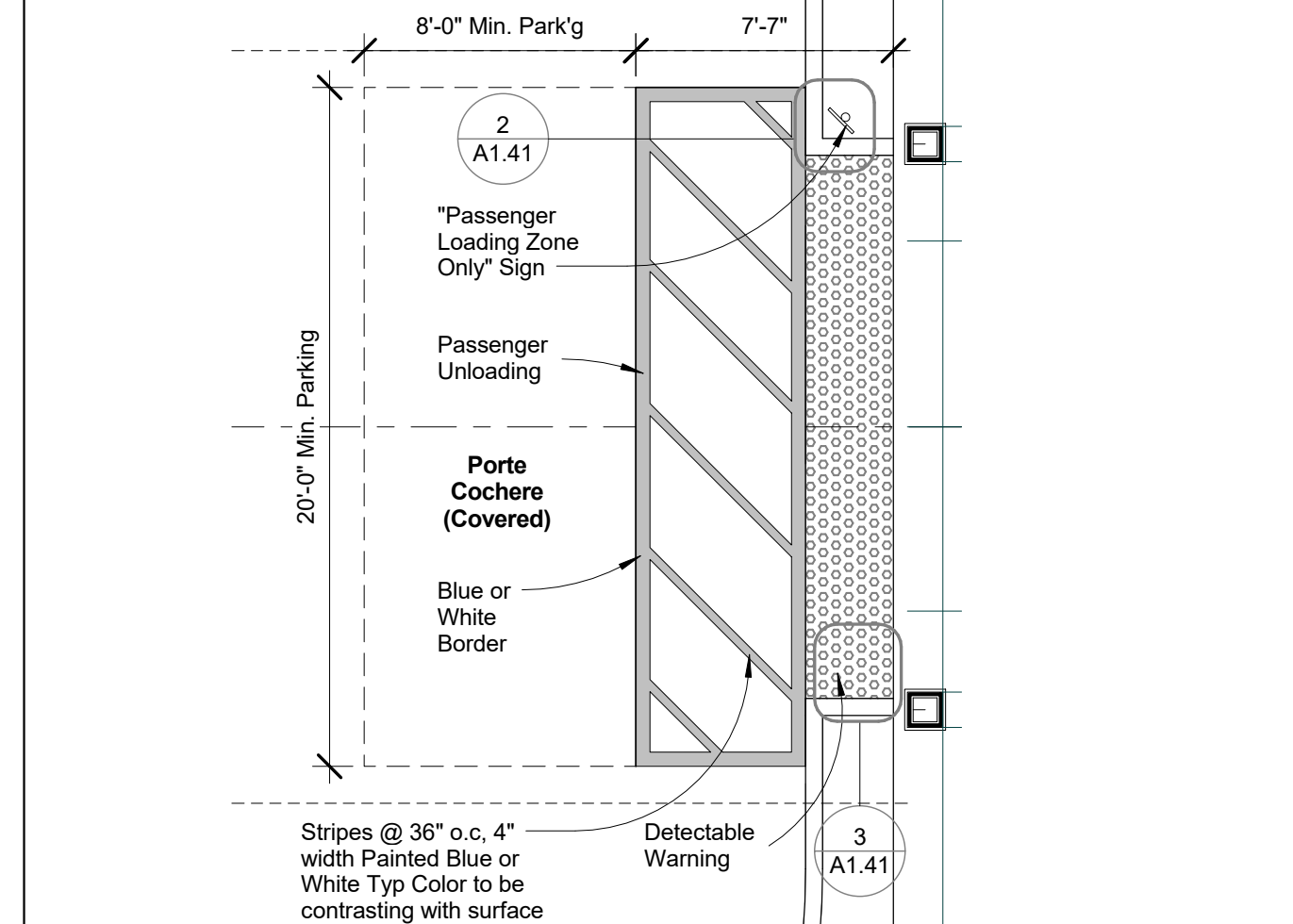
1 Acc Parking Stall Layout SCALE: 3/16" = 1'-0"

**Parking Accessibility Notes:**

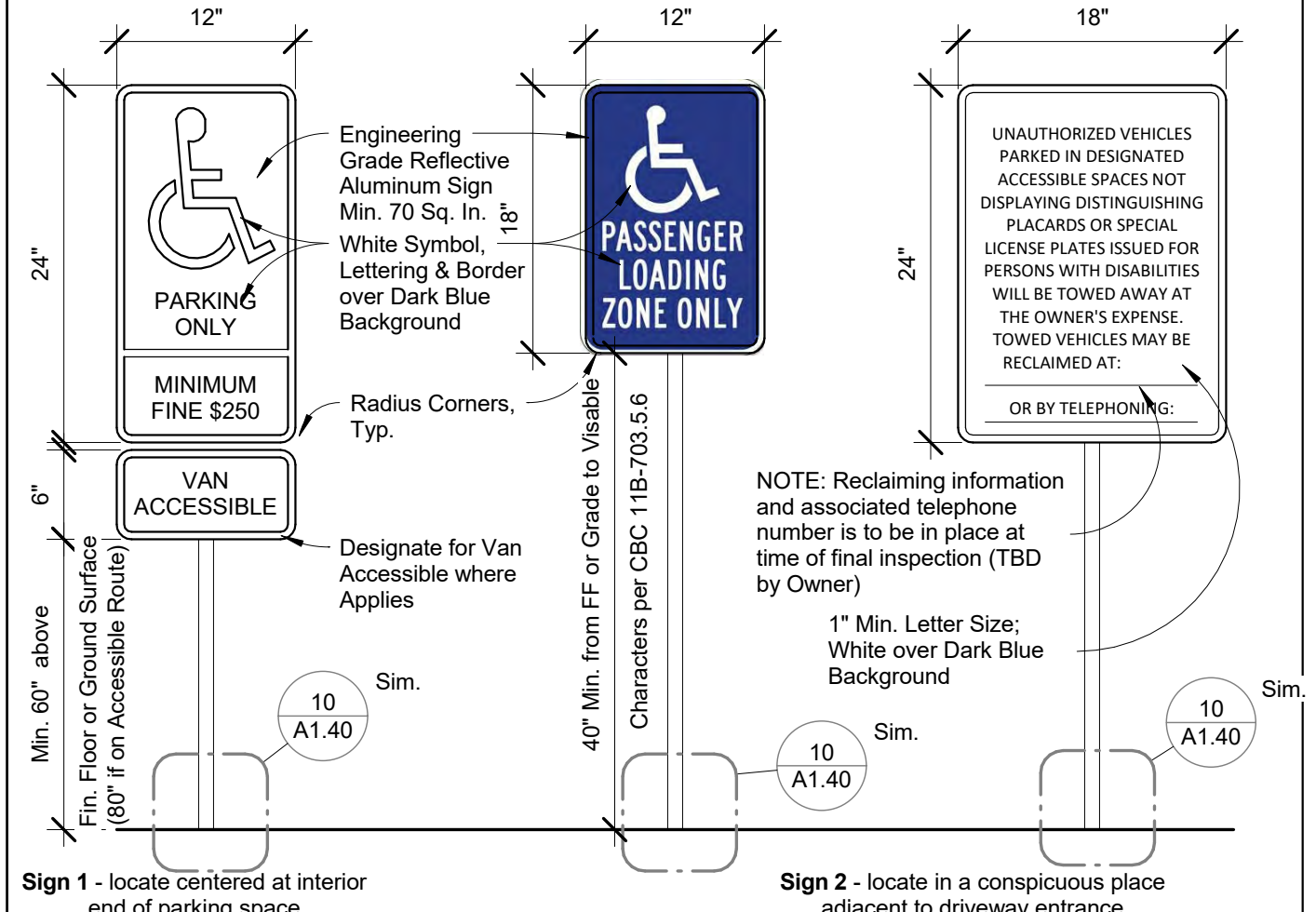
1. Max Slope within parking stalls and unloading shall not exceed 2%.
2. See Civil Plans for Curb Ramp Details and Grading at Accessible Path of Travel.
3. Parking spaces, access aisles and vehicular routes serving them shall provide a vertical clearance of 9' - 2".  
 Except: 1. Van spaces require 9' - 6" clear per UFAS Standards  
 2. Passenger Unloading requires 9' - 6" min. clear vertical clearance

**\*CalGreen Designated Spaces - Parking stall marking. Paint, in the paint used for stall striping, the following characters such that the lower edge of the last word aligns with the end of the stall striping and is visible beneath a parked vehicle:**

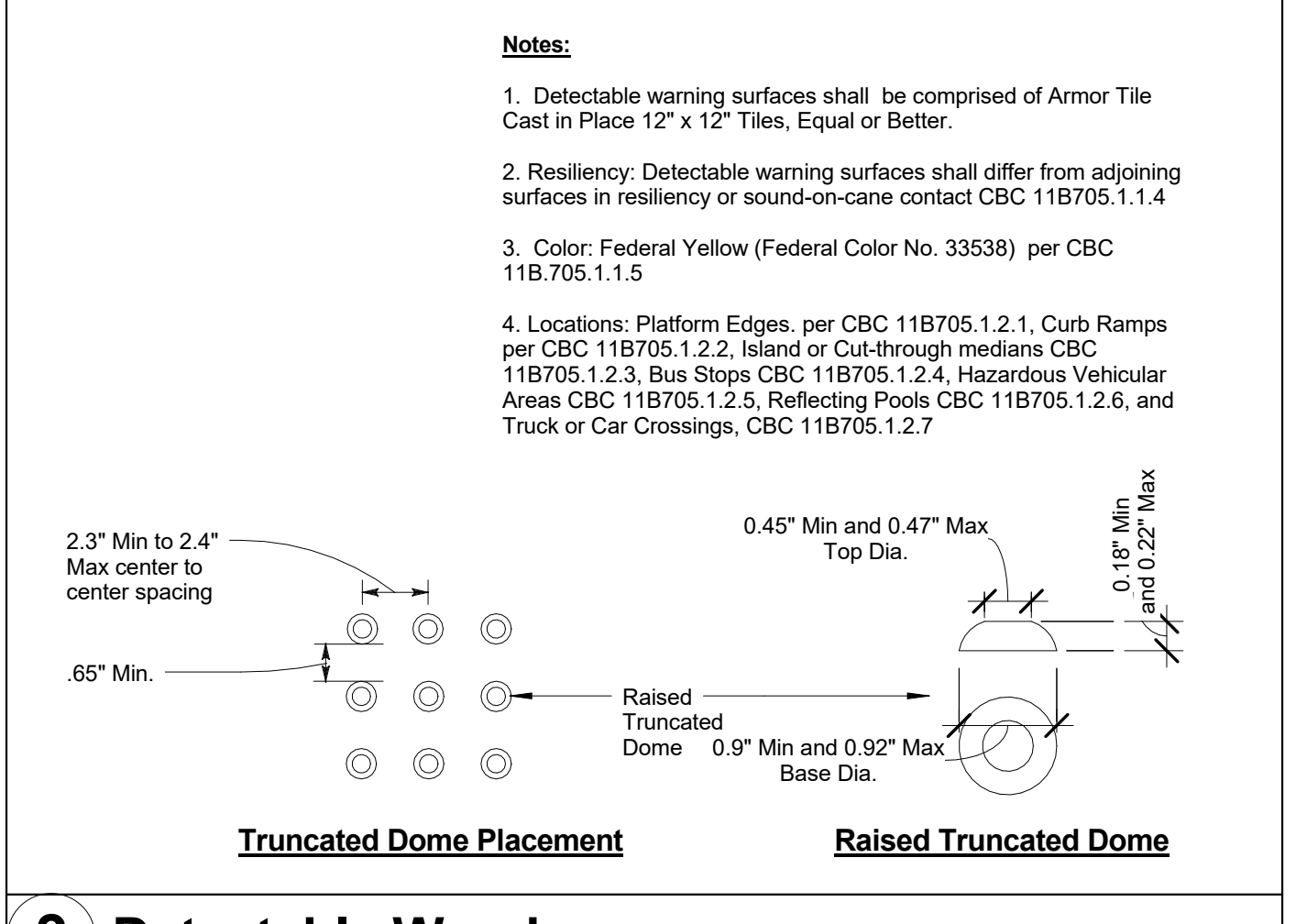
CLEAN AIR/VANPOOL/LEV



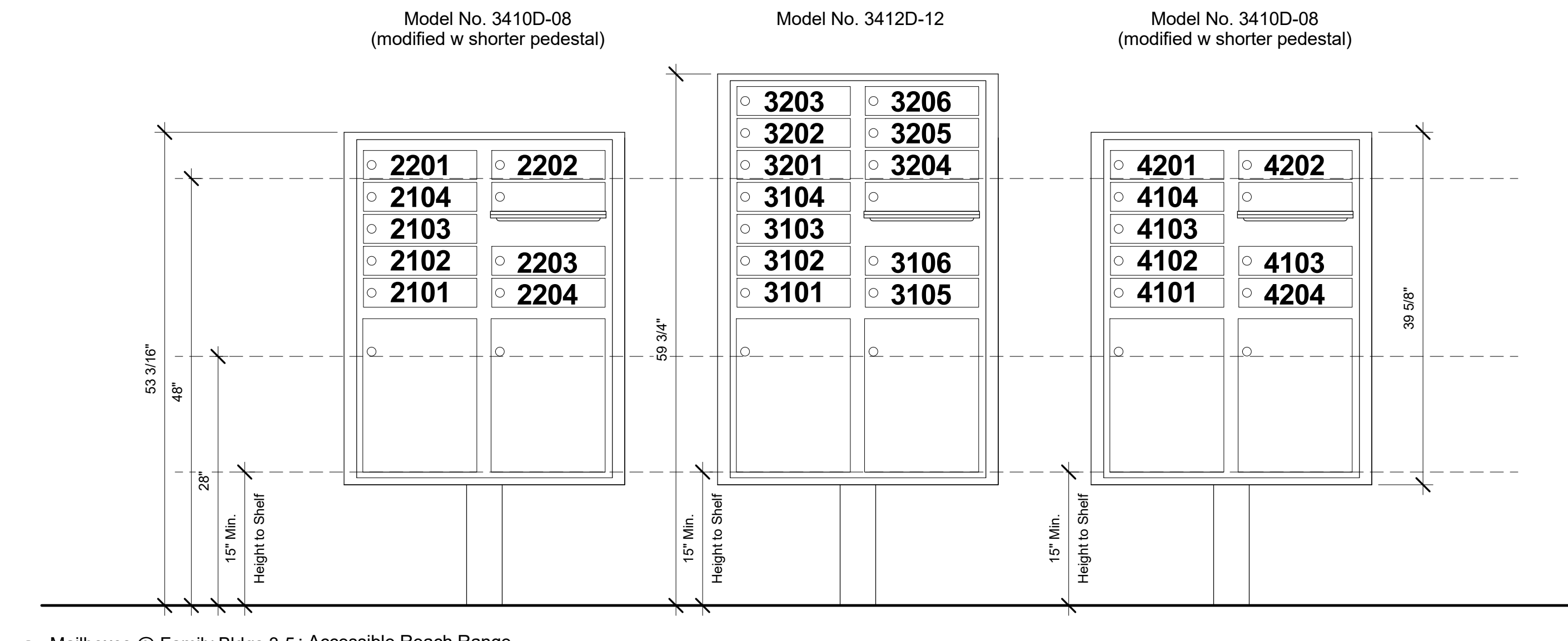
5 Unloading Zone @ Porte Cochere SCALE: 3/16" = 1'-0"



2 Acc. Parking Signage SCALE: 1" = 1'-0"



3 Detectable Warning SCALE: 1/4" = 1'-0"



7 Mailboxes @ Family Bldgs 3-5: Accessible Reach Range 1" = 1'-0"



6 Monument Sign - Elevation & Plan 1" = 1'-0"

Project Name:  
**The Golden Inn & Village**  
 Hwy. 246 & Refugio Rd.  
 Santa Ynez, CA 93460  
 Parcel 1, 2 & 3 - Site Improvements  
 NOTE: This project is subject to Mitigation and/or Condition Compliance Monitoring and Reporting. All aspects of project construction shall adhere to the approved plans, notes, and conditions of approval, and Mitigation Measures from the Mitigated Negative Declaration, 14NGD-00000-00007.

Consultant:  
 Stamp:

Building Permit Submittal	06/06/2017
Revisions:	
Code Compliance Review 2	02.04.2015
Record Drawings	12.20.2016

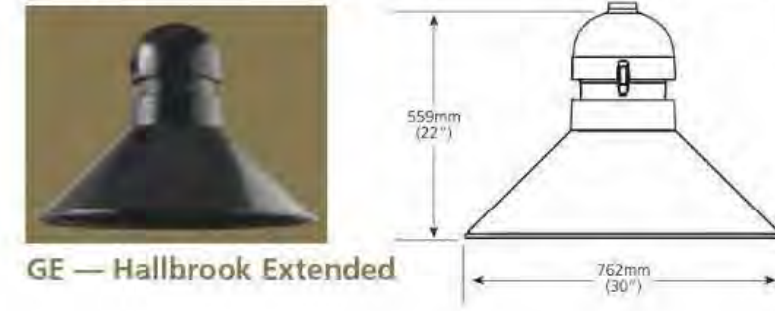
Sheet Title:  
**Site Details**

Sheet No.:  
**A1.41**



**Golden Inn & Village Exterior Lighting**

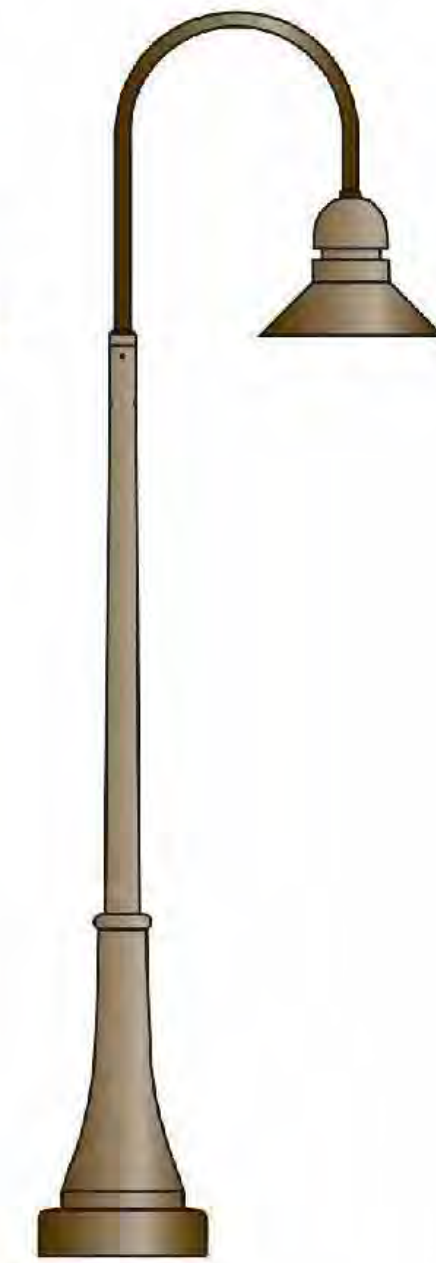
Holophane Hallbrook: 20' H (Fixture 30"W x 22" Finish: Dark Bronze



**S1 & S2 – Pole Light**



**S3 – Pole Light**



**S4 – Bollard**

Lithonia Lighting D-Series LED 42" H x 8"Ø Finish: Dark Bronze



**S5 – Utility Sconce (@ trash enclosure)**

RAB Lighting 6 1/2" H x 8 3/4" W x 3 7/8" D Finish: Dark Bronze



**S6 – Path Light**

SBJ Lighting SPJ10-03 w SPJ-3WTF-F 6"W x 17"H Finish: Matte Bronze



**S7 – Wall Bracket Lamp**

SPJ49-02 13.75"W x 11.5" H x 17" Ext. Finish: Matte Bronze (MBR)



**S8 – Wall Bracket Lamp**

SPJ49-01 8.25"W x 10"H x 14.25" Ext. Finish: Matte Bronze (MBR)



**S9 – Pendant**

SPJ49-04 Pendant: 8.5" W x 5"H LED Ext. Finish: Matte Bronze (MBR)



**S10 – Pendant**

SPJ49-05 Pendant: 13.75" W x 8" H LED Ext. Finish: Matte Bronze (MBR)



**S11 – Vertical Sconce**

Kichler Outdoor Wall 1 Light LED 11251AZT 5"W x 12.25"H x 6.5" Finish:



Architectural Bronze

**S12 – Adjustable Flood Light w Cutoff (under Porte Cochere)**

**S13 – Universal 6" Surface Mount – LED (Porch Soffits)**

**S14 – Recessed Step Light**

Bega 2038LED 13" x 4 7/8" x 4"



**Residential Apartments (Bldg. 2 & Family Buildings)**

**S13 – Wall Bracket**

Barn Wall Urban Bronze Outdoor Wall Sconce Style # W4596 (John Timberland Lighting 8.5"W x 11.25"H x 10.5" Ext.) Finish: Oil rubbed bronze



peikert + rrm design group

10 E. Figueroa St., Suite 1  
Santa Barbara, CA 93101

Tel: 805.963.8283  
Fax: 805.963.8184  
www.rrmdesign.com



Housing Authority of the County of Santa Barbara  
815 West Ocean Avenue  
Lompoc, CA 93436  
Tel: 805.736.3423 Fax: 805.735.7672  
www.hacsb.org



RONA BARRETT FOUNDATION  
P.O. Box 1559  
Santa Ynez, CA 93460  
www.ronabarrettfoundation.org

Project Name:

**The Golden Inn & Village**

Hwy. 246 & Refugio Rd.  
Santa Ynez, CA 93460

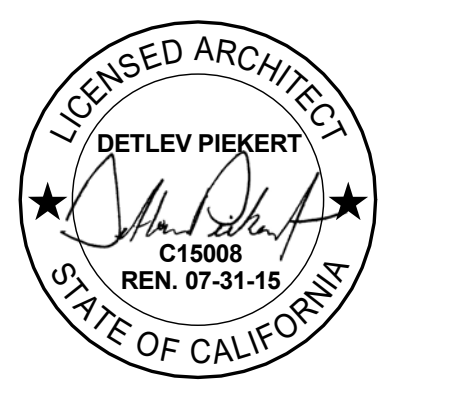
Parcel 1, 2 & 3 - Site Improvements



NOTE: This project is subject to Mitigation and/or Condition Compliance Monitoring and Reporting. All aspects of project construction shall adhere to the approved plans, notes, and conditions of approval, and Mitigation Measures from the Mitigated Negative Declaration, 14NGD-00000-00007.

