

SANTA BARBARA COUNTY PLANNING COMMISSION
Coastal Zone Staff Report for Ni Tennis Court Appeal

Hearing Date: June 26, 2019

Staff Report Date: June 18, 2019

Case No.: 19APL-00000-00006

Environmental Document: Exempt from CEQA pursuant to Sections 15303 and 15304 of the State CEQA Guidelines

Deputy Director: Jeff Wilson

Division: Development Review

Supervising Planner: Joe Dargel

Supervising Planner Phone #: 805-568-3573

Staff Contact: Ciara Ristig

Staff Contact Phone #: 805-568-2077

OWNER:

Wayne Ni

1221 Lomita Lane

Carpinteria, CA 93013

805-452-4800

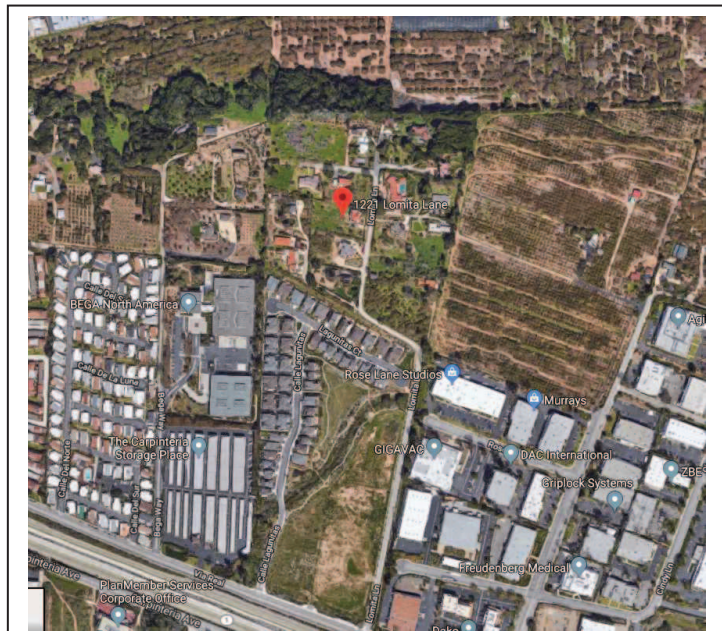
APPELLANT:

Po Wang

1217 Lomita Lane

Carpinteria, CA 93013

805-745-8600



This site is identified as Assessor Parcel Number 001-190-036, located at 1221 Lomita Lane in the Carpinteria Area, First Supervisorial District.

Land Use Approval: April 22, 2019

Appeal Filed: May 5, 2019

1.0 REQUEST

Hearing on the request of Po Wang, to consider Case No. 19APL-00000-00006 [appeal filed on May 2, 2019], to appeal the Director's approval of Case No. 18CDP-00000-00062, in compliance with Section 35-182 of Article II, the Coastal Zoning Ordinance. The application involves Assessor Parcel No. 001-190-036, located at 1221 Lomita Lane in the Carpinteria Area, First Supervisorial District.

2.0 RECOMMENDATION AND PROCEDURES

Follow the procedures outlined below and deny the appeal (Case No. 19APL-00000-00006), affirming the decision of the Director to conditionally approve Case No. 18CDP-00000-00062, marked “Officially Accepted, County of Santa Barbara, June 18, 2019, County Planning Commission Attachments A- D,” based upon the project's consistency with the Comprehensive Plan, the Coastal Land Use Plan, and based on the ability to make the required findings.

The Commission's motion should include the following:

1. Deny the appeal, Case No. 19APL-00000-00006;
2. Make the required findings for approval of the project specified in Attachment A of this staff report, including California Environmental Quality Act (CEQA) findings;
3. Determine the project is exempt from CEQA pursuant to CEQA Guidelines Sections 15303, and 15304 included as Attachment C;
4. Grant *de novo* approval of the project, Case No. 18CDP-00000-00062, subject to the conditions included as Attachment B.

Refer back to staff if the County Planning Commission takes other than the recommended action for appropriate findings and conditions.

