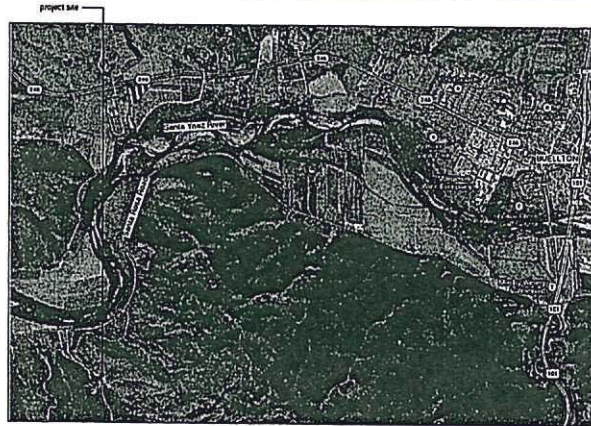
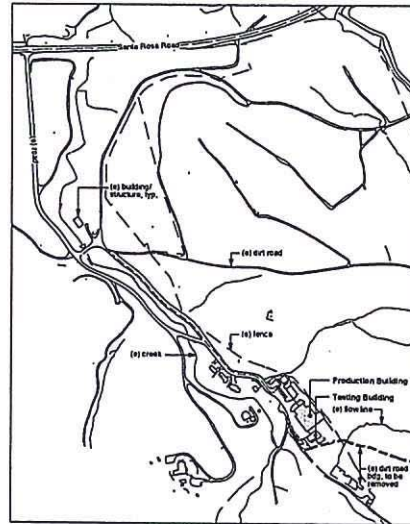


Attachment *D*

Location Map (not to scale)



Plot Map (not to scale)



Project Team

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1850 Industrial Street, #712
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clwagner@hoima.com

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LLP
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Pam Lao x30
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pam@taylorlombardo.com

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QSI SOILS
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CIVIL ENGINEER:
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Taylor
Lombardo
Architects

LLP

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San Francisco
California 94111

(415) 433-7777 (ext)
(415) 433-7717 fax

taylorlombardo.com



Project Data

Site Address:
7250 Santa Rosa Road
Buellton, CA 93427

Assessor's Parcel Number:
083-170-015

Zoning District:
AG-II-100

Fire Hazard Zone:
State Responsibility Area/ High Fire Hazard Severity
Zone

Use Group & Occupancy:
B, F-1, M, S-1

Construction Type:
VB, automatic sprinklers throughout

Project Scope:
New Winery and Hospitality Building

Index of Drawings

A0.01 Project Team/Sheet Index
A2.01 Conceptual Plan - Main Level
A2.02 Conceptual Plan - Barrel Storage Level
A2.03 Conceptual Roof Plan
A3.01 Conceptual Exterior Elevations
A3.02 Conceptual Exterior Elevations
A3.03 Conceptual Building Sections
A3.04 Conceptual Building Sections
EK-A Building Diagrams

Symbols Legend

elevation reference	interior elevation reference	window symbol
section reference	grid line	door symbol
datum or work point	detail reference	louver symbol
		wall type symbol

Wall Legend

existing wall	new wood framed wall
existing wall to be removed	new stone veneer wall
new concrete wall	fire brick
new concrete masonry unit wall	

Abbreviations

ADA Americans w/ Disability Act	C/L Grid Line	s.c.d. see civil drawings
a.l.f. above finish floor	gyp. bd. gypsum wallboard	s.e.d. see electrical drawings
bdg. building	HD Hose Bibb	s.l.a.d. see kitchen drawings
b.o. bottom of	I.L.O. interior face of	s.l.d. see interior drawings
CBC California Building Code	l.m. laminate	slm similar
cl. centerline	max. maximum	s.l.d. see landscape drawings
clg. ceiling	min. minimum	s.m.d. see mechanical drawings
cmu concrete masonry units	N North	s.p.d. see plumbing drawings
(d) dome	(n) new	s.l.p.d. see lighting drawings
ds. downspout	n.l.c. not in contract	s.s. stainless steel
dw. dishwasher	n.t.s. not to scale	s.s.d. see structural drawings
(e) existing	o/ over	l&g tongue & groove
e.l.o. exterior face of	o.c. on center	TBD To Be Determined
el. elevation	o.d. overflow drain	to. top of
e.x. exterior	o.i.c.i. owner furnished, contractor installed	to.c. top of concrete
fd floor drain	p.t. pressure treated	t.s. tube steel
f.l. finish floor	RCP Reflected Ceiling Plan	typ. typical
f.o.b. face of blocking	ref refrigerator	u.o.n. unless otherwise noted
f.o.c. face of concrete	rd root drain	v.l.f. verify in field
f.o.l. face of finish	r.o. rough opening	W West
f.o.p. face of plywood	S South	w/ with
f.o.s. face of stud	s.l. square feet	w/o without
f.p. fireplace	s.c.o.d. see cave engineer drawings	

Santa Rosa Road Winery
7250 Santa Rosa Road
Buellton, CA 93427
APN 083-170-015

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Cover Sheet

SCALE: P.L.L.

revision: 0011

DATE:

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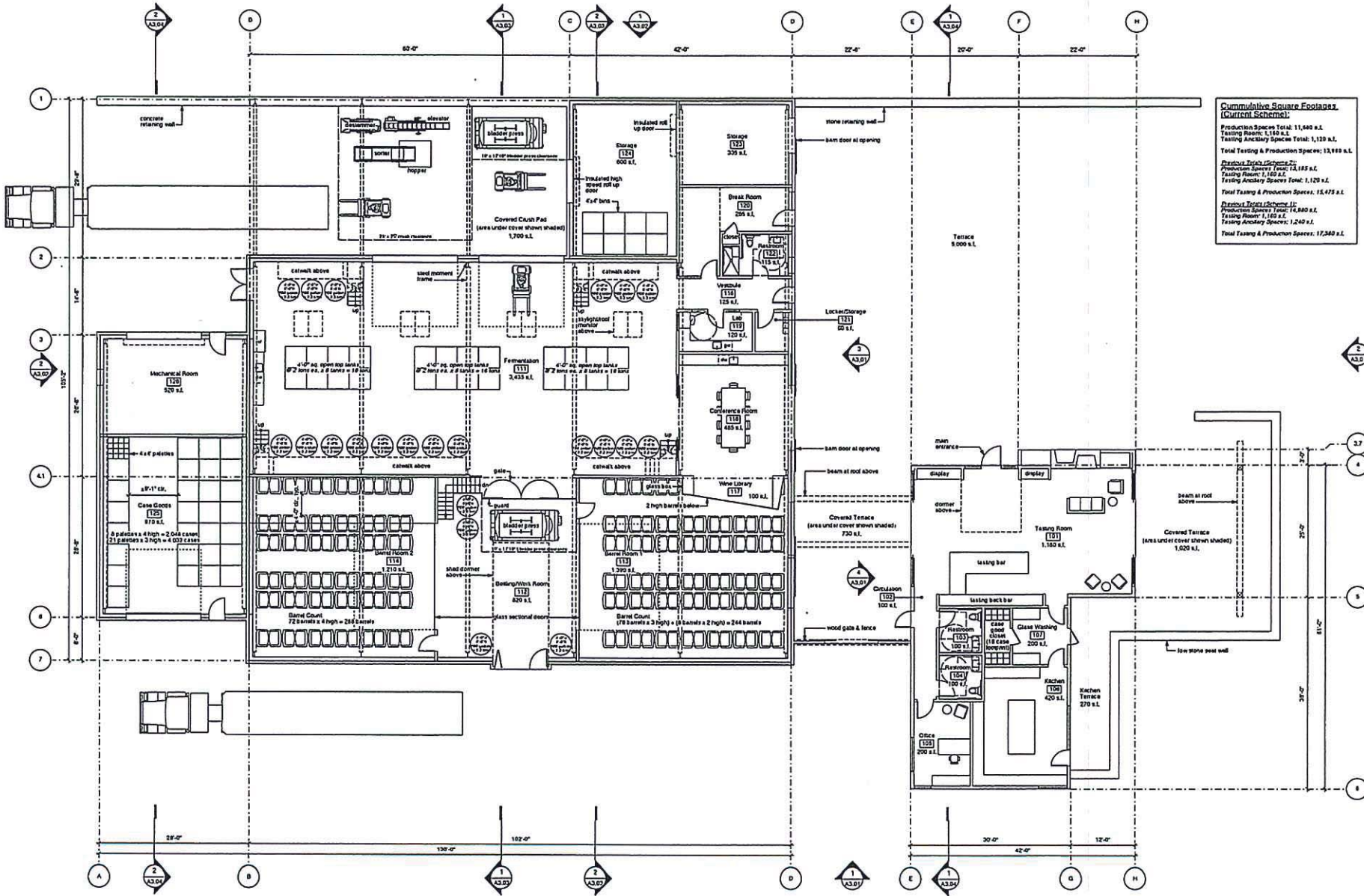
DATE:

DATE:

DATE:

DATE:

DATE:



Cumulative Square Footages (Current Scheme):

Production Spaces Total: 11,640 s.f.
Tasting Room: 1,160 s.f.
Tasting Ancillary Spaces Total: 1,120 s.f.
Total Tasting & Production Spaces: 13,920 s.f.

Production Spaces (Scheme 2):
Production Spaces Total: 13,195 s.f.
Tasting Room: 1,160 s.f.
Tasting Ancillary Spaces Total: 1,120 s.f.
Total Tasting & Production Spaces: 15,475 s.f.

Final Total (Scheme 2):
Production Spaces Total: 14,880 s.f.
Tasting Room: 1,160 s.f.
Tasting Ancillary Spaces: 1,240 s.f.
Total Tasting & Production Spaces: 17,280 s.f.

Santa Rosa Road Winery
7290 Santa Rosa Road
Buellton, CA 93427
APN 089-170-015

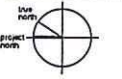
Conceptual Floor Plan - Main Level

Scale: 1/8" = 1'-0"
PROJ: 089
DATE:

job no: 1307
drawn: PL
checked: TT
rev: 03.10.14
date: 03.00.00



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Santa Rosa Road Winery
7290 Santa Rosa Road
Buellton, CA 93427
APN 083-170-015

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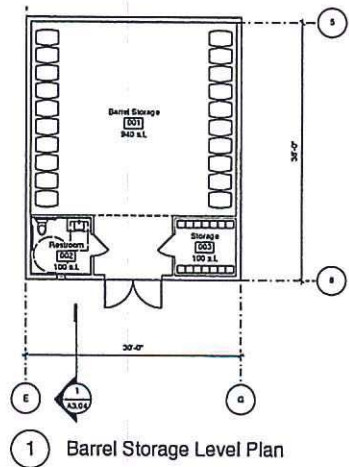
Conceptual Floor Plan - Barrel Storage Level

Scale: 1/8" = 1'-0"

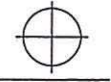
revision	date

job no: 1307
drawn: PL
checked: TT
issue: 02.10.14
date: 05.05.00

sheet no:
A2.02



1 Barrel Storage Level Plan



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Conceptual Exterior Elevations

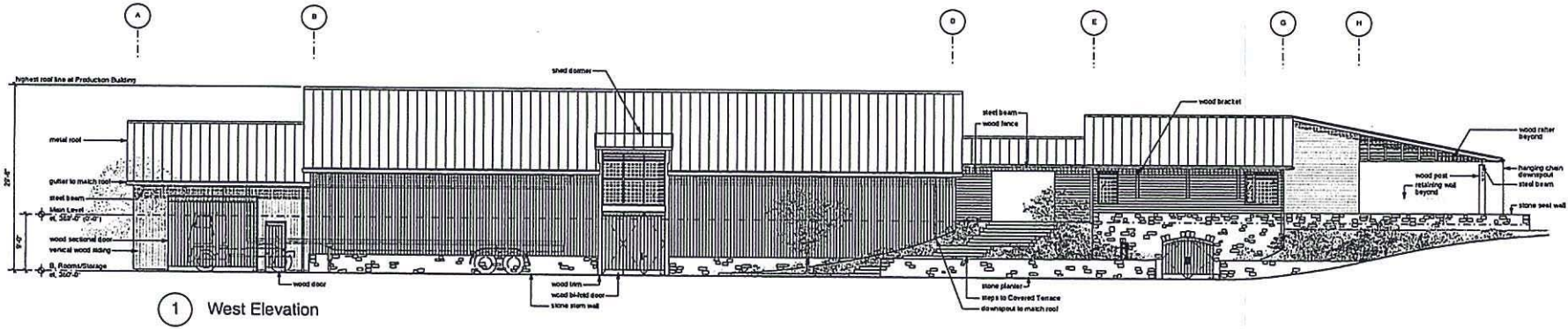
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revision	date

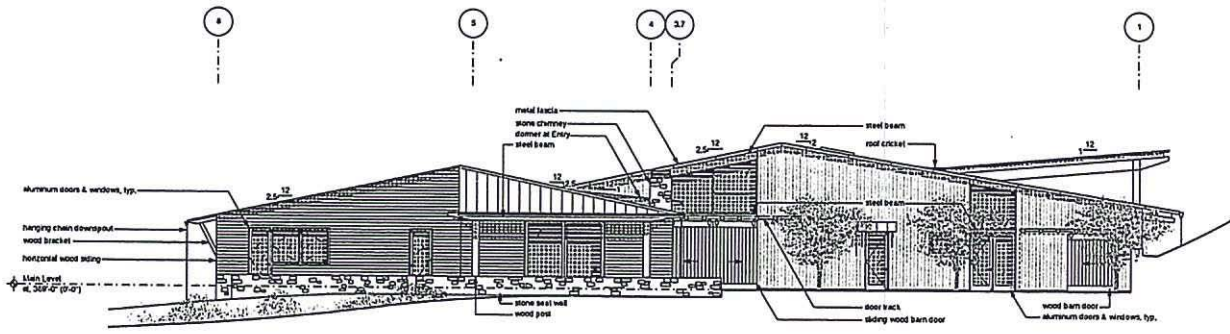
job no: 1307
drawn: PL
checked: TT
issue: 03.10.14
date: 00.00.00

sheet no:

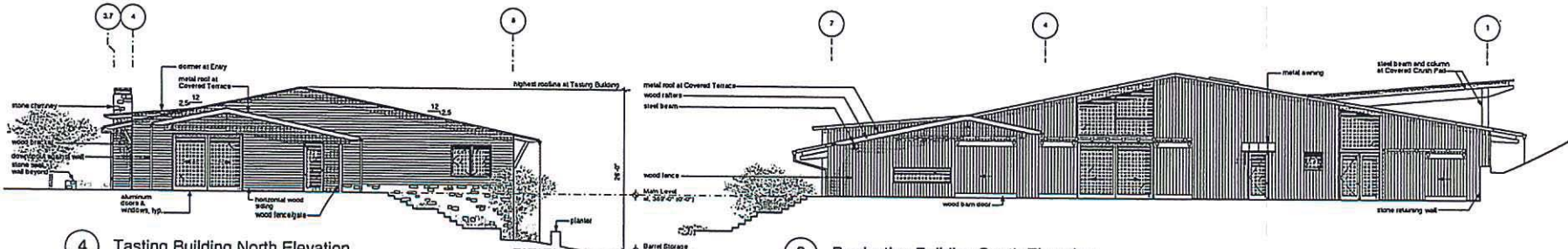
A3.01



1 West Elevation

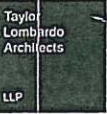


2 South Elevation

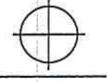


4 Tasting Building North Elevation

3 Production Building South Elevation



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 taylorlombardo.com



Santa Rosa Road Winery
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 APN 053-170-015