Consultant:

Stamp:



Building Permit Submittal 06/06/2017

Revisions:		
△	Code Compliance Review	12.22.2014
△		
△		
△		
△		
△		

Sheet Title:

**Exterior Lighting**

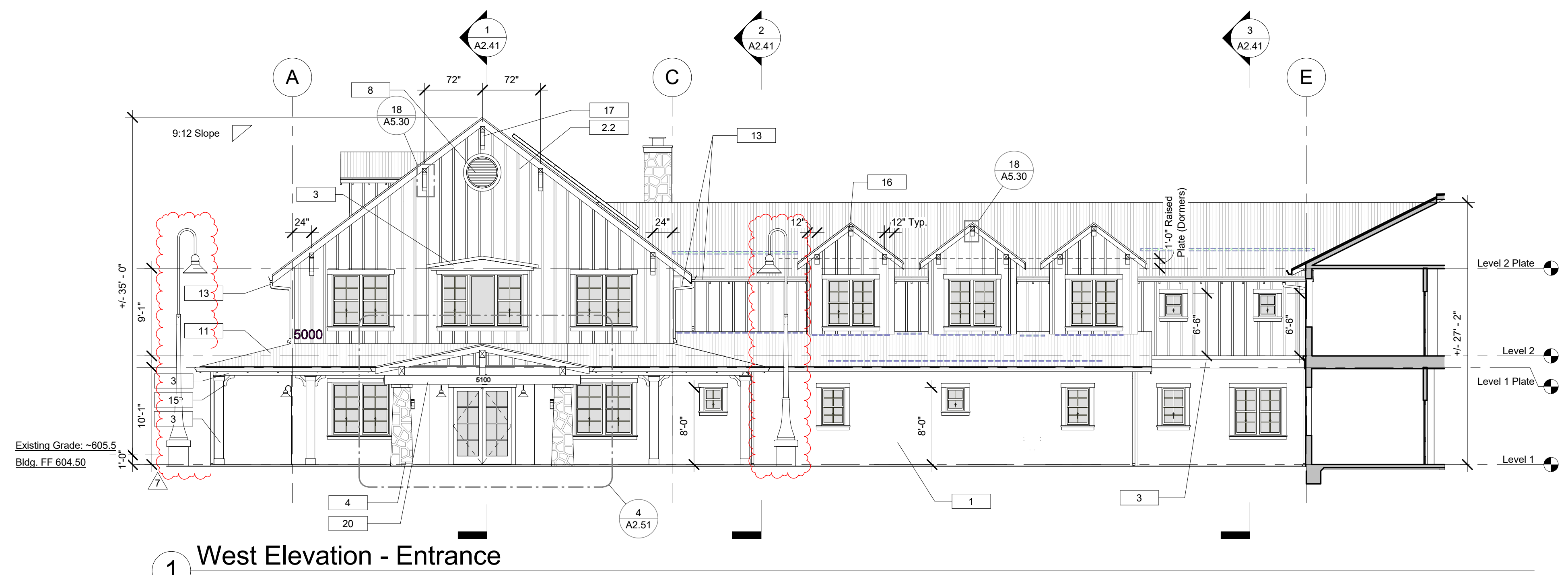
Sheet No.:

**A1.50**

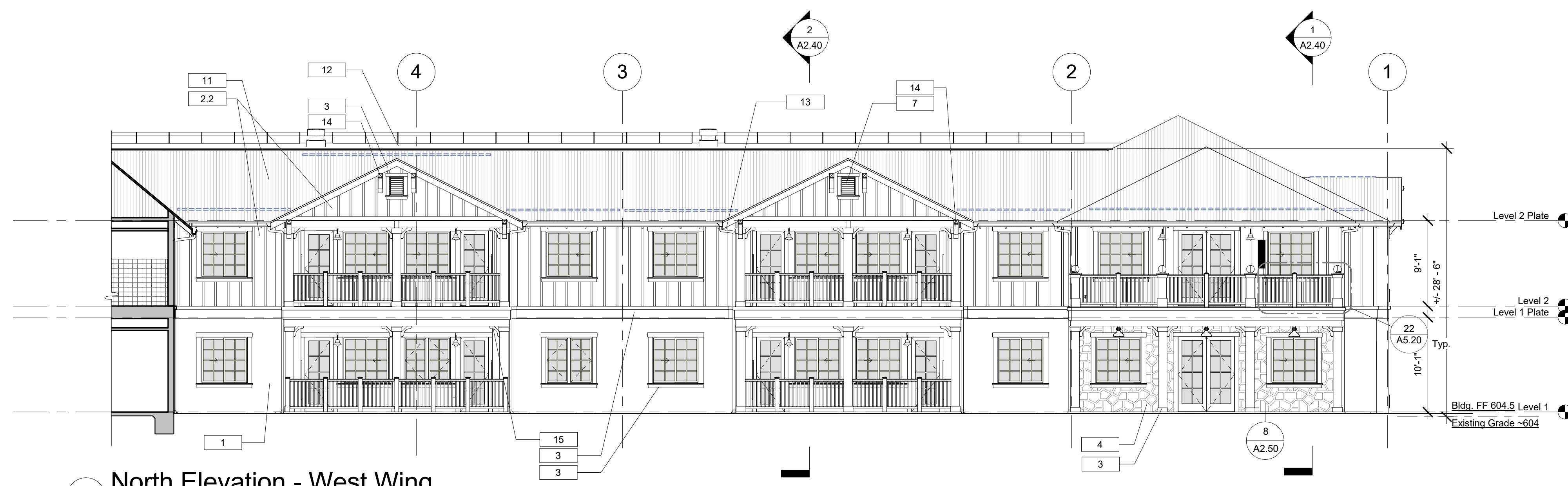


**Exterior Wildfire Requirements**

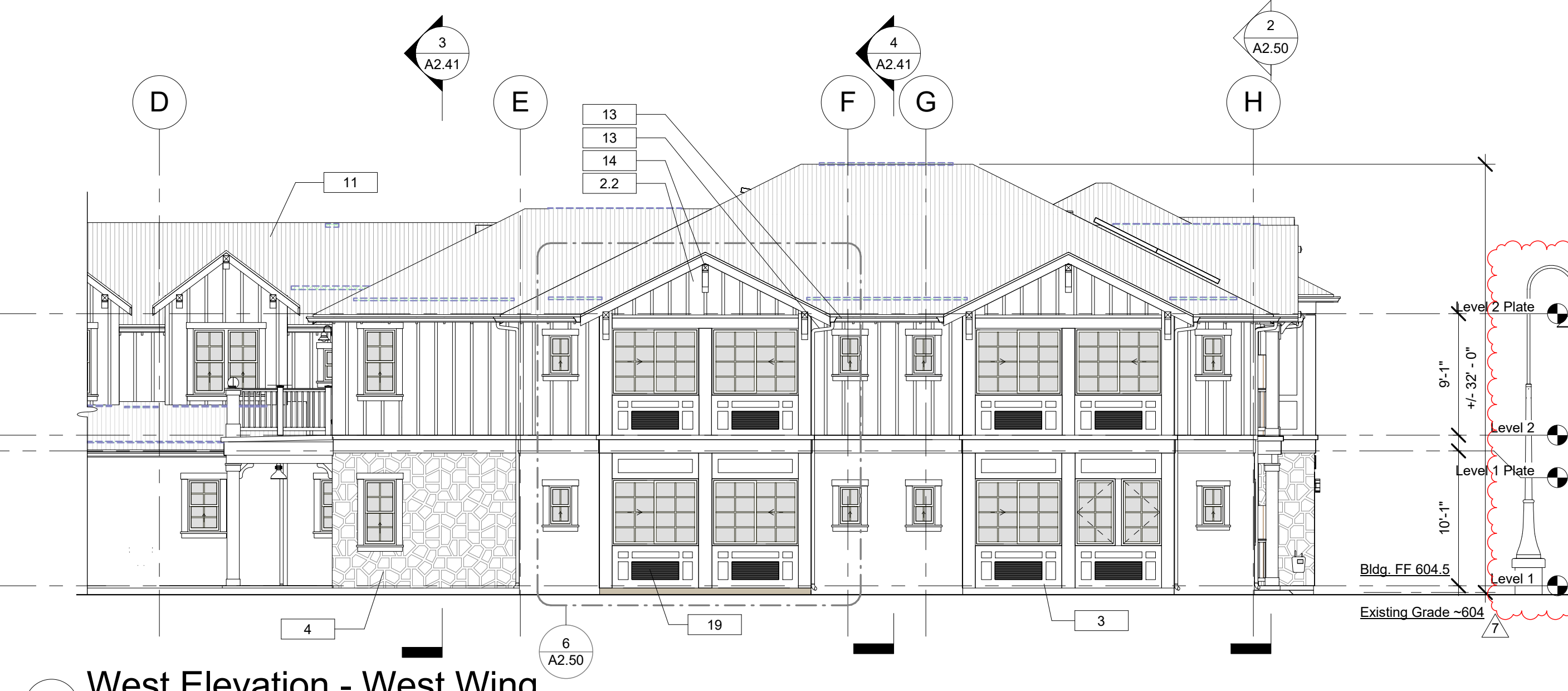
1. Pursuant CBC 709A, decking surfaces, stair treads, risers, and landings of decks, porches and balconies where any portion of such surface is within 10 feet of the structure shall be constructed of 1) ignition-resistant material that complies with the performance requirements of both SFM Standard 12-7A-4 and Standard 12-7A-5, 2) exterior fire retardant treated wood, 3) non-combustible material, or 4) any material that complies with the performance requirements of SFM Standard 12-7A-4A when adjacent exterior wall covering is also either non-combustible or ignition-resistant material (wall material may be of any material that otherwise complies with CBC 707A when the decking surface material complies with the performance requirements of ASTM E-84 with a Class B flame spread rating). [CBC 709A]



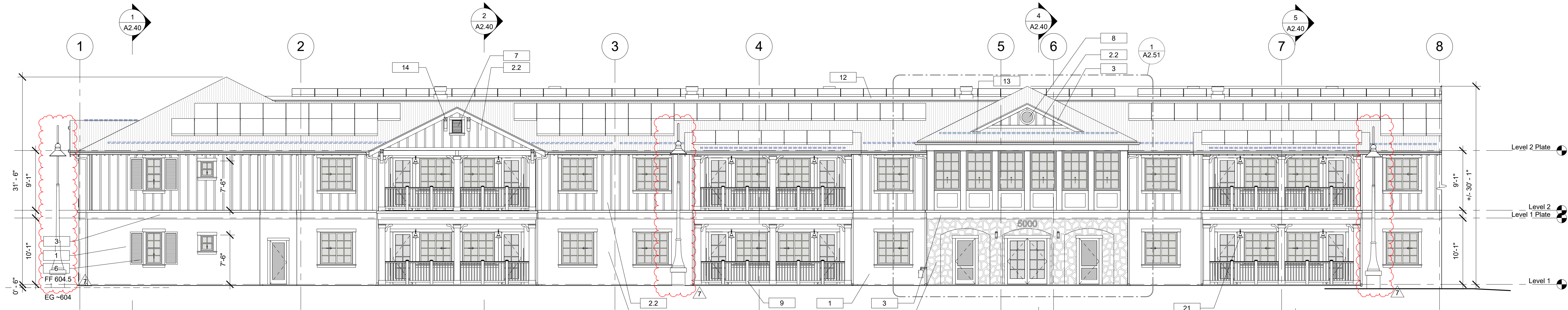
**1 West Elevation - Entrance**  
SCALE: 1/8" = 1'-0"



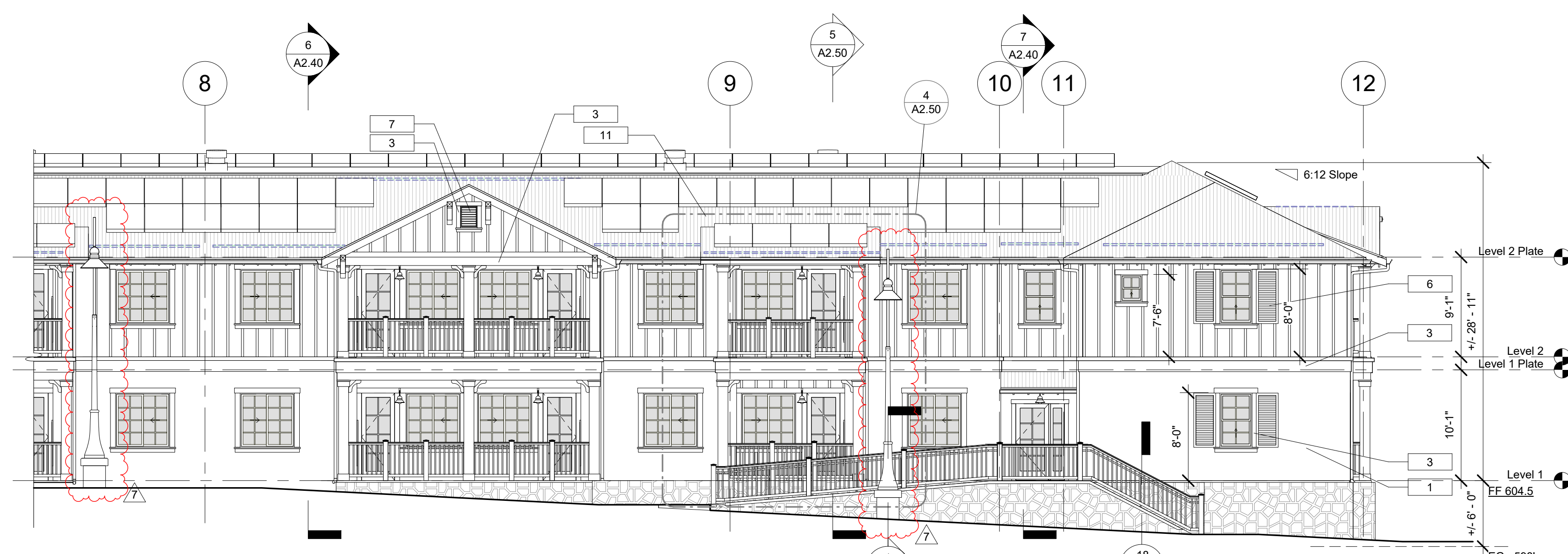
**2 North Elevation - West Wing**  
SCALE: 1/8" = 1'-0"



**3 West Elevation - West Wing**  
SCALE: 1/8" = 1'-0"



**4 South Elevation - West Wing**  
SCALE: 1/8" = 1'-0"



**5 South Elevation - East Wing**  
SCALE: 1/8" = 1'-0"

Exterior Materials Schedule			
Mark	Material/Manufacturer/Model	Texture/Finish	Color
1	Cement Plaster - 3 Coat w La Habra Exterior Stucco Color Coat	Smooth: Sand Float 20/30	X-434 "Fallbrook"
2.2	Board & Batten - Fiber Cement Siding	Rustic Grain	Paint to match DEC728 "Madera"
3	Fiber Cement - Trim Board	Smooth	"Arctic White"
4	Cultured Stone Veneer	Fieldstone	per Specification
5	Doors & Windows per Schedule	Factory Finish	White
6	Premium Vinyl Shutter - Arch. Depot	(Decorative)	Integral White
7	Vertical Gable Vent Louver - 18" x 24" - Arch. Depot Urethane	(Decorative)	Integral White
8	36" Round Gable Vent Louver - Arch. Depot Urethane	(Decorative)	Integral White
9	Composite Guardrail System	per Specification	per Specification
10	Waterproof Traffic Topping System	w/ Granules for Traction	per Specification
11	Sloped Roof - Corrugated Metal Panel	Zincalume	(Bare Steel)
12	1/4:12 Roof - PVC Single Ply Membrane	-	White
13	Gutter/Downspout - Seamless Aluminum	Factory Baked	Light Bronze - 018
14	Bracket - Wood 18" - per Detail	-	Integral White
15	Bracket - Fypon BKT14X14	-	Integral White
16	Bracket - Wood - 12" per Detail	Paint Grade	Paint to match "Arctic White"
17	Bracket - Wood - 24" per Detail	Paint Grade	Paint to match "Arctic White"
18	Bracket - Wood - 48" per Detail	Paint Grade	Paint to match "Arctic White"
19	PTAC Unit per Mechanical	Grille: AGK01WB Amana White	Amana White
20	Wood - Paint Grade	Smooth Sawn	White
21	Light Fixtures per Elec. Plans	-	Dark Bronze
22	Chimney Shroud - Aluminum	Factory Powder Coat	Light Bronze
23	Photovoltaic - Solar Panels	-	per Specification

NOTE: 1. Prior to purchase, contractor to provide physical samples of all material finishes and colors for approval by architect  
2. Exterior Materials shall comply with CBC7A Methods for Ext. Wildfire Exposure inc. Roofing, Vents, Ext. Coverings, Windows, Doors, Decking & Accessory Structures.

peikert +  
rrm design group

10 E. Figueroa St., Suite 1  
Santa Barbara, CA 93101

Tel: 805.963.8283  
Fax: 805.963.8184  
www.rrmdesign.com

**hacsbo**

Housing Authority of the  
County of Santa Barbara

815 West Ocean Avenue  
Lompoc, CA 93436  
Tel: 805.736.3423 Fax: 805.735.7672  
www.hacsbarco.org

**RONA BARRETT**

RONA BARRETT FOUNDATION  
P.O. Box 1559  
Santa Ynez, CA 93460  
www.ronabarrettfoundation.org

Project Name:  
**The Golden Inn & Village Parcel 2**

Hwy. 246 & Refugio Rd.  
Santa Ynez, CA.

Bldg. 2 - Independent Senior  
Apartments

NOTE: This project is subject to Mitigation and/or Condition Compliance Monitoring and Reporting. All aspects of project construction shall adhere to the approved plans, notes, and conditions of approval, and Mitigation Measures from the Mitigated Negative Declaration, 14NGD-00000-00007.

Consultant:

LICENSED ARCHITECT  
DETLEV PEIKERT  
C15006  
REN. 09-31-15  
STATE OF CALIFORNIA

Building Permit Submittal	12/22/2016
Revisions:	
Code Compliance Review	12/22/2014
Code Compliance Review 2	02/03/2015
Bid Addendum	03/06/2015
Record Drawings	12/20/2016

Sheet Title:  
**Bldg. 2 Ext. Elevations**

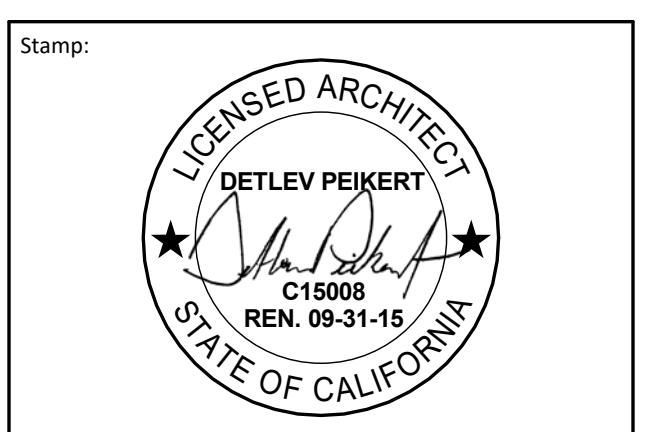
Sheet No.:  
**A2.30**



Project Name:  
**The Golden Inn & Village Parcel 2**  
Hwy. 246 & Refugio Rd.  
Santa Ynez, CA.  
Bldg. 2 - Independent Senior  
Apartments

NOTE: This project is subject to Mitigation and/or Condition Compliance Monitoring and Reporting. All aspects of project construction shall adhere to the approved plans, notes, and conditions of approval, and Mitigation Measures from the Mitigated Negative Declaration, 14NGD-00000-00007.