3.0 JURISDICTION

The County Planning Commission is considering this appeal based on Article II, Coastal Zoning Ordinance Section 35-169.4.1.c, which states that “the action of the Director is final subject to appeal in compliance with Section 35-182 (Appeals)”. Given that the Coastal Development Permit was approved by the Director and subsequently appealed, the County Planning Commission is the decision maker pursuant to Section 35-182.4.A.2.d of the Coastal Zoning Ordinance.

4.0 ISSUE SUMMARY

The project on appeal before the County Planning Commission is a request for a Coastal Development Permit (CDP), Case No. 18CDP-00000-00062, to allow as-built grading

modifications to a previously approved CDP, Case No. 18CDP-00000-00009. When constructed, the proposed changes would allow the tennis court, accessory structures, and a shade structure to be elevated 2.5 feet higher than previously permitted. Under authority of the initial CDP, Case No. 18CDP-00000-00009, the property owner initiated grading of the site. However, during a site inspection by the County Grading Inspector, it was identified that the applicant had imported 500 cubic yards of soil, which was not in compliance with the approved grading plan. Work at the site has been suspended, pending approval of the new CDP, Case No. 18CDP-00000-00062. Construction of the tennis court, accessory structures, and other site improvements has not yet begun. The site is currently denuded of vegetation. The total grading for the current project includes 1,050 cubic yards of cut and 1,550 cubic yards of fill (import of 500 cubic yards). Grading quantities approved by the previous permit included 1,050 cubic yards of cut, 600 cubic yards of fill, and 450 cubic yards of export. As constructed and now proposed, the difference in grading is an increase of 950 cubic yards of fill. The project, Case No. 18CDP-00000-00062 was approved on April 22, 2019 and the appellant filed a timely appeal on May 2, 2019.

5.0 PROJECT INFORMATION

5.1 Site Information

Site Information	
Comprehensive Plan Designation	Residential, RES-1.0, Single Family/Maximum Dwelling Units- 1.0/acre
Zone	1-E-1
Site Size	1 acre
Present Use & Development	Single Family Dwelling
Surrounding Uses/Zone(s)	North: 1-E-1, Single Family Dwelling South: 1-E-1, Single Family Dwelling East: 1-E-1, Single Family Dwelling West: 1-E-1, Single Family Dwelling
Access	Lomita Lane
Public Services	Water Supply: Carpinteria Valley Water District Sewage: private septic Fire: Carpinteria/Summerland Fire District Police Services: County Sheriff

5.2 Setting

The one-acre project parcel is located along Lomita Lane and is currently developed with a single family dwelling and attached garage. Under authority of Coastal Development Permit, Case No.

18CDP-00000-00009, the property owner has initiated grading of the site for development of a tennis court, retaining walls, and ancillary site improvements. Final grade has not yet been achieved and site improvements are yet to be constructed. The site is currently denuded of vegetation. The parcel is in an Existing Developed Rural Neighborhood. The site is immediately surrounded by other single family dwellings, and there are other residential, agricultural, commercial and industrial functions in the surrounding area.

5.3 Description

The project is for a Coastal Development Permit to allow as-built modifications to a tennis court that has been elevated 2.5 feet higher than previously permitted under Case No. 18CDP-00000-00009, and to allow for the addition of a 115-foot long retaining 'planter wall' (ranging in height from 1-4 feet) between the tennis court retaining wall and property line, a 50-foot extension of a 6-foot high retaining wall to the east of the tennis court, a change in location of shallow retention basins, and additional grading along the existing driveway. The total grading for the current project includes 1,050 cubic yards of cut and 1,550 cubic yards of fill (import of 500 cubic yards). Grading quantities approved by the previous permit included 1,050 cubic yards of cut, 600 cubic yards of fill, and 450 cubic yards of export. As constructed and now proposed, the difference in grading is an increase of 950 cubic yards of fill. The project site will continue to be served by the Carpinteria/Summerland Fire Protection District, the Carpinteria Valley Water District and a private septic system. Access to the site will continue to be provided off of Lomita Lane. The one-acre project site is zoned 1-E-1, shown as Assessor's Parcel Number 001-190-036 and is located at 1221 Lomita Lane, in the Carpinteria Area, First Supervisorial District.