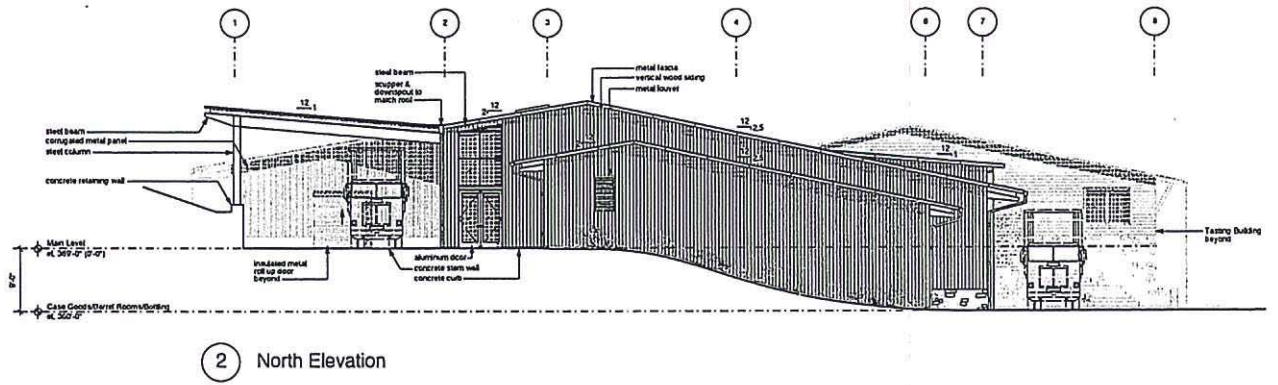
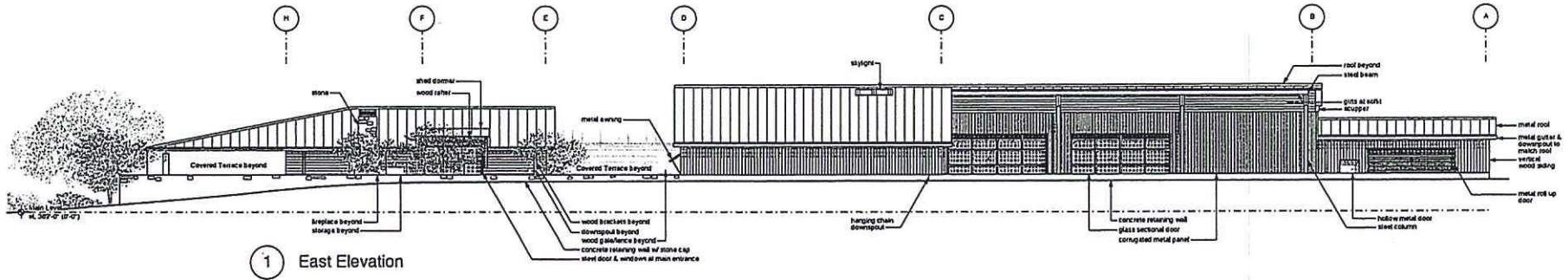
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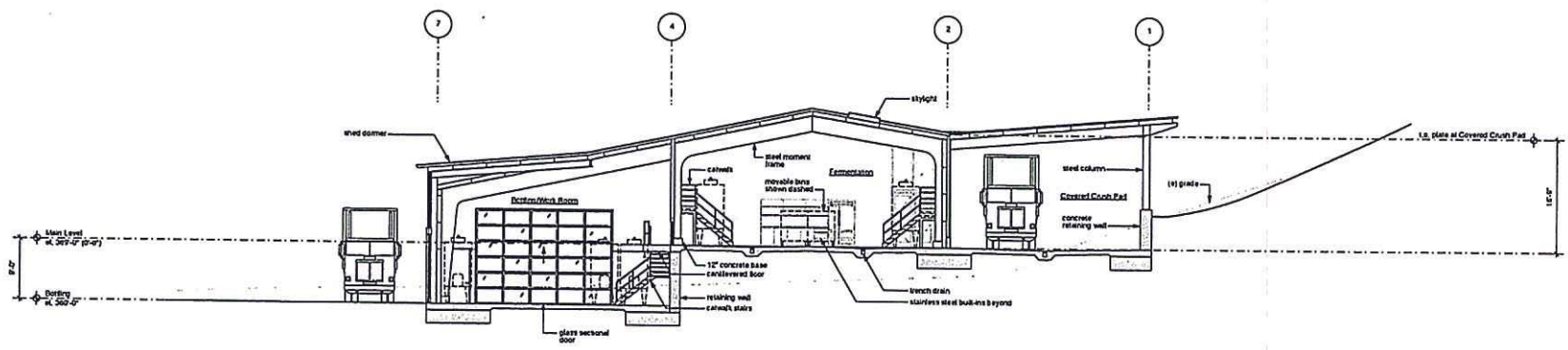
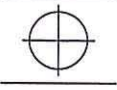
Conceptual Exterior Elevations

revision	date

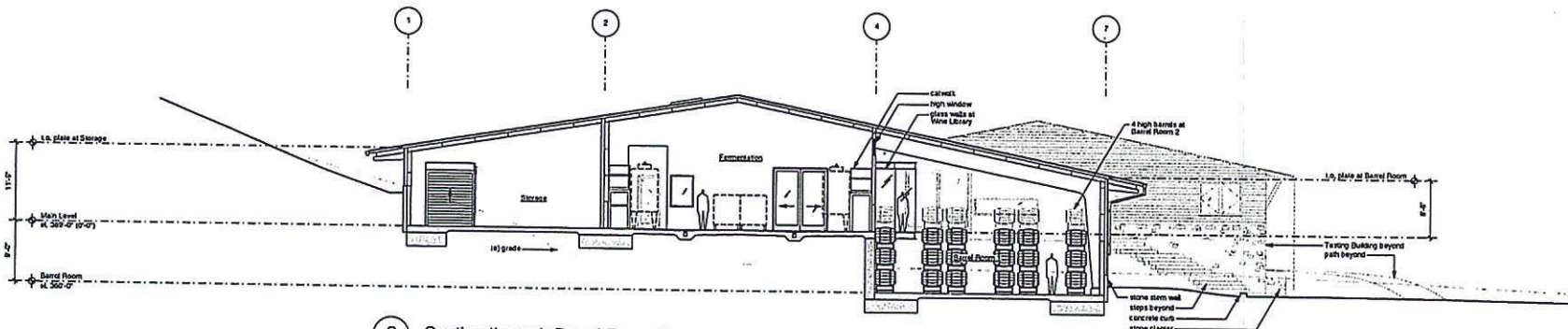
job no: 1307
 drawn: PL
 checked: TT
 issue: 03.10.14
 date: 02.00.00

sheet no:
A3.02





1 Section through Bottling



2 Section through Barrel Room 1

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Conceptual Building Sections

Scale: 1/8" = 1'-0"

revision	date

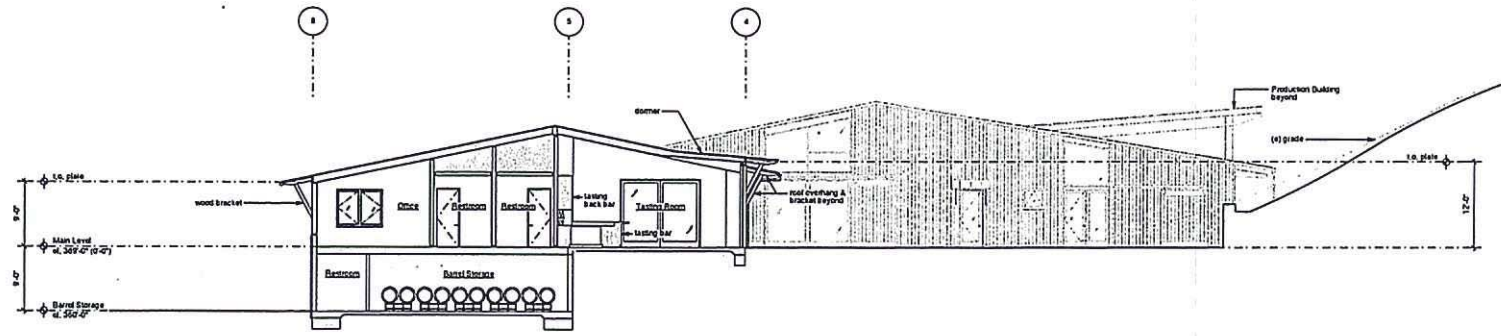
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checked: TT
issue: 03.10.14
date: 06.00.00

sheet no.

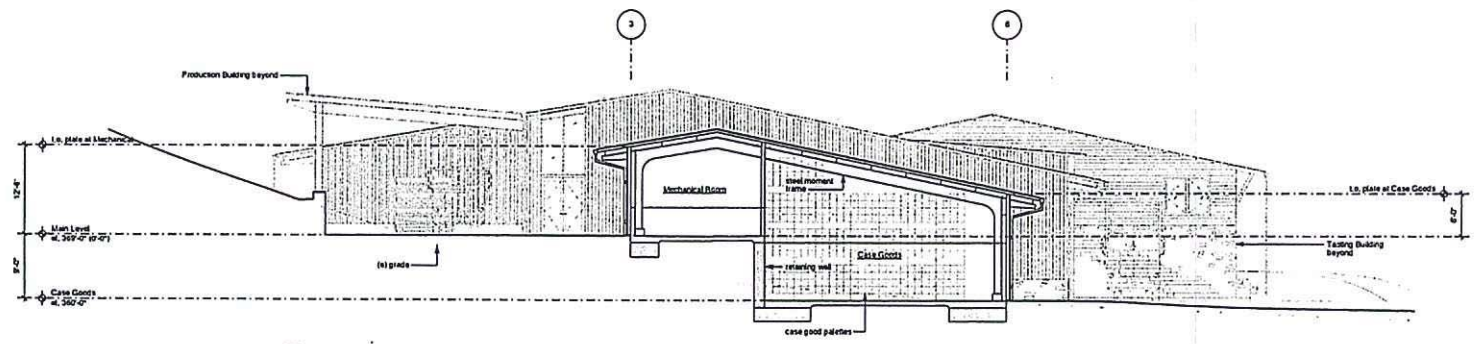
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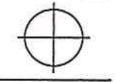
revision	date



1 Section through Tasting Room



2 Section through Case Goods

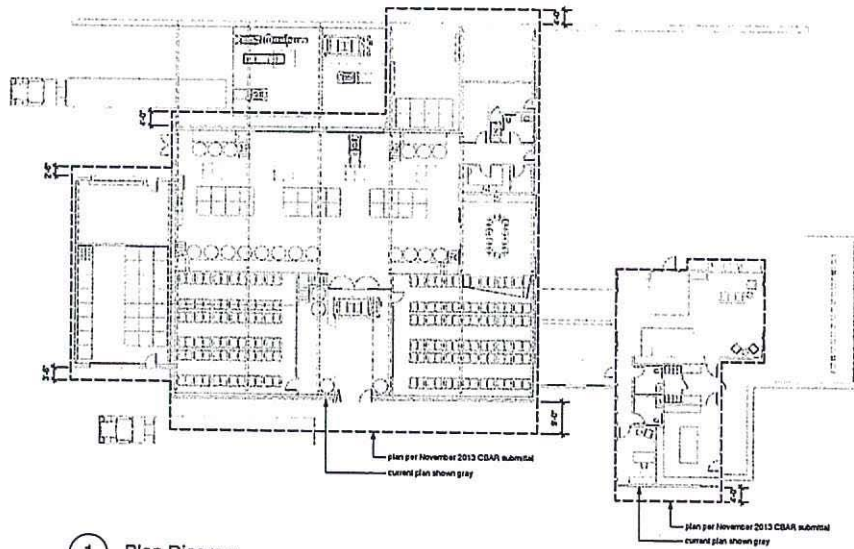


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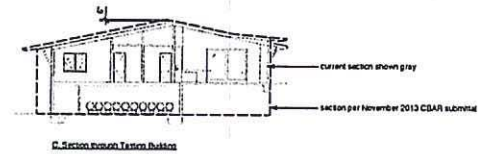
Building Diagrams

Scale: 1/8" = 1'-0"