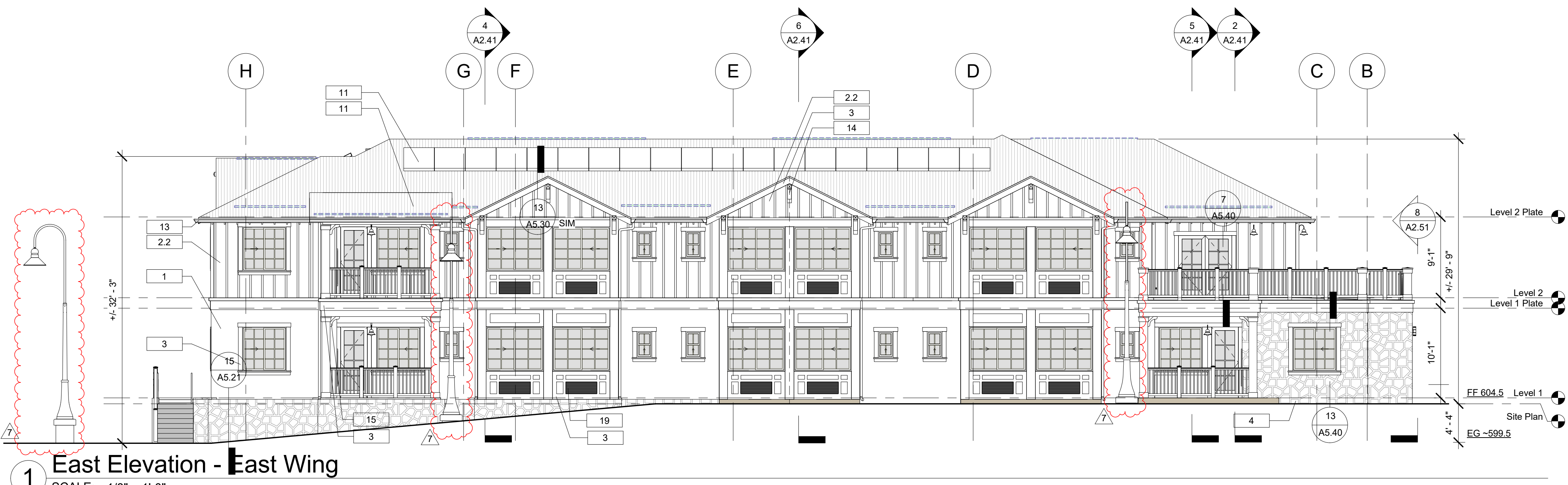
Consultant:



Building Permit Submittal	12/22/2016
Revisions:	
Code Compliance Review	12/22/2014
Bid Addendum	03/06/2015
Record Drawings	12/20/2016

Sheet Title:  
**Bldg. 2 Ext. Elevations**

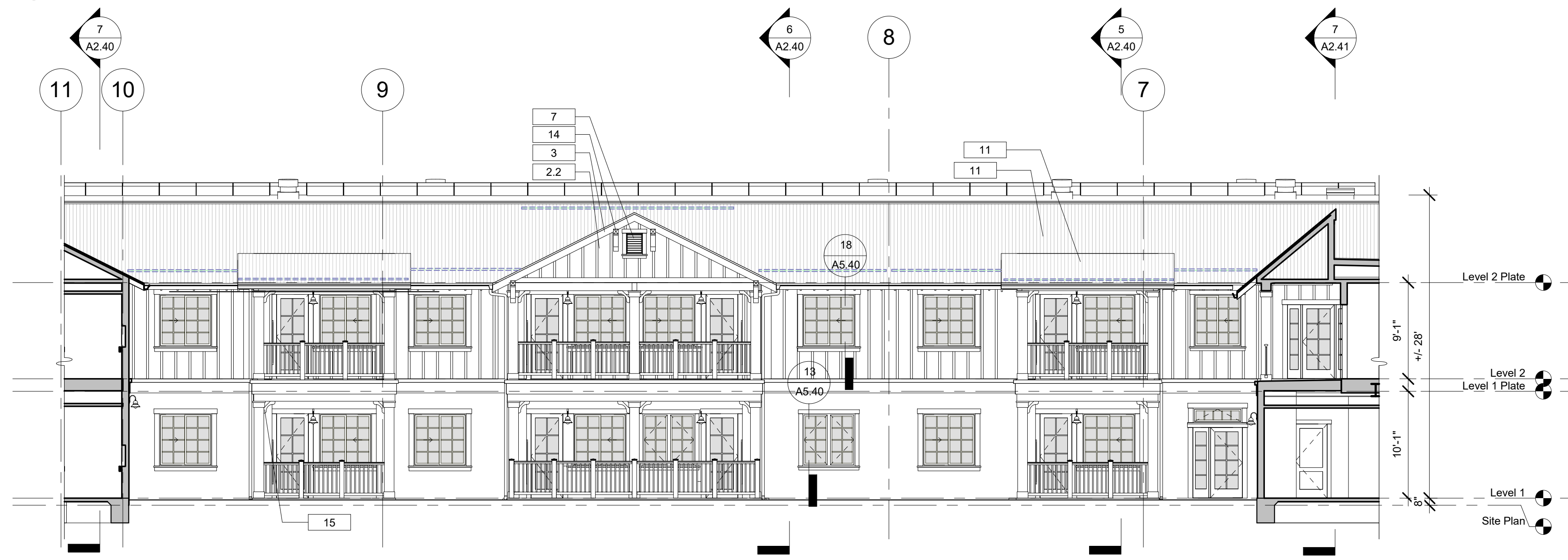
Sheet No.:  
**A2.31**



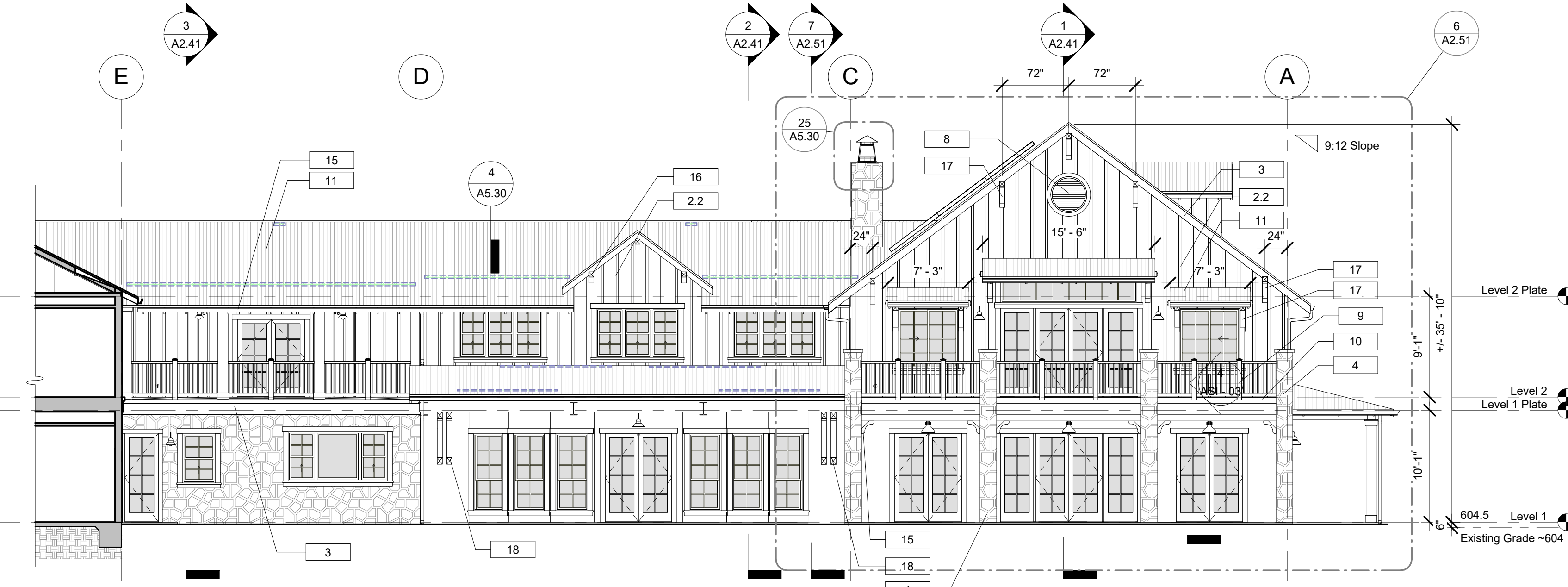
1 East Elevation - East Wing  
SCALE: 1/8" = 1'-0"



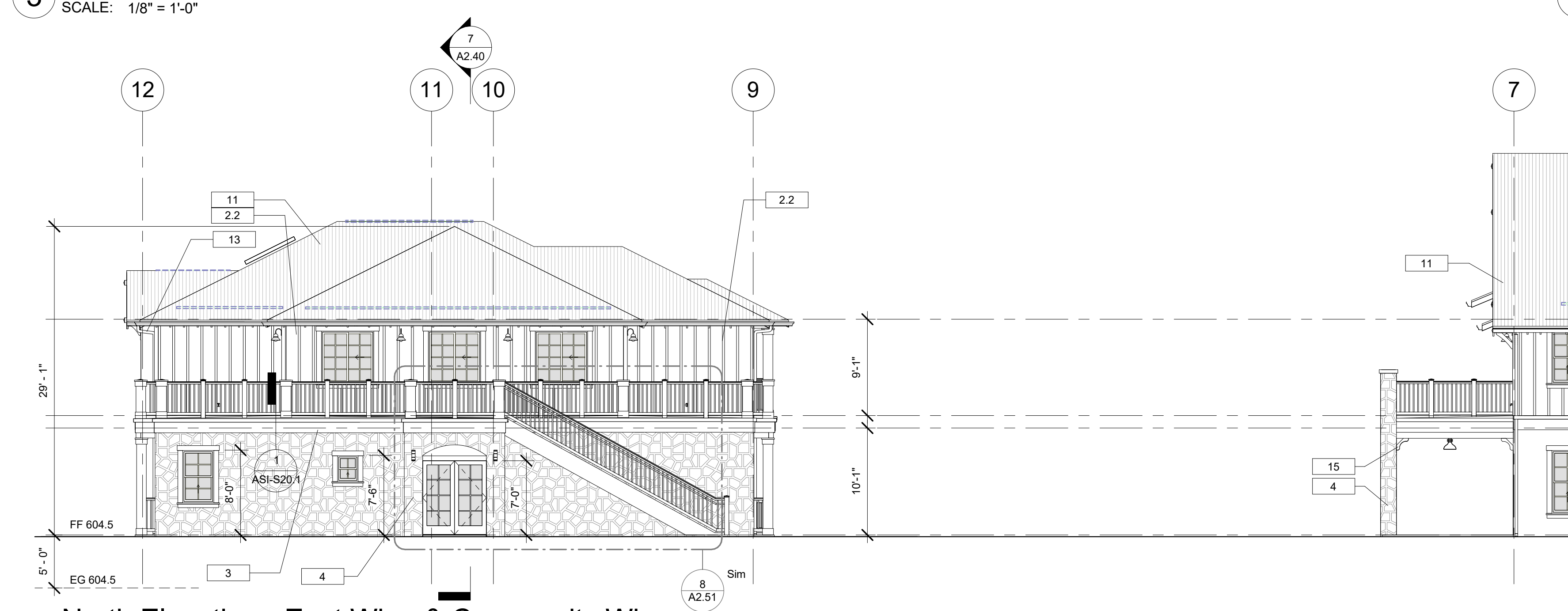
2 West Elevation - East Wing @ Court  
SCALE: 1/8" = 1'-0"



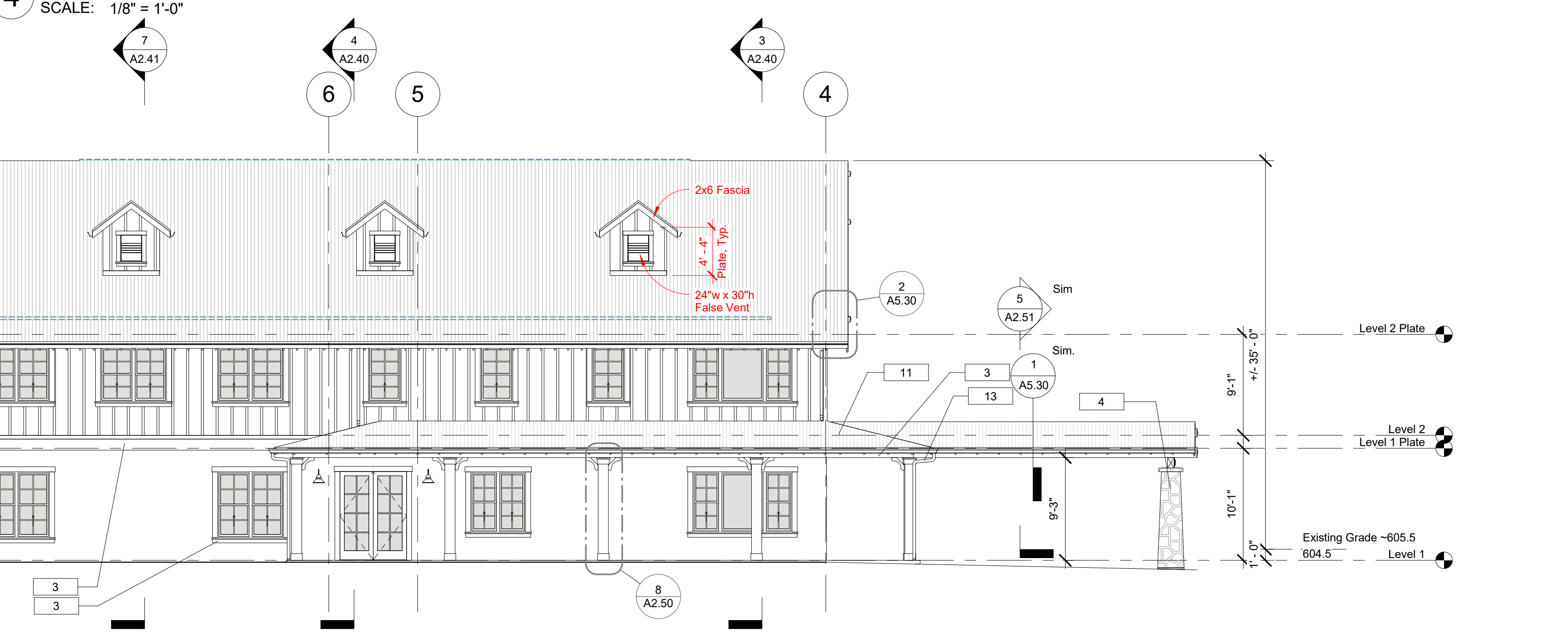
3 North Elevation - East Wing @ Court  
SCALE: 1/8" = 1'-0"



4 East Elevation - Community Wing @ Court  
SCALE: 1/8" = 1'-0"



5 North Elevation - East Wing & Community Wing  
SCALE: 1/8" = 1'-0"



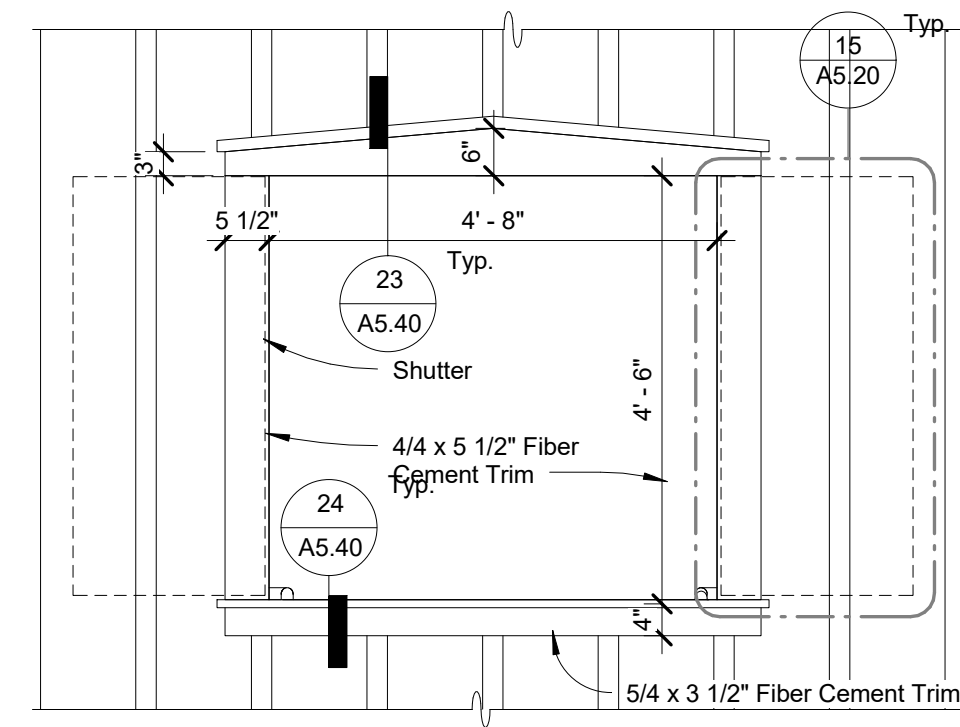
Exterior Materials Schedule			
Mark	Material/Manufacturer/Model	Texture/Finish	Color
1	Cement Plaster - 3 Coat w La Habra Exterior Stucco Color Coat	Smooth: Sand Float 20/30	X-434 "Fallbrook"
2,2	Board & Batten - Fiber Cement Siding	Rustic Grain	Paint to match DEC728 "Madera"
3	Fiber Cement - Trim Board	Smooth	"Arctic White"
4	Cultured Stone Veneer	Fieldstone	per Specification
5	Doors & Windows per Schedule	Factory Finish	White
6	Premium Vinyl Shutter - Arch. Depot	(Decorative)	Integral White
7	Vertical Gable Vent Louver - 18" x 24" - Arch. Depot Urethane	(Decorative)	Integral White
8	36" Round Gable Vent Louver - Arch. Depot Urethane	(Decorative)	Integral White
9	Composite Guardrail System	per Specification	per Specification
10	Waterproof Traffic Topping System	w/ Granules for Traction	per Specification
11	Sloped Roof - Corrugated Metal Panel	Zincalume	(Bare Steel)
12	1/4:12 Roof - PVC Single Ply Membrane	-	White
13	Gutter/Downspout - Seamless Aluminum	Factory Baked	Light Bronze - 018
14	Bracket - Wood 18" - per Detail	-	Integral White
15	Bracket - Fypon BKT14X14	-	Integral White
16	Bracket - Wood -12" per Detail	Paint Grade	Paint to match "Arctic White"
17	Bracket - Wood - 24" per Detail	Paint Grade	Paint to match "Arctic White"
18	Bracket - Wood - 48" per Detail	Paint Grade	Paint to match "Arctic White"
19	PTAC Unit per Mechanical	Grille: AGK01WB Amana White	Amana White
20	Wood - Paint Grade	Smooth Sawn	White
21	Light Fixtures per Elec. Plans	-	Dark Bronze
22	Chimney Shroud - Aluminum	Factory Powder Coat	Light Bronze
23	Photovoltaic - Solar Panels	-	per Specification

NOTE: 1. Prior to purchase, contractor to provide physical samples of all material finishes and colors for approval by architect  
2. Exterior Materials shall comply with CBC7A Methods for Ext. Wildfire Exposure inc. Roofing, Vents, Ext. Coverings, Windows, Doors, Decking & Accessory Structures.

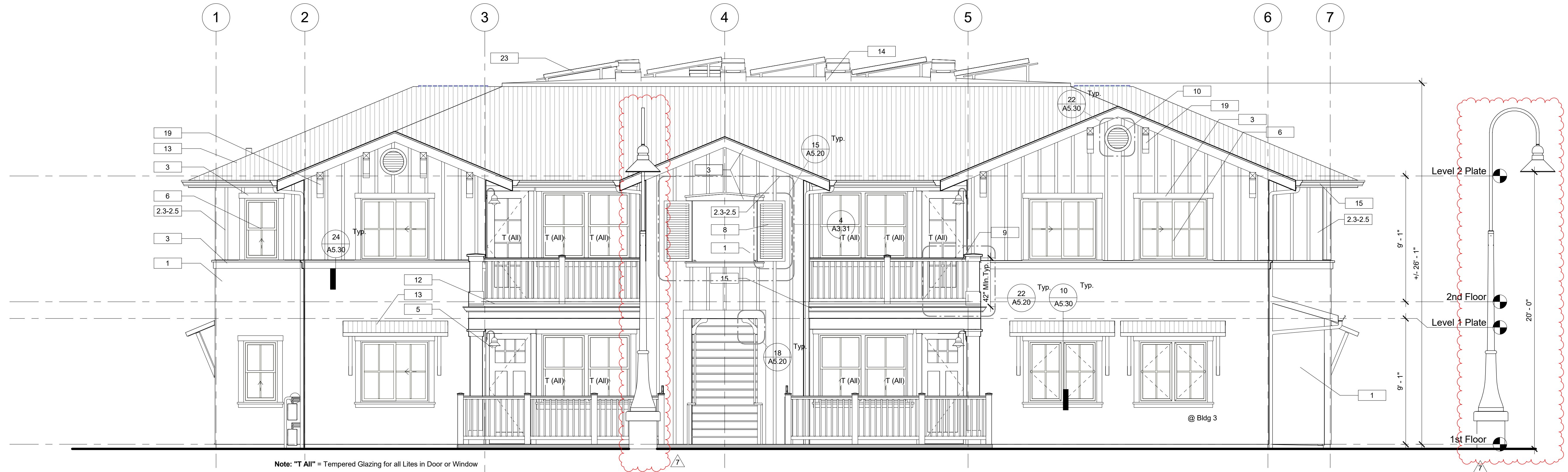








4 Central Opening Detail  
SCALE: 1/2" = 1'-0"

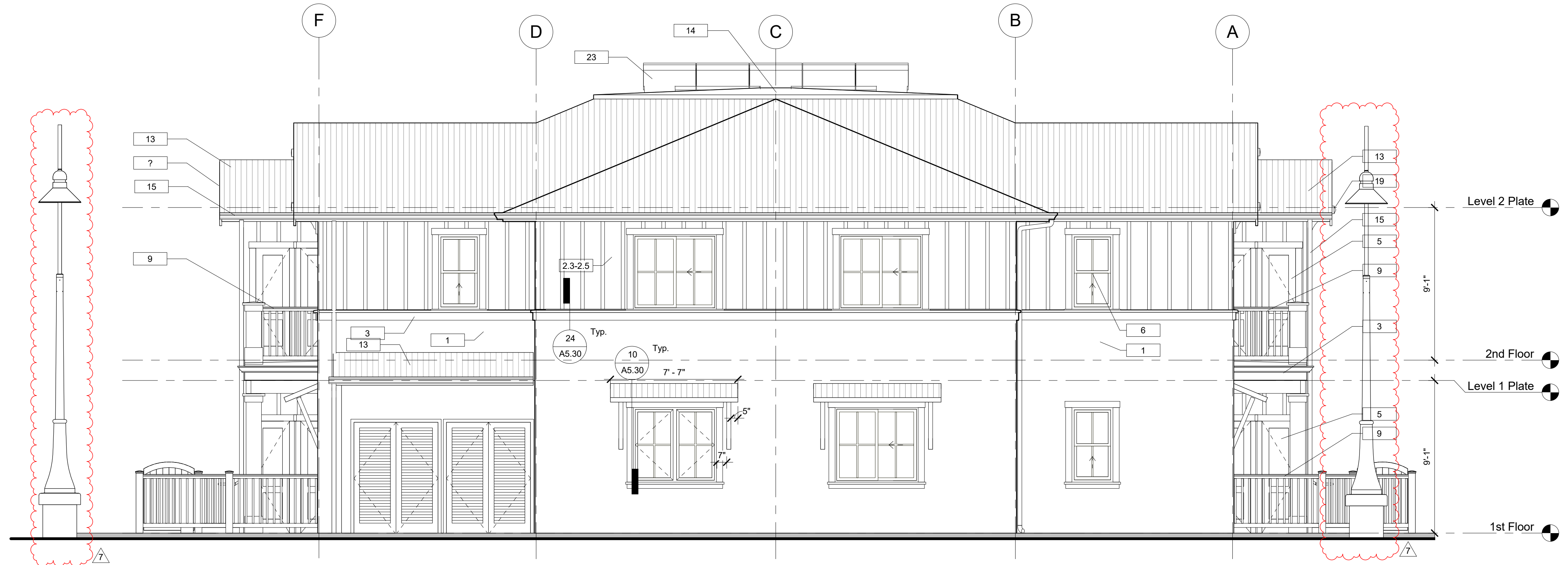


Note: "T All" = Tempered Glazing for all Lites in Door or Window

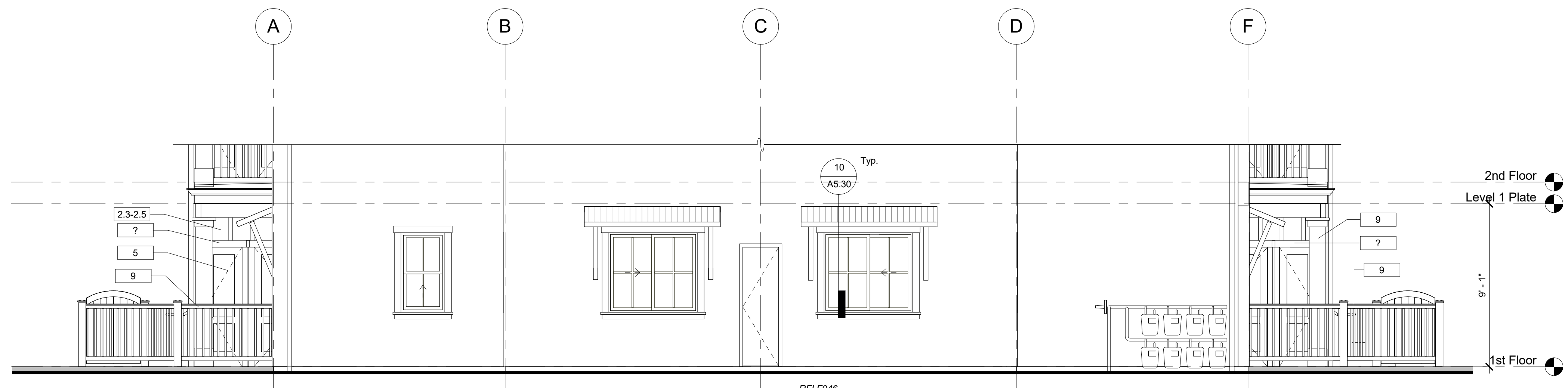
1 Bldg. 3 East Elevation, Bldg. 5 West Elevation Sim.  
SCALE: 1/4" = 1'-0"

Exterior Materials Schedule			
Mark	Material/Manufacturer/Model	Texture/Finish	Color
1	Cement Plaster - 3 Coat w La Habra Exterior Stucco Color Coat	Smooth: Sand Float 20/30	X-434 "Fallbrook"
2,3-2,5	Board & Batten - Fiber Cement	Rustic Grain	Bldg. 3 = Paint to Match DE105 "Weathered Leather" Bldg. 5 = DE6285 "Moss Covered"
3	Fiber Cement - Trim Board	Smooth	"Arctic White"
4	Fiber Cement - Soffit Panel	Beaded Porch Panel	"Arctic White"
5	Doors per Schedule	Factory Finish	White
6	Windows per Schedule	Factory Finish	White
8	Premium Vinyl Shutter - Arch. Depot	(Decorative)	Intergal White
9	Compost Guardrail System	Per Specifications	Per Specifications
10	16" Round Gable Vent Louver	See Roof Venting Plan	Integral White
12	Waterproof Traffic Topping System	w/ Granules for Traction	Per Specifications
13	Sloped Roof - Corrugated Metal Panel	Zincalume Plus (Bare Steel)	
14	1/4-12 Roof - PVC Single Ply Membrane	-	White
15	Gutter/Downspout - Seamless Aluminum	Factory Baked	Light Bronze
19	Bracket - Wood - 24" per Detail	Paint Grade	Paint to Match "Arctic White"
23	Photovoltaic - Solar Panels		

Note: Contractor to Provide Physical examples for all Materials, Finishes and Colors for Verification by Architect.