5.4 Background Information

The original Ni Tennis Court project, Case No. 18CDP-00000-00009, was approved by the Director on March 30, 2018. This permit authorized construction of a new tennis court with a surrounding 10-foot tall chain link fence, retaining walls, three retention basins, three accessory structures, a shade structure, and widening of the driveway. Grading for the project included 1,050 cubic yards of cut, 600 cubic yards of fill and 450 cubic yards of export. In October of 2018, the Santa Barbara County Grading Inspector was contacted by a neighbor, who was concerned that the applicant had imported soil without the benefit of a permit. On October 30, 2018, the County Grading Inspector visited the site and confirmed that the rough-graded tennis court pad did not conform to the approved grading plan and that roughly 500 cubic yards of soil had been imported. A stop work order was subsequently issued and the applicant chose to submit an application for a new Coastal Development Permit (Case No. 18CDP-00000-00062) to allow the as-built changes to the original permit, rather than remove the imported soil. This Coastal Development Permit was approved by the Director on April 22, 2019. The permit authorized a change in previously approved grading to widen the existing driveway and to elevate the tennis court and accessory structures by approximately 2.5 feet. The permit also allowed a 50-foot

extension to the previously approved 6-foot tall retaining wall at the southern end of the tennis court, and a change in location of retention basins. Total grading calculations for the project (including work done on the previous CDP) include 1,050 cubic yards of cut, 1,550 cubic yards of fill (an import of approximately 500 cubic yards of material).

6.0 PROJECT ANALYSIS

6.1 Appeal Issues

Subsequent to approval of Case No. 18CDP-00000-00062, Mr. Wang submitted a timely appeal application (included as Attachment D) that outlines three issues constituting grounds for the appeal. The appeal issues are summarized below and are followed by staff's response.

Appeal Issue #1- Inconsistent and Unauthorized Construction

The appellant asserts that the property owner has shown a continued pattern of unauthorized construction, most recently the import of excess fill not consistent with the approved permit.

Staff Response:

As stated above, upon inspection of the site by the County Grading Inspector, inconsistencies between the approved project and the as-built project were identified and a stop work order was issued. In order to achieve compliance, the applicant was required to either conform to the approved plan or apply for a new CDP. The applicant applied for a permit to allow for the as-built work completed at the site. Approval of the CDP, Case No. 18CDP-00000-00062, would bring the as-built project into compliance. As indicated in the staff report, findings for approval for 18CDP-00000-00062 can be made.

Appeal Issue #2- Excessive Run-Off and Flooding

The appellant states that water and dirt washed off Mr. Ni's property onto his and other adjacent properties, as shown in the photos attached to his appeal. The appellant also claims that the neighborhood will suffer further unless Mr. Ni gets an approved water and soil retention plan.

Staff Response:

As part of the review of the CDP, Case No. 18CDP-00000-00062, for the unpermitted as-built changes, a stormwater management plan designed by a licensed engineer was provided, see sheet C1.2 (Attachment D). As designed, the project would adequately retain runoff that has increased as a result of the new impervious surfaces and grading. An erosion control plan was also

submitted and approved, see sheet C4.0 of Attachment D. Vegetation is also required to be planted once grading is complete, per Coastal Development Permit Condition 8 (see Attachment B).

As described in Section 5.4, a stop work order was issued on the project in October of 2018, preventing the applicant from doing further work on the project. The applicant, in coordination with the County Grading Inspector, installed erosion control measures in preparation for the rainy season. Upon successful implementation of all project components, including the erosion control plan, stormwater management plan and establishment of vegetation, the site would retain the additional runoff it creates. These plans are required as conditions of approval for the new CDP.