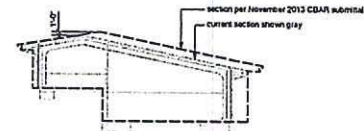
Project: _____ Date: _____



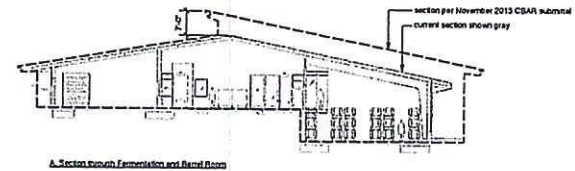
1 Plan Diagram



C. Section through Tasting Building



B. Section through Case Goods

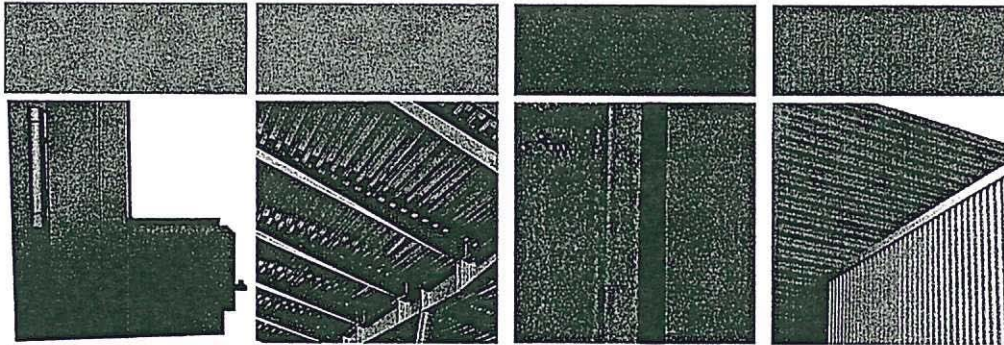


A. Section through Fermentation and Barrel Rooms

2 Section Diagrams

Tasting Building & Production Building

Metal



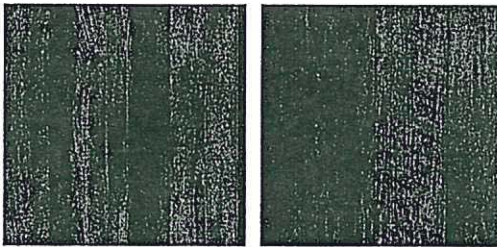
Aluminum Frame
Doors and Windows

Painted Metal Beams,
Girts, Purlins & Columns

Cor-ten Standing Seam
Metal Roof

Corrugated Metal Siding

Wood



Vertical Siding

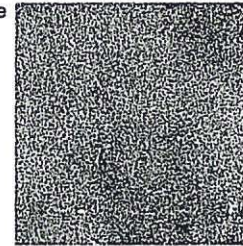
Barn Doors

Stone



Stacked Stone Wall

Concrete



Concrete Stem Wall

Santa Rosa Road Winery

7290 Santa Rosa Road
Buellton, CA 93427

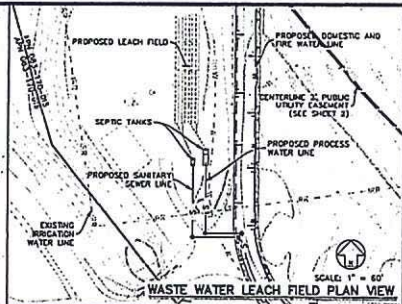
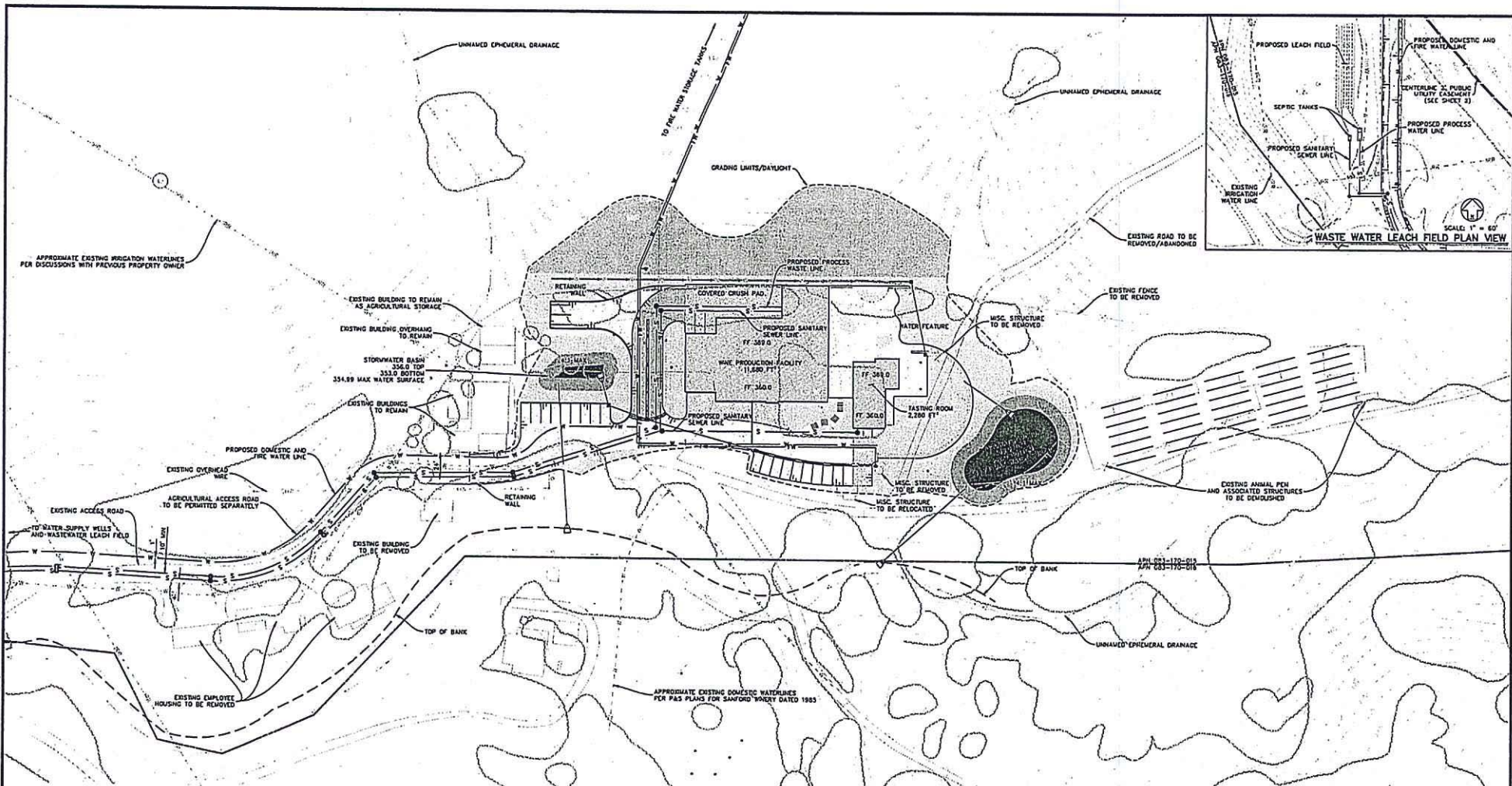
Date: 03.10.14

Materials Board - Exterior

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(415) 433-7717 fax

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HATCH LEGEND

AC PAVING	3,427 SQ FT
PORTLAND CEMENT CONCRETE	8,815 SQ FT
DECOMPOSED GRANITE	21,149 SQ FT
PROPOSED BUILDING FOOTPRINT	13,860 SQ FT
LANDSCAPING	29,492 SQ FT
GRADED SLOPE	18,593 SQ FT
STORM WATER BASH	9,359 SQ FT
TOTAL AREA =	103,895 SQ FT

SITE STATISTICS

BUILDING ENVELOPE = 2.39 ACRES
 BUILDING FOOTPRINT AREA = 13,860 SQ FT
 MAX BUILDING HEIGHT = 33.3 FT (SEE ARCHITECTURAL PLANS)

LAND USE TYPE	AREA	PERCENT OF BUILDING ENVELOPE
BUILDING FOOTPRINT AREA	0.32 ACRES (13,860 SQ FT)	13
HARDSCAPE	0.73 ACRES (31,491 SQ FT)	30
TOTAL IMPERVIOUS AREA	1.04 ACRES (45,451 SQ FT)	43
LANDSCAPING/SOFTSCAPE	1.34 ACRES (58,444 SQ FT)	57
TOTALS	2.39 ACRES (103,895 SQ FT)	100%

PRELIMINARY EARTHWORK QUANTITIES

	CUT	FILL	NET
UNADJUSTED	9,154	3,473	5,681 EXPORT
ADJUSTED	8,654	5,773	2,801 EXPORT

- NOTES:
- TOTAL GRADED AREA = 2.39 ACRES
 - VOLUME QUANTITIES IN UNITS OF CUBIC YARDS
 - ADJUSTED VOLUMES ACCOUNT FOR 10% SHRINKAGE, 0.5" SUBSIDENCE, 4" OVER EXCAVATION BELOW THE BUILDING PAD, AND 1.5" OVER EXCAVATION BELOW PARKING AREAS

PROJECT INFORMATION

OWNER: JOHN AND CALLAN WAGNER
 315 SOUTH WINDSOR BOULEVARD
 LOS ANGELES, CA 90020

CITY ADDRESS: 7250 SANTA ROSA ROAD
 BUELLTON, CA 93427

ASSESSOR'S PARCEL NUMBER: 083-170-015

ZONING DISTRICT: AG-8-100

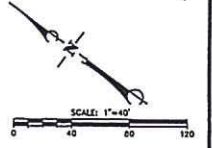
EST. HAZARD ZONE: STATE RESPONSIBILITY/NOH FIRE HAZARD SEVERITY

USE GROUP AND OCCUPANCY: R, F-1, M, S-1

CONSTRUCTION TYPE: W/ AUTOMATIC SPRINKLERS THROUGHOUT

PROJECT SCOPE: NEW WINERY AND HOSPITALITY BUILDING

GENERAL NOTES:
 SEE GRADING AND DRAINAGE PLAN FOR PROPOSED CONTOURS



RECEIVED

MAR 30 2015

**S.B. COUNTY (NORTH)
 PLANNING & DEVELOPMENT**

NO.	DATE	REVISIONS	APPD.

Perrinold & Smith
 Engineering/Architecture/Planning
 "Construction Management"
 210 Cross Drive, Suite A, Santa Maria, CA 93454
 Phone (805) 925-2345 Fax (805) 925-1538
 R.C.E. 66820

DESIGN BY: _____ CHECKED: _____
 PROJECT ENGINEER: _____
 DATE: _____



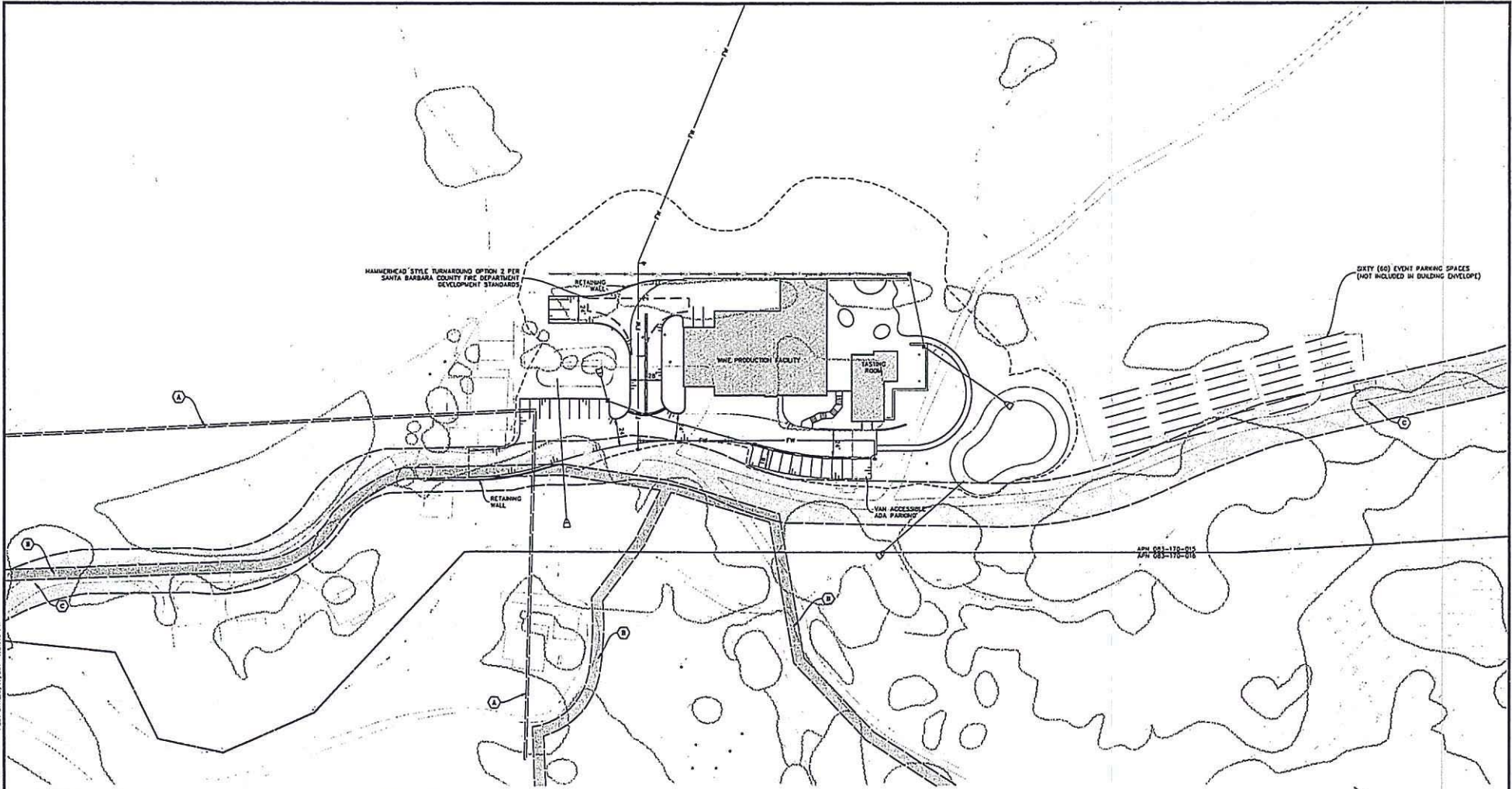
COUNTY OF SANTA BARBARA
 REVIEWED BY: **PRELIMINARY**
 DATE: _____

**DEVELOPMENT/SITE PLAN
 SANTA ROSA ROAD WINERY
 GENERAL SITE AND UTILITY INFORMATION**
 BUELLTON, SANTA BARBARA COUNTY

P&S PROJECT NO. 21023.01
 SHEET 1 OF 2
 PLAN DATE: MARCH 13, 2014

38-DIG. S-VAR. DATE: 3/17/2014 12:18:23 PM 38-DIG. S-VAR. DATE: 3/17/2014 12:18:23 PM

DRAWING: A:\proj\14033\Information\Vendor\Utility and site production\1403303.dwg (development plan) 1403303.dwg



HANDICAPPED STYLE TURNAROUND OPTION 2 PER SANTA BARBARA COUNTY FIRE DEPARTMENT DEVELOPMENT STANDARDS

60 EVENT PARKING SPACES (NOT INCLUDED IN BUILDING DEVELOP)

APN 083-170-014
APN 083-170-015

EASEMENT INFORMATION

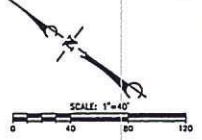
- (A) 2' PUBLIC UTILITY EASEMENT
- (B) 10' WATER LINE EASEMENT
- (C) 40' INGRESS AND EGRESS EASEMENT IN FAVOR OF APN'S 083-170-014 AND 083-170-017

NOTE:
EASEMENT LOCATIONS APPROXIMATED PER PAS TOPOGRAPHIC BASEMAP FOR APN'S 083-170-014 THROUGH 083-170-017 (K.O. 9546.01), DATED FEBRUARY 1991

PARKING STATISTICS

SITE USE TYPE	APPLICABLE AREA (SQ. FT.)	SPACE REQUIREMENT	PARKING SPACES REQUIRED
ADA PARKING	N/A	1 PER 25 TOTAL SPACES	1*
UNIQUE/BIUS PARKING	12,580	1 PER 20,000 SQUARE FEET OF WAREHOUSING STRUCTURAL DEVELOPMENT	1*
TASTING ROOM & RECEPTION AREA	2,400	1 PER 300 SQUARE FEET + 1 PER 2 EMPLOYEES	8
OFFICE, LAB. & ADMIN.	120	1 PER 300 SQUARE FEET	1
PRODUCTION & STORAGE	14,180 (12,580 + 2,400)	1 PER 1,000 SQUARE FEET	15
SPECIAL EVENTS	150 PEOPLE	1 PER 2.5 PEOPLE FOR SPECIAL EVENTS	60
TOTAL:			85

NOTE: * INCLUDED IN TOTAL



GENERAL NOTES:
SEE GRADING AND DRAINAGE PLAN FOR PROPOSED CONTOURS

PLT DATE: 3/7/2014 12:02:39 PM
 PLOT BY: PMP S-114
 DATE: 3/7/2014 12:02:39 PM

NO.	DATE	REVISIONS	APP'D.

Portfield & Smith
 Engineering • Surveying • Planning
 • Construction Management
 BRANNA M. DANIELS DATE: _____
 PROJECT ENGINEER
 R.C.C. 68820



COUNTY OF SANTA BARBARA
 REVIEWED BY
PRELIMINARY
 DATE: _____




DEVELOPMENT/SITE PLAN
 SANTA ROSA ROAD WINERY
 EASEMENT AND TRAFFIC INFORMATION
 BULLTON, SANTA BARBARA COUNTY

PAS PROJECT NO.	31023.01
SHEET	2 of 2
PLAN DATE	MARCH 13, 2014

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Proposed Plant Materials

Trees

-  *Olea europaea* Olive
-  *Quercus agrifolia* Coast Live Oak
-  *Platanus racemosa* California Sycamore

