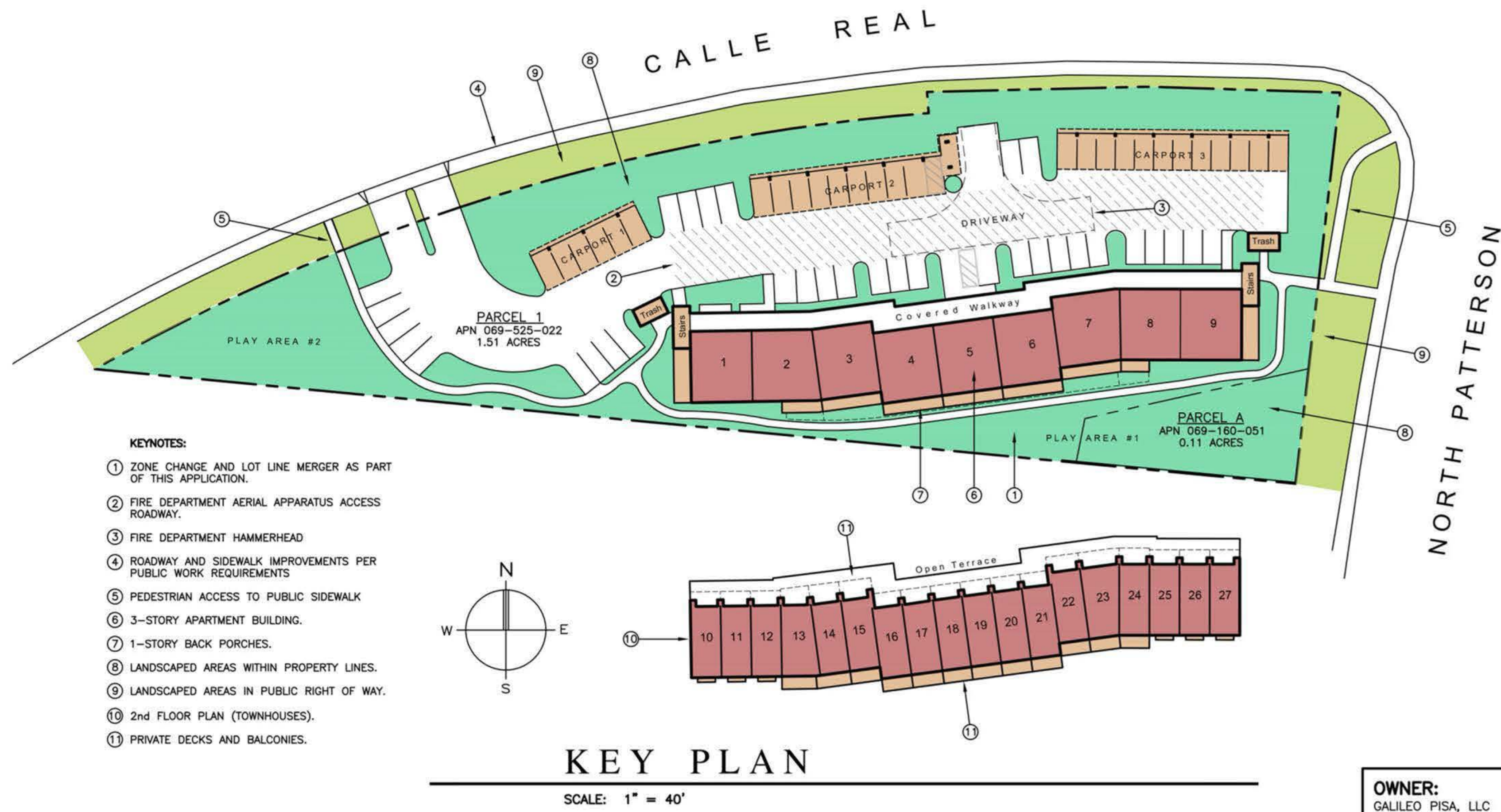


Code Analysis:

- OCCUPANCY: R-2 (RESIDENTIAL)
S-2 (CARPORTS)
- TYPE OF CONSTR.: V-N (RESIDENTIAL)
1-HR. OCCUPANCY SEPARATION
(TABLE 503, HEIGHT INCREASE [3 FLOORS] BY 504.2)
- FIRE SPRINKLERS REQUIRED (PER SEPARATE PERMIT).
- 1-HR. FIRE & STC-50 ACOUSTICAL SEP. BETWEEN UNITS.
- ADA ADAPTABLE UNITS ON GROUND FLOOR.
- STC-XX ACOUSTICAL RATING FOR OPENINGS PER SOUND REPORT BY XYZ (X/XX/19).

Governing Codes:

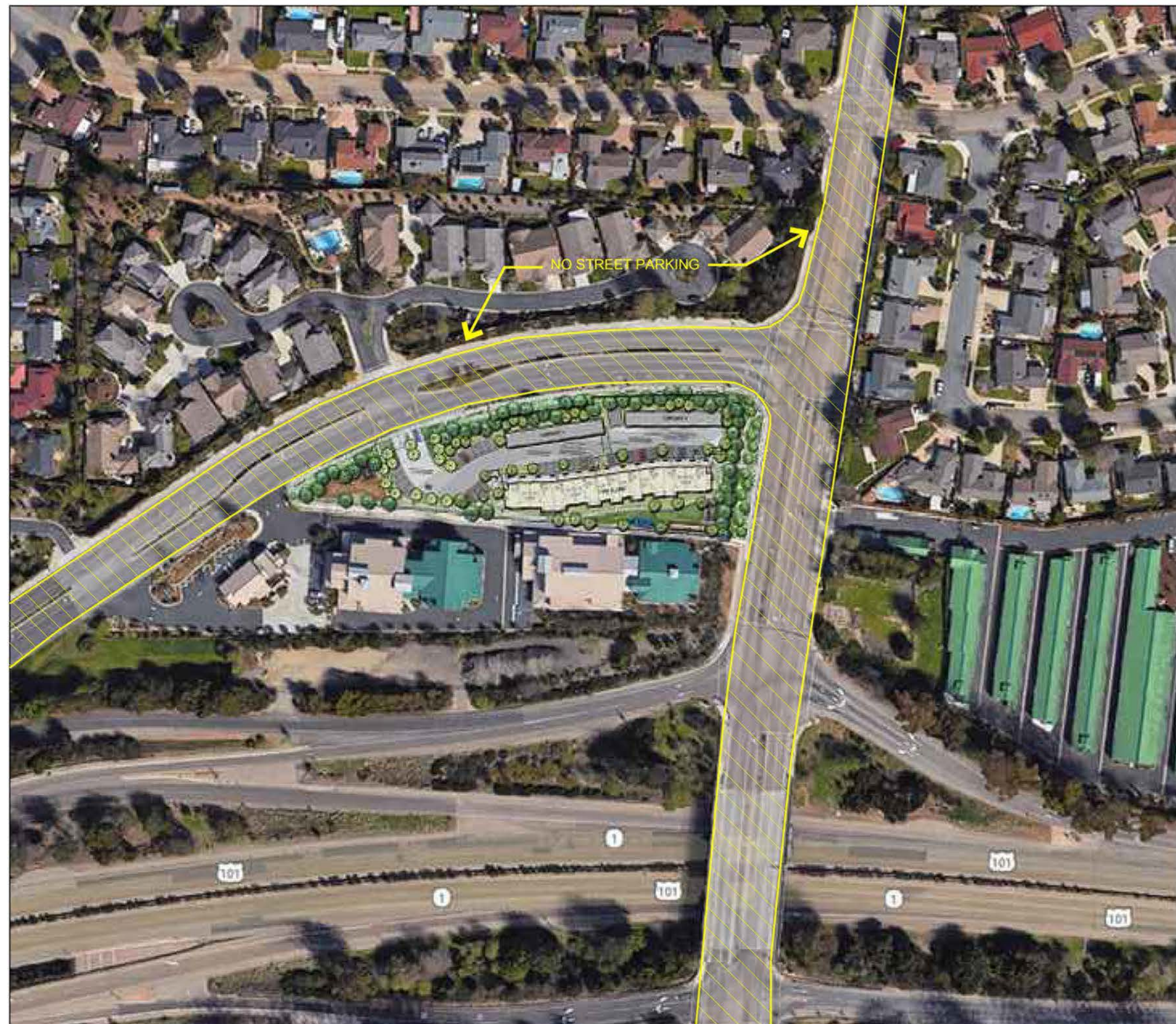
- ALL CONSTRUCTION SHALL COMPLY WITH:
- CALIFORNIA BUILDING CODE (CBC), 2019 EDITION
 - CALIFORNIA PLUMBING CODE (CPC), 2019 EDITION
 - CALIFORNIA ELECTRICAL CODE (CEC), 2019 EDITION
 - CALIFORNIA MECHANICAL CODE (CMC), 2019 EDITION
 - CALIFORNIA FIRE CODE, 2019 EDITION
 - CALIFORNIA ENERGY CODE, 2019 EDITION
 - CALIFORNIA GREEN CODE, 2019 EDITION
 - BUILDING ENERGY EFFICIENCY STANDARDS, 2019 EDITION
 - COUNTY OF SANTA BARBARA ADOPTING ORDINANCES.



- KEYNOTES:**
- 1 ZONE CHANGE AND LOT LINE MERGER AS PART OF THIS APPLICATION.
 - 2 FIRE DEPARTMENT AERIAL APPARATUS ACCESS ROADWAY.
 - 3 FIRE DEPARTMENT HAMMERHEAD
 - 4 ROADWAY AND SIDEWALK IMPROVEMENTS PER PUBLIC WORK REQUIREMENTS
 - 5 PEDESTRIAN ACCESS TO PUBLIC SIDEWALK
 - 6 3-STORY APARTMENT BUILDING.
 - 7 1-STORY BACK PORCHES.
 - 8 LANDSCAPED AREAS WITHIN PROPERTY LINES.
 - 9 LANDSCAPED AREAS IN PUBLIC RIGHT OF WAY.
 - 10 2nd FLOOR PLAN (TOWNHOUSES).
 - 11 PRIVATE DECKS AND BALCONIES.

KEY PLAN

SCALE: 1" = 40'



OWNER:

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TRUDI G. CAREY, Manager
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CIVIL ENGINEER:

MAC DESIGN ASSOCIATES
MICHAEL CACCESE
1933 CLIFF DRIVE, SUITE 6
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mcccesse@macdesign.com

INDEX OF PRELIMINARY DRAWINGS

- T-1: TITLE SHEET
- T-2: SITE COVERAGE HEIGHT CALCULATIONS
- SD-1: SITE PLAN
- A1.0: TYPICAL FLOOR PLANS
- A1.1: 1st FLOOR PLANS
- A1.2: 2nd FLOOR PLAN LOWER ROOF PLANS
- A1.3: 3rd FLOOR PLAN UPPER ROOF PLAN
- A2.1: BUILDING SECTIONS
- A2.2: BUILDING SECTIONS
- A-3: ELEVATIONS
- L-1.0A: LANDSCAPE PLAN
- L-4.0: GRADING & STORMWATER MANAGEMENT PLAN
- L-5.0: TREE REMOVAL PLAN WATER USE CALCULATIONS
- SURVEY
- C1: PRELIMINARY UTILITY PLAN AND STORM DRAIN PLAN
- C2: STORM DRAIN DETAILS

PROJECT ADDRESS:
LARGE PARCEL (PARCEL 1): NW corner of N. Patterson Ave. at Calle Real (new address pending) Santa Barbara, CA 93111

APN: 069-525-022
ZONING DESIGNATION: DR-20 (RES-20.0)
General Plan: Eastern Goleta Valley
Residential Gross: 1.51 acres (65,824 sf)
Residential Net: 1.51 acres (65,824 sf)
Site Slope: 4% +/-

SMALLER PARCEL (PARCEL A): 99 N. Patterson Avenue Santa Barbara, Ca 93111

APN: 069-160-051
ZONING DESIGNATION: C-2 (General Commercial)
General Plan: Eastern Goleta Valley
Commercial Gross: .11 acres (4,792 sf)
Commercial Net: .11 acres (4,792 sf)
Site Slope: 1.8% +/-

PROPOSED PROJECT SITE: NW corner of N. Patterson Ave. at Calle Real Santa Barbara, Ca 93111

APN: 069-525-022 & 069-160-051 (to be merged)
ZONING: DR-20
General Plan: Eastern Goleta Valley
Residential Gross: 1.62 acres (70,616 sf)
Site Slope: 4% +/-
High Fire: No
Height: 35' Max
Cut: 2,700 cy
Fill: 1,400 cy
Import: 1,300 cy (See Earthwork calculations on sheet SD-1)

EXISTING/FUTURE CONDITIONS:

(2) Vacant Lots: Parcel 1 a former avocado orchard, APN 069-525-022 with current access off of Calle Real zoned DR-20 to be merged with Parcel A, a vacant non-conforming parcel, APN 069-160-051 with current access off of North Patterson Avenue zoned C-2. Merger requires a rezone of Parcel A to DR-20 prior to merging to enable the construction of a new 27 unit apartment building. There is no proposed access from N. Patterson Avenue once the parcels are merged. The combined parcels will be accessed from Calle Real with one access point. The project is a (27) unit apartment building with 27 covered carport spaces with a total of (60) parking spaces.

SITE COVERAGE:	Total	% of Total	Required
Common Open Space:	28,673	40.6 %	40 %
Building:	17,355	24.6 %	
Private Outdoor Space:	1,664	2.4 %	
Roads, Driveway, Parking	12,716	18.0 %	
Impervious Paving	6,362	9.0 %	
Sidewalks	3,602	5.1 %	
Trash	244	0.3 %	
Totals:	70,616	100 %	

SITE DENSITY	Total	Allowed
Gross:	16.7 units/acre	20 units per acre
Net:	16.7 units/acre	20 units per acre

LIVING UNIT COUNT	Count	Bed/Bath Unit	Net Habitable	Total Bedrooms
Plan A-1st Floor Flats	9	2/1	888	18
Plan B-2nd Floor Townhomes	18	2/1+1/2	914	36
Total	27			54

BUILDING AREA

Note: Areas have been calculated to the exterior face of the perimeter walls excluding stairs, patios and balconies.

Ground Floor Area	Second Floor Area	Third Floor Area	Gross Floor Area	Stairs	Net Habitable Floor Area	Porch/Decks Landscape
8,802	8,698	10,223	27,723	350	26,737	18,650

Laundry Facilities:

All living units have provisions for washer/dryer (Plan A units in the storage closet and Plan B at the bedroom hall).

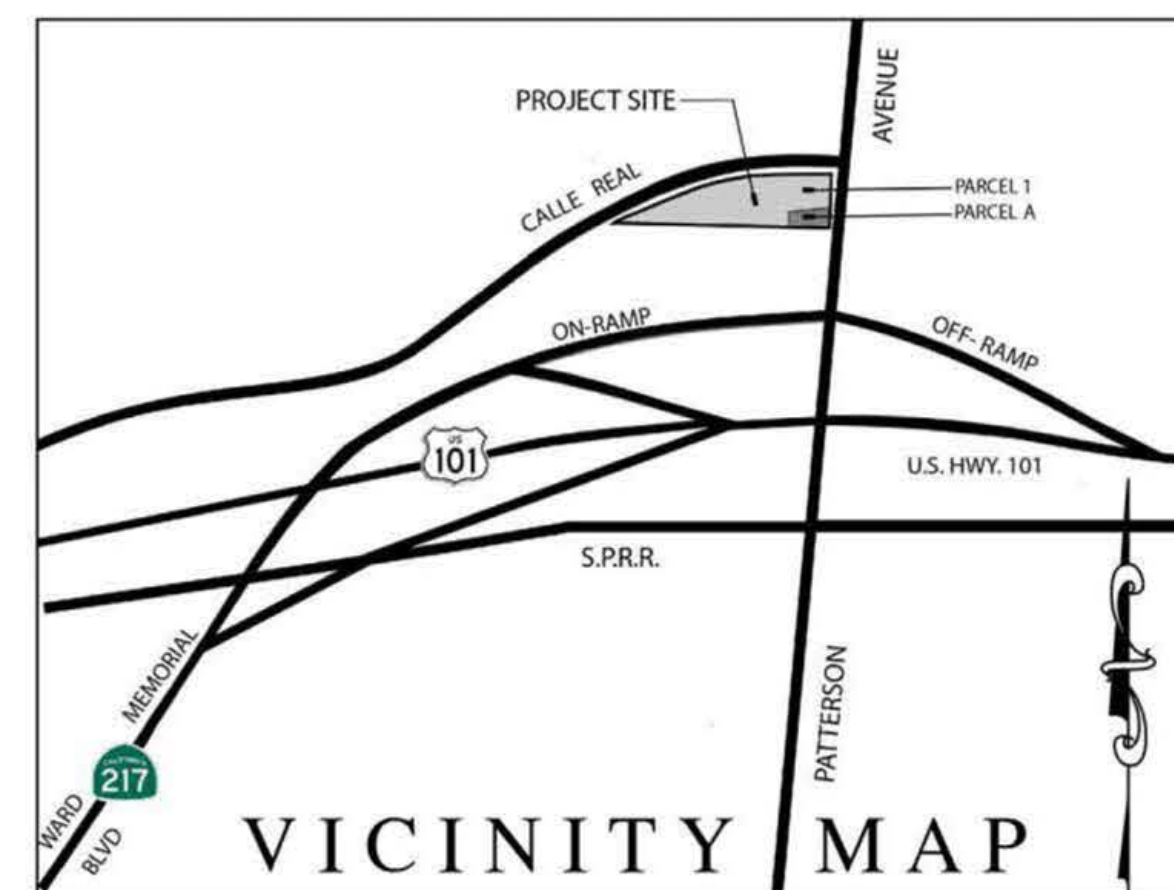
ACCESSIBLE LIVING UNITS and PARKING:

Adaptable Living Units (100% Ground Floor): 9 units
Accessible Parking required per CBC 1109A.4: 2 Van-accessible Spaces
Provided: 2 Van-accessible Spaces

PARKING:

Parking Required and Provided:
Units: 27 spaces (27) 2-Bedroom Units x (1)
Guests: 6 spaces (1) per 5 Units
Total: 33 spaces (All standard spaces- 27 covered)
Includes (2) van accessible parking stalls.
Additional Parking Provided: 27 Uncovered stalls (1x unit).

Bicycle Parking Provided: 54 covered spaces (2 per unit).