2 Bldg. 3 North Elevation  
SCALE: 1/4" = 1'-0"



3 Bldg. 3 South Elevation  
SCALE: 1/4" = 1'-0"



peikert +  
rrmdesigngroup  
10 E. Figueroa St., Suite 1  
Santa Barbara, CA 93101  
Tel: 805.963.8283  
Fax: 805.963.8184  
www.rrmdesign.com

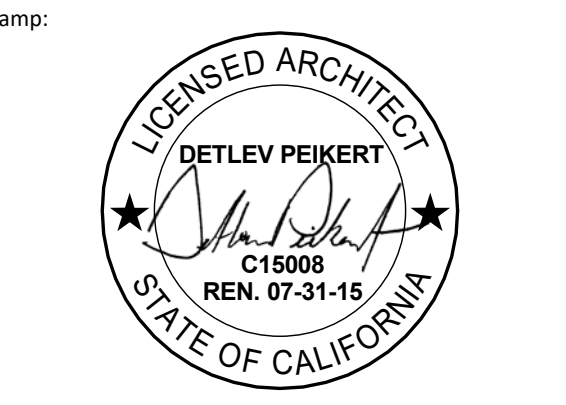


RONA BARRETT FOUNDATION  
P.O. Box 1559  
Santa Ynez, CA 93480  
www.ronabarrettfoundation.org

Project Name:  
**The Golden Inn & Village Parcel 3**  
Hwy. 246 & Refugio Rd.  
Santa Ynez, CA  
Bldg. 3, 4 & 5 - Family Apartments

NOTE: This project is subject to Mitigation and/or Condition Compliance Monitoring and Reporting. All aspects of project construction shall adhere to the approved plans, notes, and conditions of approval, and Mitigation Measures from the Mitigated Negative Declaration, 14NGD-00000-00007.

Consultant:



Building Permit Submittal	10/28/2014
Revisions:	
Code Compliance Review	12/22/2014
Bid Addendum	03/06/2015
Record Drawings	12/20/2016

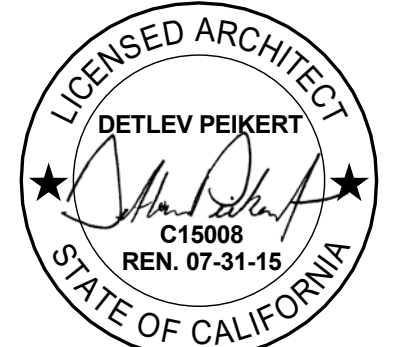
Sheet Title:  
**Bldg. 3 & 5 Exterior Elevations**

Sheet No.:  
**A3.31**



NOTE: This project is subject to Mitigation and/or Condition Compliance Monitoring and Reporting. All aspects of project construction shall adhere to the approved plans, notes, and conditions of approval, and Mitigation Measures from the Mitigated Negative Declaration, 14NGD-00000-00007.

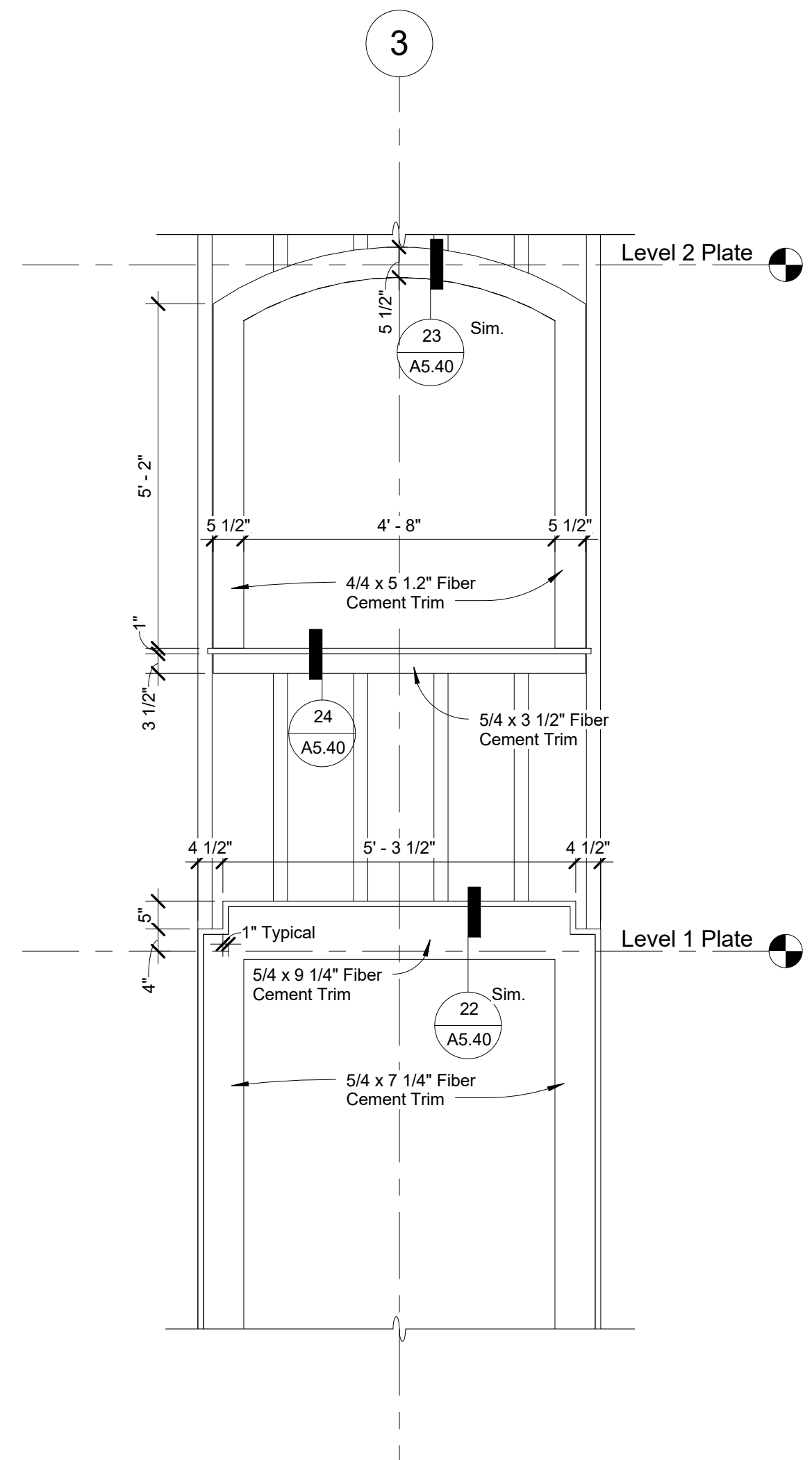
Consultant:

Stamp:  


Building Permit Submittal	10/28/2014
Revisions:	
△ 1	Code Compliance Review 12/22/2014
△ 2	
△ 3	
△ 4	
△ 5	
△ 6	

Sheet Title:  
**Bldg. 4 Exterior Elevations**

Sheet No.:  
**A4.30**



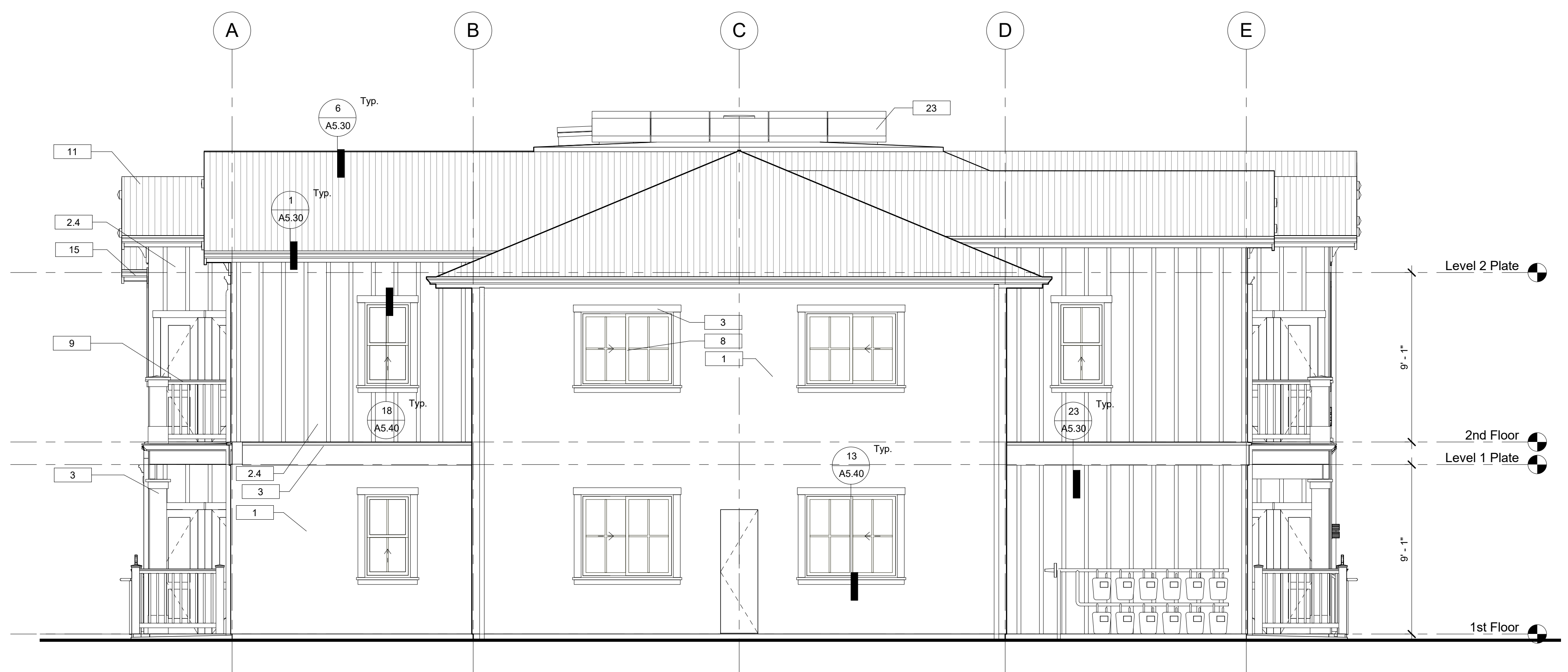
**3 East Elevation - Central Opening**  
SCALE: 1/2" = 1'-0"



**1 West Elevation**  
SCALE: 1/4" = 1'-0"

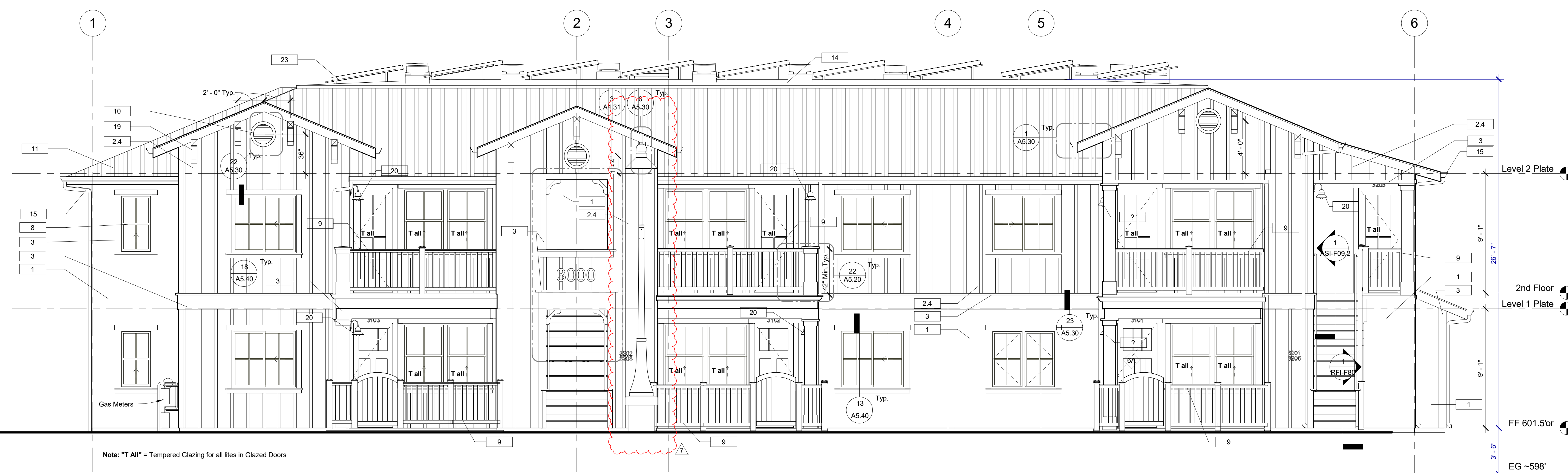
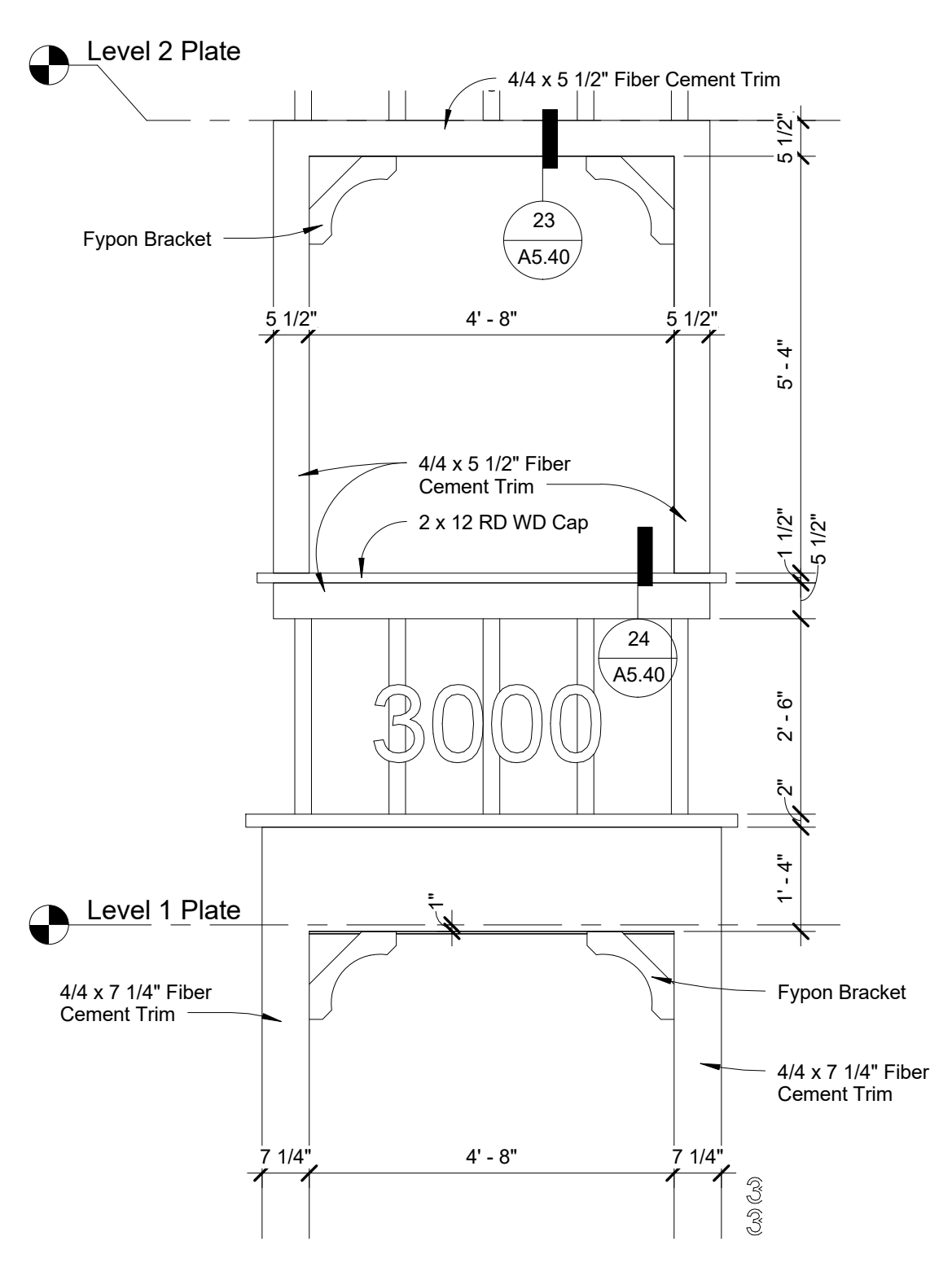
Mark	Material/Manufacturer/Model	Texture/Finish	Color
1	Cement Plaster - 3 Coat w/ La Habra Exterior Stucco Color Coat	Smooth: Sand Float 20/30	X-434 "Fallbrook"
2.4	Board & Batten - Fiber Cement Siding	Rustic Grain	Paint to Match CL2875A "Mosquito"
3	Fiber Cement - Trim Board	Smooth	"Arctic White"
6	Bead Board - Fiber Cement - Soffit Board - per Specifications	Beaded Porch Panel	"Arctic White"
7	Doors per Schedule	Factory Finish	White
8	Windows per Schedule	Factory Finish	Milguard Vinyl "White"
9	Composite Guardrail System	Per Specification	Per Specification
10	18" Round Gable Vent Louver	See Roof Vent Plan	Integral White
11	Stopped Roof - Corrugated Metal Panel	Zincalume Plus	(Bare Steel)
12	Waterproof Traffic Topping System	With Granules for Traction	Per Specification
14	1/4-12 Roof - PVC Single Ply Membrane	-	White
15	Gutter/Downspout - Seamless Aluminum	Factory Baked	Light Bronze - 018
20	Bracket - Wood - 24" per Detail	Paint Grade	Paint to Match "Arctic White"
20	Light Fixtures per Electrical Plan	-	Dark Bronze
23	Photovoltaic - Solar Panels	-	Per Specification

Note: Contractor to Provide Physical examples for all Materials, Finishes and Colors for Verification by Architect.