Appeal Issue #3- Structures Inconsistent with the Local Landscape

The appellant claims that the increase in retaining wall height to build the tennis court will affect the character of the neighborhood and that ‘all the neighbors will see is the cement wall’. The appellant also has concerns about the potential for the wall and dirt to be damaged during an earthquake and the potential impact to neighboring properties.

Staff Response:

Due to grading changes, the overall height of the proposed 6-foot tall southern retaining wall would be approximately 2.5 feet taller than what was approved under 18CDP-00000-00009. The proposed northern retaining wall has a maximum height of 4 feet, an overall decrease in height of approximately 2 feet from what was approved under 18CDP-00000-00009. Both retaining walls are outside of required site setbacks and within the allowable height range for this zone district. Per Article II Coastal Zoning Ordinance, retaining walls over 4 feet require a Coastal Development Permit. Pursuant to Article II Section 35-123, there is no maximum height for a wall if the wall is outside of site setbacks. Landscaping, including planting on the planter wall, has been proposed to soften the view from the southern elevation.

All retaining walls are required to meet standards imposed by Building and Safety and the California Building Code, which include earthquake safety standards. The walls will be built to this standard and verified in the field by Planning and Development Department Building Inspectors.

6.2 Environmental Review

The project can be found categorically exempt from environmental review under the California Environmental Quality Act (CEQA) pursuant to Sections 15303 and 15304 of the State CEQA

Guidelines. Section 15303 exempts the construction and conversion small structures, including tennis courts and retaining walls. Section 15304 exempts minor alterations of land, including grading. See Attachment C to this staff report for a detailed discussion of these exemptions.

6.3 Comprehensive Plan Consistency

REQUIREMENT	DISCUSSION
<p>Policy 3-13: Plans for development shall minimize cut and fill operations. Plans requiring excessive cutting and filling may be denied if it is determined that the development could be carried out with less alteration of the natural terrain.</p>	<p>Consistent: The total grading for the current project includes 1,050 cubic yards of cut and 1,550 cubic yards of fill (import of 500 cubic yards). Grading quantities approved by the previous permit included 1,050 cubic yards of cut, 600 cubic yards of fill, and 450 cubic yards of export. As constructed and now proposed, the difference in grading is an increase of 950 cubic yards of fill. The 500 cubic yards of fill material has already been imported, which was not in accordance with the previously approved permit. According to the proposed plans, the fill material would be used to raise the tennis court 2.5 feet higher than the previous approval. The purpose of this change in the grading plan is to decrease the severity of the slope angle from the single family dwelling to the tennis court to allow for greater wheelchair accessibility. The placement of the tennis court will not change from what was previously approved. Therefore, the proposed project is consistent with this policy.</p>
<p>Policy 3-14: All development shall be designed to fit the site topography, soils, geology, hydrology, and any other existing conditions and be oriented so that grading and other site preparation is kept to an absolute minimum. Natural features, landforms, and native vegetation, such as trees, shall be preserved to the maximum extent feasible. Areas of the site which are not suited for development because of known soil, geologic, flood, erosion or other</p>	<p>Consistent: The total grading for the current project includes 1,050 cubic yards of cut and 1,550 cubic yards of fill (import of 500 cubic yards). Grading quantities approved by the previous permit included 1,050 cubic yards of cut, 600 cubic yards of fill, and 450 cubic yards of export. As constructed and now proposed, the difference in grading is an increase of 950 cubic yards of fill. Ground</p>