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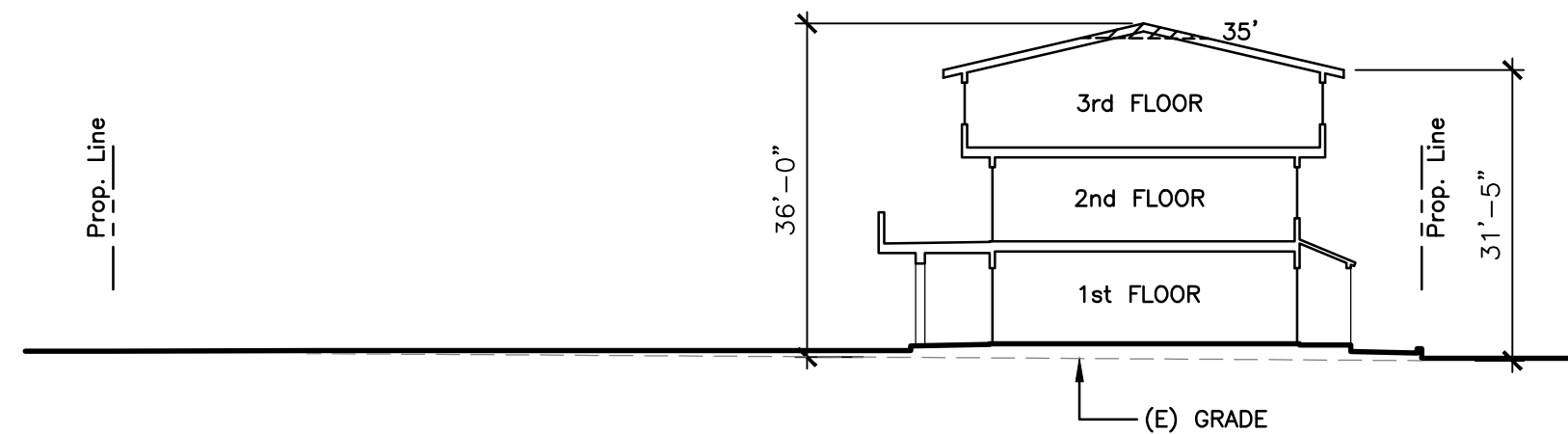
TITLE SHEET

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JOB	
SHEET	T-1

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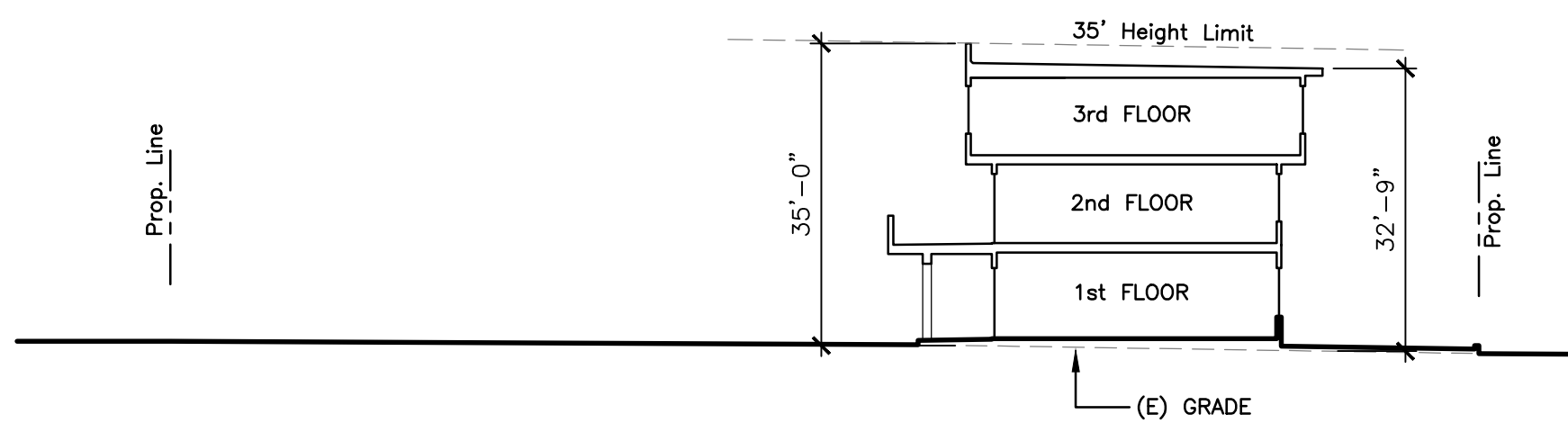
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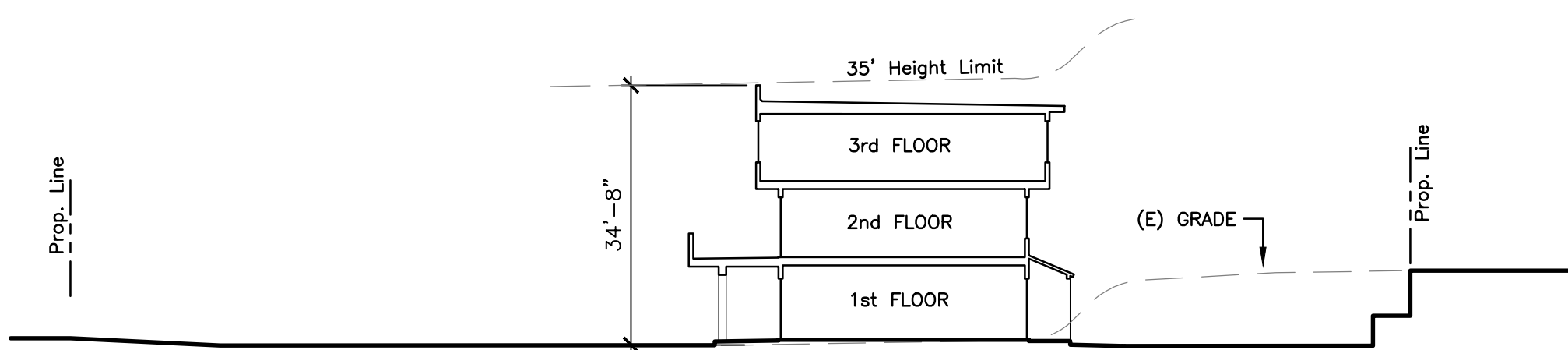
SITE SECTION A

SCALE: 1" = 20'



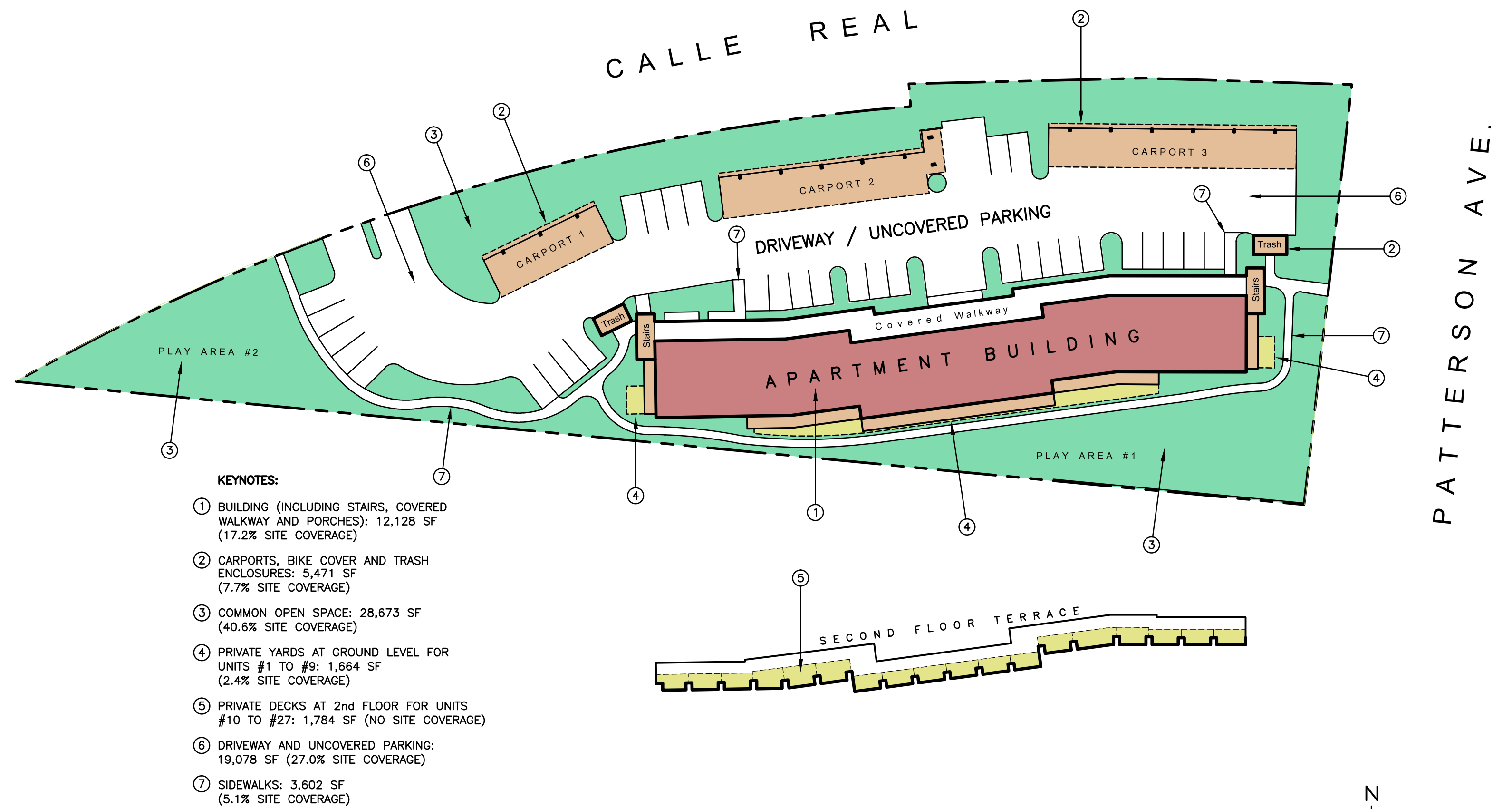
SITE SECTION B

SCALE: 1" = 20'



SITE SECTION C

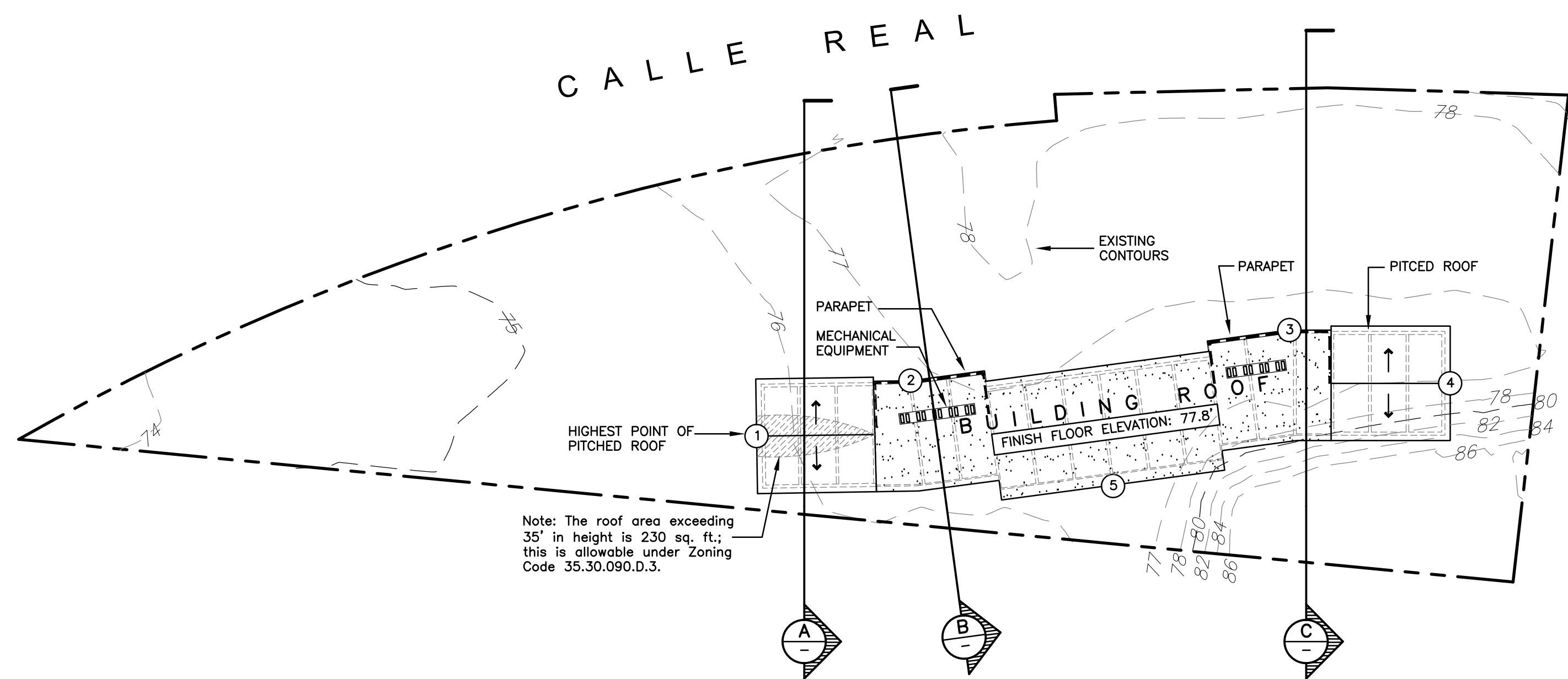
SCALE: 1" = 20'



- KEYNOTES:**
- ① BUILDING (INCLUDING STAIRS, COVERED WALKWAY AND PORCHES): 12,128 SF (17.2% SITE COVERAGE)
 - ② CARPORTS, BIKE COVER AND TRASH ENCLOSURES: 5,471 SF (7.7% SITE COVERAGE)
 - ③ COMMON OPEN SPACE: 28,673 SF (40.6% SITE COVERAGE)
 - ④ PRIVATE YARDS AT GROUND LEVEL FOR UNITS #1 TO #9: 1,664 SF (2.4% SITE COVERAGE)
 - ⑤ PRIVATE DECKS AT 2nd FLOOR FOR UNITS #10 TO #27: 1,784 SF (NO SITE COVERAGE)
 - ⑥ DRIVEWAY AND UNCOVERED PARKING: 19,078 SF (27.0% SITE COVERAGE)
 - ⑦ SIDEWALKS: 3,602 SF (5.1% SITE COVERAGE)

SITE COVERAGE

SCALE: 1" = 40'



BUILDING HEIGHT CALCULATIONS:

FOR ZONING PURPOSES, BUILDING HEIGHT IS MEASURED FROM EXISTING GRADE TO THE HIGHEST POINT OF THE STRUCTURE. IN THIS CASE THE TOP OF THE ROOF PARAPET AND TOP OF ROOF RIDGE.

BUILDING HEIGHT is the distance from Existing Grade to Finish Floor elevation PLUS the height of the structure ("Structural Height").

STRUCTURAL HEIGHT "A":
Finish Floor to Top of Roof Ridge: 34'-0"

STRUCTURAL HEIGHT "B":
Finish Floor to Top of Parapet: 34'-0"

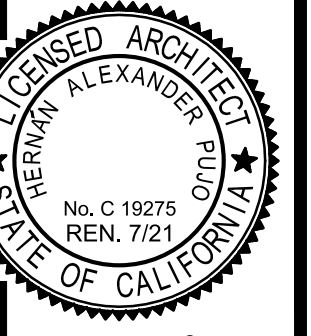
STRUCTURAL HEIGHT "C":
Finish Floor to Roof Overhang: 31'-3"

SPOT ELEVATIONS:

- | | |
|---|--|
| ① TOP OF RIDGE (West Elevation):
Adjacent (E) Grade Elevation: 75.8'
Finish Floor: 77.8'
Height to Finish Floor: + 2.0'
Structural Height "A": 34.0'
Building Height: 36.0' | ④ TOP OF RIDGE (East Elevation):
Adjacent (E) Grade Elevation: 76.8'
Finish Floor: 77.8'
Height to Finish Floor: + 1.0'
Structural Height "A": 34.0'
Building Height: 35.0' |
| ② & ③ TOP OF PARAPET (North Elevation):
Adjacent (E) Grade Elevation: 76.8'
Finish Floor: 77.8'
Height to Finish Floor: + 1.0'
Structural Height "B": 34.0'
Building Height: 35.0' | ⑤ ROOF OVERHANG (No Parapet):
Adjacent (E) Grade Elevation: 76.5'
Finish Floor: 77.8'
Height to Finish Floor: + 1.3'
Structural Height "C": 31.3'
Building Height: 32.6' |

HEIGHT CALCULATIONS

SCALE: 1" = 40'



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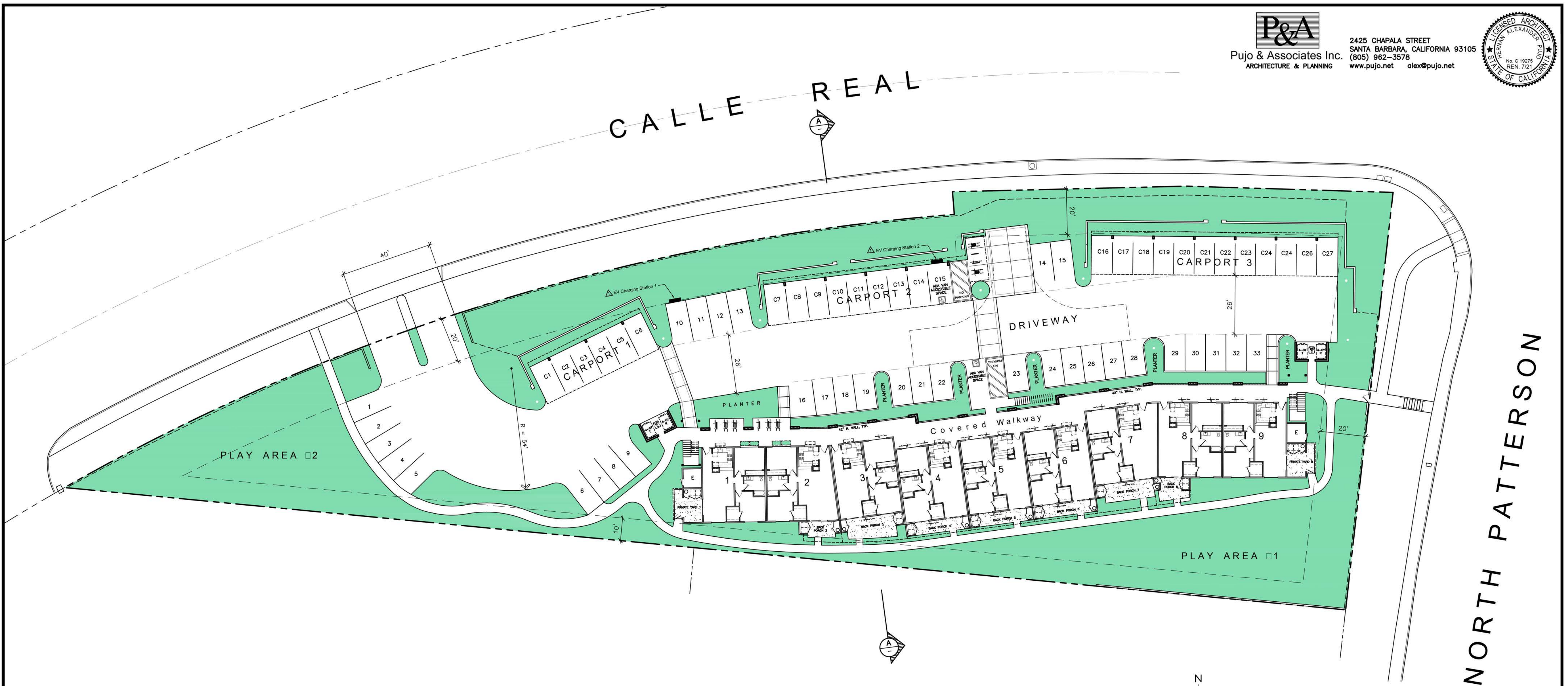
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SITE COVERAGE
HEIGHT CALCULATIONS

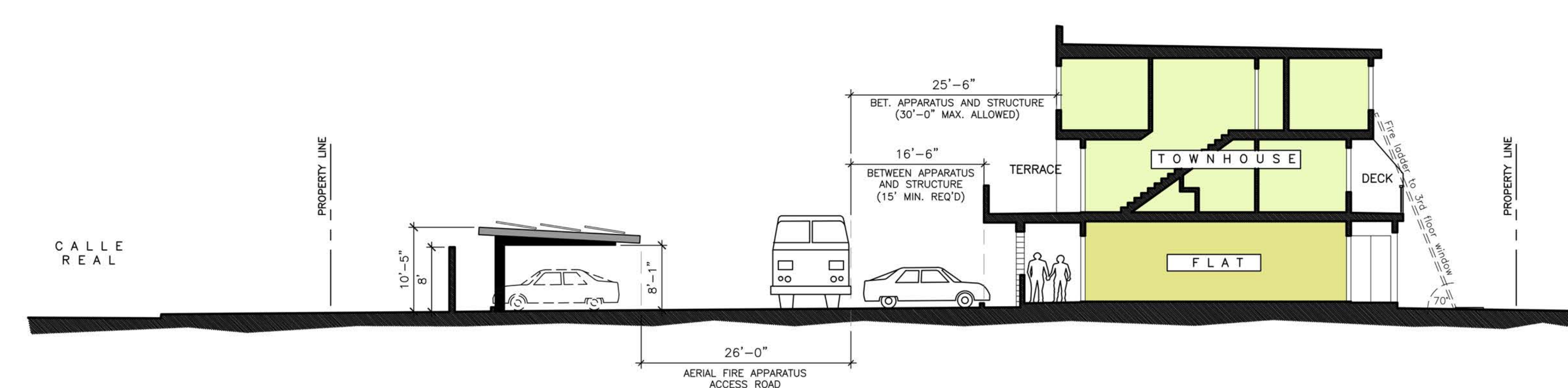
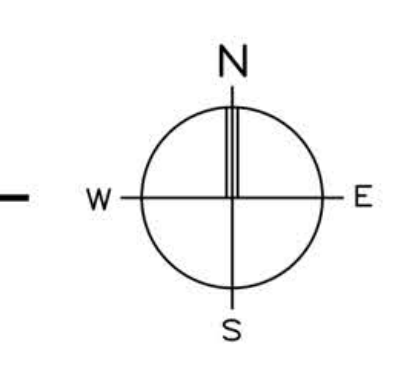
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JOB
SHEET