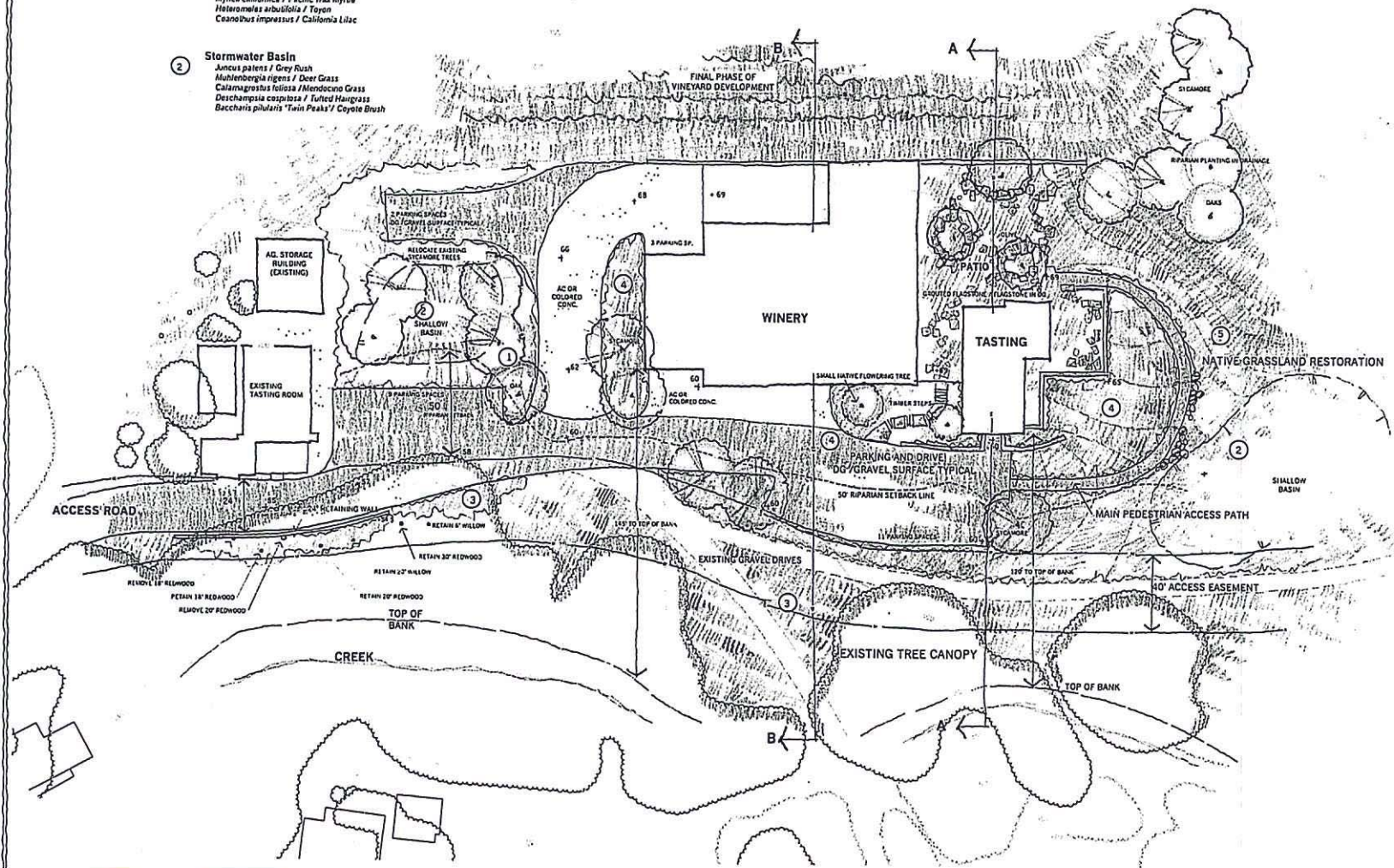
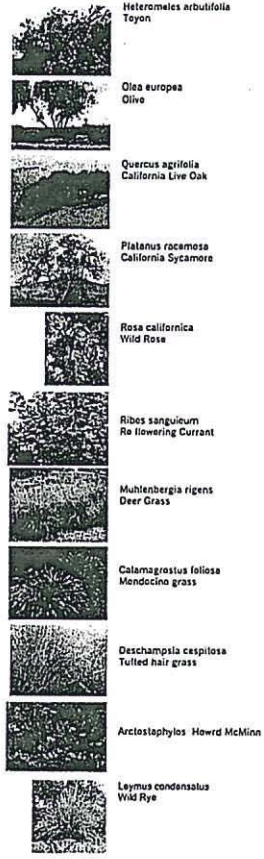
- 1 Screen Shrubs**
Myrica californica / Pacific Wax Myrtle
Heteromeles arbutifolia / Toyon
Ceanothus impressus / California Lilac

- 2 Stormwater Basin**
Juncus patens / Grey Rush
Muhlenbergia rigens / Deer Grass
Calamagrostis foliosa / Mendocino Grass
Deschampsia cespitosa / Tuffed Hairgrass
Baccharis pilularis 'Twin Peaks' / Coyote Brush

- 3 Native Riparian Understory**
Rosa californica / Wild Rose
Ribes sanguineum / Red Flowering Currant
Leymus condensatus / Wild Rye

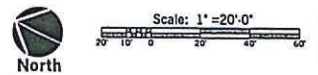
- 4 Accent Entry**
Leymus condensatus 'Canyon Prince' / Wild Rye
Arctostaphylos densiflora / McMin
Asculus californica / California Ducknyn
Cercis occidentalis / Western redbud
Ribes sanguineum / Red Flowering Currant

- 5 Native grassland / scrub restoration**
Calamagrostis foliosa / Mendocino Grass
Muhlenbergia rigens / Deer Grass
Baccharis pilularis 'Twin Peaks' / Coyote Brush
Psychotrya californica / California Fuchsia
Deschampsia cespitosa / Tuffed Hair Grass



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MAR 30 2015
S.B. COUNTY (NORTH)
PLANNING & DEVELOPMENT

Conceptual Site Landscape Plan Sierra Madre Winery



1

GEOTECHNICAL INVESTIGATION

A GEOTECHNICAL INVESTIGATION WAS PERFORMED BY CSI SOILS, INC. FOR THE PROJECT. THE RESULTS OF THE INVESTIGATION ARE PRESENTED IN A GEOTECHNICAL REPORT ENTITLED "GEOTECHNICAL INVESTIGATION, SANTA ROSA ROAD WINEERY". THE GEOTECHNICAL REPORT AND ANY NEW RECOMMENDATIONS PRESENTED IN THE REPORT ARE CONSIDERED PART OF THE CONTRACT DOCUMENTS.

SURVEYOR'S NOTES

1. BOUNDARY AND EASEMENT INFORMATION

NO BOUNDARY OR EASEMENT LINES WERE RESEARCHED OR LOCATED AS A PART OF THIS SURVEY AND NO LINES SHOWN HEREON SHOULD BE CONSIDERED AS SUCH.

2. BASES OF BEARINGS AND COORDINATES

BEARINGS SHOWN ON THIS MAP ARE REFERENCED TO THE CALIFORNIA COORDINATE SYSTEM, NAD 83, ZONE 5 GRID (EPOCH 2011.0), DEFINED LOCALLY BY CONTINUOUSLY OPERATING REFERENCE STATIONS OPERATED BY THE CALIFORNIA SPATIAL REFERENCE CENTER. THIS SURVEY TIED TO STATIONS 09CS, TARM, AND WHPD. ALL DISTANCES AND COORDINATES ARE REFERENCED TO CALIFORNIA COORDINATE SYSTEM, NAD 83, ZONE 5 GRID (EPOCH 2011.0) AND ARE EXPRESSED IN US SURVEY FOOT UNITS.

SEE CONTROL POINT LISTING

3. ELEVATIONS

ELEVATIONS SHOWN HEREON ARE EXPRESSED IN U.S. SURVEY FEET AND ARE REFERENCED TO THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD29), DEFINED LOCALLY BY NGS BENCHMARK DESIGNATED "781", NGS "7025197", A BRASS DISK IN BRIDGE, NORTH-BOUND 101 MARKED "781, 1948" ELEVATION=319.02 FEET.

SEE CONTROL POINT LISTING

CONTROL POINT LISTING

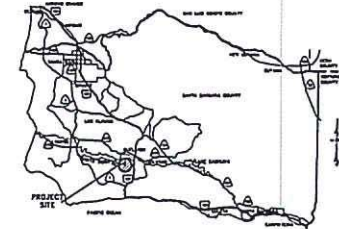
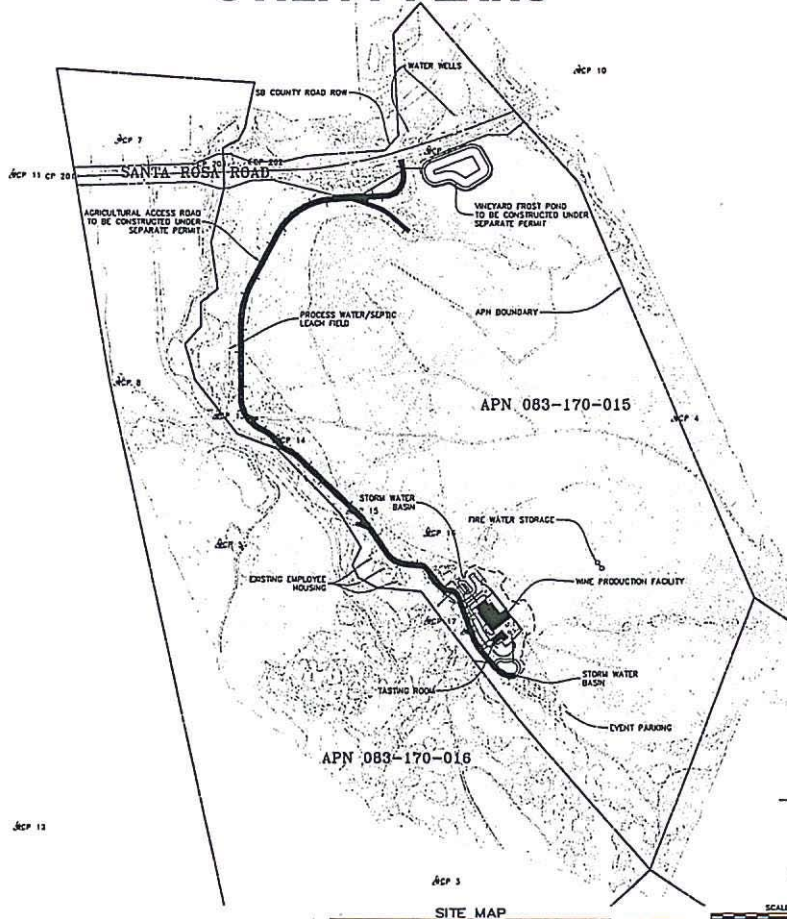
HORIZONTAL: NAD83, CCS ZONE 5, EPOCH 2011.0, US SURVEY FEET
VERTICAL: NGVD29, US SURVEY FEET

POINT	NORTHING	EASTING	ELEVATION	DESCRIPTION
1	2044656.429	5884889.281	358.82	SET 1/2 IP
2	2043827.888	5882148.315	559.68	SET 1/2 IP
3	2043558.840	5884587.053	315.83	SET 1/2 IP
4	2043587.873	5885609.831	363.37	SET 1/2 IP
5	2045034.783	5885802.231	368.40	SET 1/2 IP
6	2047858.584	5885853.093	383.19	SET 1/2 IP
7	2048805.800	5883156.732	293.18	SET 1/2 IP
8	2045328.335	5883132.450	307.20	SET 1/2 IP
9	2048780.861	5881331.136	309.77	SET MADHAR, & WASHER
10	2047116.581	5881778.578	328.82	SET MADHAR, & WASHER
11	2046850.859	5881890.717	318.48	SET MADHAR, & WASHER
12	2043789.218	5882717.839	331.72	SET 1/2 IP
13	2045597.060	5883588.830	313.33	SET CTH SPHOL
14	2045492.388	5883856.378	325.90	SET 1/2 IP
15	2045183.811	5884178.810	328.36	SET CTH SPHOL
16	2045087.071	5884522.764	392.56	SET 1/2 IP
17	2044700.438	5884525.828	351.83	SET CTH SPHOL
200	2048741.837	5901568.840	368.02	WSPD D20248 "D 781"
201	2048645.237	5882961.118	300.36	FD HAL, & TAG MKD "FENFIELD LS...73" IN AC
202	2048711.278	5883737.363	309.01	FD 2H IP W/ 1-1/2" BC MKD "SANTA BARBARA COUNTY"
203	2048702.541	5883487.715	295.88	FD 2H IP W/ 1-1/2" BC MKD "SANTA BARBARA COUNTY"
297	2099099.374	5877182.046	388.12	ONES_SCDN_CS1899
298	2005143.505	5919068.048	832.82	TARM_SCDN_CS1000
299	2039088.222	5773978.890	85.52	WHPD_SCDN_CS1992

LEGEND

11.5	BEGIN CURVE		EDGE OF ROAD
11.6	BEGIN VERTICAL CURVE		FLOWLINE
11.7	CENTER LINE		HOCKEY CONTOUR
11.8	DROP INLET		INTERMEDIATE CONTOUR
11.9	DND CURVE		RIGHT-OF-WAY
12.0	END VERTICAL CURVE		EXISTING WATER LINE
12.1	ELEVATION		EXISTING IRRIGATION WATER LINE
12.2	EASEMENT		EXISTING FENCE
12.3	FLOWLINE		EXISTING OVERHEAD UTILITIES
12.4	HIGH-DENSITY POLYETHYLENE		EXISTING VALVE
12.5	HIGH POINT		SPOT ELEVATION
12.6	INVERT		TREE AND BUSH DRIP LINE
12.7	LOW POINT		CONSTRUCTION NOTE
12.8	MANHOLE		OCTAL DESIGNATION
12.9	POINT OF COMPOUND CURVATURE		SHEET NUMBER WHERE DETAIL IS SHOWN
13.0	POINT OF REVERSE CURVATURE		SURVEY CONTROL POINT
13.1	POWER POLE		
13.2	STATION		
13.3	VERTICAL CURVE		

COUNTY OF SANTA BARBARA STATE OF CALIFORNIA SANTA ROSA ROAD WINERY PRELIMINARY GRADING, DRAINAGE, AND UTILITY PLANS



VICINITY MAP
N.T.S.



LOCATION MAP
N.T.S.

METHOD OF CONSTRUCTION

THE METHOD OF CONSTRUCTION SELECTED BY THE CONTRACTOR SHALL PRODUCE AND SECURE A SATISFACTORY QUALITY OF WORK IN ACCORDANCE WITH THE ADOPTED PLANS AND SPECIFICATIONS. IF AT ANY TIME THE METHODS, APPLIANCES OR RESULTS APPEAR INADEQUATE, THE DISTRICT MAY ORDER THE CONTRACTOR TO IMPROVE THEIR CHARACTER OR EFFICIENCY.
THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHILE WORKING IN THE AREA ADJACENT TO EXISTING PRELIMINARY AND UTILITY SERVICES. IT IS ESSENTIAL THAT ALL THE EXISTING FACILITIES BE MAINTAINED IN SERVICE. CONSTRUCTION OF CONNECTORS BETWEEN EXISTING FACILITIES AND NEW FACILITIES SHALL BE AT TIMES, AND DURING PERIODS, ACCEPTABLE TO THE DISTRICT. THE CONTRACTOR SHALL ADVISE THE DISTRICT IN WRITING OF THE PROPOSED CONSTRUCTION SCHEDULE FOR CONNECTIONS AT LEAST FORTY-EIGHT (48) HOURS IN ADVANCE.
PLANNED FACILITY SHUTDOWNS TO PORTIONS OF THE EXISTING FACILITIES SHALL BE ACCOMPLISHED DURING PERIODS OF MINIMAL USE. IN SOME CASES THIS MAY REQUIRE NIGHT OR WEEKEND WORK, WHICH SHALL BE AT THE CONTRACTOR'S SOLE EXPENSE. THE CONTRACTOR SHALL PROGRAM HIS WORK SO THAT SERVICE WILL BE RESTORED IN THE MINIMUM POSSIBLE TIME, AND SHALL COOPERATE WITH THE DISTRICT IN WORKING SHUTDOWNS.

SHEET INDEX

1. TITLE SHEET
2. NOTES
3. GENERAL DETAILS
4. GRADING AND DRAINAGE PLAN
5. GRADING AND DRAINAGE DETAILS
6. ONSITE WATER DISTRIBUTION SYSTEM
7. SEPTIC SYSTEM
8. EROSION AND SEDIMENT CONTROL PLAN

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NO.	DATE	REVISIONS	APPRO.