**2 South Elevation**  
SCALE: 1/4" = 1'-0"



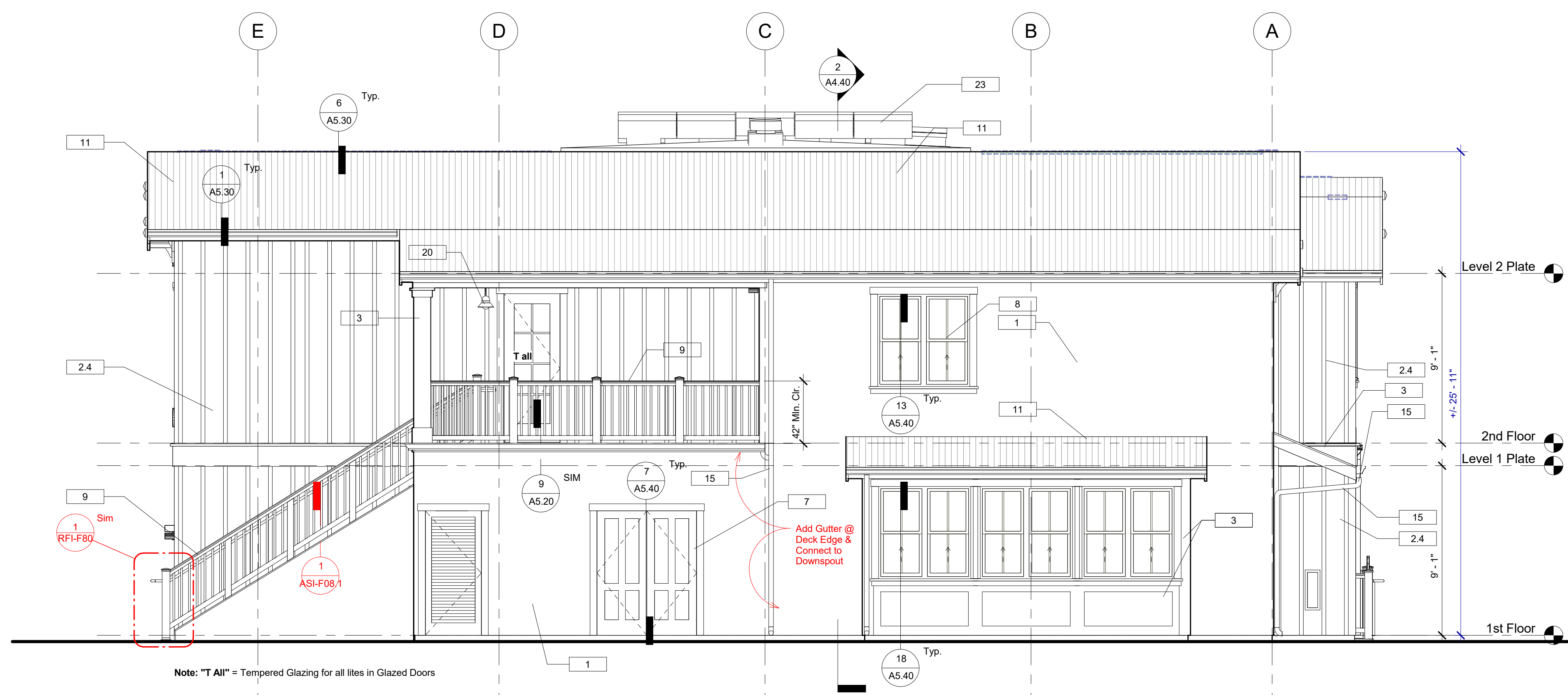


Project Name:  
**The Golden Inn & Village Parcel 3**  
Hwy. 246 & Refugio Rd.  
Santa Ynez, CA  
Bldg. 3, 4 & 5 - Family Apartments

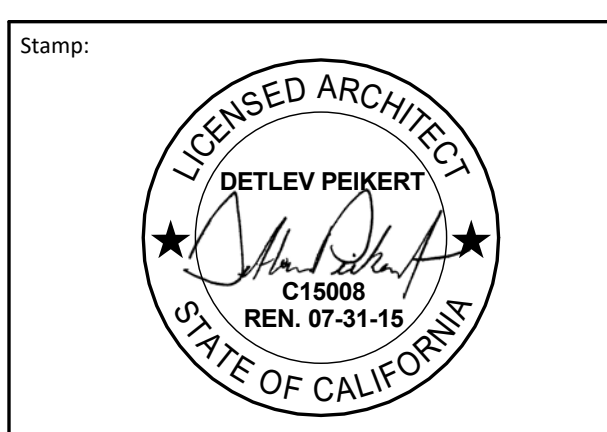
NOTE: This project is subject to Mitigation and/or Condition Compliance Monitoring and Reporting. All aspects of project construction shall adhere to the approved plans, notes, and conditions of approval, and Mitigation Measures from the Mitigated Negative Declaration, 14NGD-00000-0007.

Mark	Material/Manufacturer/Model	Texture/Finish	Color
1	Cement Plaster - 3 Coat w La Habra Exterior Stucco Color Coat	Smooth; Sand Float 20/30	X-434 "Fallbrook"
2.4	Board & Batten - Fiber Cement Siding	Rustic Grain	Paint to Match CL2875A "Mosquito"
3	Fiber Cement - Trim Board	Smooth	"Arctic White"
6	Beard Board - Fiber Cement - Soffit Board - per Specifications	Beaded Porch Panel	"Arctic White"
7	Doors per Schedule	Factory Finish	White
8	Windows per Schedule	Factory Finish	Miguard Vinyl "White"
9	Composite Guardrail System	Per Specification	Per Specification
10	18" Round Gable Vent Louver	See Roof Vent Plan	Integral White
11	Sloped Roof - Corrugated Metal Panel	Zincalume Plus	(Bare Steel)
12	Waterproof Traffic Topping System	With Granules for Traction	Per Specification
14	14'-12" Roof - PVC Single Ply Membrane	White	White
15	Gutter/Downspout - Seamless Aluminum	Factory Baked	Light Bronze - 018
19	Bracket - Wood - 24" per Detail	Paint Grade	Paint to Match "Arctic White"
20	Light Fixtures per Electrical Plan	-	Dark Bronze
23	Photovoltaic - Solar Panels	Per Specification	Per Specification

Note: Contractor to Provide Physical examples for all Materials, Finishes and Colors for Verification by Architect.



Consultant:



Building Permit Submittal	10/28/2014
Revisions:	
Code Compliance Review	12/22/2014
Bid Addendum	03/06/2015
Record Drawings	12/20/2016

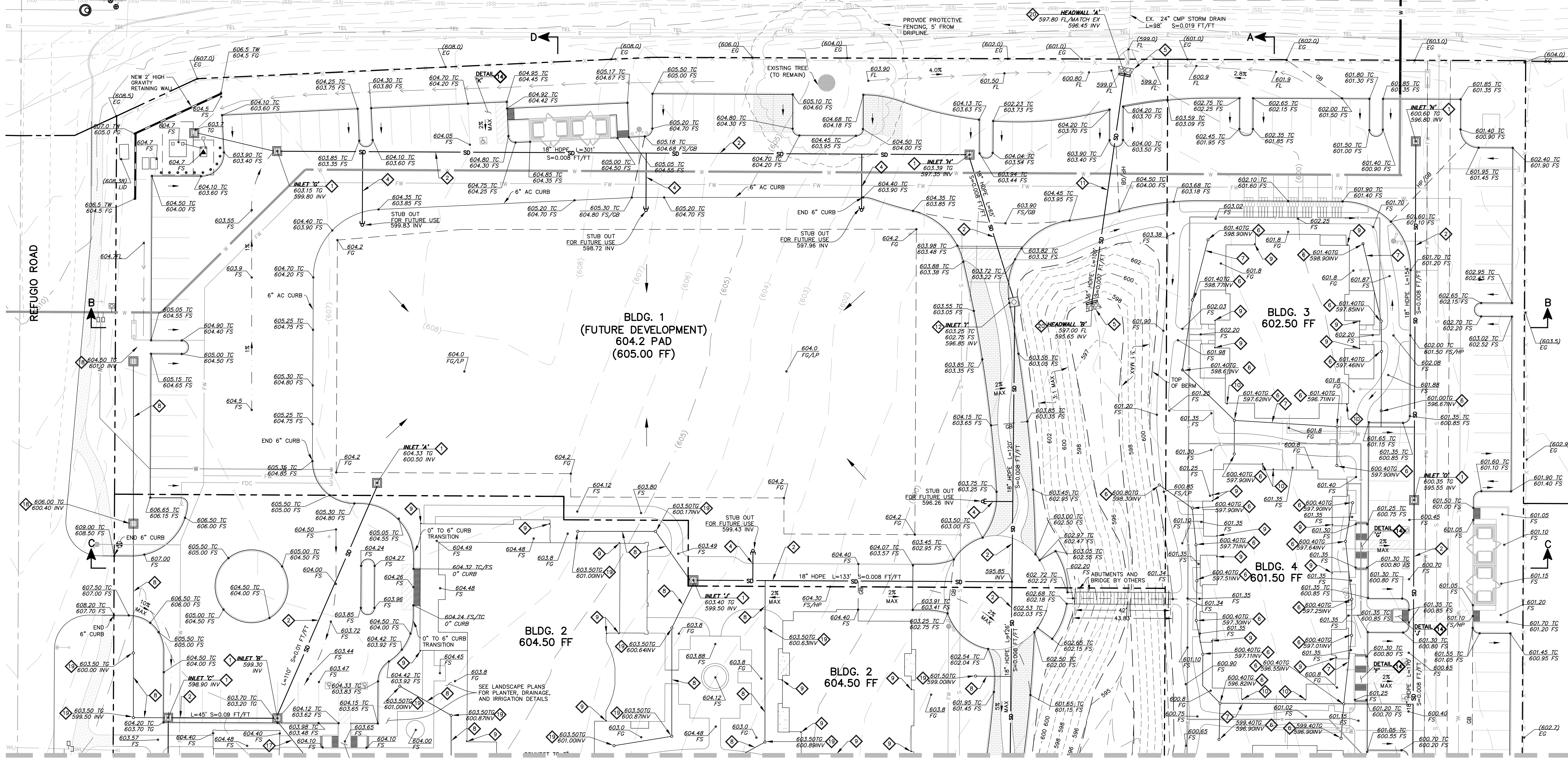
Sheet Title:  
**Bldg. 4 Exterior Elevations**

Sheet No.:  
**A4.31**







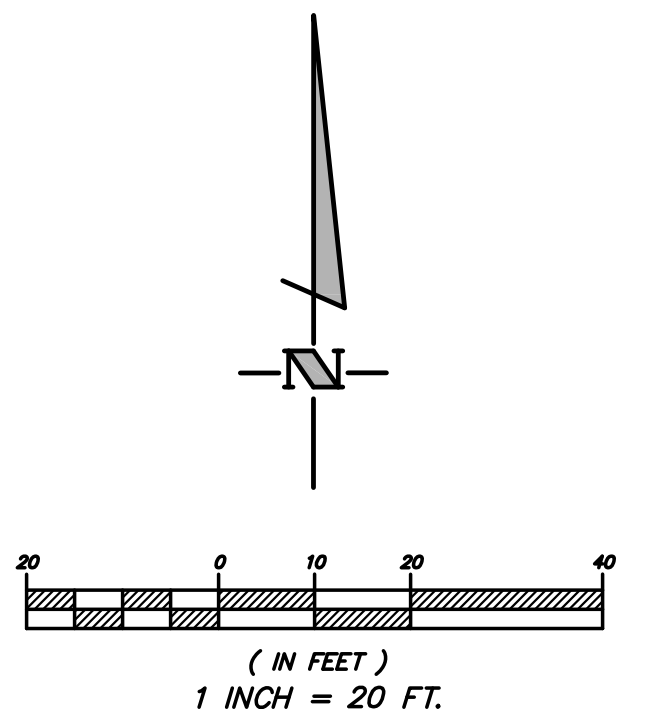


- GRADING NOTES
1. INSTALL 36" X 36" CONCRETE DRAIN INLET STRUCTURE WITH IRON GRATE...
2. INSTALL 18" HDPE STORM DRAIN LINE...
3. INSTALL 24" HDPE STORM DRAIN LINE...
4. INSTALL 6" PVC STORM DRAIN LINE...
5. CONSTRUCT CONCRETE HEADWALL PER CALTRANS STANDARD PLAN D89...
6. INSTALL 6" AREA DRAIN WITH ATRIUM GRATE...
7. INSTALL 4" PVC DRAIN LINE...
8. INSTALL 6" PVC DRAIN LINE...
9. INSTALL ROOF DRAIN PER ARCHITECTURAL PLANS & SANDSTONE COBBLE DISSIPATOR...
10. INSTALL ROOF DRAIN, PER ARCHITECTURAL PLANS...
11. INSTALL 36" HDPE STORM DRAIN LINE...
12. INSTALL 36" X 36" CONCRETE DRAIN INLET STRUCTURE...
13. INSTALL 36" X 36" CONCRETE DRAIN INLET STRUCTURE WITH 10" SIDE ORIFICE...
14. SEE ACCESSIBLE RAMP DETAIL ON SHEET C-8.4
15. CONSTRUCT SLURRY WALL IN CONFORMANCE WITH SANTA BARBARA COUNTY FLOOD CONTROL STANDARDS...
16. CONSTRUCT CONCRETE SPILLWAY IN CONFORMANCE WITH SANTA BARBARA COUNTY FLOOD CONTROL STANDARDS...
17. INSTALL 8" PVC DRAIN LINE...
18. INSTALL 6" PVC RISER WITH 12" ATRIUM GRATE...
19. INSTALL 6" AREA DRAIN WITH ATRIUM GRATE...
20. INSTALL 36" SD AT INVERT ELEVATIONS AS SHOWN...

- GENERAL NOTES:
1. IN THE EVENT THAT UNSTABLE SOILS ARE ENCOUNTERED DURING BUILDING PAD SCARIFICATION...
2. SITE GRADING SHALL CONFORM TO THE RECOMMENDATIONS MADE BY THE GEOTECHNICAL ENGINEER...
3. SEE IMPROVEMENT PLANS FOR UTILITIES AND STORM DRAIN IMPROVEMENTS...
4. CONTRACTOR TO CONFIRM ALL EXISTING GRADES AT IMPROVEMENT TIE-INS...
5. NO GRADING BEYOND PROPERTY LINE UNLESS NOTED OTHERWISE...
6. SIDEWALK CROSS SLOPES 2% MAXIMUM...
7. PATH OF ACCESSIBLE TRAVEL RUNNING SLOPE 5% MAXIMUM...
8. STORM DRAINS SHALL BE MARKED WITH WARNING MARKERS/LABELS THAT READ "NO DUMPING, NO TIRE BARSUR" IN ACCORDANCE WITH COUNTY OF SANTA BARBARA PROJECT CLEAN WATER BMPs...
9. THE CONTRACTOR SHALL SEPARATE DEMOLITION AND EXCESS CONSTRUCTION MATERIALS ON SITE FOR REUSE/RECYCLING OR PROPER DISPOSAL...
10. CONTRACTOR TO PROVIDE COVERED TRASH RECEPTACLES TO PREVENT TRASH AND DEBRIS FROM BLOWING OFF-SITE...
11. CONTRACTOR SHALL STOP OR RE-DIRECT WORK IMMEDIATELY IN THE EVENT ARCHEOLOGICAL REMAINS ARE ENCOUNTERED...

EARTH QUANTITIES:
AREA OF DISTURBANCE 7.3 AC±
RAW CUT: 9,200 CY
RAW FILL: 14,500 CY
EXPORT: 0 CY
IMPORT: 5,300 CY
OVEREXCAVATION & SCARIFICATION: 22,300 CY
QUANTITY ESTIMATES ON THESE PLANS ARE TO BE USED FOR PERMIT PURPOSES ONLY...

THE RAW EARTHWORK QUANTITIES SHOWN HEREON REPRESENT THE ESTIMATED VOLUMETRIC DIFFERENCE BETWEEN THE PROPOSED ROUGH GRADE AND THE LIMITED TOPOGRAPHIC EXISTING GRADES...
MITIGATION MONITORING:
THIS PROJECT IS SUBJECT TO MITIGATION AND/OR CONDITION COMPLIANCE MONITORING AND REPORTING...



ENGINEER OF RECORD:
[Logo]
DATE: REVISED - JUNE 3, 2016

RM DESIGN GROUP
Housing Authority of the County of Santa Barbara
815 West Ocean Avenue
Lompoc, CA 93438

RONA BARRETT FOUNDATION
Santa Ynez, CA 93499

rm design group
creating environments people enjoy
3765 South Higgins St., Ste. 102, San Luis Obispo, CA 93401

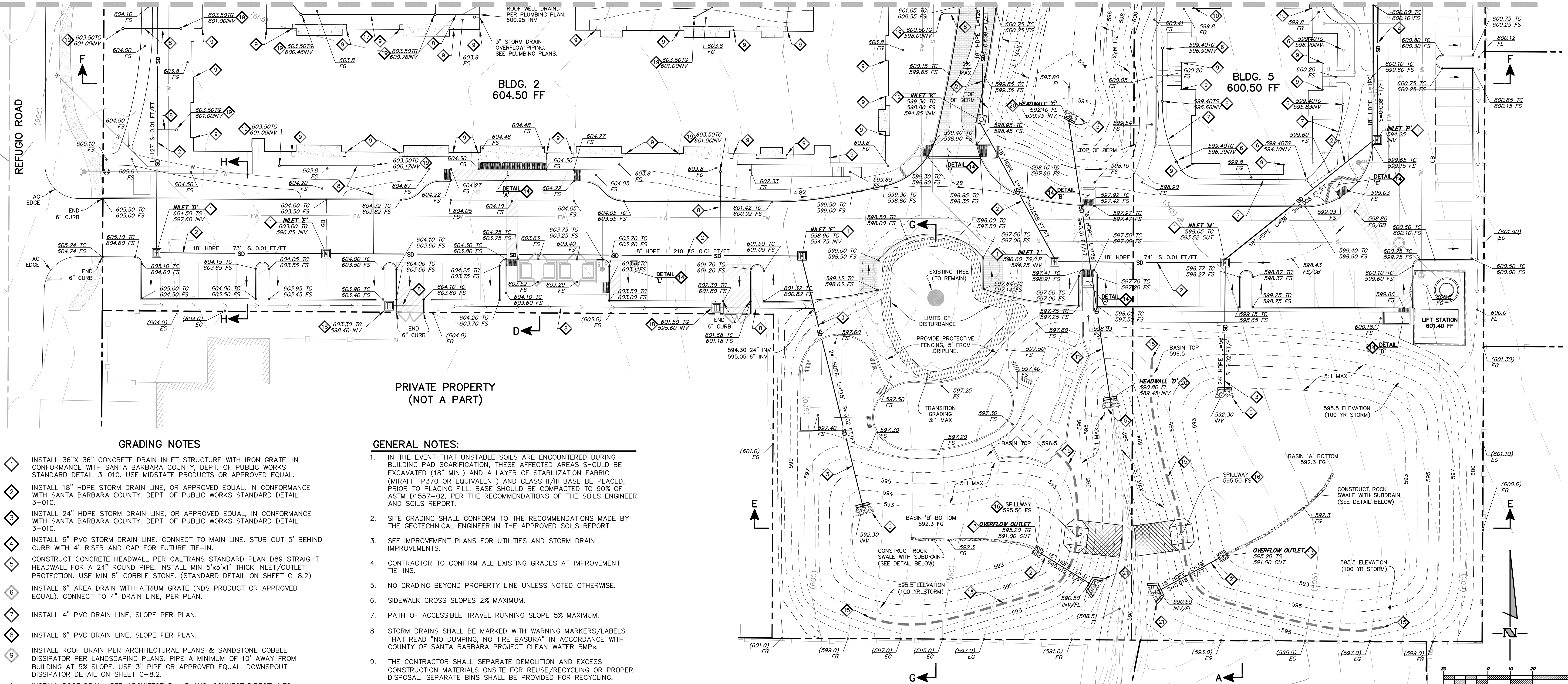
THE GOLDEN INN & VILLAGE
GRADING & DRAINAGE

Table with 3 columns: NO., REVISION, DATE. Includes project manager, drawing by, checked by, date, job number, sheet number (1014063), and sheet title (C-5.1).

SANTA BARBARA COUNTY FLOOD CONTROL ENGINEER
REVIEWED BY: DATE:



MATCHLINE  
SEE SHEET C-5.1



**GRADING NOTES**

1. INSTALL 36" X 36" CONCRETE DRAIN INLET STRUCTURE WITH IRON GRATE, IN CONFORMANCE WITH SANTA BARBARA COUNTY, DEPT. OF PUBLIC WORKS STANDARD DETAIL 3-010. USE MIDSTATE PRODUCTS OR APPROVED EQUAL.
2. INSTALL 18" HDPE STORM DRAIN LINE, OR APPROVED EQUAL, IN CONFORMANCE WITH SANTA BARBARA COUNTY, DEPT. OF PUBLIC WORKS STANDARD DETAIL 3-010.
3. INSTALL 24" HDPE STORM DRAIN LINE, OR APPROVED EQUAL, IN CONFORMANCE WITH SANTA BARBARA COUNTY, DEPT. OF PUBLIC WORKS STANDARD DETAIL 3-010.
4. INSTALL 6" PVC STORM DRAIN LINE. CONNECT TO MAIN LINE. STUB OUT 5' BEHIND CURB WITH 4" RISER AND CAP FOR FUTURE TIE-IN.
5. CONSTRUCT CONCRETE HEADWALL PER CALTRANS STANDARD PLAN D89 STRAIGHT HEADWALL FOR A 24" ROUND PIPE. INSTALL MIN 5'x5'x1" THICK INLET/OUTLET PROTECTION. USE MIN 8" COBBLE STONE. (STANDARD DETAIL ON SHEET C-8.2)
6. INSTALL 6" AREA DRAIN WITH ATRIUM GRATE (NDS PRODUCT OR APPROVED EQUAL). CONNECT TO 4" DRAIN LINE, PER PLAN.
7. INSTALL 4" PVC DRAIN LINE, SLOPE PER PLAN.
8. INSTALL 6" PVC DRAIN LINE, SLOPE PER PLAN.
9. INSTALL ROOF DRAIN PER ARCHITECTURAL PLANS & SANDSTONE COBBLE DISSIPATOR PER LANDSCAPING PLANS. PIPE A MINIMUM OF 10' AWAY FROM BUILDING AT 5% SLOPE. USE 3" PIPE OR APPROVED EQUAL. DOWNSPOUT DISSIPATOR DETAIL ON SHEET C-8.2.
10. INSTALL ROOF DRAIN, PER ARCHITECTURAL PLANS. CONNECT DIRECTLY TO NEAREST DRAIN LINE USING 4" PIPE, OR APPROVED EQUAL.
11. INSTALL 36" HDPE STORM DRAIN LINE, OR APPROVED EQUAL, IN CONFORMANCE WITH SANTA BARBARA COUNTY, DEPT. OF PUBLIC WORKS STANDARD DETAIL 3-010.
12. INSTALL 36" X 36" CONCRETE DRAIN INLET STRUCTURE, IN CONFORMANCE WITH SANTA BARBARA COUNTY, DEPT. OF PUBLIC WORKS STANDARD DETAIL 3-010. USE MIDSTATE PRODUCTS OR APPROVED EQUAL. (SEE 3" AC CURB INLET DETAIL ON SHEET C-8.1.)
13. INSTALL 36" X 36" CONCRETE DRAIN INLET STRUCTURE WITH IRON GRATE AND 10" SIDE ORIFICE WITH FLAP GATE, IN CONFORMANCE WITH SANTA BARBARA COUNTY, DEPT. OF PUBLIC WORKS STANDARD DETAIL 3-010. USE MIDSTATE PRODUCTS OR APPROVED EQUAL. (SEE INLET DETAIL ON THIS SHEET.)
14. SEE ACCESSIBLE RAMP DETAIL ON SHEET C-8.4
15. CONSTRUCT SLURRY WALL IN CONFORMANCE WITH SANTA BARBARA COUNTY FLOOD CONTROL STANDARDS. CONSTRUCT WALL 2' BELOW BASIN BOTTOM. TOP TO MATCH FINISHED GRADE. (SEE DETAIL ON THIS SHEET.)
16. CONSTRUCT CONCRETE SPILLWAY IN CONFORMANCE WITH SANTA BARBARA COUNTY FLOOD CONTROL STANDARDS. (SEE SECTION DETAILS ON THIS SHEET.)
17. INSTALL 8" PVC DRAIN LINE, SLOPE PER PLAN.
18. INSTALL 6" PVC RISER WITH 12" ATRIUM GRATE. USE NDS PRODUCTS OR APPROVED EQUAL.
19. INSTALL 6" AREA DRAIN WITH ATRIUM GRATE (NDS PRODUCT OR APPROVED EQUAL). CONNECT TO 6" DRAIN LINE PER PLAN.
20. INSTALL 36" SD AT INVERT ELEVATIONS AS SHOWN. PARTIALLY FILL INLET & OUTLET WITH 1.5" OF AGGREGATE. (SEE SD INLET/OUTLET DETAIL ON C-5.2.)
21. CONSTRUCT CONCRETE HEADWALL & WINGWALL PER CALTRANS STANDARD PLAN D89 FOR AN 18" ROUND PIPE. INSTALL MIN 5'x5'x1" THICK INLET/OUTLET PROTECTION. USE MIN 8" COBBLE STONE. (STD DETAIL ON C-8.2)