T-2



S I T E P L A N

SCALE: 1" = 20'



SECTION A - A (Aerial Fire Apparatus Access)

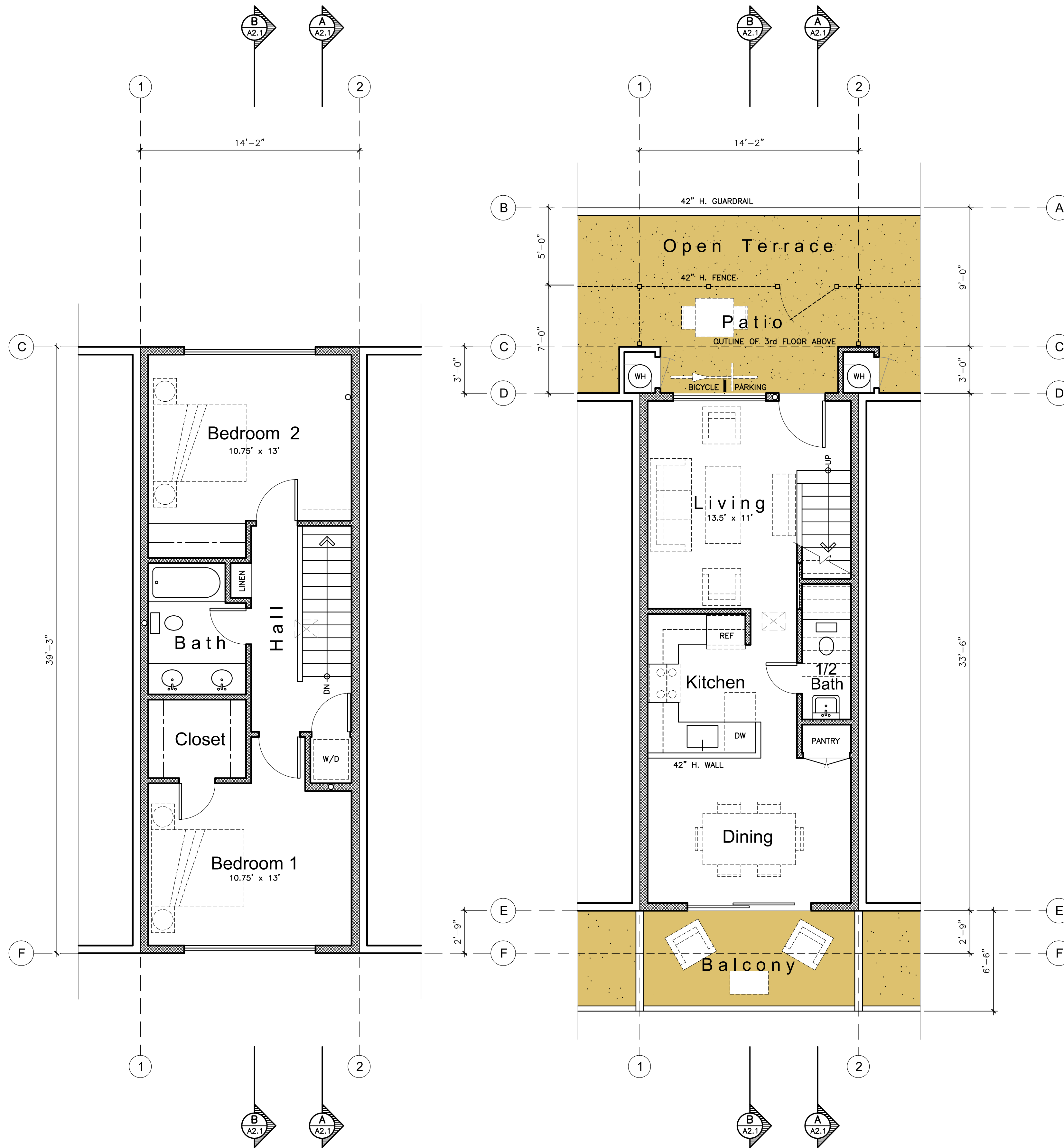
SCALE: 1" = 10'

NORTH PATTERSON

SITE PLAN
SITE SECTION

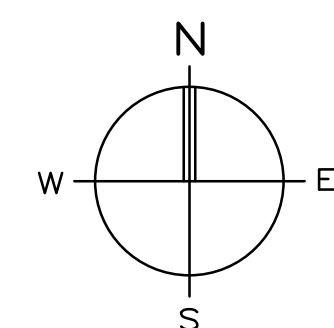
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UPSTAIRS (3rd Floor)

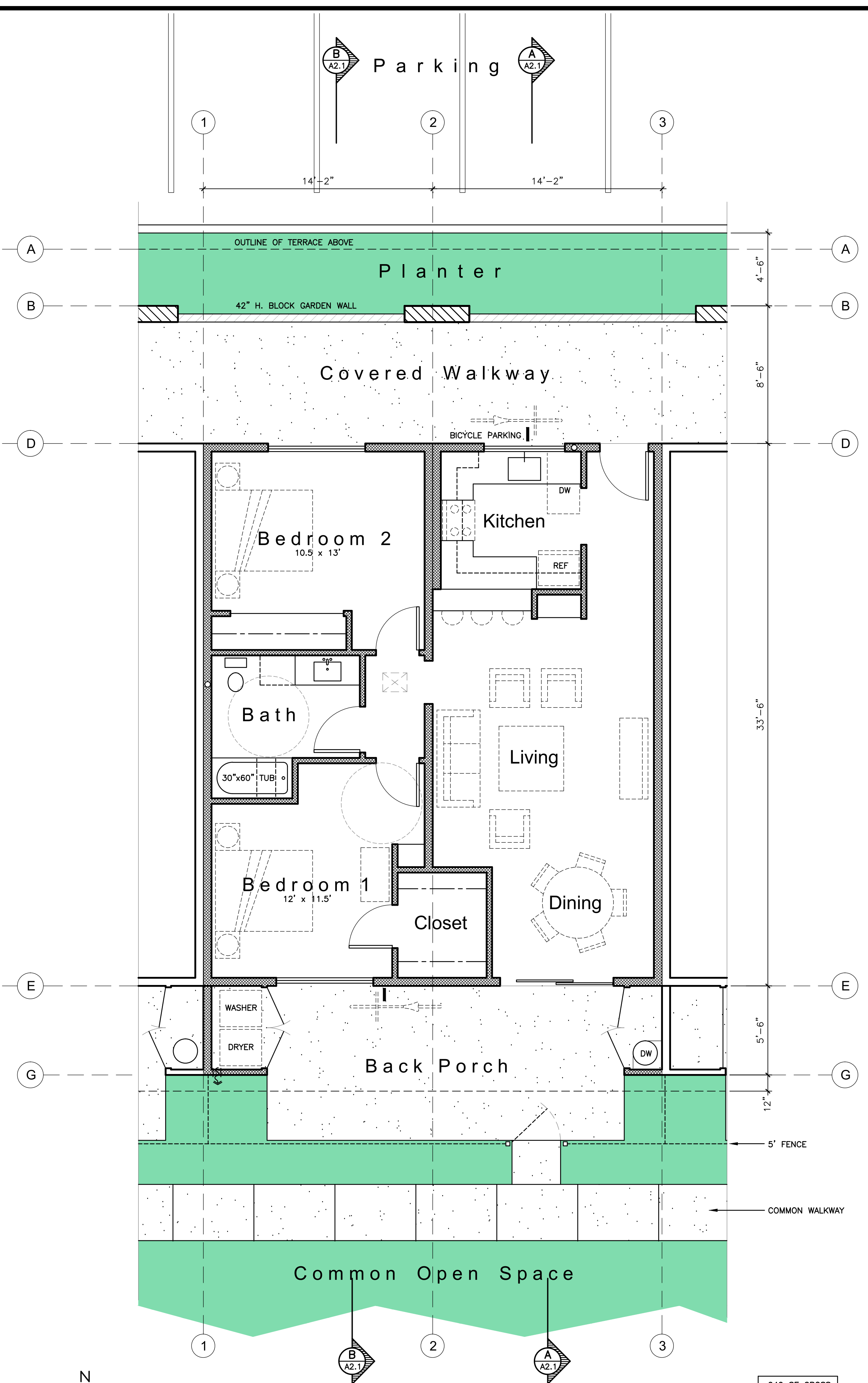
DOWNSTAIRS (2nd Floor)



TYPICAL TOWNHOUSE FLOOR PLANS

SCALE: 1/4" = 1'-0"

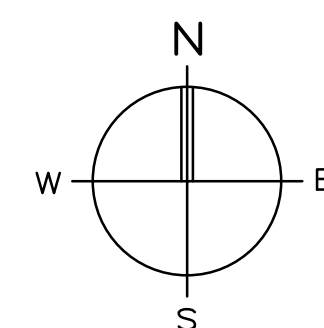
	Gross	Net
Downstairs:	475 sf	428 sf
Upstairs:	+ 538 sf	+ 486 sf
TOTAL:	1,013 sf	914 sf



TYPICAL APARTMENT PLAN (Ground Floor)

SCALE: 1/4" = 1'-0"

949 SF GROSS
888 SF NET



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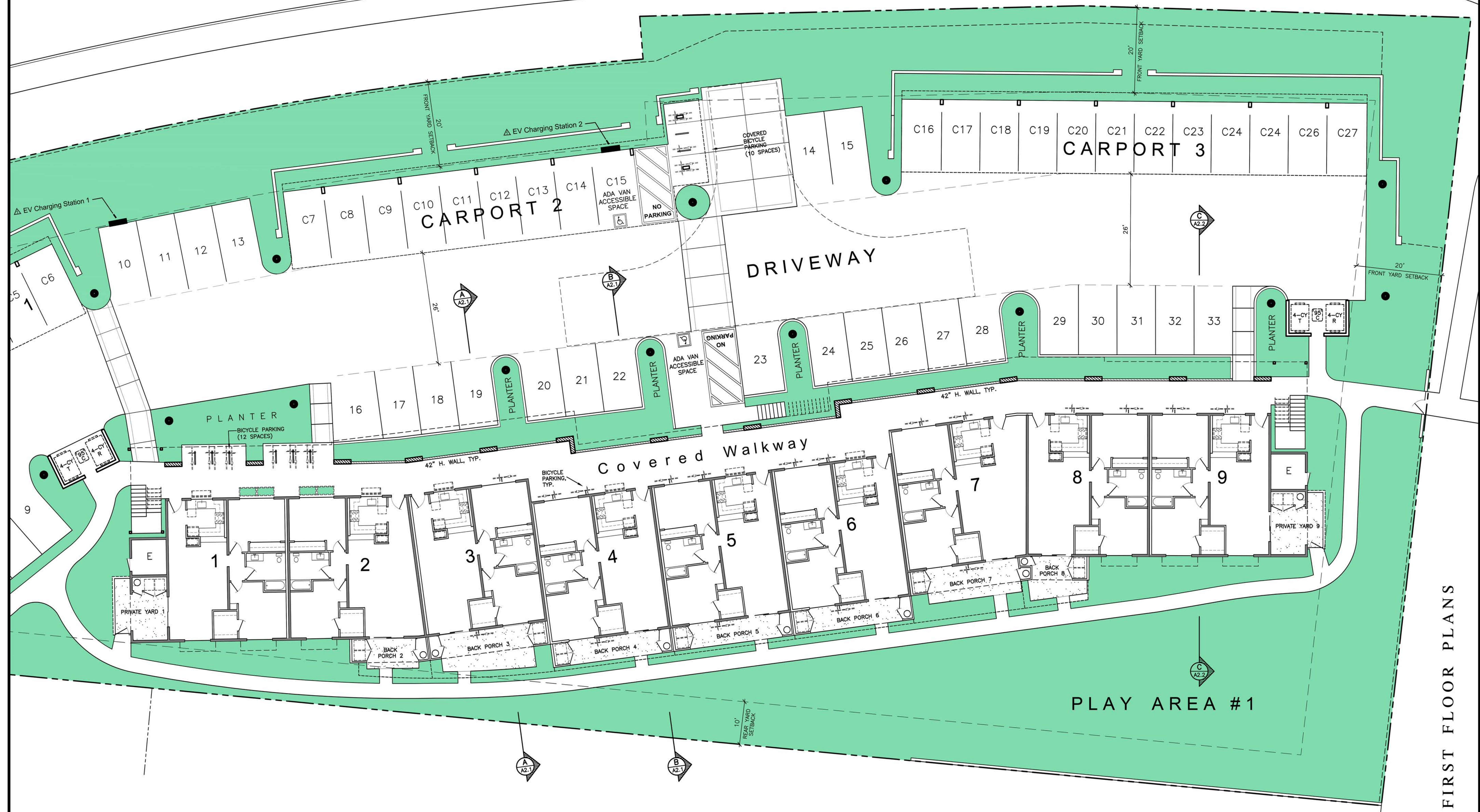
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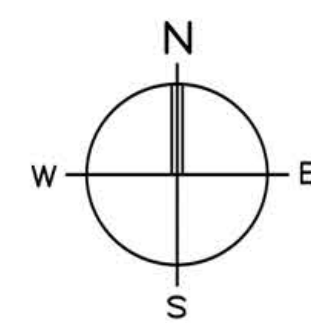
TYPICAL FLOOR PLANS

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FIRST FLOOR PLANS

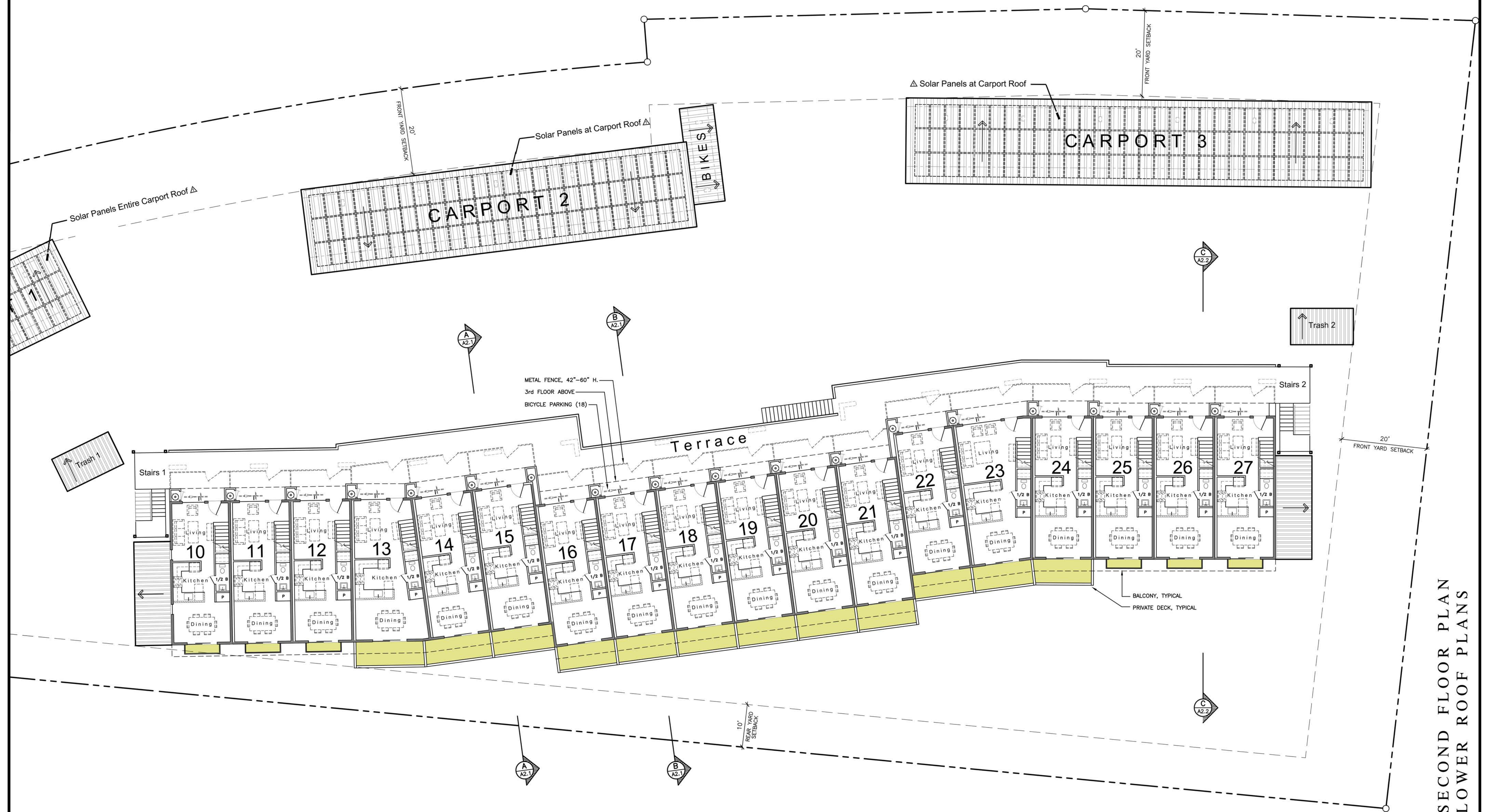


FIRST FLOOR PLANS

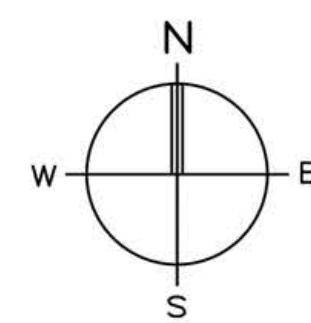
SCALE: 1" = 10'

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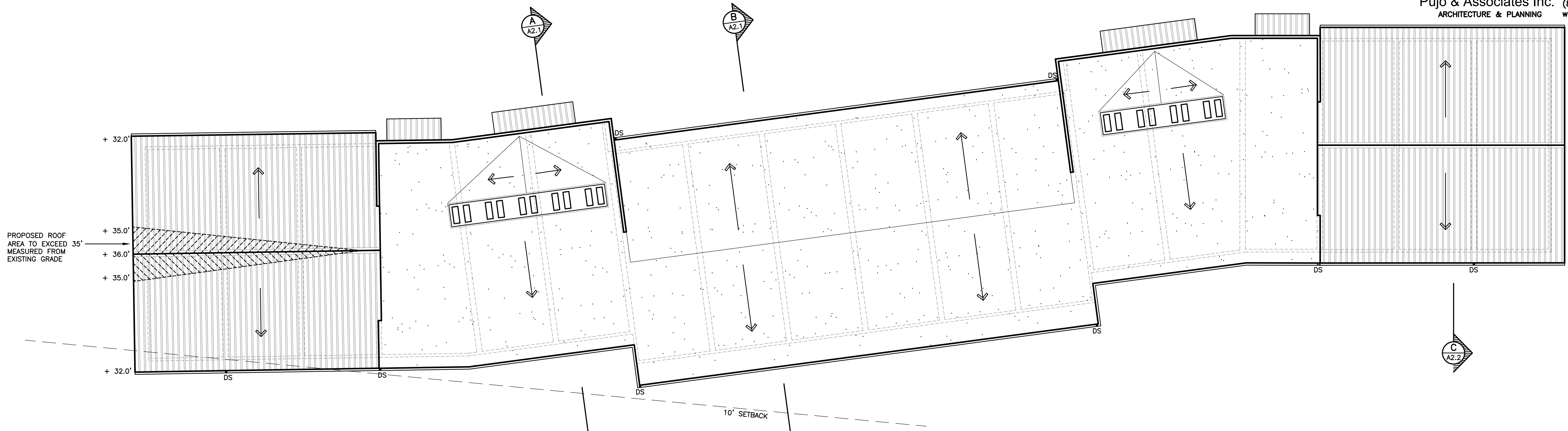
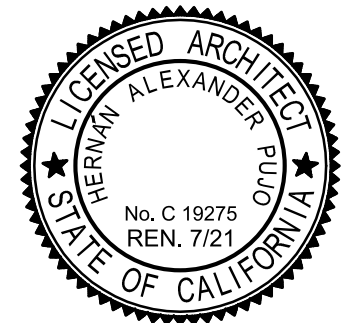
SECOND FLOOR PLAN
LOWER ROOF PLANS