Penfold & Smith
Engineering - Surveying - Planning
Construction Management
210 Onea Drive, Suite A, Santa Maria, CA 93454
Phone: (805) 923-7343 Fax: (805) 923-1339

DESIGN: [unreadable] CHECKED: [unreadable]
BRANNAH M. DANIELS, DATE: [unreadable]
PROJECT ENGINEER



COUNTY OF SANTA BARBARA
REVIEWED BY: [unreadable]
PRELIMINARY
SIGNATURE: [unreadable] DATE: [unreadable]

TITLE SHEET
SANTA ROSA ROAD WINERY
APN 083-170-015
BULLINGTON, SANTA BARBARA COUNTY

PAS PROJECT NO. 210223.01
SHEET 1 of 8
PLAN DATE: MARCH 13, 2014

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GENERAL NOTES

- EXISTING SURVEY MONUMENTS: CONTRACTOR SHALL REPLACE EXISTING SURVEY CONTROL, PROPERTY, OR RIGHT-OF-WAY MONUMENTS DISTURBED BY CONSTRUCTION ACTIVITIES AND FILE A RECORD OF SURVEY WITH THE COUNTY OR APPLICABLE AGENCY.
- CONSTRUCTION LIMITS: CONTRACTOR SHALL KEEP ALL OPERATIONS WITHIN THE INDICATED CONSTRUCTION CASEMENTS (PIPE EASEMENTS AND TEMPORARY EASEMENTS), ACCESS EASEMENTS AND APPROVED STAGING AREAS. WHERE ADJACENT TO THE PUBLIC RIGHT-OF-WAY, CONSTRUCTION SHALL BE LIMITED TO THE RIGHT-OF-WAY IN ACCORDANCE WITH THE ENCROACHMENT PERMIT REQUIREMENTS AND SHALL PROVIDE TRAFFIC CONTROL, WHERE REQUIRED. WHERE CONSTRUCTION AREAS ARE ADJACENT TO A PUBLIC RIGHT-OF-WAY, CONSTRUCTION SHALL BE LIMITED TO THE RIGHT-OF-WAY IN ACCORDANCE WITH THE ENCROACHMENT PERMIT REQUIREMENTS AND SHALL PROVIDE TRAFFIC CONTROL, WHERE REQUIRED. CONTRACTOR SHALL NOT ENDOUSE INTO OR DISTURB THESE EXISTING AREAS.
- AGRICULTURAL PROPERTY ACCESS AND UTILITIES: CONTRACTOR SHALL COOPERATE AND COORDINATE WITH FARMING AND AGRICULTURAL OPERATIONS WHICH ARE MAINTAINED AT ALL TIMES. FIELD DRAINAGE SHALL BE MAINTAINED AND RETURNED TO PRE-CONSTRUCTION CONDITIONS. INSTALLATION OF TEMPORARY DRAINAGE SHALL REQUIRED WHERE CONSTRUCTION DISRUPTS FIELD DRAINAGE PATTERNS.
- EXISTING UTILITIES: UPON LEARNING OF THE EXISTENCE AND LOCATIONS OF ANY UNDERGROUND FACILITIES NOT SHOWN OR SHOWN INACCURATELY ON THESE PLANS OR NOT PROPERLY MARKED BY THE UTILITY OWNER, CONTRACTOR SHALL IMMEDIATELY NOTIFY THE UTILITY OWNER AND THE ENGINEER BY TELEPHONE AND IN WRITING. IF EVEN AN EXISTING UTILITY IS DAMAGED, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER OF THE UTILITY AND THE ENGINEER. CONTRACTOR SHALL REPAIR AND PLACE THE UTILITY BACK IN SERVICE WITHIN 2 HOURS AT THE CONTRACTOR'S SOLE EXPENSE. ALL REPAIRS SHALL BE MADE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE UTILITY OWNER.
- PRIVATE PROPERTY ACCESS: CONTRACTOR SHALL AT ALL TIMES MAINTAIN PEDESTRIAN AND VEHICULAR ACCESS THROUGH THE CONSTRUCTION ZONE TO PRIVATE PROPERTY, PUBLIC RIGHT-OF-WAY AND EASEMENTS. CONTRACTOR SHALL COORDINATE AND OBTAIN APPROVAL FROM PROPERTY OWNER FOR ANY INTERRUPTION OF ACCESS. OWNER CONTACTS ARE AVAILABLE FROM THE ENGINEER.
- EXISTING FENCING: UNLESS OTHERWISE SPECIFIED, CONTRACTOR SHALL REMOVE EXISTING FENCING CROSSING THE PIPELINE ALIGNMENT OR WITHIN THE CONSTRUCTION EASEMENT AND SHALL REPLACE THE FENCE IN KIND OR BETTER IN THE SAME LOCATION AFTER PIPELINE INSTALLATION IS COMPLETE.
- CONTRACTOR SHALL INSTALL TEMPORARY FENCING TO ISOLATE THE CONSTRUCTION CASEMENT FROM LIVESTOCK AND OTHER DOMESTICATED ANIMALS. PRESENT FENCING DURING CONSTRUCTION. CONTRACTOR SHALL REMOVE TEMPORARY FENCING AFTER WORK IS COMPLETE. LIVESTOCK AND OTHER DOMESTICATED ANIMALS MAY BE PRESENT ON ANY GRASSLAND AREAS (PASTURES OR AGRICULTURAL FIELDS).
- EXISTING PRIVATE UTILITIES: CONTRACTOR SHALL COORDINATE PRIVATE UTILITY SERVICE INTERRUPTIONS WITH PROPERTY/UTILITY OWNER. OWNER CONTACTS ARE AVAILABLE FROM ENGINEER. INTERRUPTIONS SHALL BE A MINIMUM OF 2 HOURS UNLESS PROPERTY/UTILITY OWNER AGREES TO LONGER INTERRUPTION.
- EXISTING ABOVE-GROUND IMPROVEMENTS: CONTRACTOR SHALL NOT DISTURB EXISTING ABOVE-GROUND IMPROVEMENTS WITHIN CONSTRUCTION EASEMENT UNLESS SPECIFICALLY ALLOWED IN CONTRACT DOCUMENTS OR APPROVED BY THE ENGINEER.
- OVERHEAD POWER AND TELEPHONE/COAXIAL LINES AND POLES: CONTRACTOR SHALL TAKE ALL PRECAUTIONS TO AVOID ENCROACHING WITHIN THE REQUIRED CLEARANCES FOR OVERHEAD WIRES INCLUDING CARRY WIRES. THESE FACILITIES ARE NOTED ON PLANS AND PROFILE DRAWINGS. WHERE OVERHEAD FACILITIES OR POLES NEED TO BE RELOCATED TO PERFORM THE WORK, CONTRACTOR SHALL OBTAIN THE NECESSARY PERMITS AND APPROVALS TO RELOCATE (TEMPORARILY OR PERMANENTLY) THE FACILITIES. OTHERWISE, CONTRACTOR SHALL PROTECT, BRACE, AND TAKE OTHER STEPS NECESSARY TO PROTECT POLES AND OVERHEAD WIRES FROM DAMAGE OR DISRUPTION.
- EXISTING IRREGULAR STRUCTURES, WELLS, ROADS, FENCING, UTILITIES AND OTHER IMPROVEMENTS DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO EQUAL OR BETTER THAN PRE-CONSTRUCTION CONDITION.
- IN ADDITION TO THE REQUIREMENTS OF THE CONTRACT DOCUMENTS ALL WORK SHALL BE IN ACCORDANCE WITH THE CONDITIONS OF ALL PERMITS ISSUED BY PUBLIC AGENCIES IN CONNECTION WITH THIS PROJECT. THE CONTRACTOR SHALL SHOW PROOF THAT HE HAS OBTAINED AND COMPLIED WITH ALL APPLICABLE PERMITS.
- ALL CONSTRUCTION IN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO THE REQUIREMENTS OF THE COUNTY OF SANTA BARBARA DEPARTMENT OF PUBLIC WORKS ROADS DIVISION STANDARDS, COUNTY ENCROACHMENT PERMITS AND COUNTY EXCAVATION PERMITS. SPECIAL ATTENTION IS CALLED TO PUBLIC WORKS ROAD DIVISION STANDARDS 1-010, 1-020 AND 1-030.
- ALL WORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE STATE OF CALIFORNIA DIVISION OF INDUSTRIAL SAFETY. A "SHOULDER PLAN" AND A "CONFINED SPACE ENTRY PLAN" SHALL BE SUBMITTED TO THE ENGINEER AND THE COUNTY FOR APPROVAL PRIOR TO THE PRE-CONSTRUCTION CONFERENCE. OIL-OCCUPATIONAL SAFETY HEALTH PERMITS SHALL BE SECURED AND SUBMITTED FOR COUNTY REVIEW.
- CONTRACTOR SHALL POSSESS A TYPE "A" OR "C-31" CONTRACTOR'S LICENSE AND SHALL FURNISH EVIDENCE OF SAME AT THE TIME THE CONTRACT IS AWARDED.
- A "PRE-CONSTRUCTION" CONFERENCE WILL BE CONDUCTED WITH THE OWNER NOT LESS THAN SEVEN (7) DAYS PRIOR TO ANY CONSTRUCTION. THIS MEETING WILL INCLUDE THE OWNER, CONTRACTOR, AND ENGINEER.
- CONTRACTOR SHALL DOCUMENT "PRE-CONSTRUCTION" CONDITIONS THROUGH PHOTO AND VIDEO DOCUMENTATION. ALL EXISTING IMPROVEMENTS INCLUDING, BUT NOT LIMITED TO, FENCING, PAVING, AND STREPPING SHALL BE RETURNED TO THEIR ORIGINAL "PRE-CONSTRUCTION" CONDITION AT THE CONTRACTOR'S EXPENSE.
- TRENCHED AREAS REQUIRING RESURFACING SHALL BE RESURFACED WITHIN ONE WEEK OF THE COMPLETION OF GRADING ACTIVITIES.
- ALL "ROAD CLOSURES" IF ANY, SHALL BE COVERED UNDER AN ADDITIONAL "EXCAVATION PERMIT". THIS PERMIT WILL COVER "WORKING HOURS", TRAFFIC CONTROL, FEES AND ANY SPECIAL CONDITIONS. SUBMIT REQUESTS FOR ISSUANCE AND APPROVAL TWO (2) WEEKS PRIOR TO START OF CONSTRUCTION.
- A U.S.A. (UNDERGROUND SERVICE ALERT) TICKET NUMBER IS REQUIRED PRIOR TO PERMIT ISSUANCE.
- NO STOCKPILING WILL BE ALLOWED IN THE COUNTY ROAD RIGHT-OF-WAY. THE CONTRACTOR SHALL NOT STOCK, STOCKPILE OR OPERATE ANY EQUIPMENT OUTSIDE THE PERMITTED "WORK ZONE" WITHOUT THE WRITTEN APPROVAL OF THE ROAD DIVISION INSPECTOR. THE PERMITTED WORK ZONE IS AS DEFINED IN THE CALTRANS 2010 "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES" FOR CONSTRUCTION AND MAINTENANCE WORK ZONES.
- CONSTRUCTION ACTIVITY IN COUNTY R.O.W. SHALL BE LIMITED TO THE HOURS OF 7 A.M. TO 4 P.M. MONDAY THROUGH FRIDAY UNLESS OTHERWISE AUTHORIZED.
- THE MAXIMUM LENGTH OF OPEN TRENCH SHALL BE NO GREATER THAN THAT WHICH CAN BE CLOSED EACH WORK DAY WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE ENGINEER.
- CONTRACTOR SHALL MAINTAIN A COMPLETE AND ACCURATE RECORD OF ALL CHANGES IN CONSTRUCTION FROM THAT SHOWN IN THESE PLANS AND SPECIFICATIONS FOR THE PURPOSE OF PROVIDING A BASIS FOR RECORD DRAWINGS. NO CHANGES SHALL BE MADE WITHOUT PRIOR WRITTEN APPROVAL OF THE ENGINEER.
- STATIONING AND DISTANCES SHOWN ON THE DRAWINGS ARE BASED ON HORIZONTAL MEASUREMENTS.
- CONTRACTOR SHALL VERIFY ALL EXISTING UTILITY LINES AT LEAST ONE WORKING DAY AHEAD OF PIPE LAYING OPERATION TO VERIFY LOCATION AND DEPTH OF UTILITIES. ANY CONTACTS WILL BE RESOLVED BY THE CONSTRUCTION MANAGER AND ENGINEER.
- CONTRACTOR SHALL PROVIDE ACCESS TO UTILITY COMPANIES FOR MAINTENANCE OF THEIR FACILITIES DURING THE ENTIRE CONSTRUCTION PERIOD.
- IN THE EVENT ARCHAEOLOGICAL REMAINS ARE ENCOUNTERED DURING GRADING, WORK WILL BE STOPPED IMMEDIATELY OR REDIRECTED UNTIL A COUNTY PLANNING AND DEVELOPMENT DEPARTMENT QUALIFIED ARCHAEOLOGIST AND HISTORIC AMERICAN REPRESENTATIVE ARE RETAINED TO EVALUATE THE SIGNIFICANCE OF THE FIND PURSUANT TO PHASE 3 INVESTIGATIONS OF THE COUNTY ARCHAEOLOGICAL CODES.
- THE FOLLOWING SEED MIX SHALL BE APPLIED TO ALL AREAS DISTURBED BY CONTRACTOR'S OPERATIONS AND AS DIRECTED BY STATE INSPECTOR:

Lib/Ac	Species	Mix % P/C
10	Bromus Carinatus	55/45
5	Trifolium Microcarpum	20/80
5	Trifolium Gramineum	20/80
1	Elymus California	N/A

EARTHWORK AND BACKFILL NOTES

- WHERE TRENCH EXCAVATION HAS BEEN COMPLETED TO THE SPECIFIED DEPTHS AND THE TRENCH IS DEMATERED (IF REQUIRED) TO AT LEAST THE TRENCH BOTTOM, THE TRENCH BOTTOM SHALL BE MOISTURE CONDITIONED TO 4% OR NEAR OPTIMUM AND COMPACTED TO AT LEAST NINETY PERCENT OF THE MAXIMUM ASTM D1557 DENSITY.
- APPROVED BACKFILL SHALL BE PLACED AND COMPACTED TO A THICKNESS OF NOT LESS THAN SIX (6) INCHES. NO PIPE AND/OR BACKFILL SHALL BE PLACED UNLESS THE TRENCH HAS A FIRM, UNYIELDING BOTTOM.
- WHERE UNDESIRABLE, SPONGY OR OTHERWISE UNSUITABLE SOILS ARE ENCOUNTERED, THEY SHALL BE REMOVED TO FIRM SOILS AND REPLACED WITH COMPACTED BEDDING MATERIAL. IF UNSUITABLE SOILS ARE SUCH THAT REMOVING TO FIRM SOILS IS NOT FEASIBLE, THE FOLLOWING ALTERNATIVES WILL BE CONSIDERED BY THE ENGINEER:
 - PLACE ONE (1) FOOT OF CRUSHED ROCK IN SIX (6) INCH LAYERS ADEQUATELY PACKED ON THE EXCAVATION BOTTOM. GRANULARITY OF THE ROCK SHOULD INCLUDE NOT MORE THAN FIVE (5) PERCENT BY WEIGHT PASSING THE NO. 200 SIEVE.
 - PLACE A LAYER OF GEOTEXTILE FABRIC ON TOP OF THE ROCK LAYER AND EXTEND IT UPWARD ALONG THE TRENCH SIDES TO A MINIMUM OF ONE (1) FOOT. THE GEOTEXTILE WILL SERVE AS A SEPARATOR BETWEEN THE ROCK AND BEDDING AND MAY BE EITHER A WOVEN OR NON-WOVEN FABRIC.
 - APPLY A LAYER OF BEDDING OVER THE GEOTEXTILE FABRIC. THESE SHOULD BE A THICKNESS OF AT LEAST SIX (6) INCHES OF BEDDING MATERIAL UNDER THE BOTTOM OF THE PFC.
 - OVERLAP/CAVE TO FOUR (4) FEET BELOW THE BOTTOM OF THE PROPOSED RECYCLED WATER LINE. PLACE A LAYER OF TENSAR SS-2 GEOTEXTILE ON THE EXCAVATION BOTTOM AND TO THE (3) FEET UP ON THE TRENCH SIDES. COARSE BEDDING MATERIAL SHALL THEN BE PLACED ON TOP OF THE GEOTEXTILE IN A SINGLE TWO-FOOT (2') THICK LAYER. THE ROCK SHALL BE COMPACTED TO NINETY (90) PERCENT MAXIMUM DRY DENSITY OR GREATER. PLACE A SECOND LAYER OF TENSAR SS-2 GEOTEXTILE ON THE COMPACTED ROCK LAYER AND EXTENDING TWO (2) FEET UP THE TRENCH SIDES. COARSE BEDDING MATERIAL SHALL BE PLACED ON THE GEOTEXTILE IN A MINIMUM OF TWO (2) FEET. EACH LIFT BEING COMPACTED TO NINETY (90) PERCENT RELATIVE COMPACTION. FILLER FABRIC AND BEDDING SHALL THEN BE PLACED ON THE COMPACTED ROCK AS DIRECTED BY THE ENGINEER.
- BACKFILL IN LIFTS WITH A LOGIC THICKNESS NOT GREATER THAN EIGHT (8) INCHES. MOISTURE CONDITION THE SOIL TO NEAR OPTIMUM AND COMPACTED TO AT LEAST NINETY-FIVE (95) PERCENT OF THE MAXIMUM ASTM D1557 DENSITY FOR PAVED AREAS AND NINETY (90) PERCENT OF THE MAXIMUM ASTM D1557 DENSITY FOR UNPAVED AREAS.
- FOR TRENCHES OUTSIDE PUBLIC RIGHT-OF-WAY, EXCAVATED ON-SITE CUT SOILS MAY BE USED FOR TRENCH BACKFILL WHEN CLEARED OF ROCK PIECES LARGER THAN SIX (6) INCHES IN MAXIMUM DIMENSION, PLACED IN LOOSE LIFTS WITH A THICKNESS NOT GREATER THAN EIGHT (8) INCHES AND MECHANICALLY COMPACTED. A COMMERICAL QUALITY GRANULAR REPORT SOIL MAY BE USED FOR FILL. SEE SPECIFICATIONS.
- SEE GEOTECHNICAL ENGINEERING REPORT PREPARED BY X, DATA X FOR ADDITIONAL INFORMATION.
- THE GEOTECHNICAL ENGINEER SHALL PROVIDE GENERAL REVIEW OF THE EXCAVATION, TRENCH FOUNDATION STABILIZATION AND PIPE BEDDING AND ENCASEMENT.
- A SHRINKAGE FACTOR DUE TO COMPACTION IS EXPECTED. LOSS DUE TO REMOVAL OF NONCOMPACTED FILL, STRIPPING AND RECOMPACTION OPERATIONS MAY AFFECT QUANTITY CALCULATIONS AND SHOULD BE TAKEN INTO ACCOUNT.
- FINAL SITE GRADE SHOULD BE SUCH THAT ALL WATER IS DIVERTED AWAY FROM AND IS NOT ALLOWED TO POSE ON OR NEAR PAVEMENT SECTIONS.
- CONTRACTOR SHALL PROVIDE DETAILS OR PLANS FOR CONFINED SPACES ENTRY, TRENCH SHORING, TRAFFIC CONTROL, AND STORM WATER POLLUTION PREVENTION.