**GENERAL NOTES:**

1. IN THE EVENT THAT UNSTABLE SOILS ARE ENCOUNTERED DURING BUILDING PAD SCARIFICATION, THESE AFFECTED AREAS SHOULD BE EXCAVATED (18" MIN.) AND A LAYER OF STABILIZATION FABRIC (MIRAF HP370 OR EQUIVALENT) AND CLASS II/III BASE BE PLACED, PRIOR TO PLACING FILL. BASE SHOULD BE COMPACTED TO 90% OF ASTM D1557-02. PER THE RECOMMENDATIONS OF THE SOILS ENGINEER AND SOILS REPORT.
2. SITE GRADING SHALL CONFORM TO THE RECOMMENDATIONS MADE BY THE GEOTECHNICAL ENGINEER IN THE APPROVED SOILS REPORT.
3. SEE IMPROVEMENT PLANS FOR UTILITIES AND STORM DRAIN IMPROVEMENTS.
4. CONTRACTOR TO CONFIRM ALL EXISTING GRADES AT IMPROVEMENT TIE-INS.
5. NO GRADING BEYOND PROPERTY LINE UNLESS NOTED OTHERWISE.
6. SIDEWALK CROSS SLOPES 2% MAXIMUM.
7. PATH OF ACCESSIBLE TRAVEL RUNNING SLOPE 5% MAXIMUM.
8. STORM DRAINS SHALL BE MARKED WITH WARNING MARKERS/LABELS THAT READ "NO DUMPING, NO TIRE BASURA" IN ACCORDANCE WITH COUNTY OF SANTA BARBARA PROJECT CLEAN WATER BMPs.
9. THE CONTRACTOR SHALL SEPARATE DEMOLITION AND EXCESS CONSTRUCTION MATERIALS ONSITE FOR REUSE/RECYCLING OR PROPER DISPOSAL. SEPARATE BINS SHALL BE PROVIDED FOR RECYCLING.
10. CONTRACTOR TO PROVIDE COVERED TRASH RECEPTACLES TO PREVENT TRASH AND DEBRIS FROM BLOWING OFFSITE. CONTRACTOR SHALL ENSURE SITE IS FREE OF DEBRIS AND TRASH THROUGH COMPLETION OF CONSTRUCTION.
11. CONTRACTOR SHALL STOP OR RE-DIRECT WORK IMMEDIATELY IN THE EVENT ARCHEOLOGICAL REMAINS ARE ENCOUNTERED DURING GRADING, CONSTRUCTION, LANDSCAPING OR OTHER CONSTRUCTION RELATED ACTIVITY.

**EARTH QUANTITIES:**

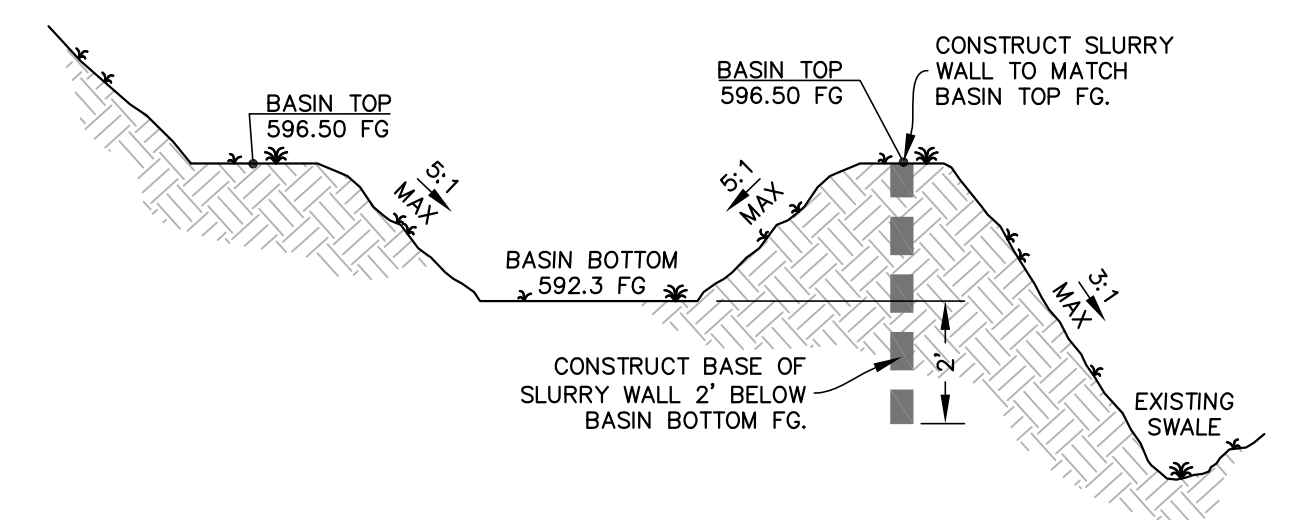
AREA OF DISTURBANCE	7.3 AC±
RAW CUT:	9,200 CY
RAW FILL:	14,500 CY
EXPORT:	0 CY
IMPORT:	5,300 CY
OVEREXCAVATION & SCARIFICATION:	22,300 CY

QUANTITY ESTIMATES ON THESE PLANS ARE TO BE USED FOR PERMIT PURPOSES ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ACTUAL QUANTITIES FOR THE PURPOSE OF CONSTRUCTION.

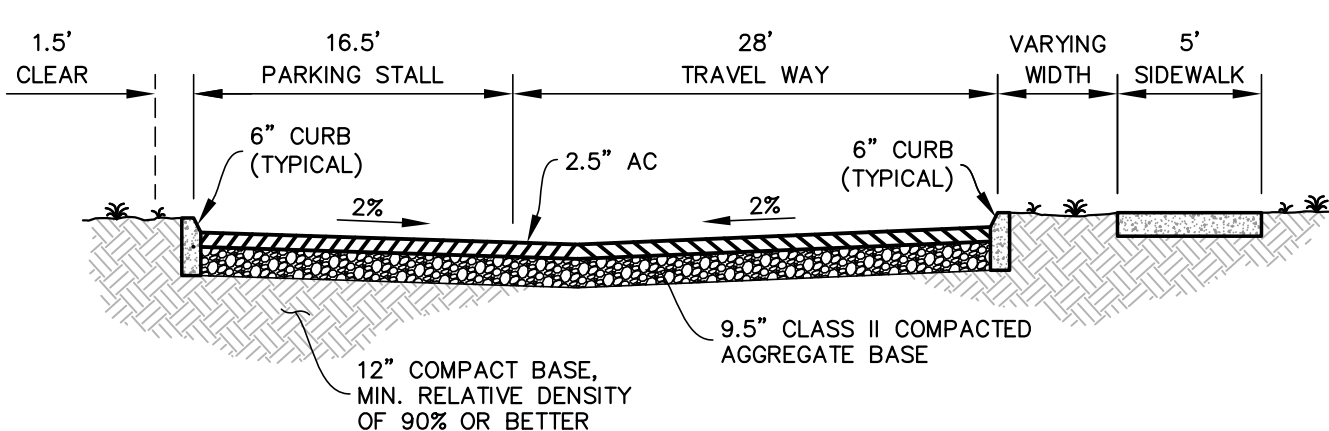
THE RAW EARTHWORK QUANTITIES SHOWN HEREON REPRESENT THE ESTIMATED VOLUMETRIC DIFFERENCE BETWEEN THE PROPOSED ROUGH GRADE AND THE LIMITED TOPOGRAPHIC EXISTING GRADES. THESE ESTIMATES DO NOT MAKE CONSIDERATIONS FOR LOSSES OR BULKING DUE TO: SHRINKAGE, SOIL AMENDMENTS, STABILIZATION, CONSTRUCTION TECHNIQUE, FOOTING & TRENCHING SPILLS, ETC. THESE, IN ADDITION TO ACTUAL FIELD CONDITIONS, CONSTRUCTION TECHNIQUE AND THE FINAL RECOMMENDATIONS OF THE SOILS ENGINEER MAY SIGNIFICANTLY AFFECT THE FINAL IMPORT/EXPORT QUANTITIES.

**MITIGATION MONITORING:**

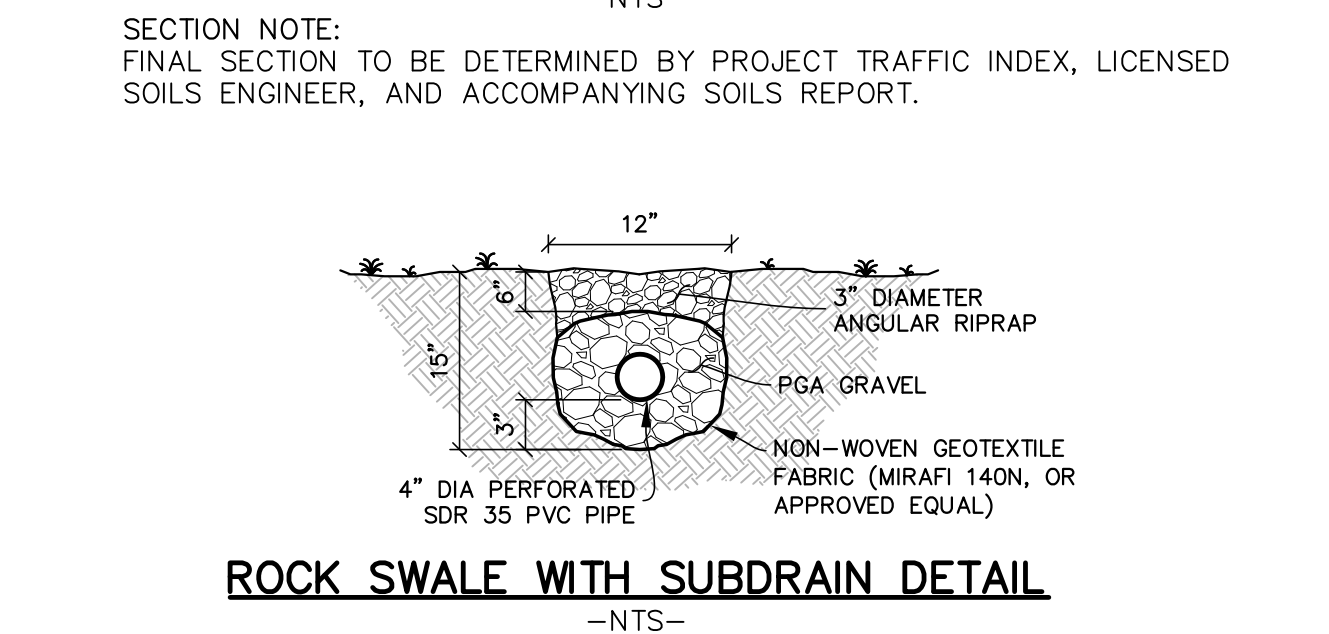
THIS PROJECT IS SUBJECT TO MITIGATION AND/OR CONDITION COMPLIANCE MONITORING AND REPORTING. ALL ASPECTS OF PROJECT CONSTRUCTION SHALL ADHERE TO THE APPROVED PLANS, NOTES, AND CONDITIONS OF APPROVAL, AND MITIGATION MEASURES FROM THE MITIGATED NEGATIVE DECLARATION 14NGD-00000-00007.



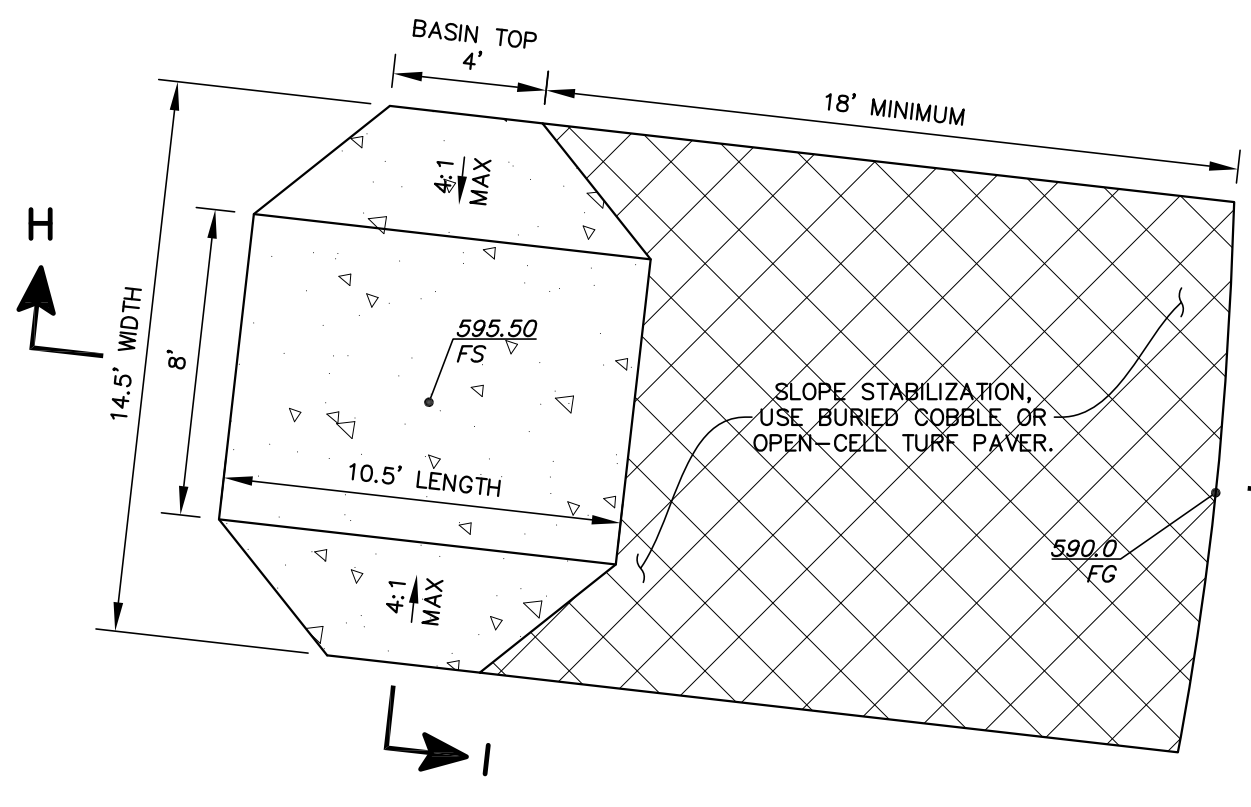
**SLURRY WALL DETAIL**  
-NTS-



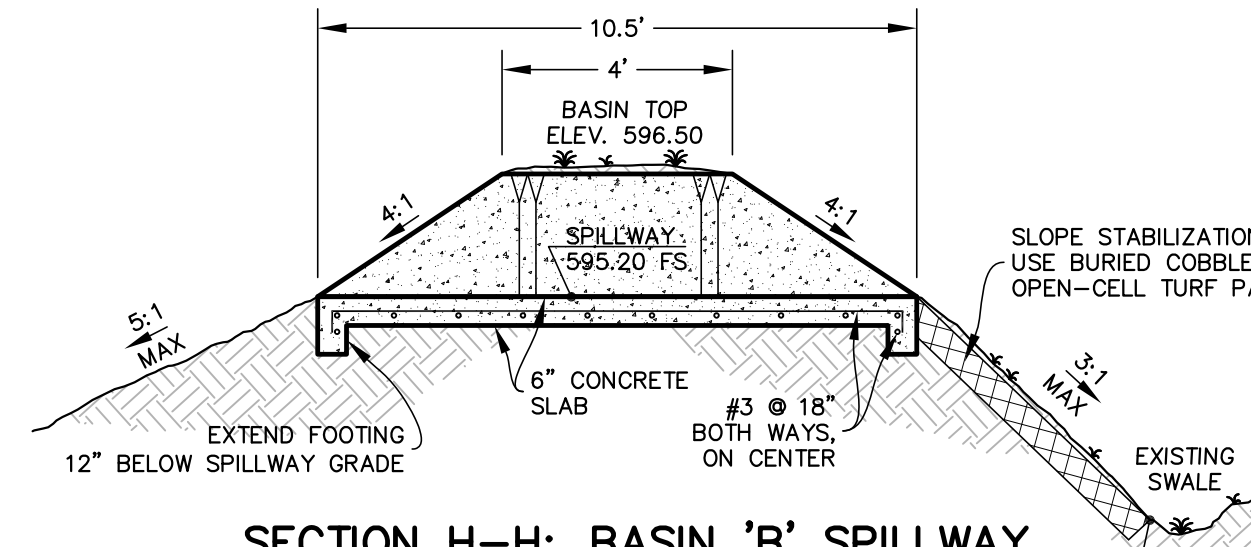
**STREET SECTION H-H**  
-NTS-



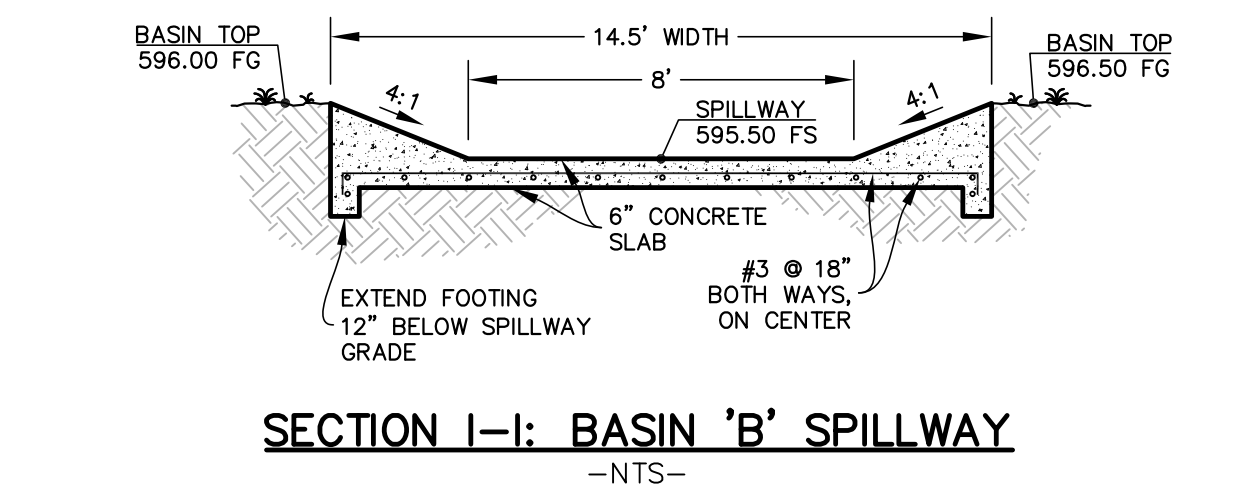
**ROCK SWALE WITH SUBDRAIN DETAIL**  
-NTS-



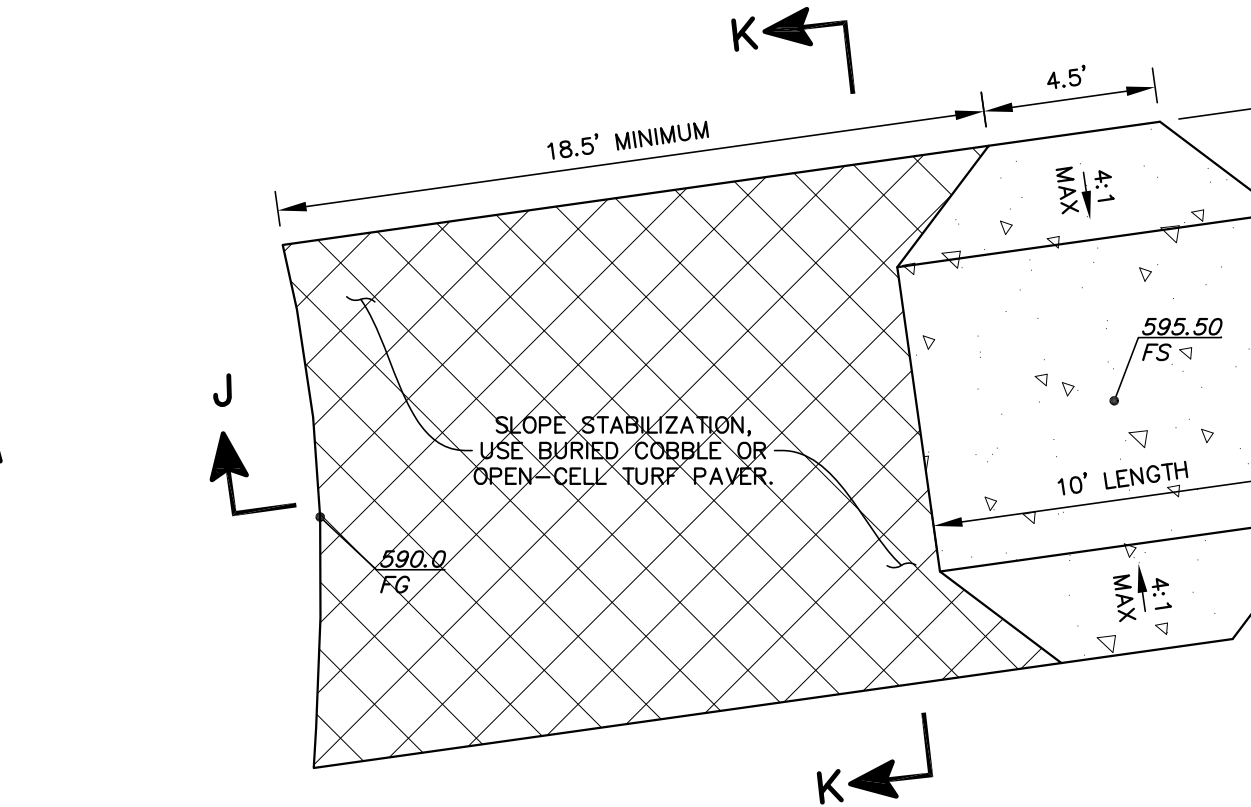
**PLAN VIEW: BASIN 'B' SPILLWAY**  
SCALE 1"=5'