<p>hazards shall remain in open space.</p>	<p>disturbance would be only slightly increased as a result of the proposed expanded graded area to the south of the driveway. Much of the entire 1-acre parcel has already been disturbed for this project. No known soil, geologic, flood, erosion, or other hazards are located on the property. According to the landscape and drainage plans, the proposed project would be designed to fit within the site topography of the subject parcel. Therefore, the proposed project is consistent with this policy.</p>
<p>Policy 3-16: Sediment basins (including debris basins, desilting basins, or silt traps) shall be installed on the project site in conjunction with the initial grading operations and maintained throughout the development process to remove sediment from runoff waters. All sediment shall be retained on site unless removed to an appropriate dumping location.</p>	<p>Consistent: The sediment basins to the west of the tennis court were rough graded before the project was required to stop work in October. When the project was stopped in October, the applicant, in coordination with the County's Grading Inspector, installed coconut matting and berms to prevent sediment from leaving the property, but was unable to fully contain runoff caused by rain during the winter. Once the project is completed and revegetated as conditioned, the site will retain any runoff it creates, as shown by the stormwater management plan which was designed by a licensed engineer. Therefore, with the implementation of the stormwater management plan, revegetation of the site, and the erosion control plan, the project is consistent with this policy.</p>
<p>Policy 3-17: Temporary vegetation, seeding, mulching, or other suitable stabilization method shall be used to protect soils subject to erosion that have been disturbed during grading or development. All cut and fill slopes shall be stabilized immediately with planting of native grasses and shrubs, appropriate nonnative plants, or with accepted landscaping practices.</p>	<p>Consistent: The project has been conditioned to require revegetation within 30 days of completion of grading, see Condition 8 of the CDP, Attachment B. Specifically, the Owner/Applicant shall re-vegetate graded areas upon completion of grading activities with deep rooted, native, drought tolerant species to minimize slope failure and erosion potential, use hydroseed, straw blankets, other geotextile binding fabrics or other P&D approved</p>

	<p>methods as necessary to hold slope soils until vegetation is established. Therefore the proposed project is consistent with this policy.</p>
<p>Policy 3-18: Provisions shall be made to conduct surface water to storm drains or suitable watercourses to prevent erosion. Drainage devices shall be designed to accommodate increased runoff resulting from modified soil and surface conditions as a result of development. Water runoff shall be retained on-site whenever possible to facilitate groundwater recharge.</p>	<p>Consistent: The project includes four retention basins that were designed by the project engineer to contain estimated runoff based on historic levels and new impervious surfaces. Although the placement of the retention basins has changed from the previous project, 18CDP-00000-00009, the basins have been designed to adequately retain runoff. The subject parcel slopes toward the southwest. Existing historic drainage patterns of water exiting the property would not be affected by the completed project. Therefore the proposed project is consistent with this policy.</p>
<p>Visual Policy 4-3: In areas designated as rural on the land use plan maps, the height, scale, and design of structures shall be compatible with the character of the surrounding natural environment, except where technical requirements dictate otherwise. Structures shall be subordinate in appearance to natural landforms; shall be designed to follow the natural contours of the landscape; and shall be sited so as not to intrude into the skyline as seen from public viewing places.</p>	<p>Consistent: The tennis court and surrounding chain link fencing would be visible from adjacent properties. The 2.5 foot height increase from the project previously approved is within the allowable height for this zone district, is outside of required setbacks, and the court surface is approximately 7 feet lower than the existing single family dwelling on the property. Landscaping, including planting on the planter wall, has been proposed to soften the view from the southern elevation. The chain link fence surrounding the tennis court is functional and will not limit light to neighboring properties. Considering the minimal change from the previous project, the proposed project is consistent with this policy.</p>

6.4 Zoning: Article II

6.4.1 Compliance with Article II, Coastal Zoning Ordinance

Article II Section 35-71 – Purpose and Intent. R-1/E-1 (Single Family Residential) zone:

“...to reserve appropriately located areas for family living at a reasonable range of population densities consistent with sound standards of public health, welfare, and safety. It is the intent of

this district to protect the residential characteristics of an area and to promote a suitable environment for family life.”

Compliant: The project would be in conformance with the purpose and intent of the R-1/E-1 zone district. The tennis court, accessory structures and the proposed changes to the project from the previously approved CDP would be consistent with the residential character of the area and are accessory and customarily incidental to the current use as a single family dwelling.