MITIGATION MEASURES

COUNTY OF SANTA BARBARA AIR POLLUTION CONTROL DISTRICT DUST CONTROL REQUIREMENTS

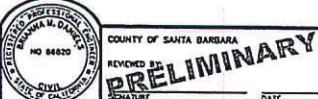
- DURING CLEARING, GRADING, EARTH MOVING OR EXCAVATION:
 - WATER TRUCKS OR SPRINKLER SYSTEMS SHALL BE USED IN SUFFICIENT QUANTITIES TO PREVENT DUST RAISED FROM LEAVING THE SITE.
 - THE ENTIRE AREA OF DISTURBED SOIL SHALL BE WET DOWN, SUFFICIENT TO CREATE A CRUST, AFTER EACH DAY'S ACTIVITIES CEASE.
- AFTER CLEARING, GRADING, EARTH MOVING OR EXCAVATION IS COMPLETED:
 - THE ENTIRE AREA OF DISTURBED SOIL SHALL BE TREATED TO PREVENT WIND PICK UP OF SOIL. THIS MAY BE ACCOMPLISHED BY:
 - SEEDING AND WATERING UNTIL GRASS COVER IS ESTABLISHED.
 - WETTING THE AREA DOWN, SUFFICIENT TO FORM A CRUST ON THE SURFACE WITH REPEATED SHOWERS AS NECESSARY TO MAINTAIN THE CRUST AND PREVENT DUST PICK UP BY THE WIND.
 - INCREASED WATERING FREQUENCY WILL BE REQUIRED WHENEVER THE WIND SPEED EXCEEDS 15 MPH.
- DURING CONSTRUCTION:
 - WATER TRUCKS OR SPRINKLER SYSTEMS SHALL BE USED TO KEEP ALL AREAS OF VEHICLE MOVEMENT DAMP ENOUGH TO PREVENT DUST RAISED FROM LEAVING THE SITE AS A MINIMUM. THIS WILL INCLUDE WETTING DOWN SUCH AREAS IN THE LATE MORNING AND AFTER WORK IS COMPLETED FOR THE DAY.
 - INCREASED WATERING FREQUENCY WILL BE REQUIRED WHENEVER THE WIND SPEED EXCEEDS 15 MPH.
- ACTIVATION OF INCREASED DUST CONTROL MEASURES:
 - THE CONTRACTOR SHALL DESIGNATE A PERSON OR PERSONS TO MONITOR THE DUST CONTROL PROGRAM AND TO ORDER INCREASED WATERING, AS NECESSARY, TO PREVENT TRANSPORT OF DUST OFF SITE. THEIR DUTIES SHALL INCLUDE HOLIDAY AND WEEKEND PERIODS WHEN WORK MAY NOT BE IN PROGRESS. THE NAME AND TELEPHONE NUMBER OF SUCH PERSONS SHALL BE PROVIDED TO THE AIR POLLUTION CONTROL DISTRICT PRIOR TO ISSUANCE OF THE CONSTRUCTION DEVELOPMENT PERMIT.
- TRUCKS HAULING GRADING MATERIALS SHALL BE COVERED.
- SOIL STOCKPILED FOR MORE THAN TWO (2) DAYS SHALL BE COVERED, KEPT MOIST, OR TREATED WITH SOIL BINDERS TO PREVENT DUST GENERATION.

BASIN NOTES AND SPECIFICATIONS

NO.	DATE	REVISIONS	APPRO.



DESIGN BY _____ CHECKED _____
 BRIANNA M. DANIELS DATE: _____
 PROJECT ENGINEER



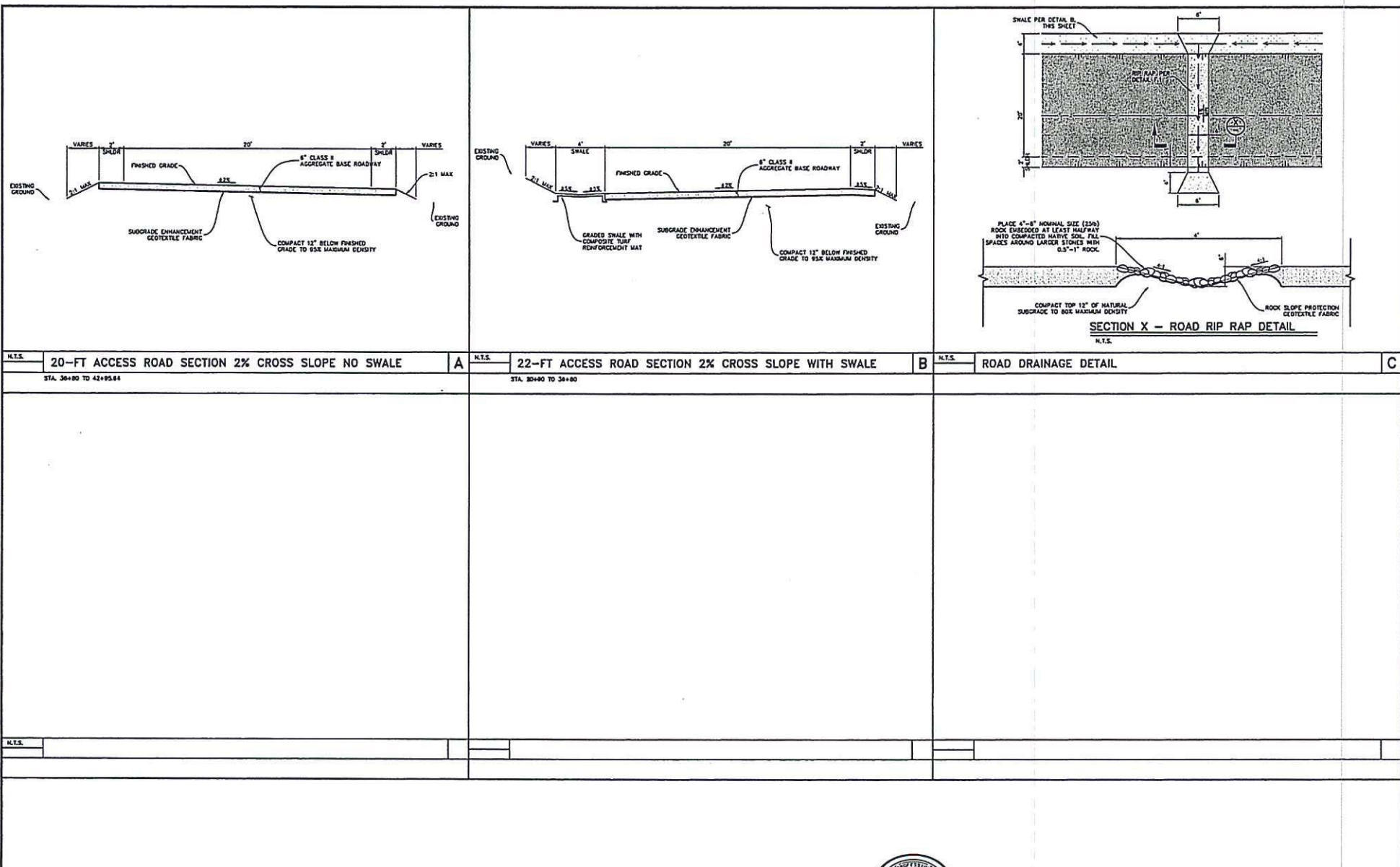
COUNTY OF SANTA BARBARA
 REVIEWED BY **PRELIMINARY**
 SIGNATURE _____ DATE _____

NOTES
 SANTA ROSA ROAD WINERY
 APN 083-170-015
 BUELLTON, SANTA BARBARA COUNTY

PAS PROJECT NO.
 21023.01
 SHEET
 2 OF 8
 PLAN DATE
 MARCH 13, 2014

AUTION: IF THIS DOCUMENT IS PRINTED AS A QUALITY SET OR ELECTRONIC FILE, THE REPORT OF AN ELECTRONIC FILE DOES NOT CONSTITUTE THE REPORT OF THE PROFESSIONAL PERSON PROVIDING. ONLY A HARD COPY DOCUMENT THAT IS SIGNED AND SEALED BY AN APPLICABLE PROFESSIONAL ENGINEER OR ARCHITECT IS THE PROFESSIONAL PERSON PROVIDING. IN THE EVENT OF AN ELECTRONIC FILE OR QUALITY SET, THE USER SHOULD VERIFY THAT THE REPORT WAS PROVIDED BY THE PROFESSIONAL PERSON PROVIDING.

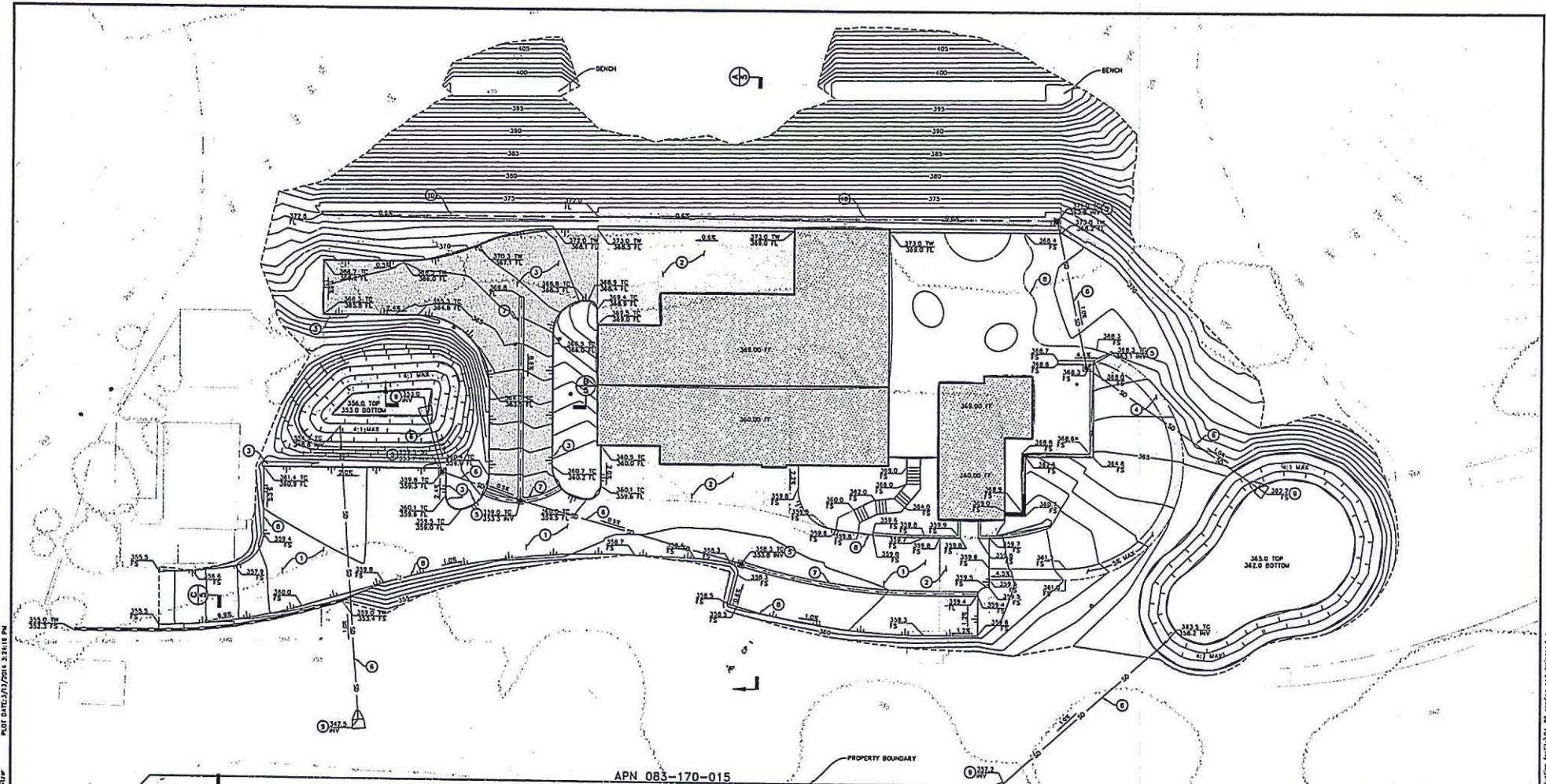
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 PLOT BY: Pgs
 PLOT DATE: 03/13/2014 3:06:17 PM



N.T.S. 20-FT ACCESS ROAD SECTION 2% CROSS SLOPE NO SWALE STA. 36+80 TO 42+95.64	N.T.S. 22-FT ACCESS ROAD SECTION 2% CROSS SLOPE WITH SWALE STA. 30+00 TO 34+00	N.T.S. ROAD DRAINAGE DETAIL N.T.S.
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<table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>REVISIONS</th> <th>APPR.</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>			NO.	DATE	REVISIONS	APPR.									Penfold & Smith Engineering - Surveying - Planning Construction Management 210 Erbes Drive, Suite A, Santa Maria, CA 93451 Phone: (805) 925-7345 Fax: (805) 925-1326		DESIGNED BY _____ CHECKED _____ BRANSHA M. DANIELS DATE _____ PROJECT ENGINEER			COUNTY OF SANTA BARBARA PRELIMINARY REVIEWED BY _____ DATE _____ SIGNATURE _____	PAS PROJECT NO. 21023.01 SHEET 3 of 8 PLAN DATE MARCH 13, 2014
NO.	DATE	REVISIONS	APPR.																		

DRAWING IS NOT TO BE USED FOR CONSTRUCTION IN AN ELECTRONIC FORM. THE USER OF THE ELECTRONIC FILE HAS NOT REVIEWED THE DRAWING FOR THE PROFESSIONAL SEALS. ONLY A HARD COPY PRINT IS VALID AND SHALL BE AT THE USER'S PROFESSIONAL RISK. IF THERE IS A DISCREPANCY BETWEEN THE PROFESSIONAL SEALS AND THE PROFESSIONAL SEALS, THE HARD COPY SHALL BE THE GOVERNOR. THE USER SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO THE PROJECT OR TO THE PROFESSIONAL SEALS. THE USER SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO THE PROJECT OR TO THE PROFESSIONAL SEALS. THE USER SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO THE PROJECT OR TO THE PROFESSIONAL SEALS. THE USER SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO THE PROJECT OR TO THE PROFESSIONAL SEALS.