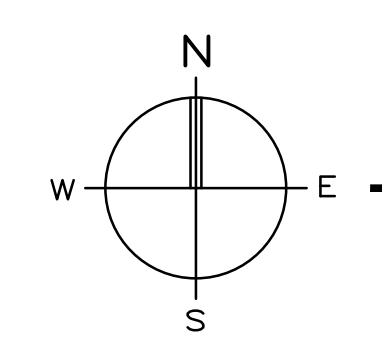
**SECOND FLOOR PLAN
LOWER ROOF PLANS**

SCALE: 1" = 10'

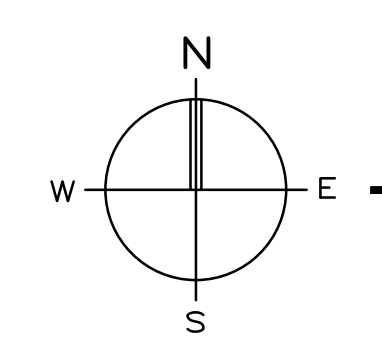
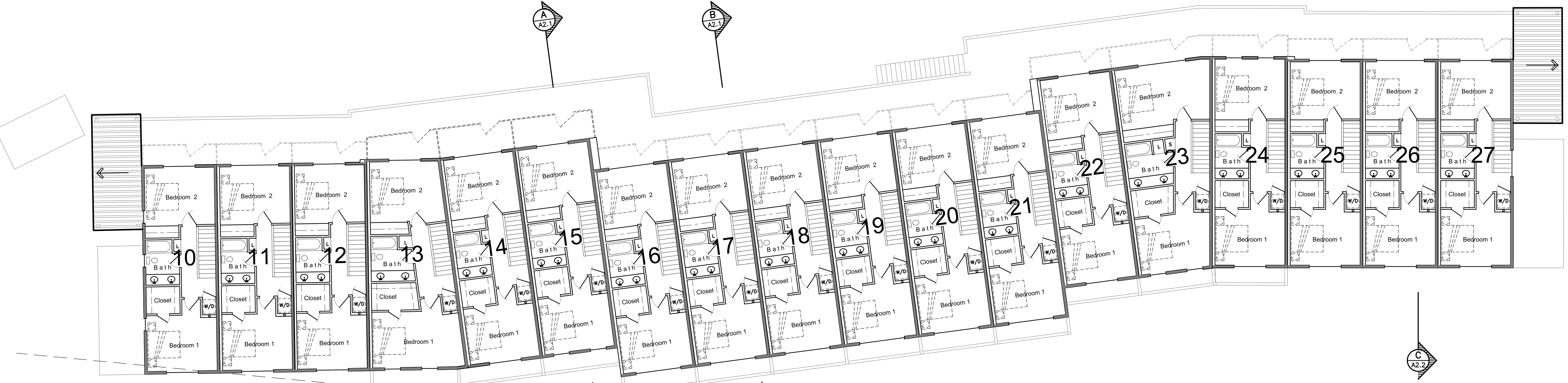
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PROPOSED ROOF AREA TO EXCEED 35' MEASURED FROM EXISTING GRADE



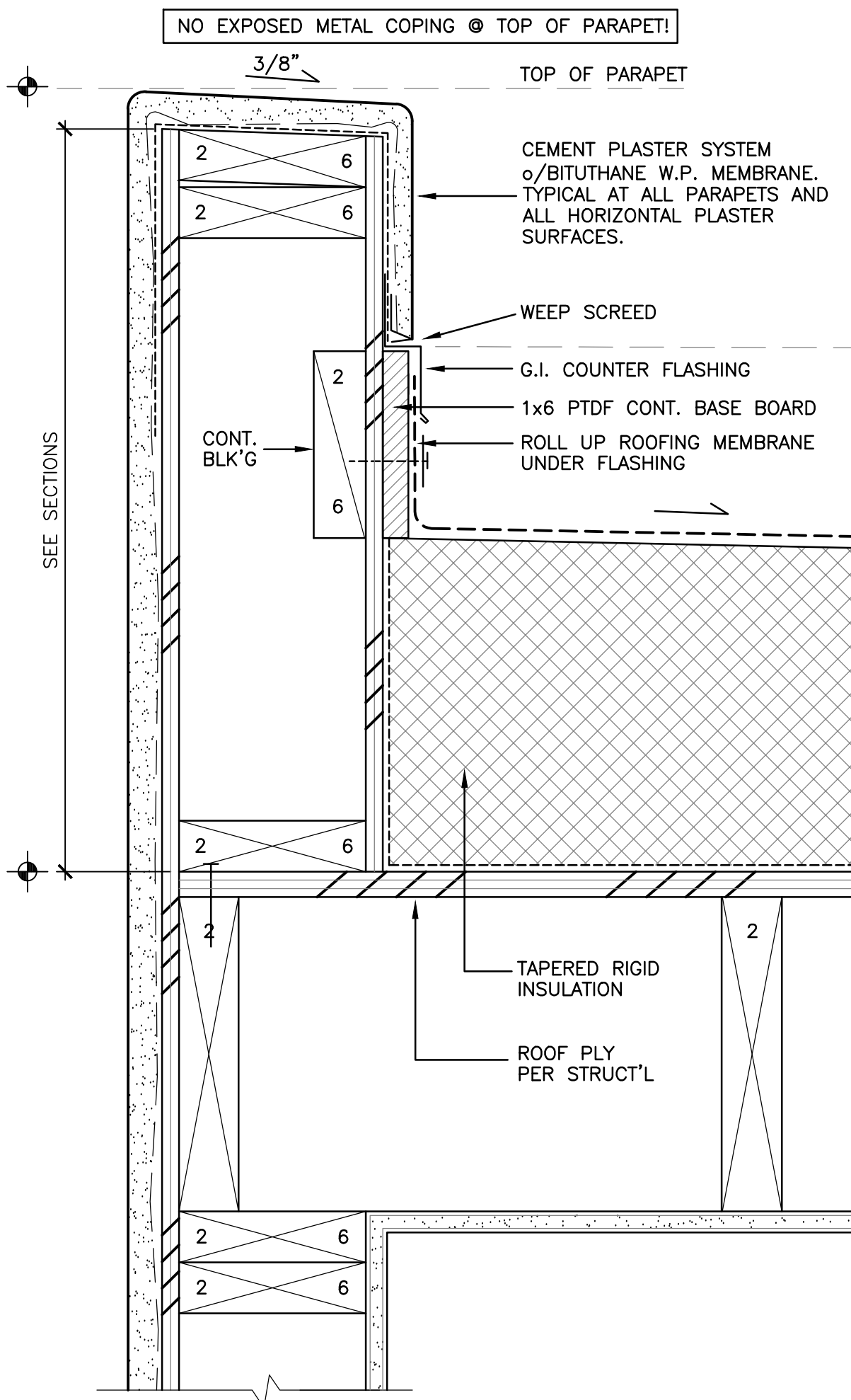
UPPER ROOF PLAN
 SCALE: 1" = 10'



THIRD FLOOR PLAN
 SCALE: 1" = 10'

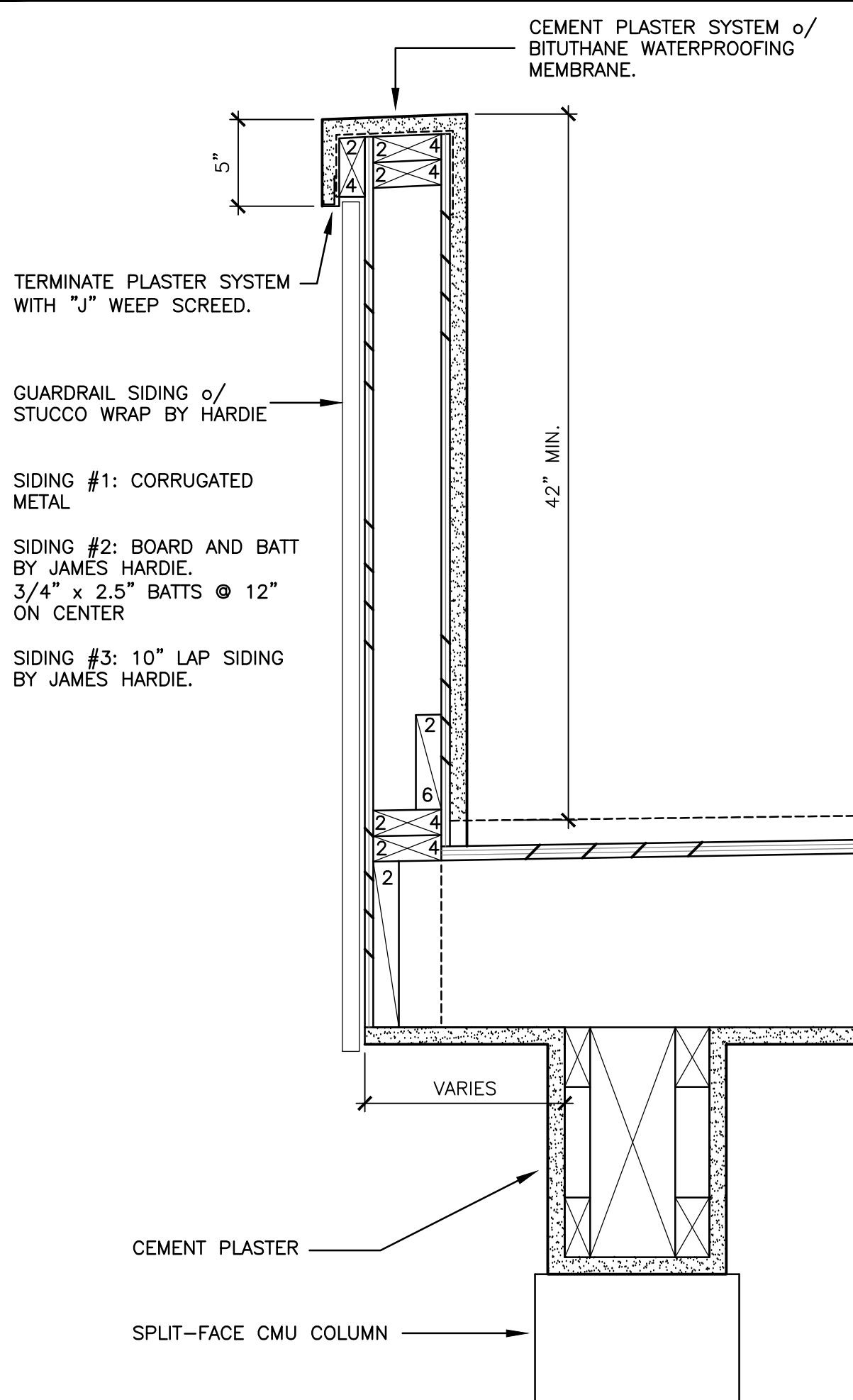
THIRD FLOOR PLAN
 UPPER ROOF PLAN

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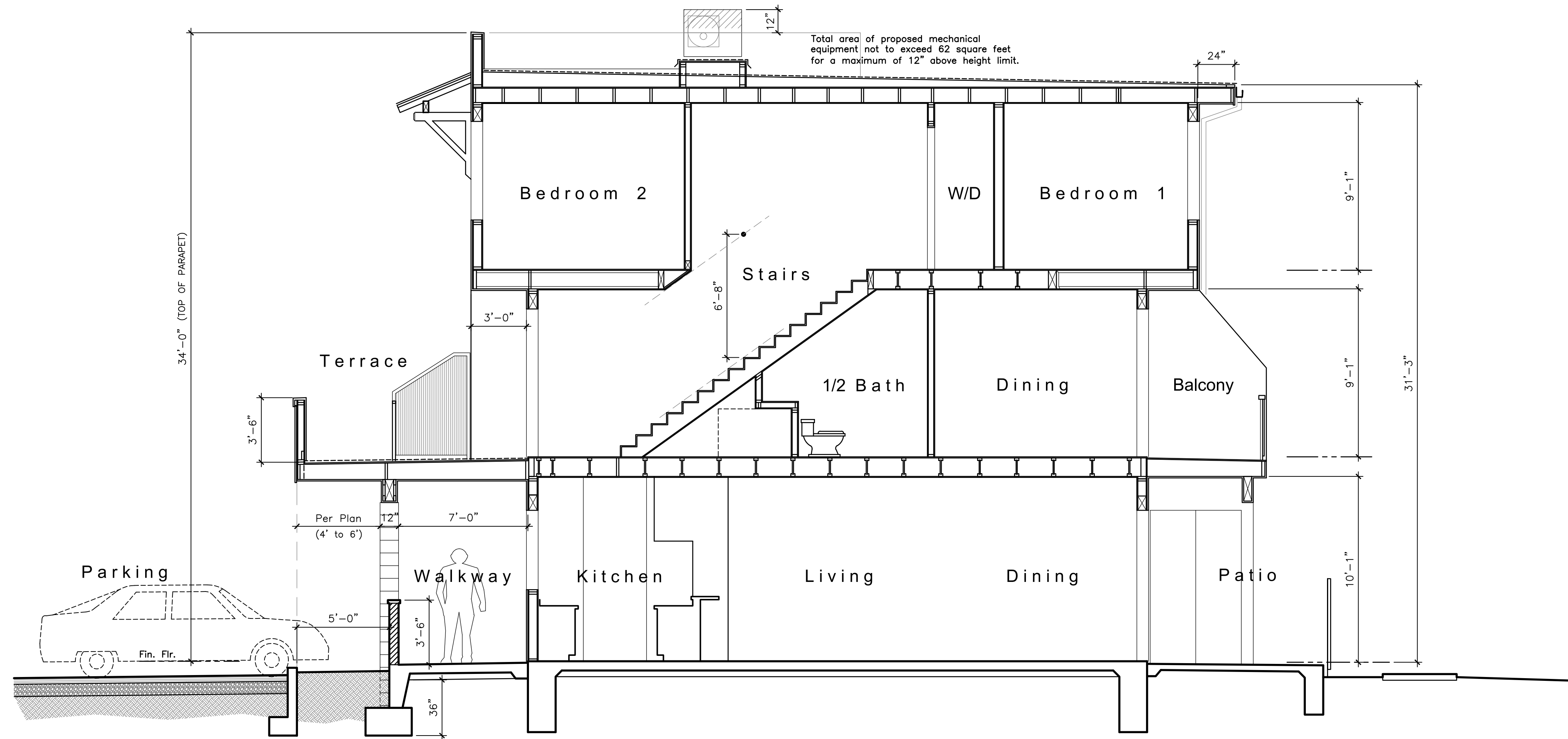
1 ROOF PARAPET

SCALE: 3" = 1'-0"



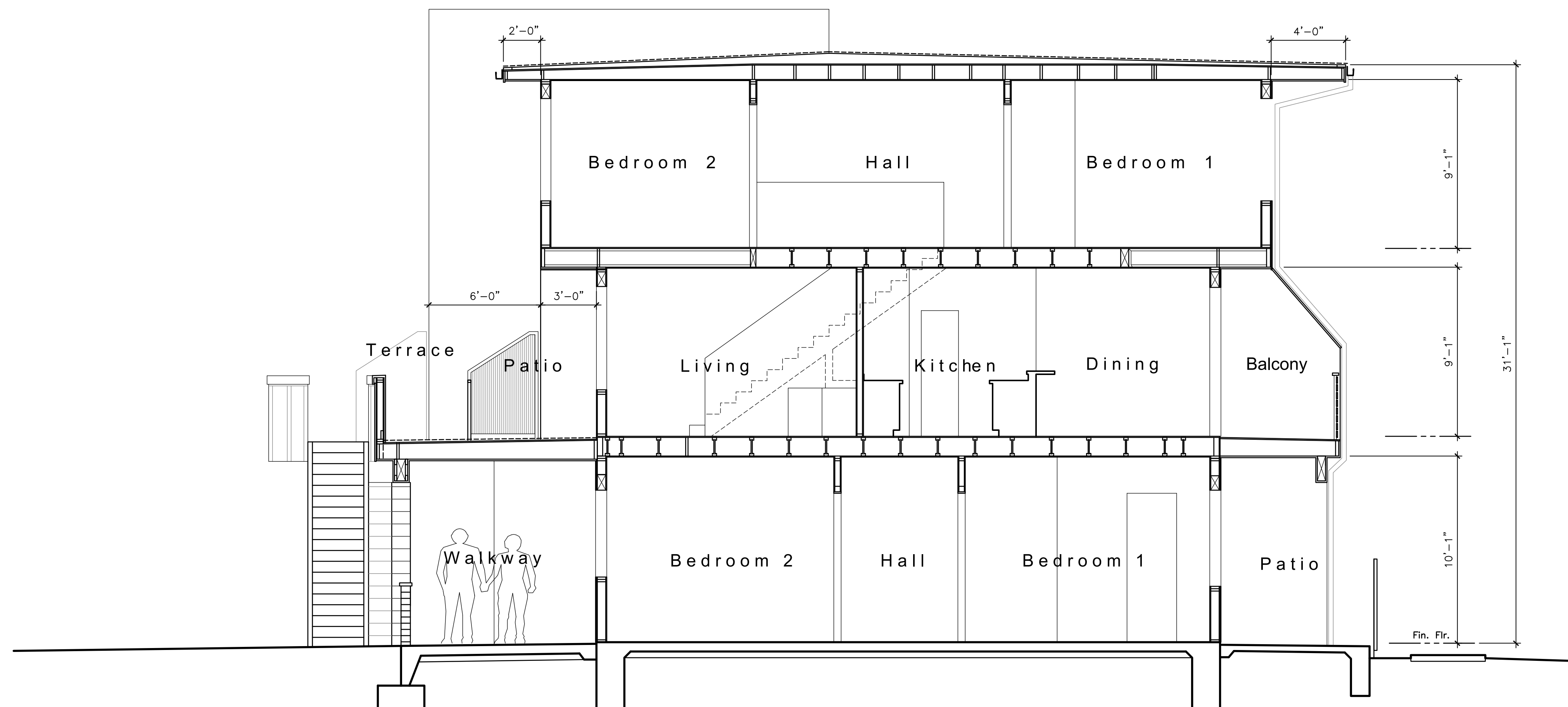
2 GUARD @ TERRACE

SCALE: 1-1/2" = 1'-0"



SECTION A - A

SCALE: 1/4" = 1'-0"



SECTION B - B

SCALE: 1/4" = 1'-0"



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SECTIONS

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A2.1



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A-3
 8/10/2020



WEST ELEVATION

SCALE: 1" = 10'



NORTH (CALLE REAL) ELEVATION

SCALE: 1" = 10'



EAST (PATTERSON AVENUE) ELEVATION

SCALE: 1" = 10'



SOUTH (REAR) ELEVATION

SCALE: 1" = 10'

EXTERIOR FINISH SCHEDULE

- ① CEMENT PLASTER:
COLOR: NAVAJO WHITE
SHERMAN WILLIAMS SW 6126
- ② CEMENT PLASTER:
COLOR TO MATCH ADJACENT
SIDING COLOR
- ③ BOARD-AND-BATT SIDING #1:
BY HARDIE
COLOR:
- ④ BOARD-AND-BATT SIDING #2:
BY HARDIE
COLOR:
- ⑤ BOARD-AND-BATT SIDING #3:
BY HARDIE
COLOR:
- ⑥ 12x8x16 & 8x8x16 SPLIT FACE
CMU BY ANGELUS BLOCK
COLOR: LADERA RED.
- ⑦ 6x4x16 SPLIT FACE CMU
ANGELUS BLOCK
COLOR:
- ⑧ METAL ROOFING, RIB PANEL:
COLOR:
- ⑨ WINDOWS & PATIO DOORS:
ANDERSEN 101 SERIES (FIBREX)
COLOR: DARK BRONZE
- ⑩ FRONT DOORS:
WOOD-CLAD
COLOR: DARK BRONZE
- ⑪ ROLL-UP DOOR SYSTEM:
GALVALUME.
- ⑫ STRUCTURAL STEEL:
MINERAL DEPOSIT
SHERMAN WILLIAMS SW 7652
- ⑬ CORRUGATED METAL GUARDRAIL:
GALVALUME
- ⑭ HORIZONTAL STEEL GUARDRAIL:
COLOR:
- ⑮ DOOR AND WINDOW TRIM
BY HARDIE
COLOR: WHITE
- ⑯ HORIZONTAL WOOD PLANK FENCE
COLOR:
- ⑰ RESAWN TIMBER/EXPOSED WOOD
COLOR: WHITE.
- ⑱ RESAWN TIMBER/EXPOSED WOOD
COLOR:
- ⑲ FENCE BY LANDSCAPE PLANS.
- ⑳ STEEL CARPORT:
FULL CANTILEVER BY 'BAJA'
COLOR:



TREES: OLEA EUROPAEA, MELALEUCA QUIN, ARBUTUS UNEDO, METROSIDEROS EXO, MELALEUCA NES, LIGUSTRUM TEX, PRUNUS CAR, LAVANDULA HET, ROSEMARY LOC, ROSA ICEBERG, SOLANUM LAX, AGAVE ATT

LARGE SHRUBS FOR SCREENING: SOLANUM LAXUM, SENECIO MANDRALISCAE, AGAVE ATT, RHAPHIOLEPIS IND, PYROSTEGIA VEN, AGANTHUS SPR, ASAPARAGUS SPR, CAMELLIA SP, GREWIA OCC, LAVANDULA DEN

PLANTING AT CALLE REAL & N. PATTERSON: LIMONIUM PER, OLEA EUROPAEA LITTLE OLLIE, OSMANTHUS FRAGRANS, PENSTEMON HYB, TULBAGHIA VID, TIBOUCHINA URV, CONVULVULUS GNE, HEUCHERA HYB

PLANTING INTERIOR TO PROPERTY: (Labels for plants shown in the photos above)

PRELIMINARY PLANT LIST:

TREES:

SPECIES - COMMON NAME (WATER USE)

CASSIA LEPTOPHYLA - GOLD MEDALION (LOW)

JACARANDA MIMOSIFOLIA - JACARANDA (LOW)

LOPHOSTEMON CONFERTUS - BISBANE BOX (LOW)

MELALEUCA QUINQUENRVIA - PAPER BARK TEA TREE (LOW)

ARBUTUS 'MARINA' - STRAWBERRY TREE (LOW)

QUERCUS AGRIFOLIA - COAST LIVE OAK (LOW)

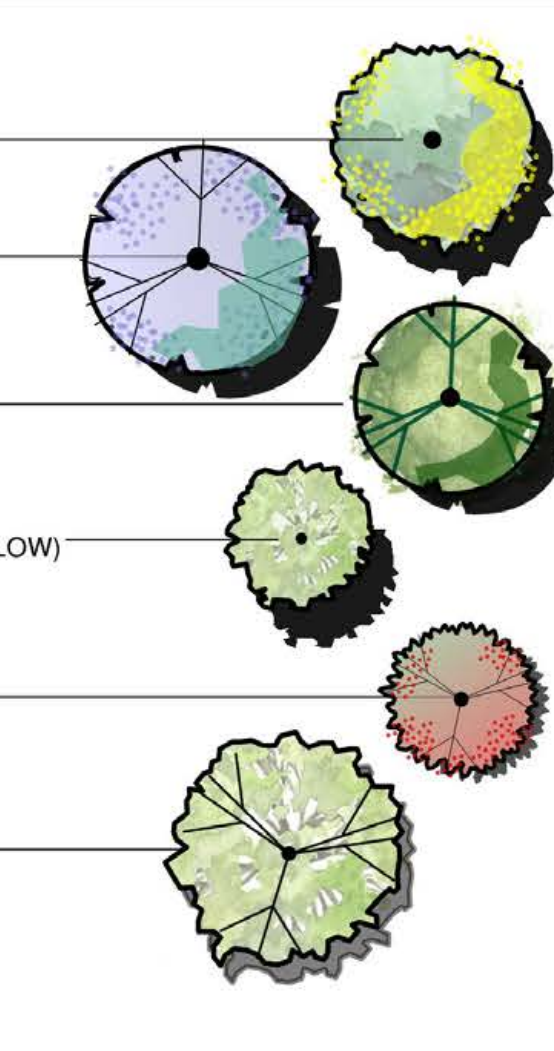
LARGE SHRUBS FOR SCREENING:

SPECIES - COMMON NAME (WATER USE)

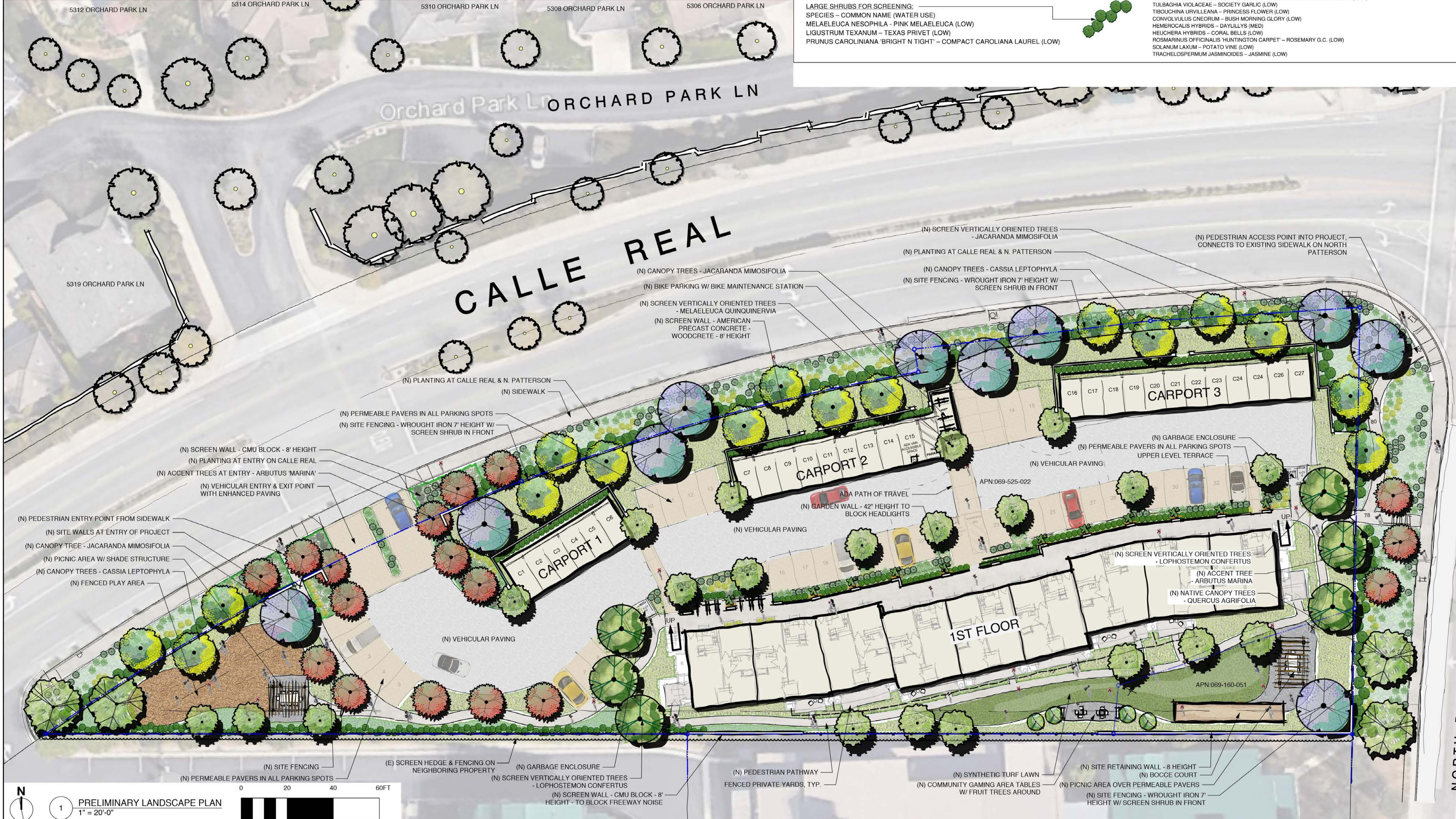
MELALEUCA NESOPHILA - PINK MELALEUCA (LOW)

LIGUSTRUM TEXANUM - TEXAS PRIVET (LOW)

PRUNUS CAROLINIANA 'BRIGHT N TIGHT' - COMPACT CAROLIANA LAUREL (LOW)



- PLANTING AT ENTRY ON CALLE REAL**
 LAVANDULA HETEROOPHYLLA - LAVENDER (LOW)
 ROSMARINUS OFFICINALIS LOCKWOOD DE FOREST - PROSTRATE ROSEMARY (LOW)
 ROSA ICEBERG - WHITE ROSE (LOW)
 SOLANUM LAXUM - POTATO VINE (LOW)
 AGAVE ATTENUATA - FOX TAIL AGAVE (LOW)
- PLANTING AT CALLE REAL & N. PATTERSON**
 SPECIES - COMMON NAME (WATER USE)
 TRACHELOSPERMUM JASMINOIDES - JASMINE (LOW)
 SENECIO MANDRALISCAE - BLUE CHALKSTICKS (LOW)
 CLIVIA MINIATA - NATAL LILLY (LOW)
 AGAVE ATTENUATA - FOX TAIL AGAVE (LOW)
 RHAPHIOLEPIS INDICA CLARA - INDIAN HAWTHORN (LOW)
 MELALEUCA NESOPHILA - PINK MELALEUCA (LOW)
 SOLANUM JASMINOIDES - POTATO VINE - TRAINED ON FENCE (LOW)
 PYROSTEGIA VENUSTA - FLAME VINE - TRAINED ON FENCE (LOW)
- PLANTING INTERIOR TO PROPERTY**
 ACANTHUS MOLLIS - BEARS BREECH (LOW)
 AGAVE ATTENUATA - FOX TAIL AGAVE
 AGAPANTHUS AFRICANUS - LILLY OF THE NILE (MED)
 ASPARAGUS SPRENGERI - ASPARAGUS FERN (LOW)
 CAMELLIA SP - CAMELLIA (MED)
 CLIVIA MINIATA - NATAL LILLY (LOW)
 GREWIA OCCIDENTALIS - LAVENDER STARFLOWER (LOW)
 LAVANDULA DENTATA - FRENCH LAVENDER (LOW)
 LAVANDULA ANGUSTIFOLIA - ENGLISH LAVENDER (LOW)
 LIMONIUM PEREZII - SEA LAVENDER (LOW)
 MELALEUCA NESOPHILA - PINK MELALEUCA (LOW)
 OLEA EUROPAEA LITTLE OLLIE - LITTLE OLLIE DWARF OLIVE (LOW)
 OSMANTHUS FRAGRANS - SWEET OLIVE (LOW)
 PENSTEMON HYBRIDS - BEARD TONGUE (LOW)
 RHAPHIOLEPIS INDICA CLARA - INDIAN HAWTHORN (LOW)
 ROSA ICEBERG - ICEBERG SHRUB ROSE (LOW)
 ROSMARINUS OFFICINALIS LOCKWOOD DE FOREST - PROSTRATE ROSEMARY (LOW)
 TULBAGHIA VIOLACEAE - SOCIETY GARLIC (LOW)
 TIBOUCHINA URVILLEANA - PRINCESS FLOWER (LOW)
 CONVULVULUS CNEORUM - BUSH MORNING GLORY (LOW)
 HEMEROCALIS HYBRIDS - DAYLILLYS (MED)
 HEUCHERA HYBRIDS - CORAL BELLS (LOW)
 ROSMARINUS OFFICINALIS 'HUNTINGTON CARPET' - ROSEMARY G.C. (LOW)
 SOLANUM LAXUM - POTATO VINE (LOW)
 TRACHELOSPERMUM JASMINOIDES - JASMINE (LOW)



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 architecture
 www.rprla.com

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 LANDSCAPE ARCHITECT CA# 5980
 805-455-7816
 RPR@RPRLA.COM

LICENSED LANDSCAPE ARCHITECT
 ROBERT RICHARDS
 #5980
 PRELIMINARY
 Signature
 Date
 4-30-21
 Renewal Date
 STATE OF CALIFORNIA

PRELIMINARY LANDSCAPE PLAN
 GALILEO APARTMENTS
 CALLE REAL AT N. PATTERSON
 SANTA BARBARA, CA

SHEET INDEX:

- L-1.0 PRELIMINARY LANDSCAPE PLAN
- L-2.0 PRELIMINARY LANDSCAPE BUILDING ELEVATIONS
- L-2.1 PRELIMINARY LANDSCAPE SITE ELEVATIONS
- L-3.0 PRELIMINARY LANDSCAPE VIGNETTES
- L-3.1 PRELIMINARY LANDSCAPE VIGNETTES
- L-3.2 PRELIMINARY LANDSCAPE VIGNETTES
- L-3.3 PRELIMINARY SITE SECTION
- L-4.0 PRELIMINARY GRADING PLAN & STORMWATER MANAGEMENT PLAN
- L-5.0 TREE REMOVAL PLAN
- V-1.0 VISUAL RESOURCES STUDY
- V-1.1 VISUAL RESOURCES STUDY
- V-1.2 VISUAL RESOURCES STUDY
- V-1.3 VISUAL RESOURCES STUDY
- V-1.4 VISUAL RESOURCES STUDY

REVISIONS:

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DATE: 8-5-20

SBAR SET SHEET:

L-1.0A

GRADING & DRAINAGE LEGEND:

FLOW LINE — FL —

(N) STORM DRAIN LINE — SD —

PROPOSED CONTOUR ———

EXISTING CONTOUR - - - - -

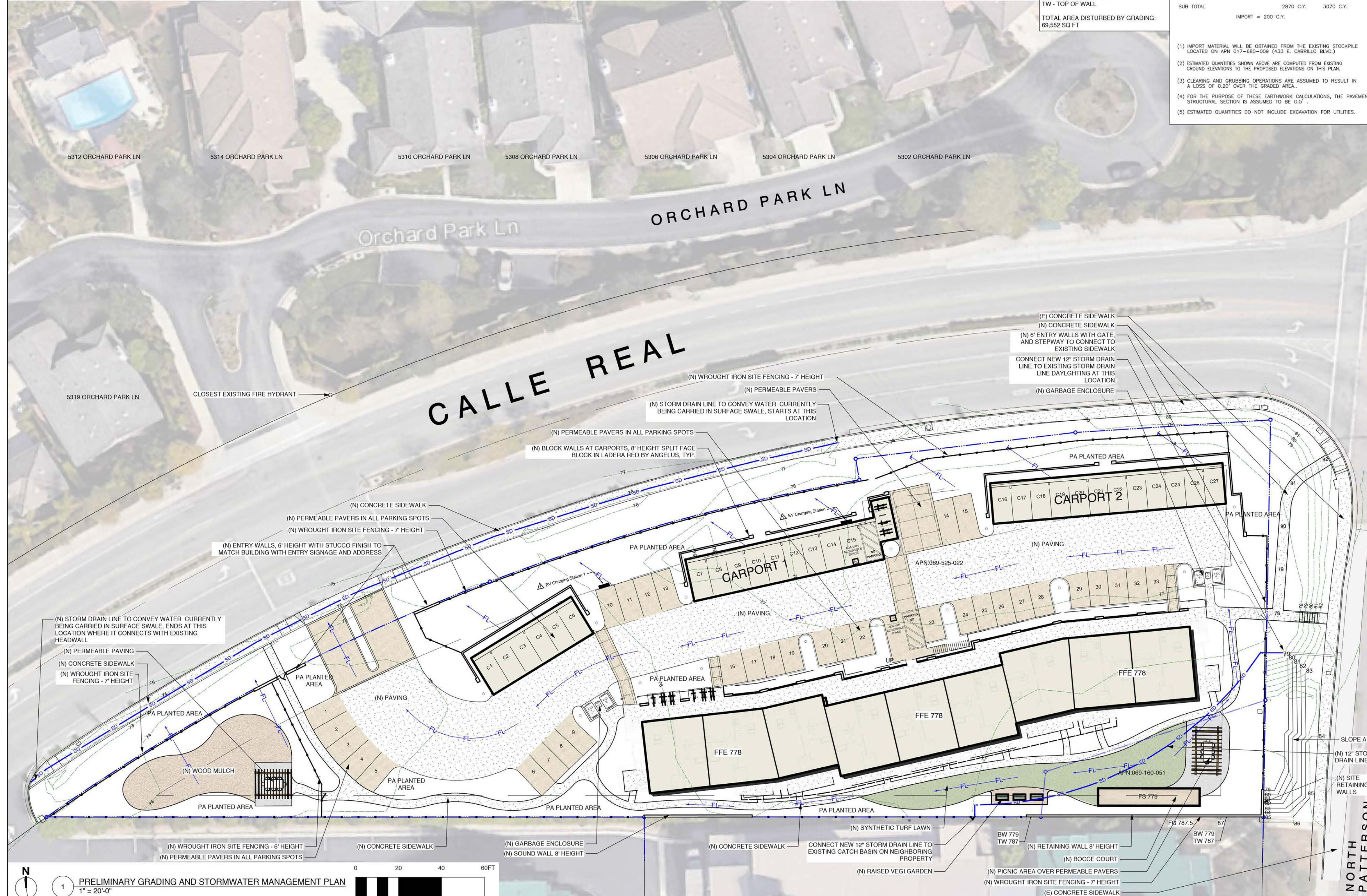
ABBREVIATIONS:
FFE - FINISHED FLOOR ELEVATION
FG - FINISHED GRADE
FS - FINISHED SURFACE
BW - BOTTOM OF WALL
TW - TOP OF WALL

TOTAL AREA DISTURBED BY GRADING:
69,552 SQ FT

EARTHWORK

ESTIMATED EARTHWORK QUANTITIES:	EXCAVATION	EMBANKMENT
APN 069-160-051	1600 C.Y.	0 C.Y.
APN 069-525-022	1100 C.Y.	1400 C.Y.
SUB TOTAL	2700 C.Y.	1400 C.Y.
LOSS DUE TO CLEARING & GRUBBING	-300 C.Y.	250 C.Y.
SUB TOTAL	2400 C.Y.	1650 C.Y.
OVEREXCAVATION	1420 C.Y.	1420 C.Y.
SUB TOTAL	3820 C.Y.	3070 C.Y.
SHRINKAGE @ 25%	-950 C.Y.	
SUB TOTAL	2870 C.Y.	3070 C.Y.
	IMPORT = 200 C.Y.	

- (1) IMPORT MATERIAL WILL BE OBTAINED FROM THE EXISTING STOCKPILE LOCATED ON APN 017-680-009 (433 E. CARRILLO BLVD.)
- (2) ESTIMATED QUANTITIES SHOWN ABOVE ARE COMPUTED FROM EXISTING GROUND ELEVATIONS TO THE PROPOSED ELEVATIONS ON THIS PLAN.
- (3) CLEARING AND GRUBBING OPERATIONS ARE ASSUMED TO RESULT IN A LOSS OF 0.20' OVER THE GRADED AREA.
- (4) FOR THE PURPOSE OF THESE EARTHWORK CALCULATIONS, THE PAVEMENT STRUCTURAL SECTION IS ASSUMED TO BE 0.5'.
- (5) ESTIMATED QUANTITIES DO NOT INCLUDE EXCAVATION FOR UTILITIES.