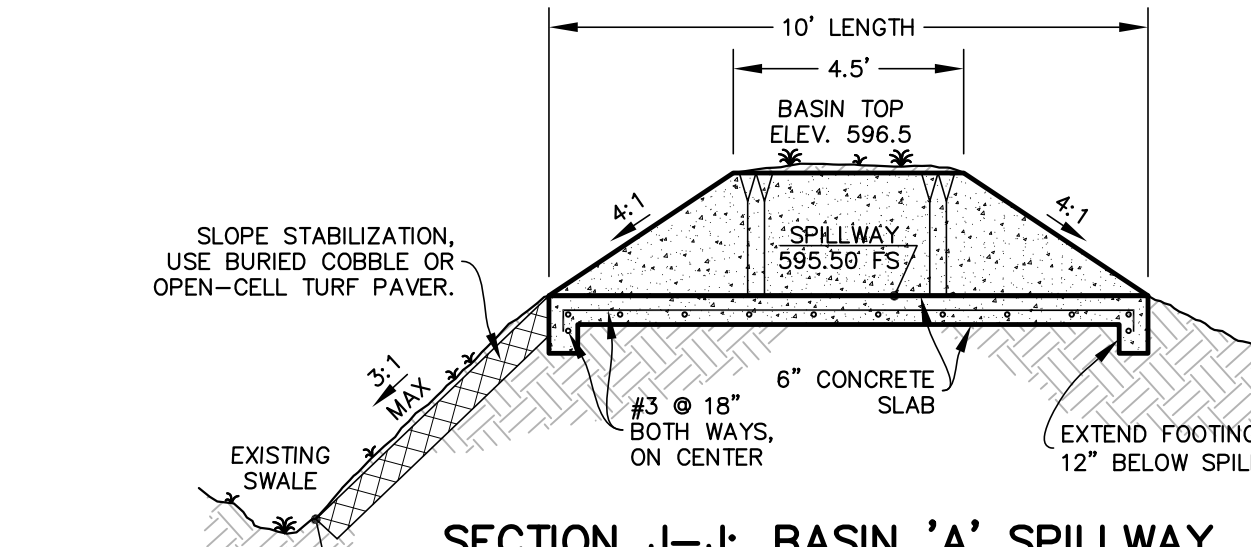
**SECTION H-H: BASIN 'B' SPILLWAY**  
-NTS-



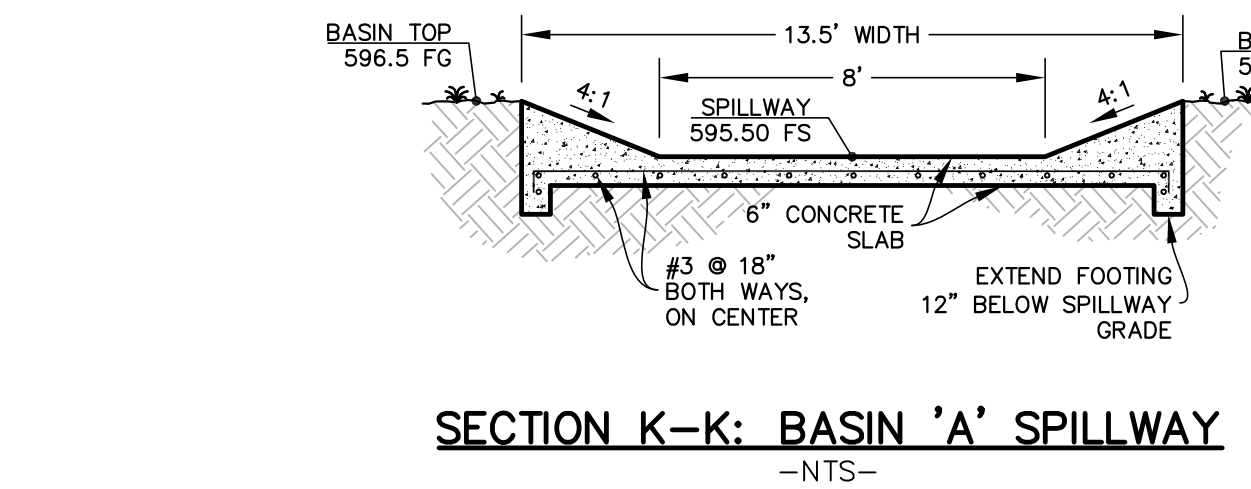
**SECTION I-I: BASIN 'B' SPILLWAY**  
-NTS-



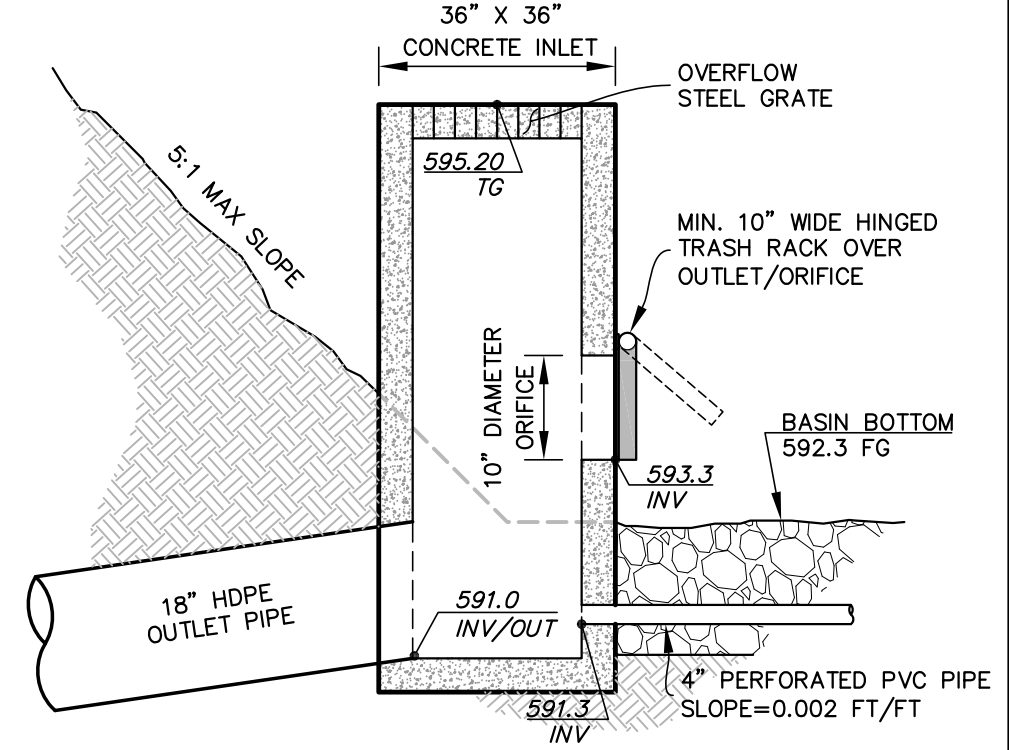
**PLAN VIEW: BASIN 'A' SPILLWAY**  
SCALE 1"=5'



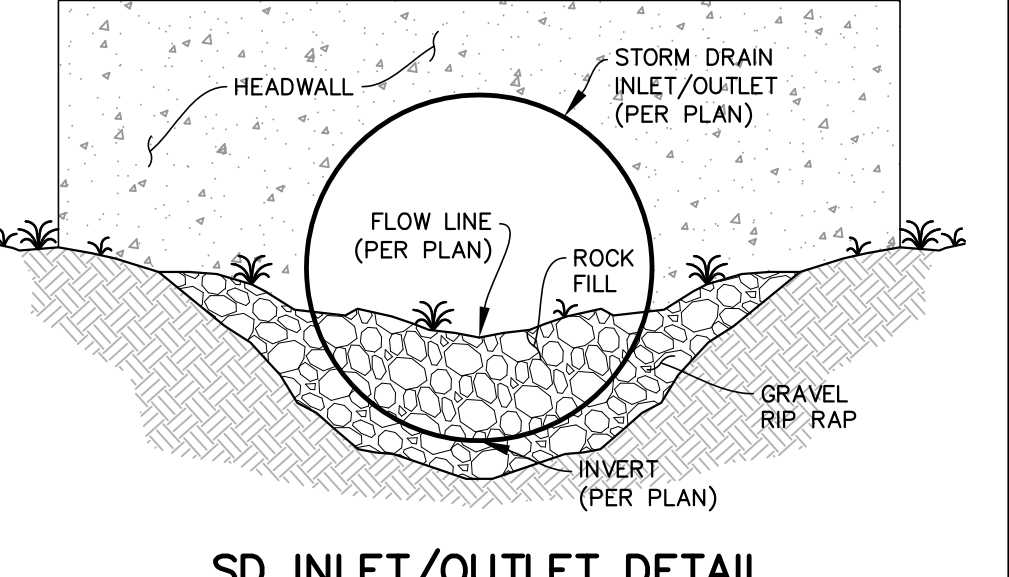
**SECTION J-J: BASIN 'A' SPILLWAY**  
-NTS-



**SECTION K-K: BASIN 'A' SPILLWAY**  
-NTS-



**BASIN STORM DRAIN OUTLET DETAIL**  
-NTS-



**SD INLET/OUTLET DETAIL**  
-NTS-



1 INCH = 20 FT.

ENGINEER OF RECORD:  
  
 DATE REVISED - JUNE 3, 2016

**RRM DESIGN GROUP**  
 Copyright 2010  
 RRM is a California Corporation

**RONA BARRETT FOUNDATION**  
 Housing Authority of the County of Santa Barbara  
 415 West Ocean Avenue  
 Lompoc, CA 93438  
 www.ronabarrett.org

**rrm design group**  
 creating environments people enjoy.<sup>®</sup>  
 3765 South Highway St., Ste. 102, San Luis Obispo, CA 93401  
 P: (805) 543-1754 | F: (805) 543-4608 | www.rrmdesign.com

**THE GOLDEN INN & VILLAGE**  
 GRADING & DRAINAGE

NO.	REVISION	DATE
1	GREASE TRAP RELOCATION	3/30/2015
2	SEWER INVERT ELEVATIONS	4/28/2015
3	FDC ADDITIONS	5/7/2015
4	WATERLINE RELOCATION	5/13/2015
5	AREA DRAIN INVERT ELEVATIONS	6/13/2015
6	REFUGIO STREET LIGHTS	6/30/2015
7	GRADING REVISIONS	6/23/2015

PROJECT MANAGER: JRR  
 DRAWN BY: NGW  
 CHECKED BY: JRR  
 DATE: JUNE 6, 2016  
 JOB NUMBER: 1014063  
 SHEET: C-5.2

SANTA BARBARA COUNTY FLOOD CONTROL ENGINEER

REVIEWED BY: DATE:



# STATE HIGHWAY 246

## OVERALL SITE PLAN REFERENCE NOTES

- APPROXIMATE LOCATION OF EXISTING PG&E UNDERGROUND PRIMARY MAIN LINE. REFER TO CIVIL PLAN SHEET C-2.1 AND UTILITY HANDOUT PACKAGE. PROTECT IN PLACE DURING CONSTRUCTION AS PER UTILITY COMPANY REQUIREMENTS.
- APPROXIMATE LOCATION OF EXISTING UTILITY MAIN FIBER LINE. REFER TO CIVIL PLAN SHEET C-2.1. PROTECT IN PLACE DURING CONSTRUCTION AS PER UTILITY COMPANY REQUIREMENTS.
- APPROXIMATE LOCATION OF EXISTING UTILITY MAIN TELEPHONE LINE. REFER TO CIVIL PLAN SHEET C-2.1. PROTECT IN PLACE DURING CONSTRUCTION AS PER UTILITY COMPANY REQUIREMENTS.
- APPROXIMATE LOCATION OF PG&E #7 PULL BOX AS PER UTILITY HANDOUT PACKAGE.
- PARCEL BOUNDARY LINE. REFER TO ARCHITECTURAL, TYPICAL. PARCEL BOUNDARY LINE. REFER TO ARCHITECTURAL, TYPICAL.
- IRRIGATION CONTROLLER. PROVIDE WITH 120V LINE VOLTAGE POWER. REFER TO LANDSCAPE PLANS, TYPICAL.
- 11x17 FLUSH IN-GRADE PULL BOX AS PER DETAIL 17B.11. LOCATE IN FIELD IN COORDINATION WITH LANDSCAPE ARCHITECT, TYPICAL.
- LUMINAIRE TYPE "S" MOUNTED AT TRASH ENCLOSURE. COORDINATE WITH ARCHITECTURAL DETAILS / PLANS.
- POST MOUNT RECEPTACLE. COORDINATE FINAL LOCATION IN FIELD.
- EXTEND 120V LINE VOLTAGE POWER TO GAS BURNER AS REQUIRED. COORDINATE FINAL LOCATION IN FIELD.
- INSTALL UTILITY TRANSFORMER PAD (10' X 9') AS PER UTILITY COMPANY REQUIREMENTS.
- INSTALL PROTECTIVE BARRIER POST AS PER UTILITY HANDOUT PACKAGE REQUIREMENTS, TYPICAL.
- UTILITY SERVICE CONDUIT AS FOLLOWS. INSTALL PER UTILITY COMPANY REQUIREMENTS.
  - 115°C O. ELECTRIC SECONDARY
  - 114°C O. TELEPHONE
  - 114°C O. CATV
- UTILITY SERVICE CONDUIT AS FOLLOWS. INSTALL PER UTILITY COMPANY REQUIREMENTS.
  - 115°C O. ELECTRIC SECONDARY
  - 114°C O. TELEPHONE
  - 114°C O. CATV
- EXTEND 120V LINE VOLTAGE POWER TO GAS BURNER AS REQUIRED. COORDINATE FINAL LOCATION IN FIELD.
- CUSTOMER OWNED FEEDER AS PER SINGLE LINE DIAGRAM. SEE SHEET #200 (GOLDEN INN & VILLAGE BLDGS. 3, 4 & 5).
- SHEET REFERENCE APPLICABLE TO GOLDEN INN & VILLAGE BLDGS. 3, 4 & 5. PLANSET.
- SHEET REFERENCE APPLICABLE TO GOLDEN INN PLANSET.
- PARKING AREA LUMINAIRES. TYPICAL OF TYPES "S1", "S2", AND "S3" SHALL BE PROVIDED WITH A 1-10V WIRING HOUSING FROM THE LUMINAIRE TO RESPECTIVE LIGHTING CONTROL PANEL IN A 1/2" C. FOR CONTROL DETAILS SEE DETAIL 271.00 (PARCELS 1, 2 AND 3) AND 378.00 (PARCELS 1, 2 AND 3).
- APPROXIMATE LOCATION OF EXISTING TELEPHONE UTILITY MANHOLE VAULT.
- APPROXIMATE LOCATION OF EXISTING CATV SERVICE FEEDER.

peikert + rrm design group  
10 E. Figueroa St., Suite 1  
Santa Barbara, CA 93101  
Tel: 805.963.8283  
Fax: 805.963.8184  
www.rrmdesign.com

Housing Authority of the County of Santa Barbara  
1000 Ocean Avenue  
Lompoc, CA 93436  
Tel: 805.735.3423 Fax: 805.735.7672  
www.hacso.org

RONA BARRETT FOUNDATION  
P.O. Box 1559  
Santa Ynez, CA 93460  
www.ronabartettfoundation.org

Project Name:  
**The Golden Inn & Village**  
Hwy. 246 & Refugio Rd.  
Santa Ynez, CA.  
Parcel 1, 2 & 3 - Site Improvements

NOTE: This project is subject to Mitigation and/or Condition Compliance Monitoring and Reporting. All aspects of project construction shall adhere to the approved plans, notes, and conditions of approval, and Mitigation Measures from the Mitigated Negative Declaration, 14NGD-00000-00007.

Consultant:  
**GECE**  
GRAY ELECTRICAL CONSULTING + ENGINEERING, LLC  
1862 SOUTH BROADWAY P.O. BOX #366  
SANTA BARBARA, CA 93458  
P. 805-361-0525  
E. INFO@GECELL.COM  
WWW.GECELL.COM

DRAWINGS, SPECIFICATIONS, AND OTHER DOCUMENTS, INCLUDING THOSE IN ELECTRONIC FORM, PREPARED BY GRAY ELECTRICAL CONSULTING + ENGINEERING, LLC ARE THE INSTRUMENTS OF SERVICE FOR USE SOLELY WITH RESPECT TO THIS PROJECT UNLESS OTHERWISE AUTHORIZED IN WRITING. GRAY ELECTRICAL CONSULTING + ENGINEERING, LLC SHALL BE DEEMED THE AUTHOR AND OWNER OF THE INSTRUMENTS OF SERVICE AND SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING COPYRIGHTS.

Stamp:  
Professional Engineer  
No. E18927  
State of California  
Electrical  
EXPIRES: 12/31/2015  
GECE# 1431

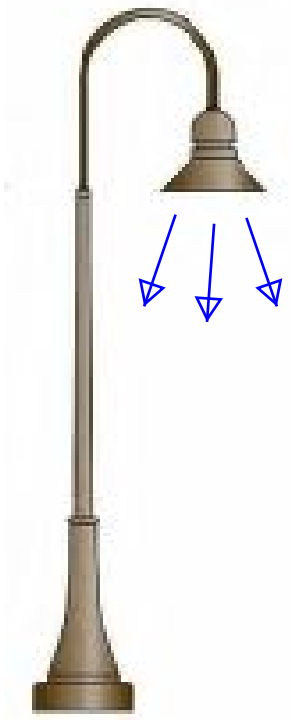
Building Permit Submittal	10/28/2014
Revisions:	
CBAR/LUC Submittal	11/21/2014
2nd CBAR/LUC Submittal	12/22/2014
Code Compliance Review 2	02/04/2015

Sheet Title:  
**Lighting Plan**

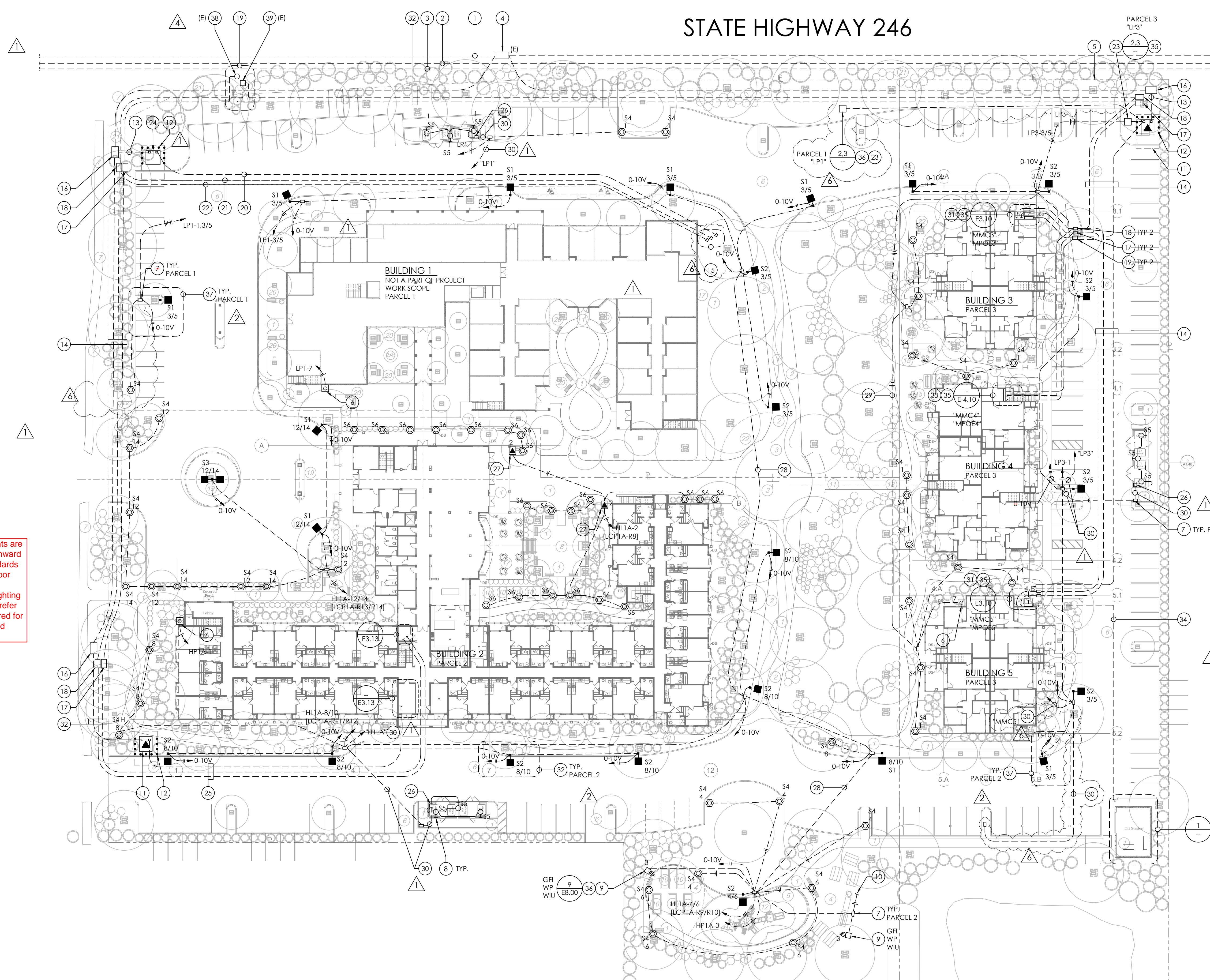
Sheet No.:  
**E1.00**

## REFUGIO ROAD

NOTE: As shown below, the lights are designed to direct lighting downward pursuant to the Dark Sky Standards contained in the SYV CP Outdoor Lighting Ordinance. For more information about the project lighting and the light coverage, please refer to the photometric study prepared for the project by GECE, LLC dated 05.26.17.