APN 083-170-015
APN 083-170-016

CONSTRUCTION NOTES

1. CONSTRUCT DECOMPOSED GRANITE PAVING PER DETAIL A, SHEET 5.
2. CONSTRUCT CONCRETE PAVING PER DETAIL B, SHEET 5.
3. CONSTRUCT A.C. PAVING AND/OR PROVIDE 6" CURB PER DETAIL C, SHEET 5.
4. CONSTRUCT CONCRETE SOCWALK PER DETAIL B, SHEET 5.
5. PROVIDE 24" HDSTE CONCRETE PRECAST DROP INLET PER DETAIL F, SHEET 5.
6. PROVIDE 18" HDPE STORM DRAIN PER TYPICAL TRENCH DETAIL D, SHEET 5.
7. PROVIDE 2" CONCRETE RIBBON GUTTER PER DETAIL E, SHEET 5.
8. PROVIDE 3" X 4" REDWOOD HEADER BOARD PER DETAIL G, SHEET 5.
9. PROVIDE RIP RAP OUTLET PER DETAIL H, SHEET 5.
10. CONSTRUCT 4" WIDE BY 1" DEEP INTERSECTOR W-DITCH. SEE SECTION A, SHEET 5.

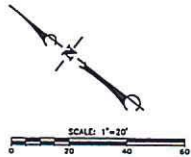
BASIN/POND STATISTICS

BASIN	
BOTTOM ELEV	= 353.0 ft
TOP ELEV	= 358.0 ft
MAX WATER ELEV	= 354.99 ft
CAPACITY	= 0.043 acre-feet
MAX INTERIOR SLOPE	= 4:1
MAX EXTERIOR SLOPE	= 2:1
FOOTPRINT AREA	= 2,168 ft ²
POND	
BOTTOM ELEV	= 362 ft
TOP ELEV	= 363 ft
MAX WATER ELEV	= 362.74 ft
CAPACITY	= 0.192 acre-feet
MAX INTERIOR SLOPE	= 4:1
MAX EXTERIOR SLOPE	= 2:1
FOOTPRINT AREA	= 7,181 ft ²

PRELIMINARY EARTHWORK QUANTITIES

	CUT	FILL	NET
UNADJUSTED	9,154	3,473	5,681
ADJUSTED	8,654	3,773	4,881

- NOTES:
1. TOTAL GRADED AREA = 2.33 ACRES
 2. VOLUME QUANTITIES IN UNITS OF CUBIC YARDS
 3. ADJUSTED VOLUMES ACCOUNT FOR 1% SHRINKAGE, 0.2" SUBSIDENCE, 4" OVER EXCAVATION BELOW THE BUILDING PAD, AND 1.5" OVER EXCAVATION BELOW PARKING AREAS



M-DWG DATE: 03/27/2014 3:18:57 PM
 PLOT DATE: 03/27/2014 3:28:18 PM
 PLOT BY: P. S. SMITH

NO.	DATE	REVISIONS	APPRO.

Penfield & Smith
 Engineering - Surveying - Planning
 Construction Management
 210 E. 4th St., Suite A, Santa Maria, CA 93454
 Phone: (805) 923-1343 Fax: (805) 923-1331

DESIGN BY: _____ CHECKED: _____
 PROJECT CHIEF: _____
 PROJECT CHIEF DATE: _____
 R.C.C. 65420

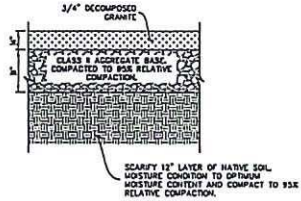


COUNTY OF SANTA BARBARA
 REVIEWED BY: **PRELIMINARY**
 DATE: _____

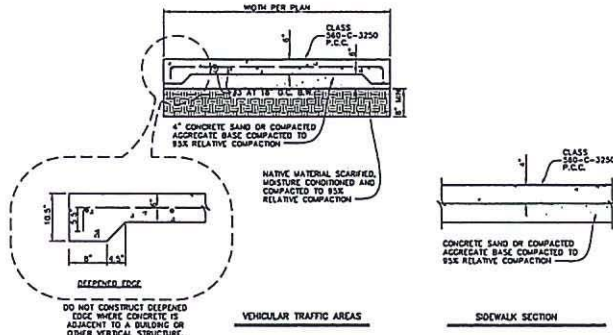
GRADING AND DRAINAGE PLAN
 SANTA ROSA ROAD WINERY
 APN 083-170-015
 BULLHORN, SANTA BARBARA COUNTY

PAS PROJECT NO.	21023.01
SHEET	4 OF 8
PLAN DATE	MARCH 13, 2014

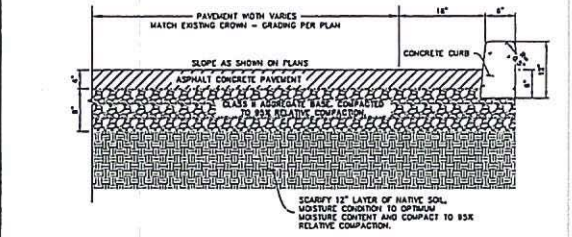
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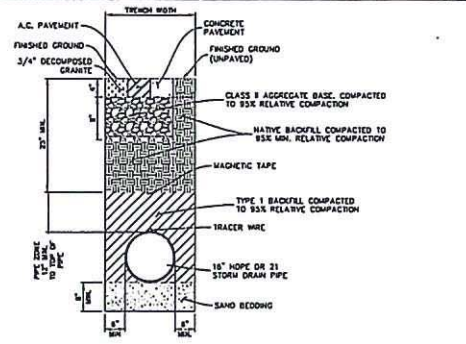
SCALE: NTS **A** PARKING LOT DECOMPOSED GRANITE PAVING SECTION



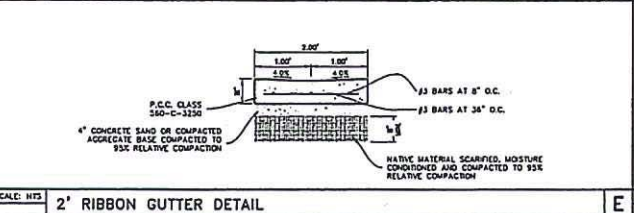
SCALE: NTS **B** ADA PARKING AND RAMP CONCRETE PAVING AND SIDEWALK SECTION



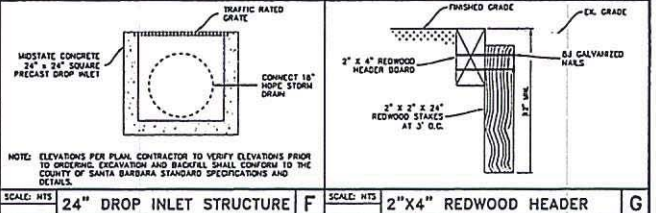
SCALE: NTS **C** COVERED CRUSH RAMP A.C. PAVING SECTION AND 6" CURB DETAIL



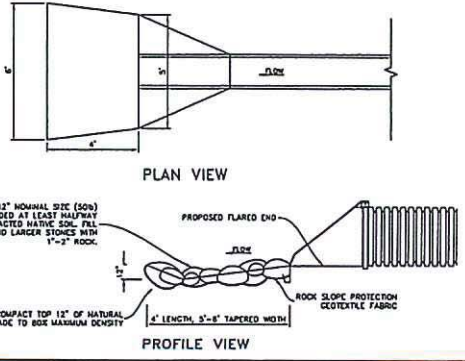
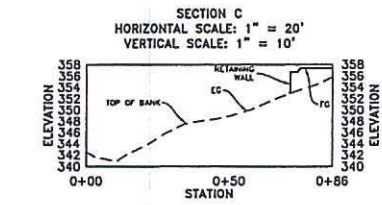
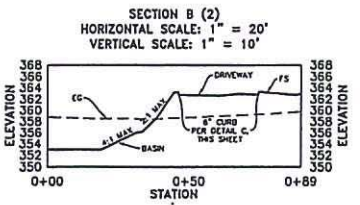
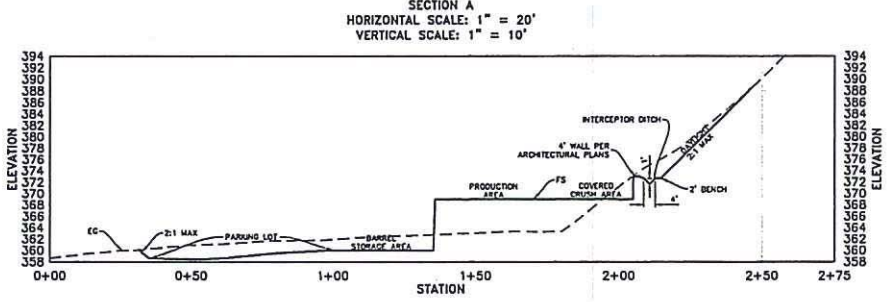
SCALE: NTS **D** STORM DRAIN TRENCH DETAIL



SCALE: NTS **E** 2' RIBBON GUTTER DETAIL



SCALE: NTS **F** 24" DROP INLET STRUCTURE **G** 2"X4" REDWOOD HEADER



SCALE: NTS **H** RIP RAP OUTLET DETAIL

AS NOTED **H** SITE SECTIONS

NO.	DATE	REVISIONS	APPRO.

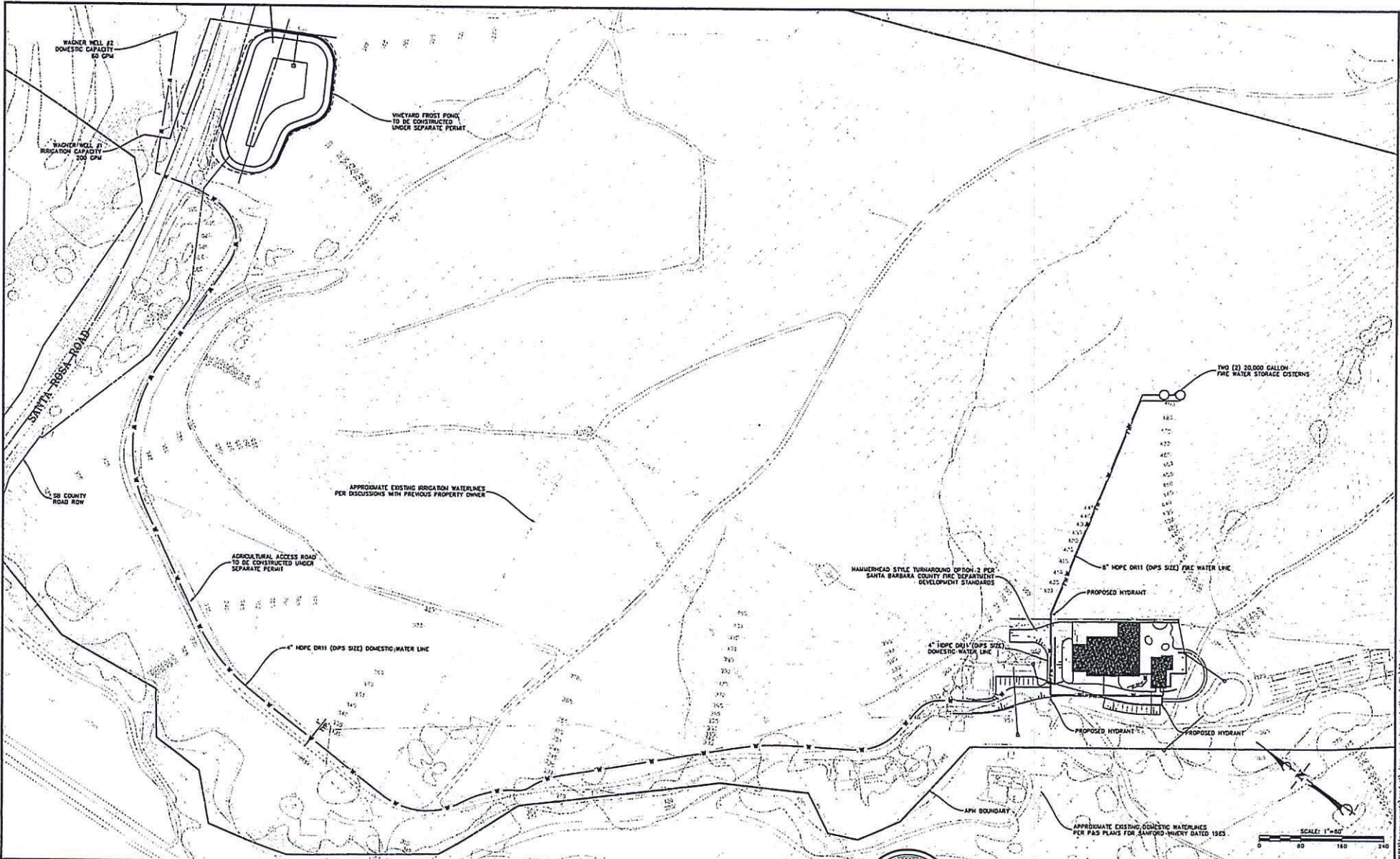
Penfield & Smith
 Engineering/Surveying/Planning
 Construction Management
 310 East Olive, Suite A, Santa Maria, CA 93456
 Phone: (805) 923-2343 Fax: (805) 923-1533
 PROJECT ENGINEER: **ORIANA M. DANIELS**
 R.C.C. 66220

COUNTY OF SANTA BARBARA
 REVIEWED BY: **PRELIMINARY**
 SIGNATURE: _____ DATE: _____
 CIVIL ENGINEER
 NO. 88220

GRADING AND DRAINAGE DETAILS
 SANTA ROSA ROAD WINERY
 APN 083-170-015
 BULLIOTON, SANTA BARBARA COUNTY
 P&S PROJECT NO. 21022.01
 SHEET 5 OF 8
 PLAN DATE: MARCH 13, 2014

PLOT DATE: 3/17/2014 3:18:27 PM
 PLOT BY: P&S
 PLOT DATE: 3/17/2014 3:18:27 PM
 PLOT BY: P&S

DRAWING: 11/13/2013 10:00 AM
 PROJECT: Santa Rosa Road Winery
 SHEET: 5 of 8
 DATE: 3/13/2014



PLAT DATE: 03/27/2014 3:26:11 PM
 PLAT BY: PWS, Saiter

NO.	DATE	REVISIONS	APPRO.