PRELIMINARY GRADING AND
STORMWATER MANAGEMENT PLAN

GALILEO APARTMENTS
CALLE REAL AT N. PATTERSON
SANTA BARBARA, CA

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- L-1.0 PRELIMINARY LANDSCAPE PLAN
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- V-1.4 VISUAL RESOURCES STUDY

REVISIONS:

3/11/2021

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DATE: 6-02-2020

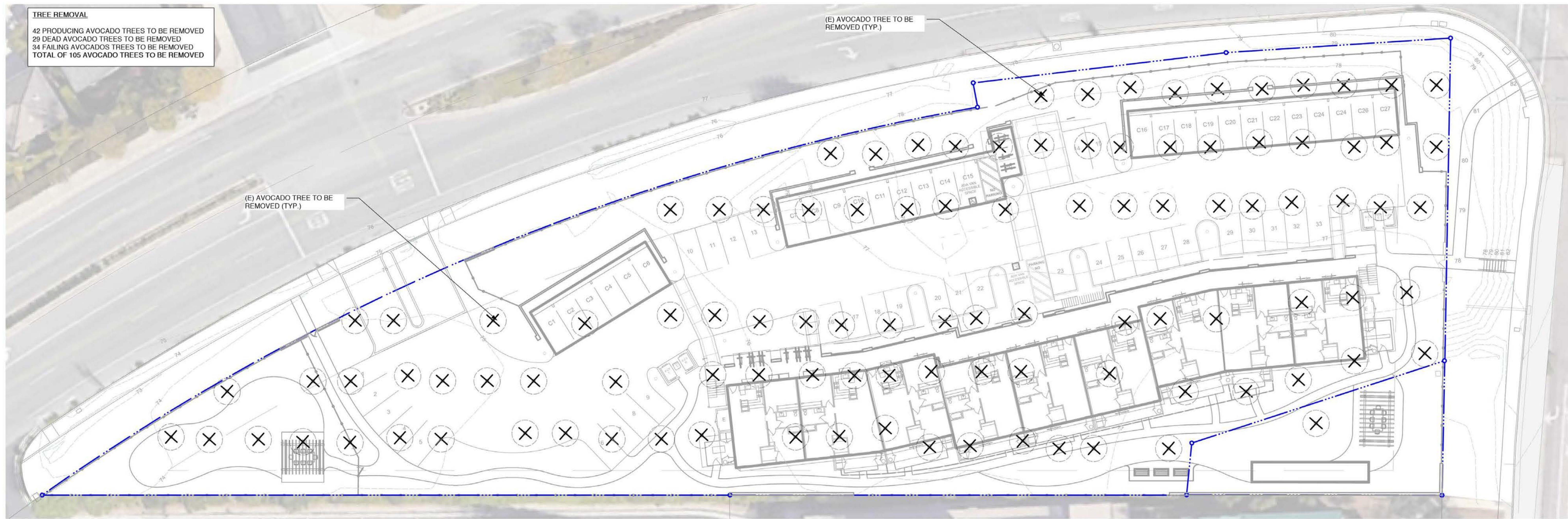
SBAR SET
SHEET:

L-4.0

TREE REMOVAL
 42 PRODUCING AVOCADO TREES TO BE REMOVED
 29 DEAD AVOCADO TREES TO BE REMOVED
 34 FAILING AVOCADOS TREES TO BE REMOVED
TOTAL OF 105 AVOCADO TREES TO BE REMOVED

(E) AVOCADO TREE TO BE REMOVED (TYP.)

(E) AVOCADO TREE TO BE REMOVED (TYP.)



1 TREE REMOVAL PLAN
 1" = 20'-0"

PRELIMINARY WATER USE CALCULATIONS FOR IRRIGATION

Estimated Total Water Use (ETWU)
 $ETWU = (Eto) (0.62) (PF) (A) (E) (SLA)$
 ETWU = Estimated Total Water Use Per Year (Gallons) 40.6
 Eto = Reference Evapotranspiration (inches)
 PF = Plant Factor from Wislits
 A = Irrigation Area (high, medium and low water use areas) (square feet)
 SLA = Special Landscape Area
 E = Irrigation Efficiency

WATER EFFICIENT LANDSCAPE WORKSHEET
 REFERENCE EVAPOTRANSPIRATION (Eto) 40.6

HYDROZONE	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (E)	ETAF (PF/E)	Landscape Area	ETAF x AREA	Estimated Total Water Use (ETWU) in Gallons
LOW WATER USE GC, HERBALS & TREES IN SLOW	0.3	Drip & Bubble	0.81	0.37	11,770	4,369	169,713
LOW WATER USE GC, HERBALS & TREES IN FAST	0.3	Drip & Bubble	0.81	0.37	22,990	8,515	214,335
					34,760	12,884	324,048
						ETWU TOTAL	324,048

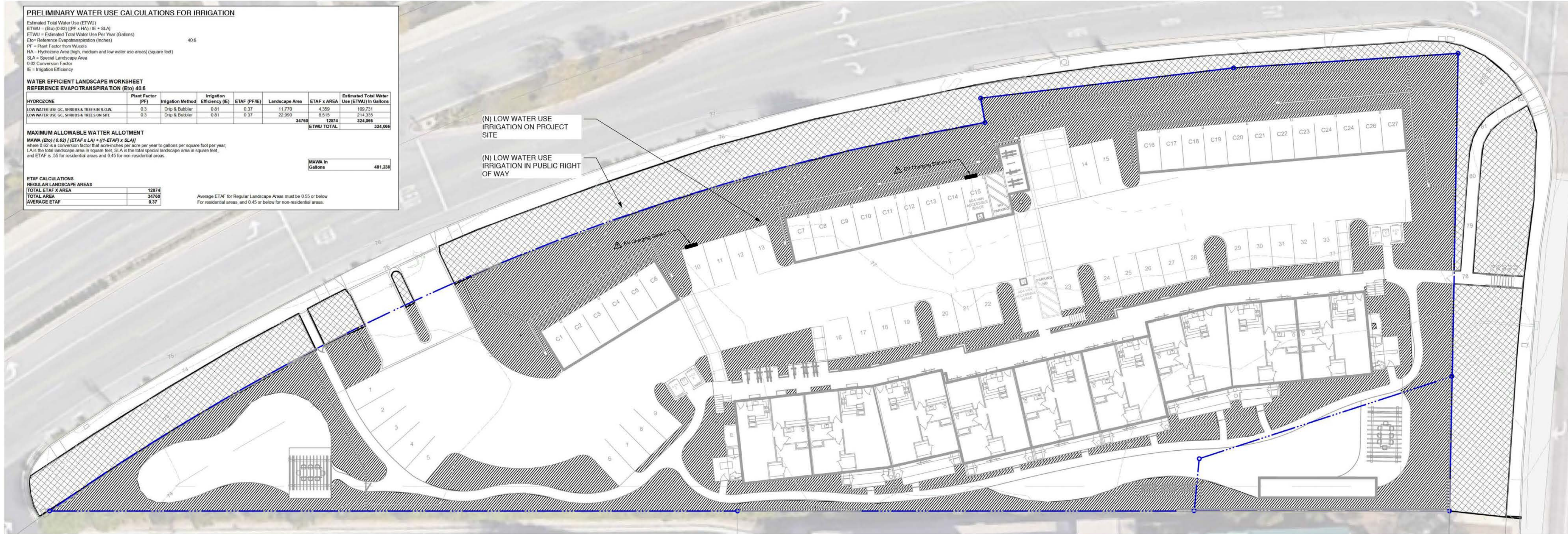
MAXIMUM ALLOWABLE WATER ALLOTMENT
 $MAWA (GPD) (0.62) (ETAF) (LA) = (1-ETAF) (SLA)$
 where 0.62 is a conversion factor that determines gallons per acre per year to gallons per square foot per year.
 LA is the total landscape area in square feet, SLA is the total special landscape area in square feet, and ETAF is .55 for residential areas and 0.45 for non-residential areas.

MAWA in Gallons 481,238

ETAF CALCULATIONS
 REGULAR LANDSCAPE AREAS
 TOTAL ETAF x AREA 12874
 TOTAL AREA 34760
 AVERAGE ETAF 0.37

Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.

(N) LOW WATER USE IRRIGATION ON PROJECT SITE
 (N) LOW WATER USE IRRIGATION IN PUBLIC RIGHT OF WAY



2 IRRIGATION WATER USE DIAGRAM
 1" = 20'-0"

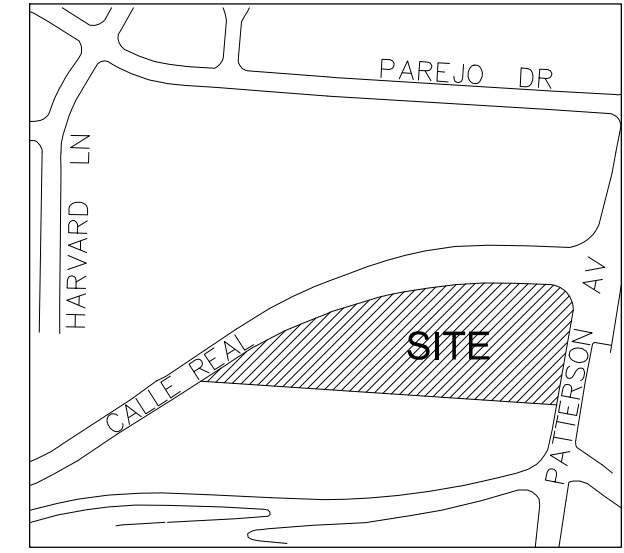
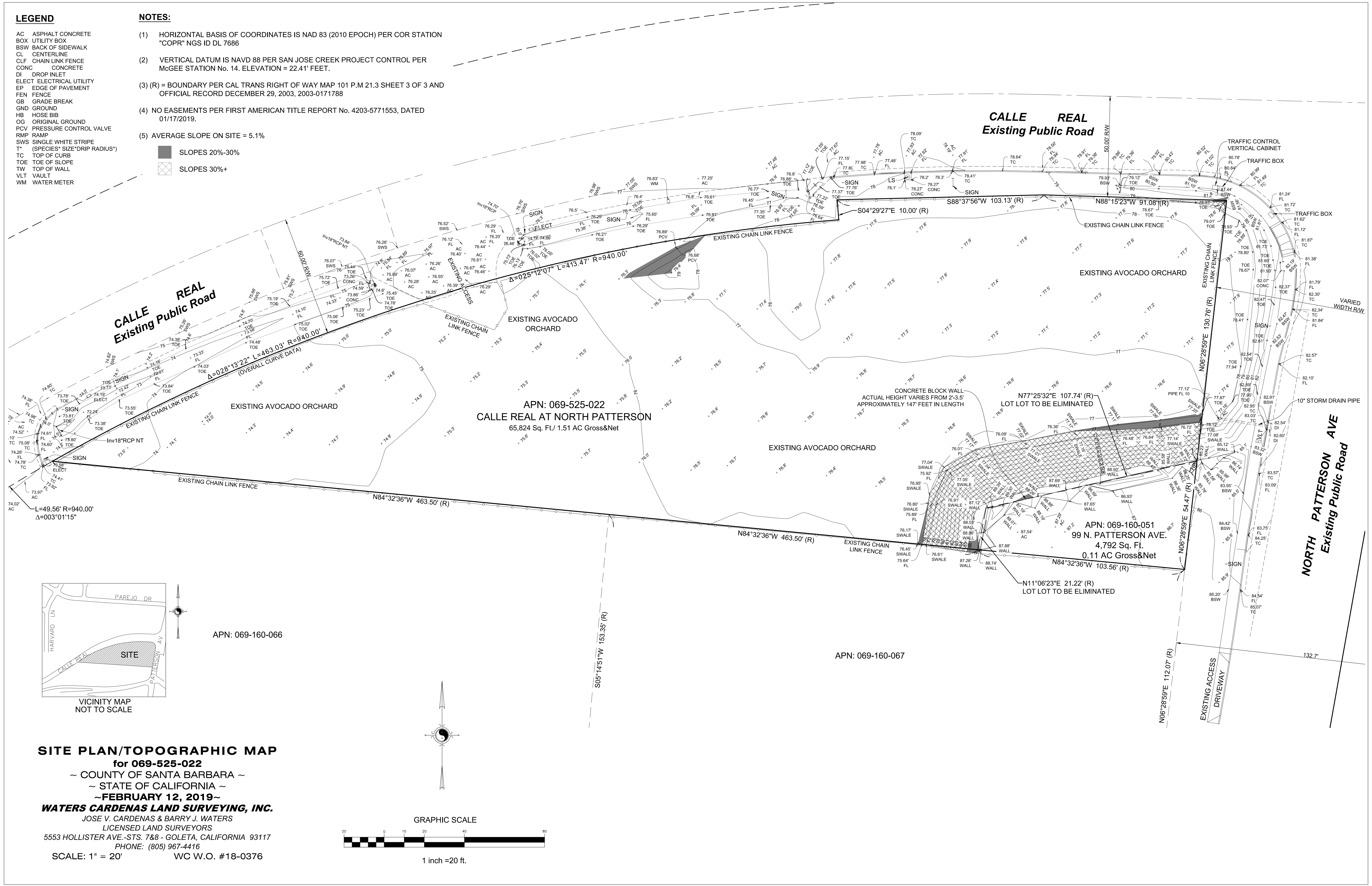
LEGEND

- AC ASPHALT CONCRETE
- BOX UTILITY BOX
- BSW BACK OF SIDEWALK
- CL CENTERLINE
- CLF CHAIN LINK FENCE
- CONC CONCRETE
- DI DROP INLET
- ELECT ELECTRICAL UTILITY
- EP EDGE OF PAVEMENT
- FEN FENCE
- GB GRADE BREAK
- GND GROUND
- HB HOSE BIB
- OG ORIGINAL GROUND
- PCV PRESSURE CONTROL VALVE
- RMP RAMP
- SWS SINGLE WHITE STRIPE
- T* (SPECIES* SIZE*DRIP RADIUS*)
- TC TOP OF CURB
- TOE TOE OF SLOPE
- TW TOP OF WALL
- VT VAULT
- WM WATER METER

NOTES:

- (1) HORIZONTAL BASIS OF COORDINATES IS NAD 83 (2010 EPOCH) PER COR STATION "COPR" NGS ID DL 7686
- (2) VERTICAL DATUM IS NAVD 88 PER SAN JOSE CREEK PROJECT CONTROL PER MCGEE STATION No. 14. ELEVATION = 22.41' FEET.
- (3) (R) = BOUNDARY PER CAL TRANS RIGHT OF WAY MAP 101 P.M 21.3 SHEET 3 OF 3 AND OFFICIAL RECORD DECEMBER 29, 2003, 2003-0171788
- (4) NO EASEMENTS PER FIRST AMERICAN TITLE REPORT No. 4203-5771553, DATED 01/17/2019.
- (5) AVERAGE SLOPE ON SITE = 5.1%

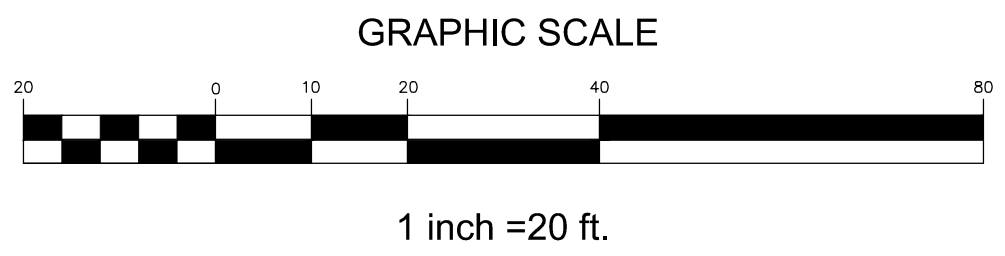
- SLOPES 20%-30%
- SLOPES 30%+



APN: 069-160-066

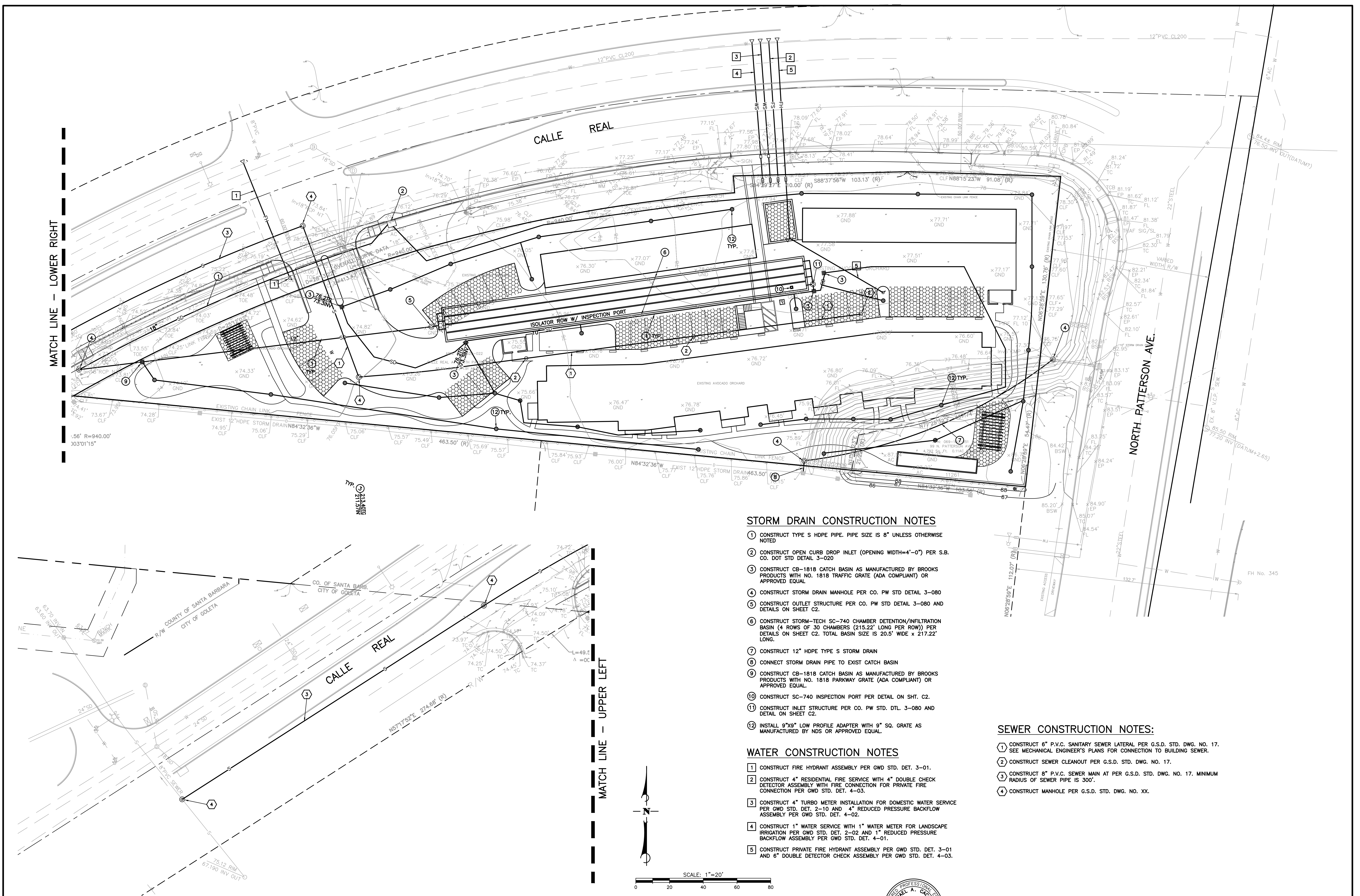
APN: 069-160-067

SITE PLAN/TOPOGRAPHIC MAP
for 069-525-022
 ~ COUNTY OF SANTA BARBARA ~
 ~ STATE OF CALIFORNIA ~
 ~ FEBRUARY 12, 2019 ~
WATERS CARDENAS LAND SURVEYING, INC.
 JOSE V. CARDENAS & BARRY J. WATERS
 LICENSED LAND SURVEYORS
 5553 HOLLISTER AVE.-STS. 7&8 - GOLETA, CALIFORNIA 93117
 PHONE: (805) 967-4416
 SCALE: 1" = 20' WC W.O. #18-0376



MATCH LINE - LOWER RIGHT

MATCH LINE - UPPER LEFT



STORM DRAIN CONSTRUCTION NOTES

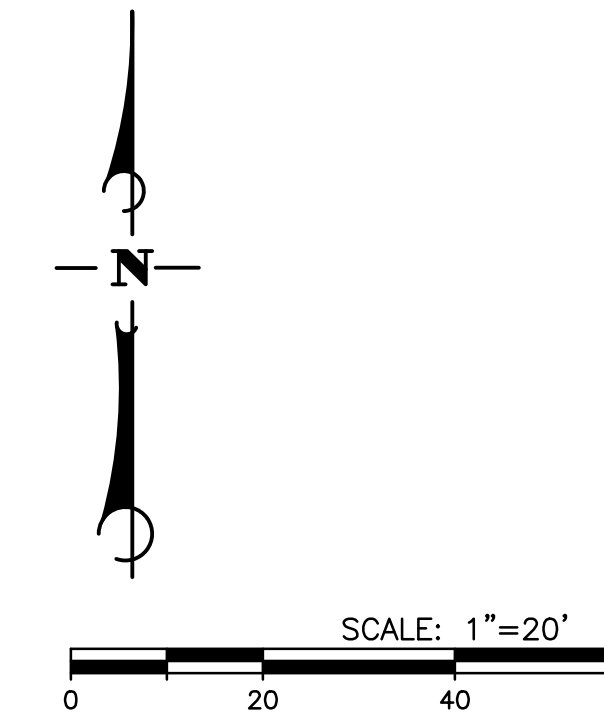
- 1 CONSTRUCT TYPE S HDPE PIPE. PIPE SIZE IS 8" UNLESS OTHERWISE NOTED
- 2 CONSTRUCT OPEN CURB DROP INLET (OPENING WIDTH=4'-0") PER S.B. CO. DOT STD DETAIL 3-020
- 3 CONSTRUCT CB-1818 CATCH BASIN AS MANUFACTURED BY BROOKS PRODUCTS WITH NO. 1818 TRAFFIC GRATE (ADA COMPLIANT) OR APPROVED EQUAL
- 4 CONSTRUCT STORM DRAIN MANHOLE PER CO. PW STD DETAIL 3-080
- 5 CONSTRUCT OUTLET STRUCTURE PER CO. PW STD DETAIL 3-080 AND DETAILS ON SHEET C2.
- 6 CONSTRUCT STORM-TECH SC-740 CHAMBER DETENTION/INFILTRATION BASIN (4 ROWS OF 30 CHAMBERS (215.22' LONG PER ROW)) PER DETAILS ON SHEET C2. TOTAL BASIN SIZE IS 20.5' WIDE x 217.22' LONG.
- 7 CONSTRUCT 12" HDPE TYPE S STORM DRAIN
- 8 CONNECT STORM DRAIN PIPE TO EXIST CATCH BASIN
- 9 CONSTRUCT CB-1818 CATCH BASIN AS MANUFACTURED BY BROOKS PRODUCTS WITH NO. 1818 PARKWAY GRATE (ADA COMPLIANT) OR APPROVED EQUAL.
- 10 CONSTRUCT SC-740 INSPECTION PORT PER DETAIL ON SHT. C2.
- 11 CONSTRUCT INLET STRUCTURE PER CO. PW STD. DTL. 3-080 AND DETAIL ON SHEET C2.
- 12 INSTALL 9"x9" LOW PROFILE ADAPTER WITH 9" SQ. GRATE AS MANUFACTURED BY NDS OR APPROVED EQUAL.