Existing Light Standard



## UTILITY COMPANY CONTACT & STATUS

UTILITY COMPANY	UTILITY REPRESENTATIVE	CONTACT INFORMATION	STATUS
PACIFIC GAS & ELECTRIC	LIZ MARTINEZ	PHONE: 805-346-2250 E-MAIL: MLO7@PG&E.COM	ESTIMATE ONLY PG&E AFS # 109570832 (Bldg 2) PG&E AFS # 109570873 (Bldg 3) PG&E AFS # 109570906 (Bldg 4) PG&E AFS # 109570902 (Bldg 5) PG&E AFS # 109570926 (Lift Station) PG&E AFS # 109570937 (LP1) PG&E AFS # 109570962 (LP3)
VERIZON	BRYAN DAVIS	PHONE: 805-928-7642 E-MAIL: BRYAN.DAVIS@VERIZON.NET	ESTIMATE ONLY
COMCAST	ALAN UPCHURCH	E-MAIL: harold_upchurch@cable.comcast.com	ESTIMATE ONLY

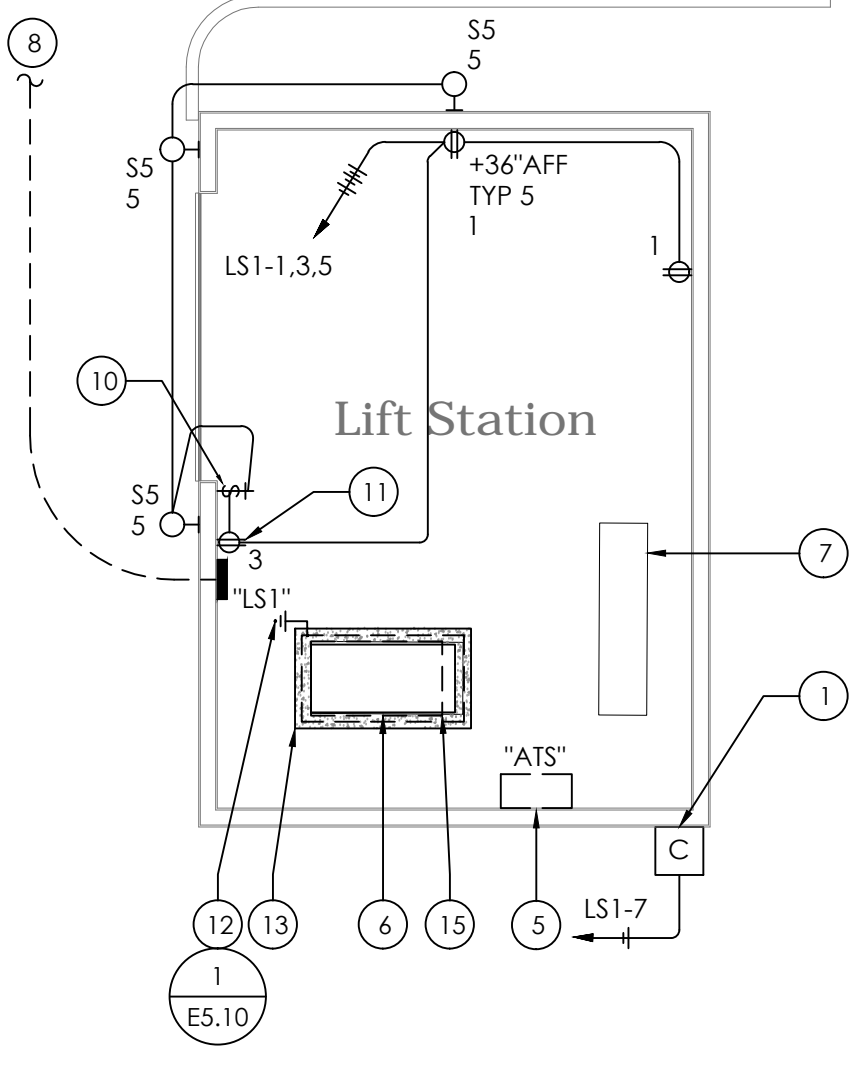
- NOTES:
- SITE UTILITY WORK SHALL BE INSTALLED PER UTILITY COMPANY ISSUED DESIGN DRAWINGS, SPECIFICATIONS, AND STANDARD REQUIREMENTS (I.E. HAND-PUT PACKAGE). WORK INSTALLED PRIOR TO UTILITY COMPANY DIRECTION OR OUTSIDE OF STANDARD UTILITY COMPANY STANDARDS IS DONE AT THE SOLE RISK OF THE CONTRACTOR.
  - THE CONTRACTOR SHALL SCHEDULE UTILITY INSPECTIONS AS REQUIRED.
  - THE CONTRACTOR SHALL BE RESPONSIBLE TO IDENTIFY EXISTING UNDERGROUND UTILITIES PRIOR TO START OF WORK. THE CONTRACTOR SHALL WORK WITH THE LOCAL UNDERGROUND SERVICE ALERT (USA) PROGRAM OR LOCAL JURISDICTION (WHICHEVER IS APPLICABLE). CONTACT MUST BE MADE A MINIMUM OF 48 HOURS PRIOR TO WHEN WORK IS SCHEDULED TO START (I.E. TRENCHING OR EXCAVATION).
  - COORDINATE WITH CIVIL ENGINEERING PLANS FOR CLEARANCE/PROXIMITY TO ADJACENT WET UTILITIES AND ADDITIONAL TRENCH SPECIFICATION.

## OVERALL SITE PLAN

SCALE: 1" = 30'-0"

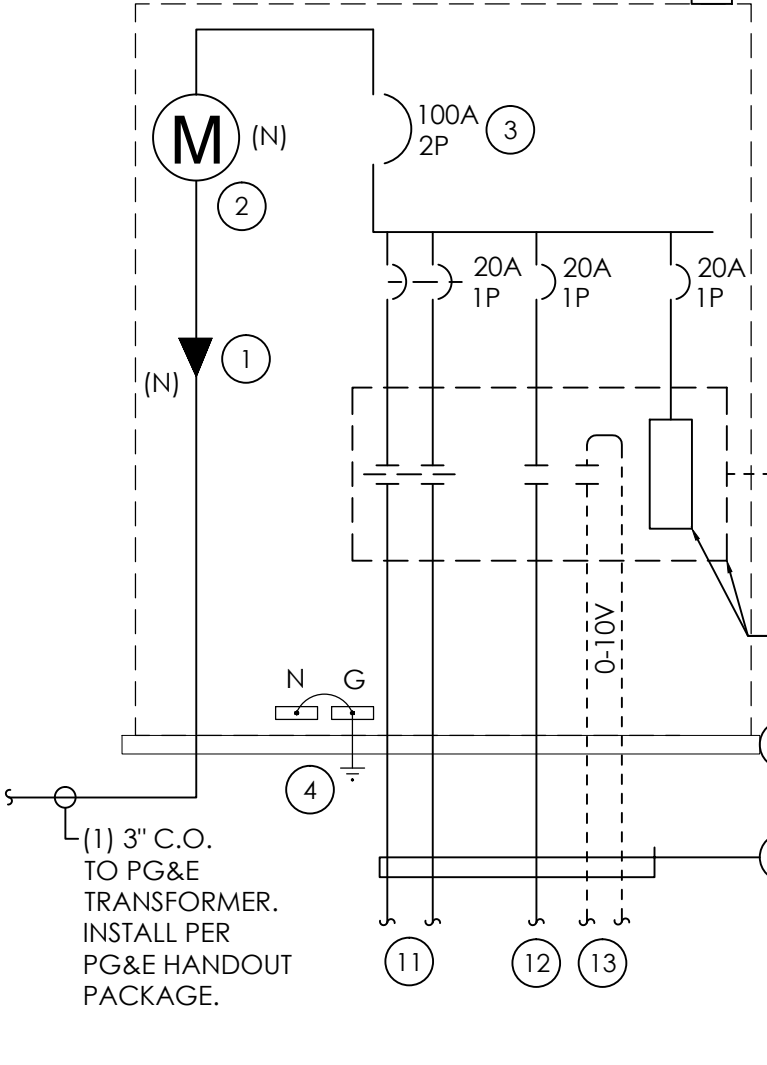
### DETAIL 1 REFERENCE NOTES

- IRRIGATION CONTROLLER. PROVIDE WITH 120V LINE VOLTAGE POWER. REFER TO LANDSCAPE PLANS.
- NOT USED.
- NOT USED.
- NOT USED.
- AUTOMATIC TRANSFER SWITCH SERVING LIFT STATION CRITICAL LOADS.
- DIESEL GENERATOR WITH NEMA 3R, SOUND ATTENUATED ENCLOSURE. SEE SINGLE LINE DIAGRAM. MAINTAIN 3' WORKING CLEARANCE ON ALL SIDES.
- LIFT STATION PUMP CONTROL PANEL (BY OTHERS).
- CUSTOMER OWNED FEEDER CONTINUATION TO BUILDING 5 AS PER SITE PLAN, SE SINGLE LINE DIAGRAM.
- NOT USED.
- 24 HOUR PROGRAMMABLE TIME SWITCH (LEVITON VEGA OR ENGINEER APPROVED EQUAL) INSTALLED IN NEMA 3R SWITCH ENCLOSURE. SWITCH SHALL CONTROL OF LUMINAIRES ASTRONOMICAL "ON" AT SUNSET AND "OFF" AT 1:00 PM.
- GENERATOR SERVICING RECEPTACLE.
- GENERATOR SYSTEM GROUND. SEE SINGLE LINE DIAGRAM.
- GENERATOR CONCRETE HOUSING/KEEPING PAD (BY OTHERS). ELEVATE GENERATOR 1'-6" AFF.
- NOT USED.
- GENERATOR SUB BASE FUEL TANK.



### "LP#"

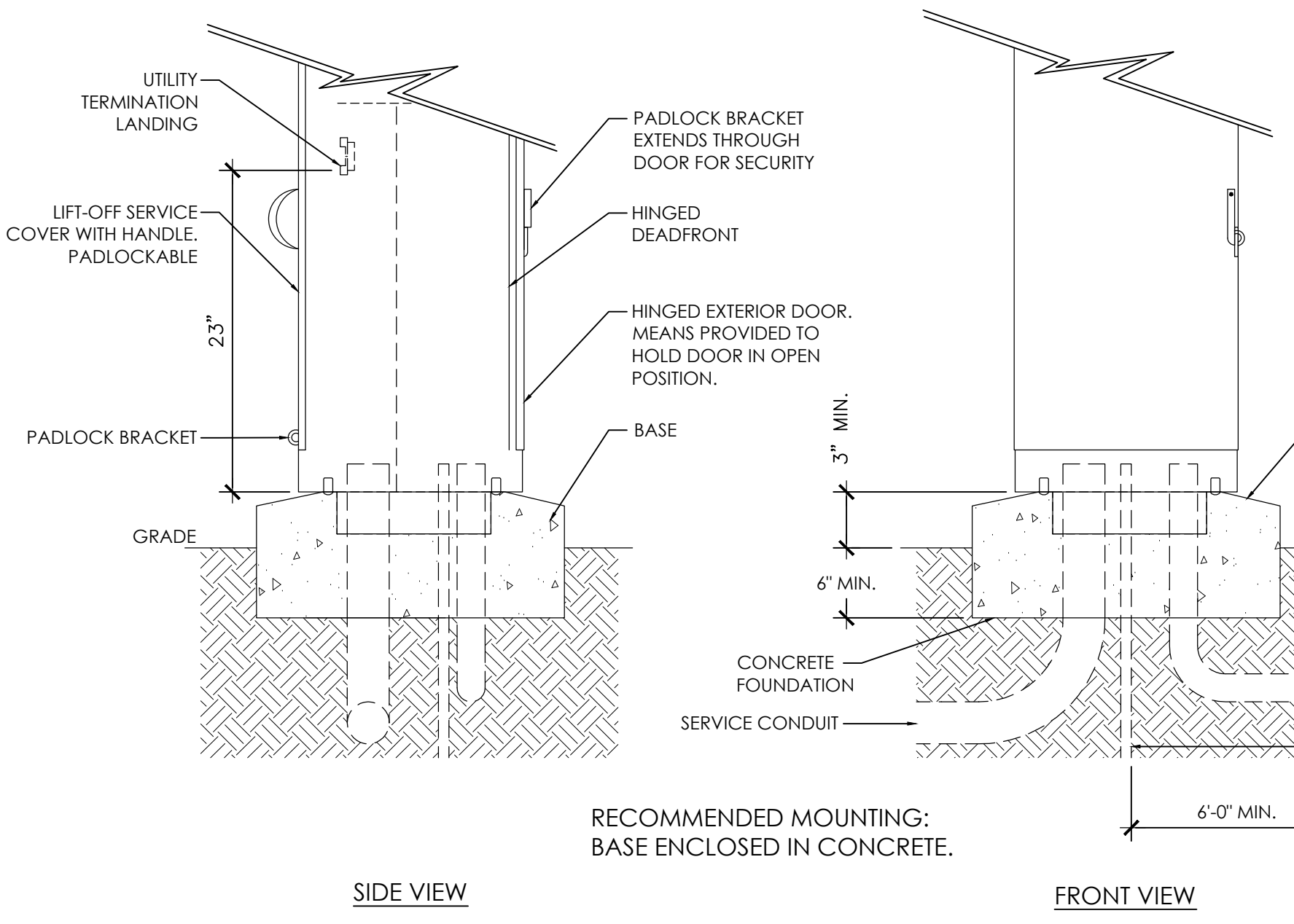
(N) 100A, 120/208V, 1-PHASE, 3W, 42KAIC



DETAIL 1 REFERENCE NOTES CONT.

### DETAIL 1 REFERENCE NOTES

- PG&E APPROVED UNDERGROUND PULL SECTION
- PG&E APPROVED METER SOCKET. CONTRACTOR SHALL COORDINATE METER SET WITH UTILITY COMPANY.
- MAIN CIRCUIT BREAKER. RATING AS NOTED.
- GROUND THE SERVICE METER PEDESTAL AS PER DETAIL 3 THIS SHEET.
- NEW PRESTRESSING. COMMERCIAL SERVICE METERING PEDESTAL WITH NEMA 3R ENCLOSURE. PROVIDE WITH MAIN CIRCUIT BREAKER AND STANDARD (NON SWITCHED) BRANCH CIRCUIT BREAKER PANEL. MILBANK "C938" IRRIGATION CONTROL SERIES OR ENGINEER / UTILITY COMPANY APPROVED EQUAL. SEE PANEL SCHEDULE FOR CONFIGURATION AND QUANTITY OF CIRCUIT BREAKERS. METER PEDESTAL SHALL BE PROVIDED WITH AN SEPARATE, CUSTOMER SECTION, FOR MOUNTING OF SITE LIGHTING CONTROL PANEL (SEE NOTE #8).
- NEW CONCRETE PAD (BY OTHERS). SIZE AS REQUIRED PER METER PANEL DIMENSIONS. ASSUME A 6" OFFSET ON ALL SIDES.
- EXTEND TO SITE LIGHTING LOADS AS IDENTIFIED PER SITE PLAN. BRANCH CIRCUIT SHALL ROUTE THROUGH EXTERIOR LIGHTING CONTROL PANEL AS NOTED (SEE NOTE #9).
- INSTALL A NEW DIGITAL LIGHTING CONTROL RELAY PANEL IN THE METER CABINET. CUSTOMER SECTION. BASE OF DESIGN LIGHTING CONTROL & DESIGN BLUE BOX OR ENGINEER APPROVED EQUAL. THE LIGHTING CONTROL PANEL SHALL INCORPORATE THE FOLLOWING FEATURES:
  - PROVIDED WITH A MIN. 32-CHANNEL, 365 ASTRONOMICAL PROGRAMMABLE CLOCK.
  - PROVIDED WITH OUTDOOR DIGITAL PHOTOSENSOR. WET LOCATION FOR CONTROL POINTS AT "DUSK" AND "DAWN".
  - PROVIDED WITH QUANTITY OF RELAYS AS REQUIRED PER LIGHTING LOADS AS IDENTIFIED PER PLANS.
  - PROVIDED WITH QUANTITY OF RELAYS AS REQUIRED PER 0-10V CONTROL AS IDENTIFIED PER PLANS.
  - PROVIDED WITH 0-10V DIMMING MODULES AS REQUIRED FOR CONTROL OF AREA LIGHTS. TYPE "S1", "S2", AND "S3".
  - CARRY A MINIMUM OF 42KAIC FAULT CURRENT RATING.
- TIME CONTROL BRANCH CIRCUIT ON AT DUSK / OFF AT DAWN, OR AS REQUIRED BY PROPERTY OWNER. VERIFY IN FIELD PRIOR TO PROJECT CLOSEOUT / SYSTEM PROGRAMMING.
- REFER TO PANEL SCHEDULE FOR QUANTITY OF / AMPACITY RATING OF CIRCUIT BREAKERS.
- OUTDOOR RATED PHOTOCELL. INSTALL AND ORIENTATE PER MANUFACTURER REQUIREMENTS.
- LINE VOLTAGE CONTINUATION TO SITE AREA LIGHTS. SEE DETAILS 2.3/8.00, 0-10V WIRING SHALL BE ENABLED "ON" BETWEEN 9PM AND "DAWN".
- LINE VOLTAGE CONTINUATION OF SITE PATHWAY AND LANDSCAPE LIGHTING. LIGHTS SHALL BE OPERABLE FROM "DUSK" TO 9PM.

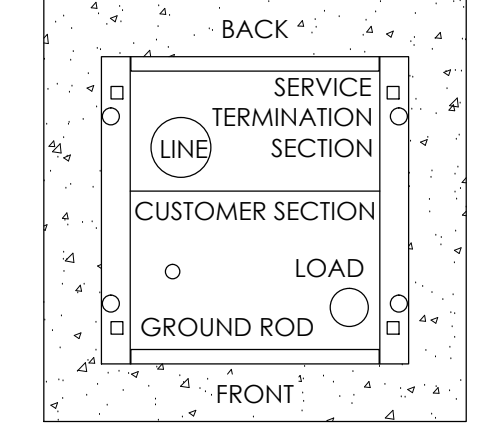


RECOMMENDED MOUNTING: BASE ENCLOSED IN CONCRETE.

NOTE:  
36" MINIMUM PEDESTAL CLEARANCE TYPICAL FRONT AND BACK REQUIRED PER N.E.C. 110-16

- PEDESTAL MOUNTING HOLES
- ANCHOR BOLT MOUNTING HOLES

### MOUNTING BASE DETAIL: TOP VIEW



## ENLARGED PLAN

SCALE: 1/8" = 1'-0"

NOTE: PROVIDED FOR REFERENCE ONLY. REFER TO THE GOLDEN INN VILLAGE, BUILDINGS 3, 4, AND 5 CONSTRUCTION DOCUMENTS.

## SINGLE LINE DIAGRAM - "LP#"

SCALE: 1" = 1'-0"

## METER SERVICE PEDESTAL - "LP#"

SCALE: 1" = 1'-0"



LUMINAIRE SCHEDULE - COMMERCIAL INTERIOR

Table with columns: TYPE, MANUFACTURER, SPECIFICATION, LAMP, AC VOLTAGE, BALLAST (FACTOR), SYSTEM WATTAGE, MOUNTING, NOTES. Contains various luminaire entries for commercial interior spaces.

LUMINAIRE SCHEDULE - RESIDENTIAL

Table with columns: TYPE, MANUFACTURER, SPECIFICATION, LAMP, AC VOLTAGE, BALLAST (FACTOR), SYSTEM WATTAGE, MOUNTING, TITLE 24 CLASSIFICATION, NOTES. Contains various luminaire entries for residential spaces.

LUMINAIRE SCHEDULE - EXTERIOR

Table with columns: TYPE, MANUFACTURER, SPECIFICATION, LAMP, AC VOLTAGE, BALLAST (FACTOR), SYSTEM WATTAGE, MOUNTING, NOTES. Contains various luminaire entries for exterior spaces.

LUMINAIRE AND LIGHTING CONTROL DEVICE SCHEDULE GENERAL NOTES

NOTE #1: LOW VOLTAGE POWER PACKS SHALL MOUNT WHERE ACCESSIBLE. REFER TO POWER AND LIGHTING PLANS FOR ADDITIONAL REQUIREMENTS. NOTE #2: LUMINAIRE LAMP AND BALLAST SHALL BE LISTED IN THE CALIFORNIA STATE APPLIANCE EFFICIENCY DATABASE...

LIGHTING CONTROL DEVICE SCHEDULE

Table with columns: TYPE, MANUFACTURER, SPECIFICATION, DESCRIPTION, AC VOLTAGE, MOUNTING, OPERATIONAL SETTINGS. Contains various lighting control device entries.

# FLOOR BOX SPECIFICATION LEGEND

Table with columns: TYPE, MANUFACTURER, SPECIFICATION, DESCRIPTION, AC VOLTAGE, MOUNTING. Contains various floor box entries.

peikert + rrm design group logo and contact information: 10 E. Figueroa St., Suite 1 Santa Barbara, CA 93101

hacsb logo and contact information: Housing Authority of the County of Santa Barbara

RONA BARRETT logo and contact information: RONA BARRETT FOUNDATION

The Golden Inn & Village Parcel 2 Hwy. 246 & Refugio Rd. Santa Ynez, CA.

Bldg. 2 - Independent Senior Apartments

NOTE: This project is subject to Mitigation and/or Condition Compliance Monitoring and Reporting. All aspects of project construction shall adhere to the approved plans, notes, and conditions of approval...

GECE logo and contact information: GRAY ELECTRICAL CONSULTING + ENGINEERING, LLC

Stamp and signature area for the project.

Building Permit Submittal schedule table with columns: Revisions, Date, Description.

Lighting Plan

Sheet No.: E7.00