Penfold & Smith
 Engineering - Surveying - Planning
 - Construction Management -
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 Phone: (805) 933-2345 Fax: (805) 933-1338
 PROJECT ENGINEER: **CESON, AS** CHECKED: _____
 PROJECT ENGINEER: **BRANNA H. BAFFEL** DATE: _____
 R.C.E. 66820

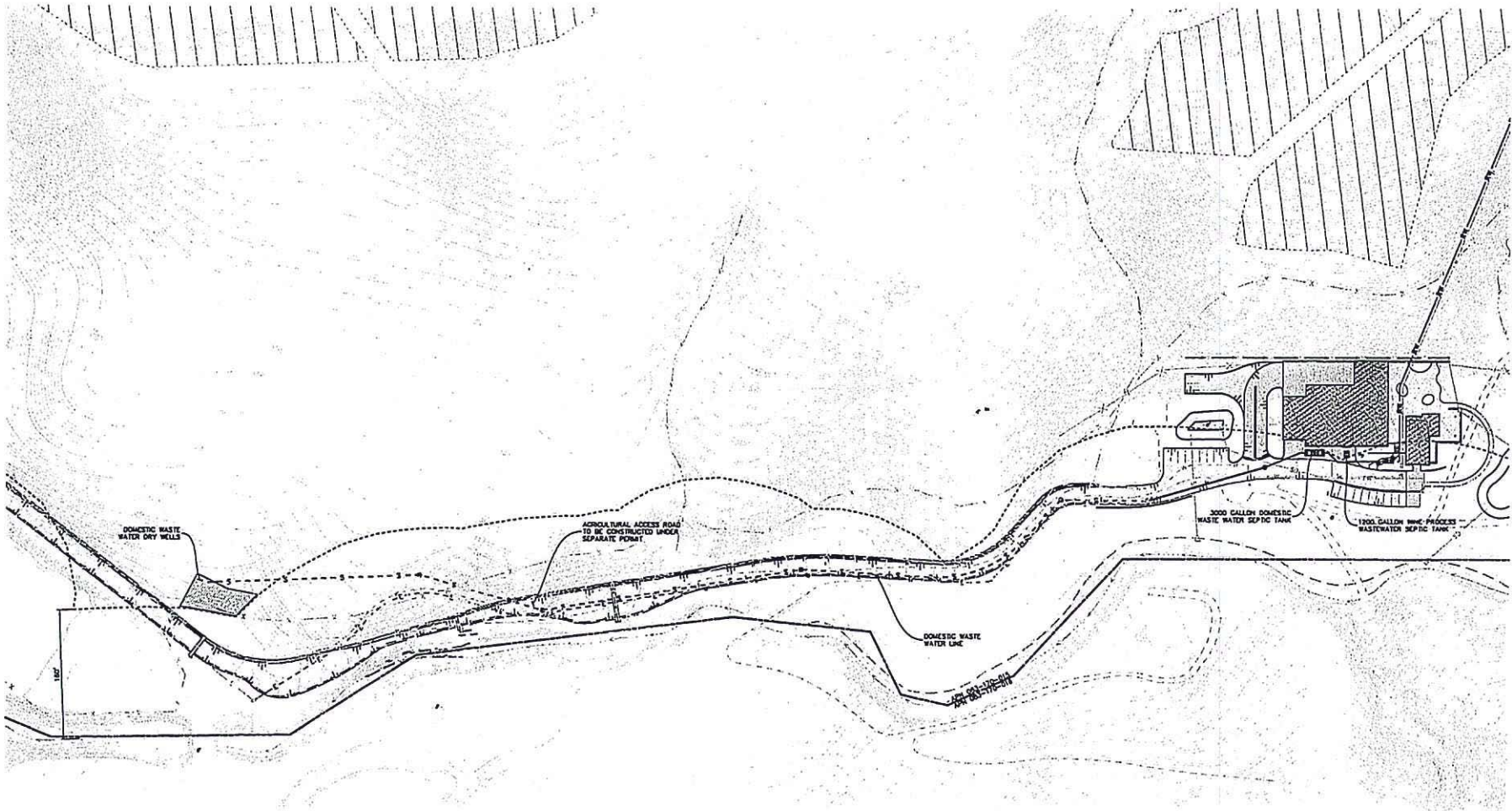


COUNTY OF SANTA BARBARA
 REVIEWED BY: **PRELIMINARY**
 DATE: _____

ONSITE WATER DISTRIBUTION SYSTEM
SANTA ROSA ROAD WINERY
APN 083-170-015
 BUELLTON, SANTA BARBARA COUNTY

P&S PROJECT NO. 21023.01
 SHEET 6 OF 8
 PLAN DATE MARCH 13, 2014

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Santa Rosa Road Winery
7290 Santa Rosa Road
Buellton, CA 93427
APN 083-170-015

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WASTEWATER SYSTEM

SCALE: AS NOTED

revision: date:

job no: 1307

drawn: RS

checked: CP/H

date: 03.27.15

sheet no:

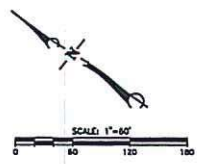
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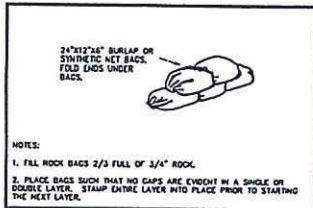


Stantec
310 East Olive, Suite A, Santa Maria, CA 93454
Phone: (805) 820-1243 Fax: (805) 820-1328

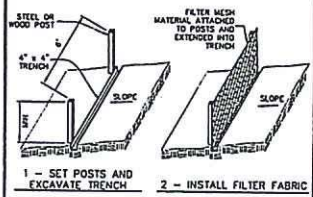


NOTE:
BIOMASS PROCESS WASTE WATER TO BE REUSED FOR
LANDSCAPE IRRIGATION AFTER SOLIDS/SYSTEMS REMOVAL
AND SETTLING IN SEPTIC TANK.

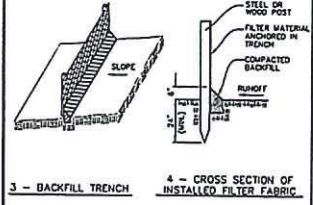




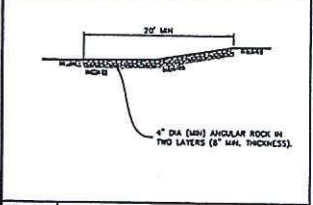
ROCK BAG BARRIER



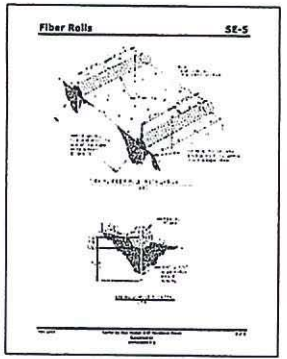
SILT FENCE INSTALLATION



CONSTRUCTION ACCESS



CONCRETE WASH OFF



FIBER ROLL DETAIL

DISTURBANCE AREA

TOTAL AREA OF DISTURBANCE: 2.38 ACRES

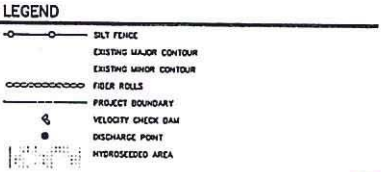
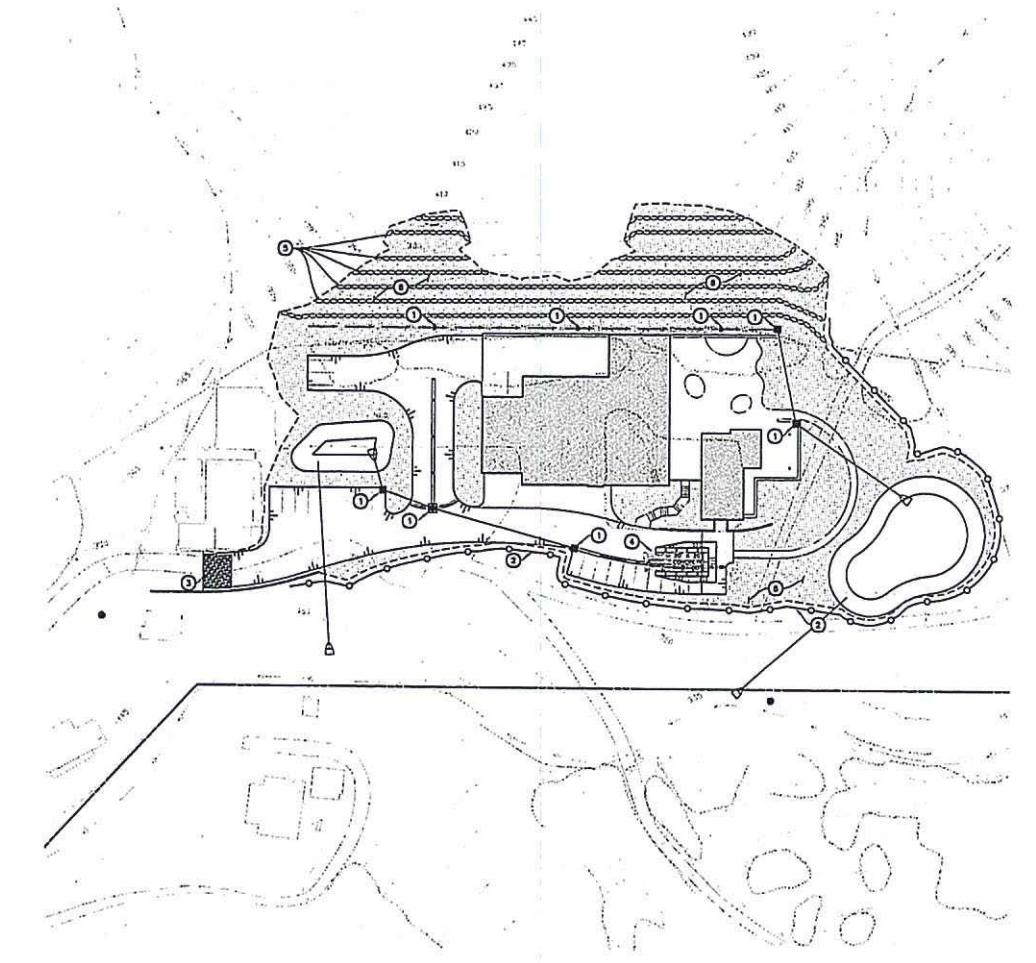
SEDIMENT CONTROL PLAN NOTES

- IN CASE OF EMERGENCY CALL: X
- TEMPORARY SEDIMENT CONTROL DEVICES SHOWN ON THE GRADING PLAN WHICH INTERFERE WITH THE WORK SHALL BE RELOCATED OR MODIFIED AS NEEDED AND WHEN THE INSPECTOR SO DIRECTS AS THE WORK PROGRESSES.
- ALL LOOSE SOIL AND DEBRIS SHALL BE REMOVED FROM THE STREET AREAS UPON STARTING OPERATIONS AND PERIODICALLY THEREAFTER AS DIRECTED BY THE INSPECTOR.
- STANDBY CREWS SHALL BE ALERTED BY THE PERMITEE OR CONTRACTOR FOR EMERGENCY WORK DURING RAINSTORMS.
- VELOCITY CHECK DAMS SHALL BE PROVIDED IN ALL UNPAVED GRADED SMALES AT 100 FOOT MINIMUM INTERVALS AND AROUND ALL DROP INLETS.
- EXCEPT WHEN THE INSPECTOR DIRECTS OTHERWISE, ALL DEVICES SHOWN SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN RAIN IS FORECAST.
- ALL BASHES AND CHECK DAMS SHALL HAVE THE DEBRIS AND SILT REMOVED AFTER EACH STORM TO RESTORE THEIR CAPACITY.
- MATERIALS SHALL BE STOCKPILED AND READY TO BE PLACED IN POSITION WHEN RAIN IS FORECAST, OR WHEN THE INSPECTOR SO DIRECTS.
- DURING CONSTRUCTION, WASHING OF CONCRETE TRUCKS, PAINT, EQUIPMENT OR SIMILAR ACTIVITIES SHALL OCCUR ONLY IN AREAS WHERE POLLUTED WATER AND MATERIALS CAN BE CONTAINED FOR SUBSEQUENT REMOVAL FROM THE SITE. WASH WATER SHALL NOT BE DISCHARGED TO THE STORM DRAINS, STREET, DRAINAGE DITCHES OR CREEKS. AREAS DESIGNATED FOR WASHING FUNCTIONS SHALL BE AT LEAST 100 FEET FROM ANY STORM DRAIN, WATERBODY OR SENSITIVE BIOLOGICAL RESOURCES. THE LOCATION OF THE WASHOUT AREA SHALL BE CLEARLY NOTED AT THE CONSTRUCTION SITE WITH SIGNS.
- JUTE NETTING SHALL BE APPLIED TO SLOPES GREATER THAN 3H:1V. THE FOLLOWING SIZES MIX SHALL BE APPLIED TO ALL AREAS DISTURBED BY CONTRACTOR'S OPERATIONS:

Qty/Ac	Species	Area, N.F./Sq.
20	Bromus Catiarius	15/30
8	Trifolium Microbotryoides	30/60
8	Trifolium Globosum	30/60
4	Elychnis Californica	N/A

EROSION CONTROL NOTES

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND CONTROLLING ALL DRAINAGE TO AND FROM THE SITE. CONTROL OF SURFACE WATERS SHALL BE SUCH THAT EXISTING DRAINAGE PATTERNS ARE NOT DISTURBED OR ALTERED TO INCREASE THE AMOUNT AND/OR INTENSITY OF RUNOFF WATER AND SILT TO ADJACENT PRIVATE PROPERTIES, COUNTY RIGHT-OF-WAY AND EXISTING DRAINAGE STRUCTURES.
- THE CONTRACTOR SHALL ENSURE ALL PROTECTION MEASURES ARE IN PLACE PRIOR TO THE RAINY SEASON. THE PROTECTION MEASURES MAY NEED TO BE INSTALLED DURING OTHER PARTS OF THE YEAR SHOULD RAIN BE NEARBY.
- THE CONTRACTOR SHALL ADJUST THE LIMITS OF THE PROTECTION MEASURES SHOULD THEY BE INADEQUATE TO CONTROL RUNOFF OF SILT LADEN WATER.
- THE CONTRACTOR SHALL REMOVE SILT FROM ALL STORM DRAIN APPURTENANCES AND EROSION CONTROL DEVICES AFTER EACH RAIN.
- THE PROTECTION MEASURES MAY BE TEMPORARILY MOVED OUT OF THE CONTRACTOR'S WAY TO FACILITATE CONSTRUCTION, PROVIDED THEY ARE REINSTALLED PRIOR TO THE NEXT RAIN STORM.
- THE CONTRACTOR SHALL ADVISE HIS CREW OF THE INTENT OF THE PROTECTION MEASURES PRIOR TO THE START OF THE RAINY SEASON. THE CREW IS ENCOURAGED TO MONITOR THE EFFECTIVENESS OF THE SYSTEM AND ALERT THE CONTRACTOR OF ANY FAILURES OR PROBLEMS.
- STAGING, REFUELING OF EQUIPMENT AND MATERIALS STORAGE AREAS MAY CHANGE THROUGHOUT CONSTRUCTION. AS REQUIRED, THE AREAS SHALL BE INSPECTED FREQUENTLY TO ENSURE NO SPILLED HAZARDOUS MATERIALS CONTAMINATE THE GROUND. SHOULD THIS OCCUR, THE SPILL SHALL BE CLEANED UP IMMEDIATELY, REFUELING OF EQUIPMENT AND STORAGE OF HAZARDOUS MATERIALS SHALL NOT BE LOCATED NEAR STORM DRAIN INLETS, EXISTING RESOURCES OR DRAINAGE SMALES.



CONSTRUCTION NOTES

- INSTALL ROCK BAG BARRIER VELOCITY CHECK DAM PER DETAIL A AND SEDIMENT CONTROL NOTES, THIS SHEET.
- PROVIDE SILT FENCE PER DETAIL B, THIS SHEET.
- PROVIDE CONSTRUCTION ACCESS, SEE DETAIL C, THIS SHEET.
- PROVIDE CONCRETE WASH-OUT AREA PER DETAIL D, THIS SHEET.
- PROVIDE FIBER ROLLS PER DETAIL E, THIS SHEET.
- APPLY JUTE NETTING AND HYDROSEED MIX PER SEDIMENT CONTROL NOTES, THIS SHEET.

SHEET DATE: 3/27/2014 6:38:32 AM
 PLAN DATE: 3/27/2014 6:38:32 AM
 PLAN DATE: 3/27/2014 6:38:32 AM

NO.	DATE	REVISIONS	APPRO.

Penfold & Smith
 Engineering - Surveying - Planning
 Construction Management
 210 E. 4th St., Suite A, Santa Ana, CA 92701
 Phone: (714) 922-2343 Fax: (714) 922-1538

DESIGN BY _____ CHECKED _____
 BRIANNA H. DANIELS DATE: _____
 PROJECT ENGINEER
 R.C.C. 64820



COUNTY OF SANTA BARBARA
 REVIEWED BY **PRELIMINARY**
 SIGNATURE _____ DATE _____

EROSION AND SEDIMENT CONTROL PLAN
 SANTA ROSA ROAD WINERY
 APN 083-170-015
 BULLTON, SANTA BARBARA COUNTY

PAS PROJECT NO.
 21023.01
 SHEET **8** of **8**
 PLAN DATE
 MARCH 13, 2014

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