WATER CONSTRUCTION NOTES

- 1 CONSTRUCT FIRE HYDRANT ASSEMBLY PER GWD STD. DET. 3-01.
- 2 CONSTRUCT 4" RESIDENTIAL FIRE SERVICE WITH 4" DOUBLE CHECK DETECTOR ASSEMBLY WITH FIRE CONNECTION FOR PRIVATE FIRE CONNECTION PER GWD STD. DET. 4-03.
- 3 CONSTRUCT 4" TURBO METER INSTALLATION FOR DOMESTIC WATER SERVICE PER GWD STD. DET. 2-10 AND 4" REDUCED PRESSURE BACKFLOW ASSEMBLY PER GWD STD. DET. 4-02.
- 4 CONSTRUCT 1" WATER SERVICE WITH 1" WATER METER FOR LANDSCAPE IRRIGATION PER GWD STD. DET. 2-02 AND 1" REDUCED PRESSURE BACKFLOW ASSEMBLY PER GWD STD. DET. 4-01.
- 5 CONSTRUCT PRIVATE FIRE HYDRANT ASSEMBLY PER GWD STD. DET. 3-01 AND 6" DOUBLE DETECTOR CHECK ASSEMBLY PER GWD STD. DET. 4-03.

SEWER CONSTRUCTION NOTES:

- 1 CONSTRUCT 6" P.V.C. SANITARY SEWER LATERAL PER G.S.D. STD. DWG. NO. 17. SEE MECHANICAL ENGINEER'S PLANS FOR CONNECTION TO BUILDING SEWER.
- 2 CONSTRUCT SEWER CLEANOUT PER G.S.D. STD. DWG. NO. 17.
- 3 CONSTRUCT 8" P.V.C. SEWER MAIN AT PER G.S.D. STD. DWG. NO. 17. MINIMUM RADIUS OF SEWER PIPE IS 300'.
- 4 CONSTRUCT MANHOLE PER G.S.D. STD. DWG. NO. XX.



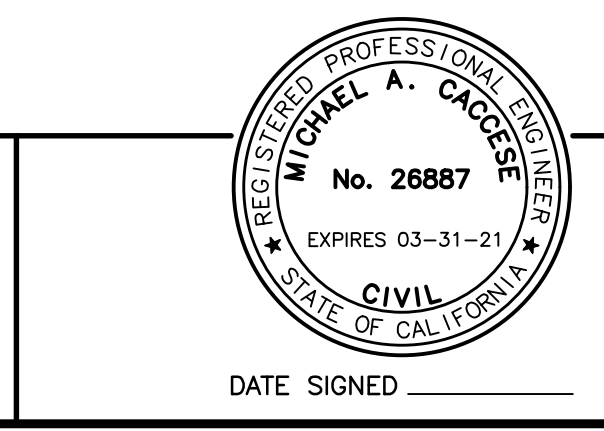
NO.	DATE	REVISION	APPD.

DIGALBERT
 DIAL TOLL FREE 1-800-227-2800
 AT LEAST TWO DAYS BEFORE YOU DIG
 UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA

ATTENTION:
 ALL UNDERGROUND UTILITIES AND SUB-STRUCTURES SHOWN HEREON WERE OBTAINED FROM THE BEST AVAILABLE SOURCES AND ARE PRESUMED TO BE TO BE ACCURATE AND COMPLETE. THE USER OF THIS INFORMATION AND ANY OTHER INFORMATION OBTAINED FROM THIS DRAWING SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DEPTH, AND CHARACTERISTICS OF ALL UTILITIES AND SUBSTRUCTURES SHOWN ON THIS DRAWING.

MAC Design Associates
 CIVIL ENGINEERING • LAND PLANNING • BRIDGE DESIGN
 1833 CLIFF DRIVE, SUITE 6, SANTA BARBARA, CALIF. 93101 (805) 967-4748

DESIGN: MAC CHECKED: _____
 DRAWN: FH _____
 MICHAEL A. CACCESSE, DATE: 09-21-20
 PROJECT ENGINEER
 R.C.E. 26887 (EXP. 3-31-21) DATE SIGNED: _____

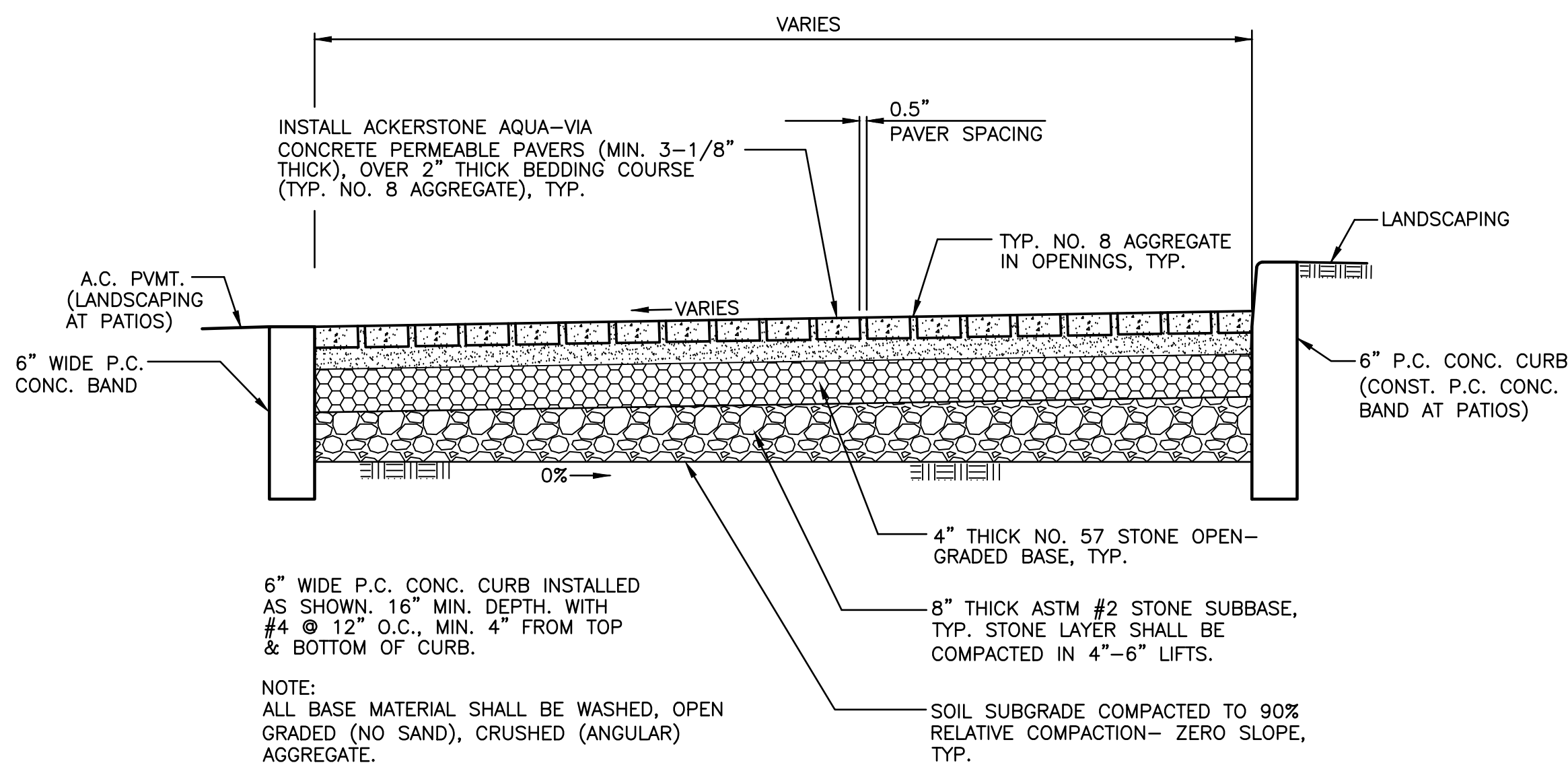


COUNTY OF SANTA BARBARA, CALIFORNIA
 REVIEWED BY: _____
 FOR: _____ DATE: _____

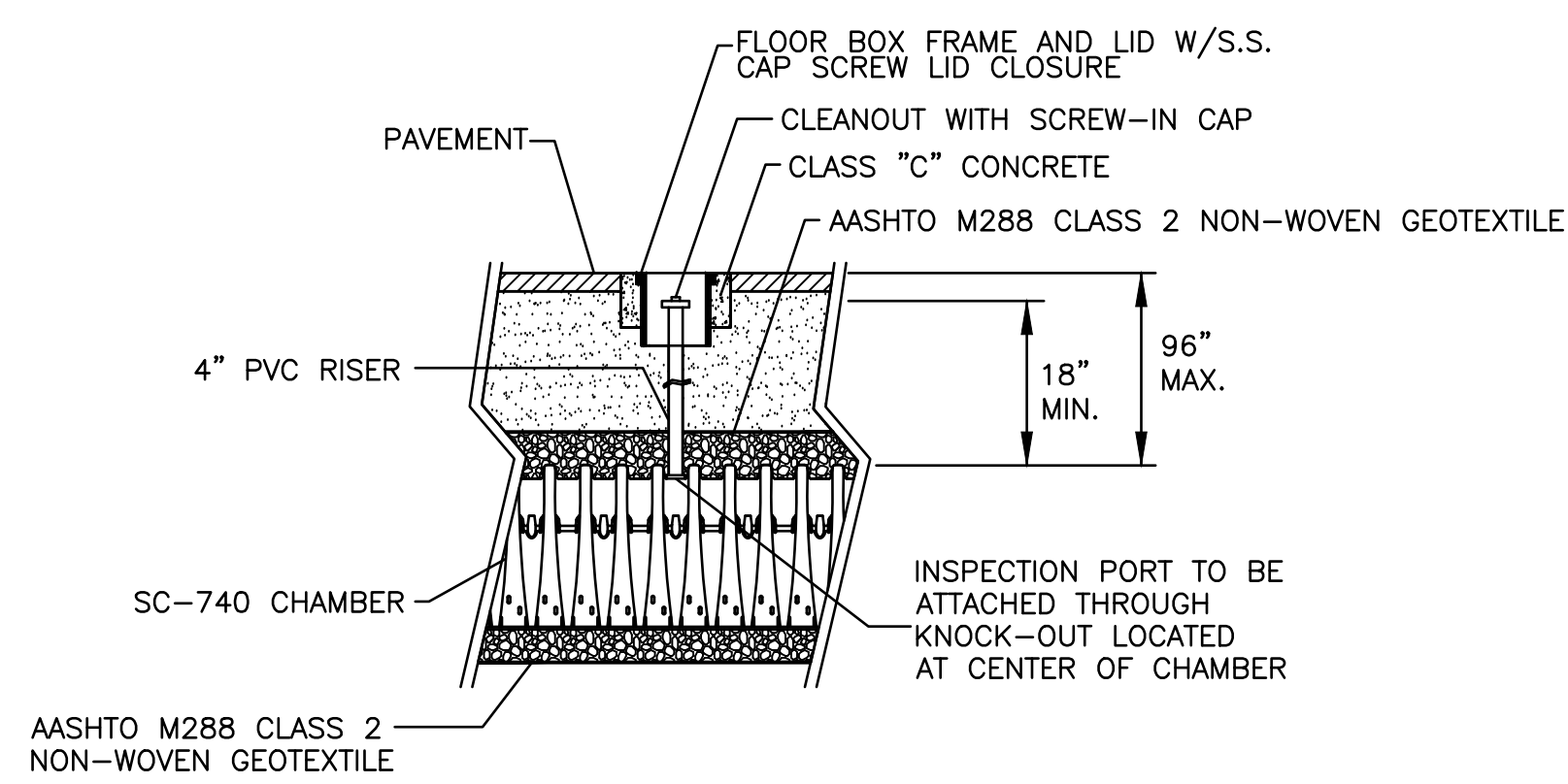
PRELIMINARY UTILITY AND STORM DRAIN PLAN
 CALLE REAL AT PATTERSON AVENUE
 COUNTY OF SANTA BARBARA

SHEET C1 OF 2
 S.B. COUNTY FILE NO. _____

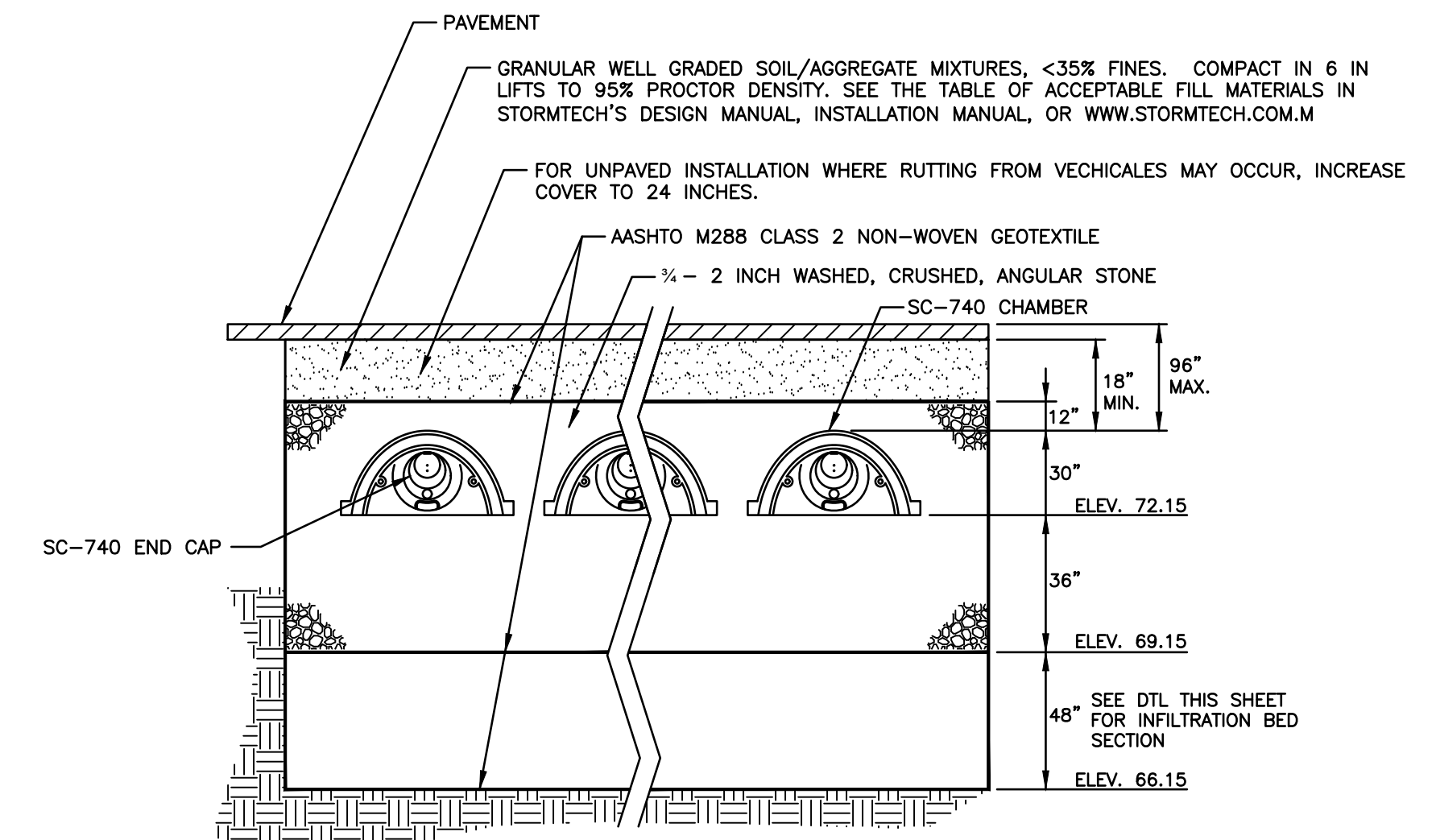
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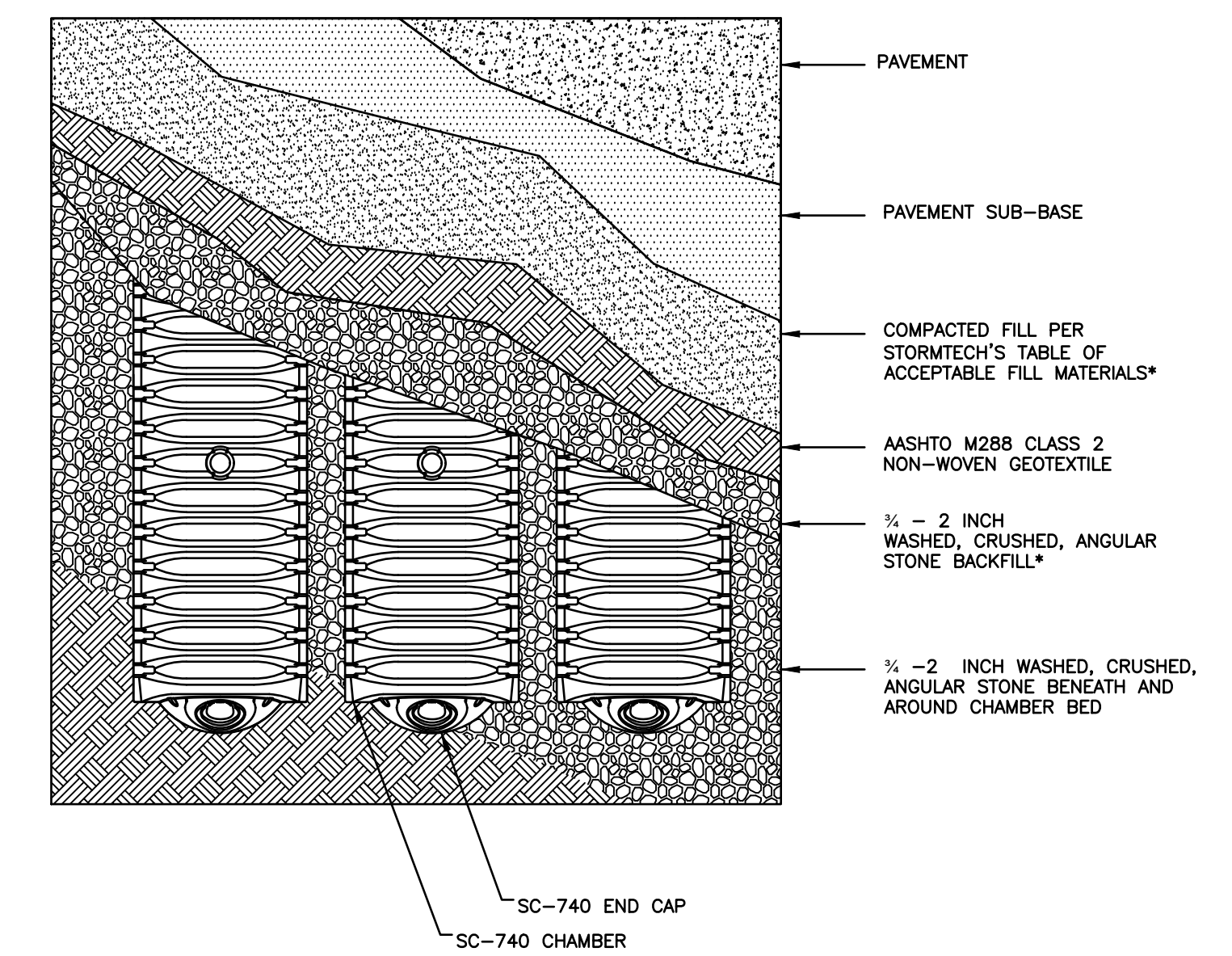
PERMEABLE PAVEMENT SECTION
NOT TO SCALE



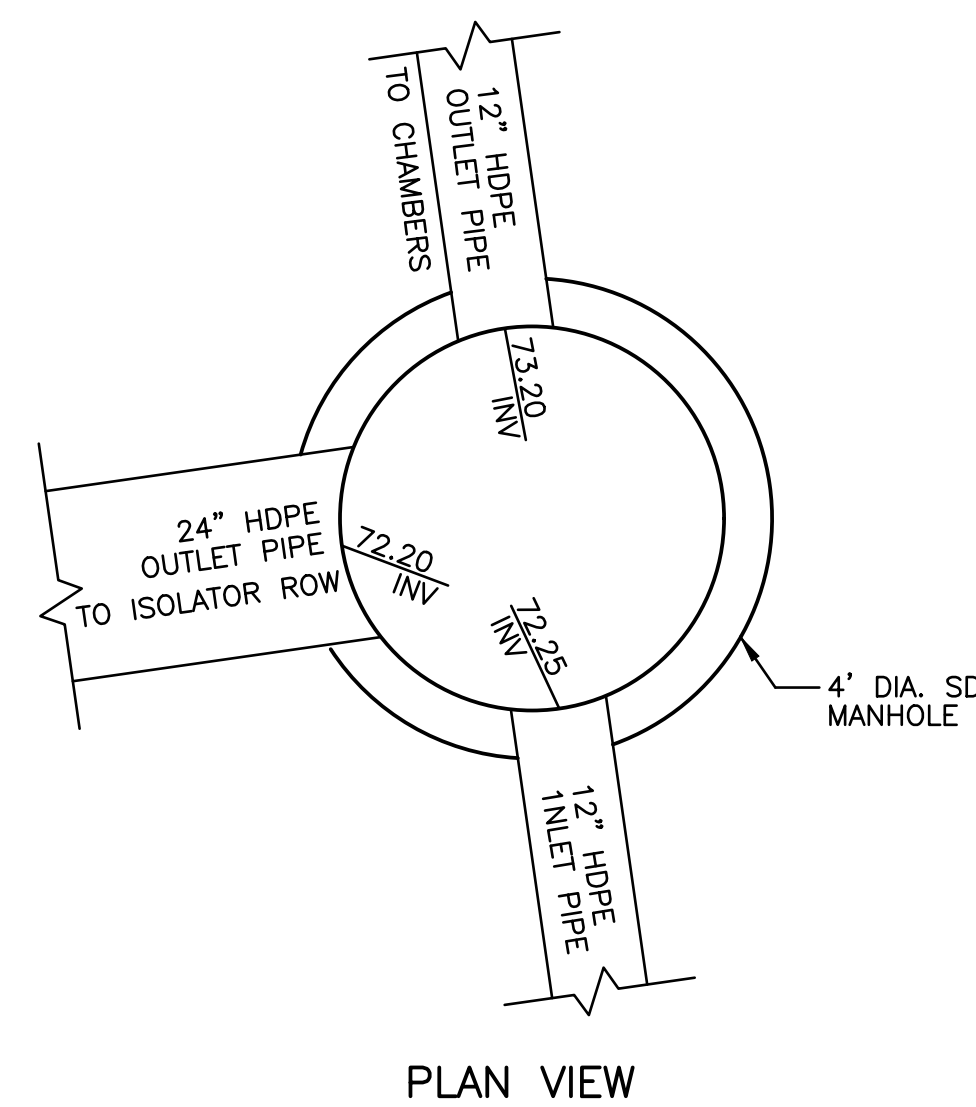
SC-740 INSPECTION PORT DETAIL
NOT TO SCALE



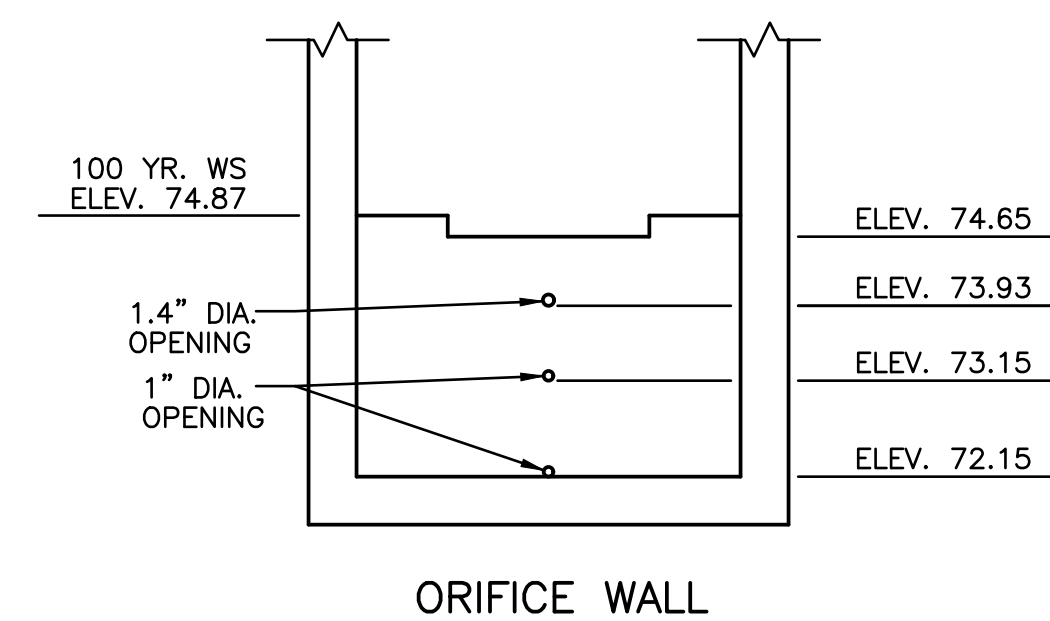
STORMTECH SC-740 CHAMBER SYSTEM
TYPICAL CROSS SECTION DETAIL
NOT TO SCALE



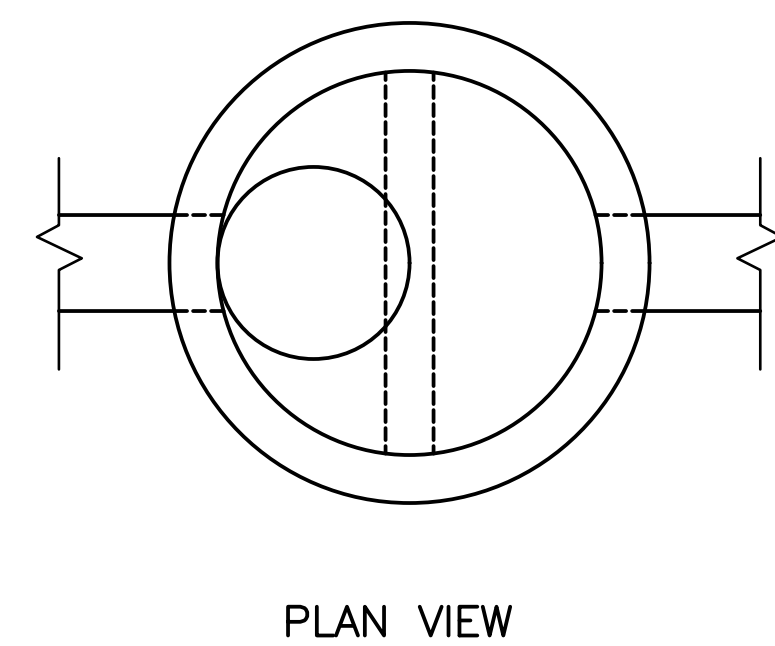
STORMTECH SC-740 CHAMBER SYSTEM
PLAN VIEW DETAIL
NOT TO SCALE



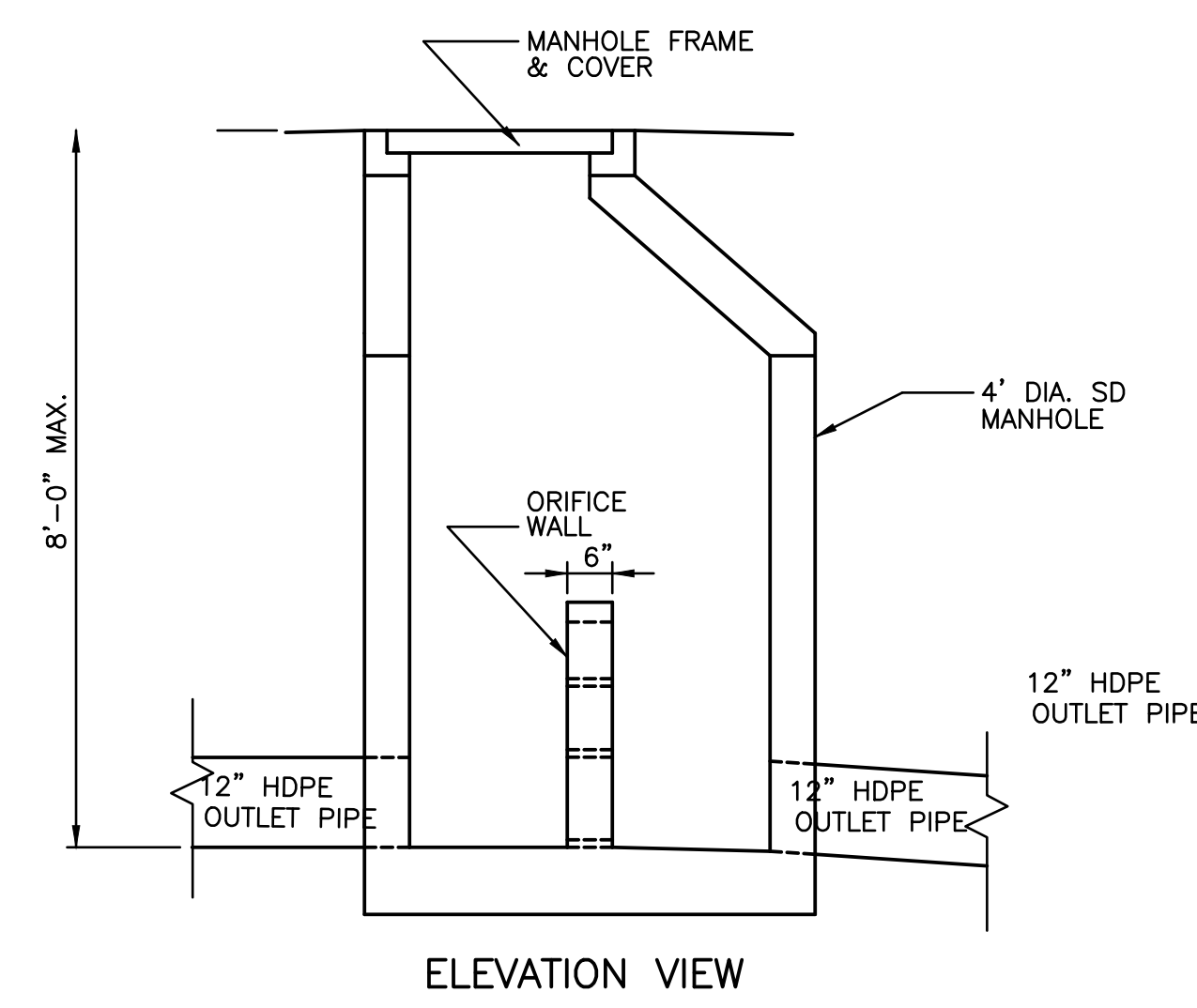
INLET STRUCTURE
NOT TO SCALE



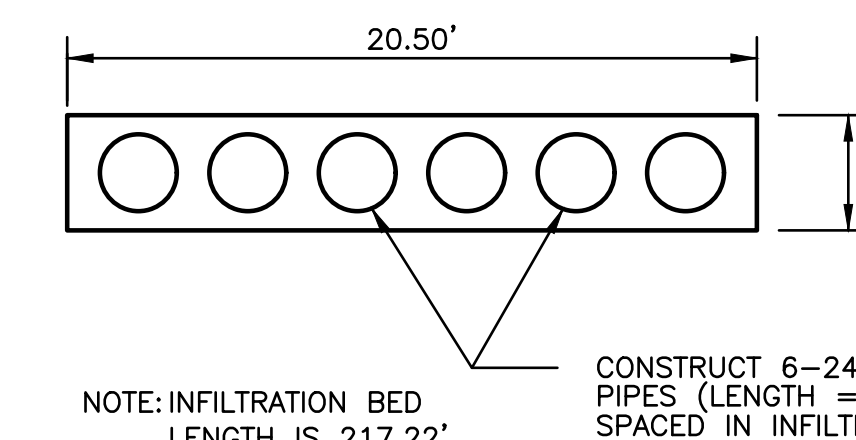
ORIFICE WALL



PLAN VIEW



OUTLET STRUCTURE
NOT TO SCALE



INFILTRATION BED SECTION
NO SCALE

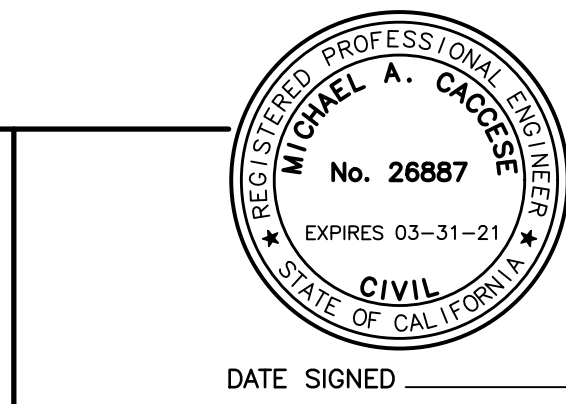
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NO.	DATE	REVISION	APPD.

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1833 CUPERTINO DRIVE, SUITE 4, SANTA BARBARA, CALIF. 93101 (805) 961-0744

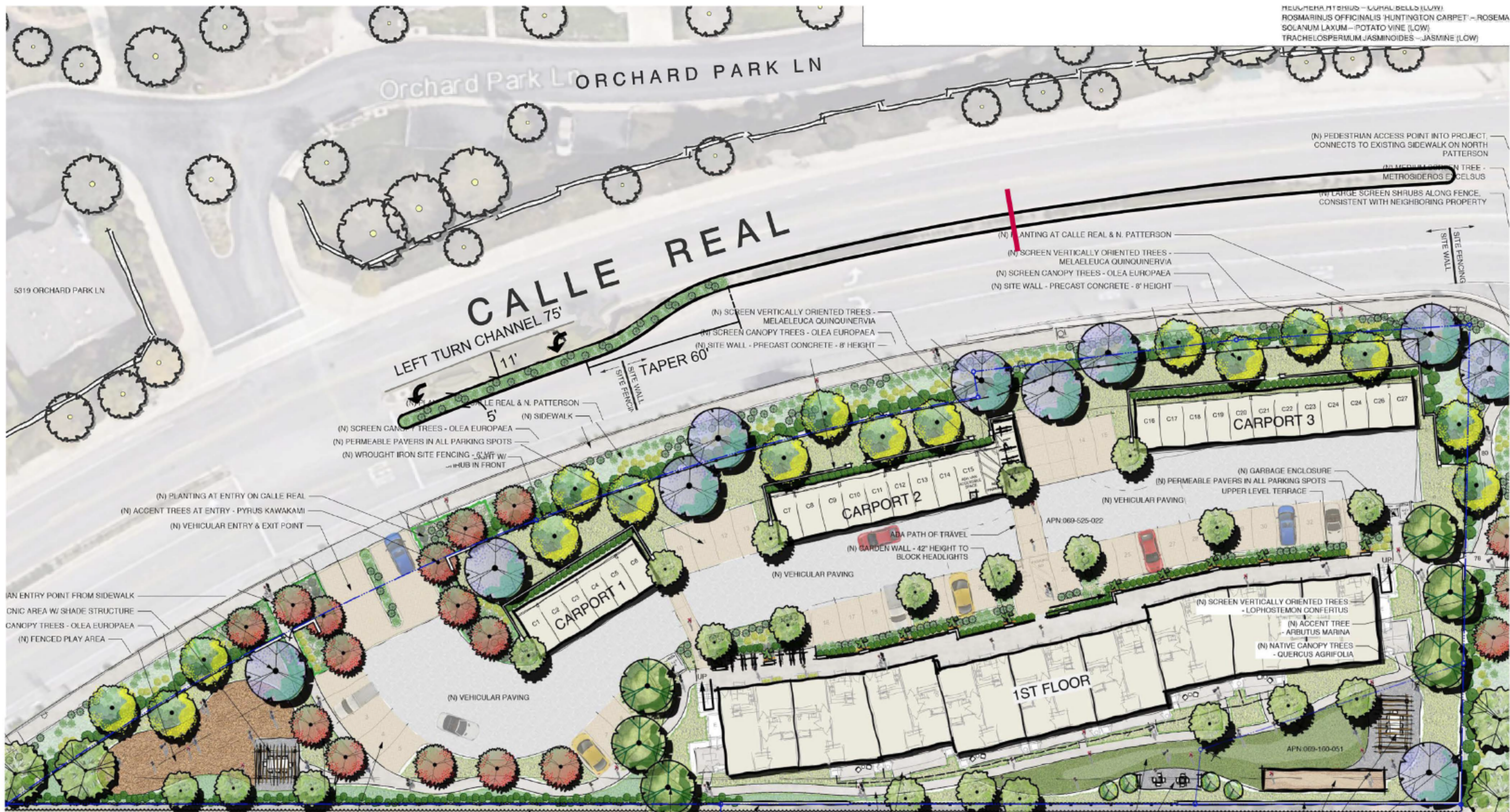
DESIGN: MAC CHECKED: _____
DRAWN: FH _____
MICHAEL A. CACCISE DATE: 09-02-20
PROJECT ENGINEER
R.C.E. 26887 (EXP. 3-31-21)



COUNTY OF SANTA BARBARA, CALIFORNIA
REVIEWED BY: _____
FOR: _____ DATE: _____

DETAILS
CALLE REAL AT PATTERSON AVENUE
COUNTY OF SANTA BARBARA

SHEET
C2 OF 2
S.B. COUNTY FILE
NO.



NOT TO SCALE