Article II, Section 35-71 – Setbacks for Buildings and Structures and Height Limit

Compliant: The project would meet all applicable setback requirements of the R-1/E-1 zone district. The proposed structural development is outside of the setbacks and the proposed accessory structures are in conformance with the height requirements of the district. Per Article II Coastal Zoning Ordinance, retaining walls over 4 feet require a Coastal Development Permit. Pursuant to Article II Section 35-123, there is no maximum height for a wall if the wall is outside of site setbacks.

6.5 Design Review

The project is not subject to Design Review. The parcel is not within the Design Control Overlay, is not part of a Community Plan and does not meet the Hillside Ridgeline Development criteria.

7.0 APPEALS PROCEDURE

The action of the Planning Commission may be appealed to the Board of Supervisors within ten (10) calendar days of said action. The appeal fee to the Board of Supervisors is \$659.92.

ATTACHMENTS

- A. Findings
- B. Conditions of Approval
- C. CEQA Exemption
- D. Site Plan

ATTACHMENT A: FINDINGS

1.0 CEQA FINDINGS

1.1 CEQA EXEMPTION

The Planning Commission finds that the proposed project is exempt from environmental review under the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15303, and 15304. Please see Attachment C, Notice of Exemption.

2.0 ADMINISTRATIVE FINDINGS

2.1 COASTAL DEVELOPMENT PERMIT FINDINGS

2.1.1 *Findings required for all Coastal Development Permits. In compliance with Section 35-60.5 of the Article II Coastal Zoning Ordinance, prior to issuance of a Coastal Development Permit, the County shall make the finding, based on information provided by environmental documents, staff analysis, and/or the applicant, that adequate public or private services and resources (i.e., water, sewer, roads, etc.) are available to serve the proposed development.*

As discussed in the staff report, dated June 18, 2019 and incorporated herein by reference, adequate services are available to serve the proposed development. The site will continue to be served by the Carpinteria Valley Water District, Carpinteria-Summerland Fire Protection District, Santa Barbara County Sheriff's Department, and a private septic system. Therefore, this finding can be made.

2.1.2 *Findings required for Coastal Development Permit applications subject to Section 35-169.4.1. In compliance with Section 35-169.5.1 of the Article II Coastal Zoning Ordinance, prior to the approval or conditional approval of an application for a Coastal Development Permit subject to Section 35-169.4.1 the decision-maker shall first make all of the following findings:*

1. The proposed development conforms:

- a. To the applicable policies of the Comprehensive Plan, including the Coastal Land Use Plan;***
- b. With the applicable provisions of this Article or the project falls within the limited exceptions allowed under with Section 35-161***

(Nonconforming Use of Land, Buildings, and Structures).

As discussed in the staff report, dated June 18, 2019 and incorporated herein by reference, the development conforms to the applicable provisions of the Comprehensive Plan, including the Coastal Land Use Plan. In addition, the proposed development is consistent with the Article II requirements for the 1-E-1 zone district, as they relate to permitted uses, building heights, setbacks, and parking. Therefore, this finding can be made.

2. *The proposed development is located on a legally created lot.*

The subject lot is a 1 acre parcel that is shown as Lot C (Parcel "A") of Parcel Map 11,719 and is shown on Recorded Map Book 9, Page 100 of the County of Santa Barbara Maps and Surveys. Therefore, this finding can be made.

3. ***The subject property and development on the property is in compliance with all laws, rules, and regulations pertaining to zoning uses, subdivisions, setbacks and any other applicable provisions of this Article, and any applicable zoning violation enforcement fees and processing fees have been paid. This subsection shall not be interpreted to impose new requirements on legal nonconforming uses and structures in compliance with Division 10 (Nonconforming Structures and Uses).***

As conditioned, the subject property is, and the proposed project will be, in full compliance with all laws, rules and regulations pertaining to zoning uses, subdivisions, setbacks and all other applicable provisions of the Article II Zoning Ordinance, for the 1-E-1 zone district. Additionally, all processing fees have been paid to date. Therefore, this finding can be made.



COASTAL DEVELOPMENT PERMIT NO.: 18CDP-00000-00062

Project Name: NI TENNIS COURT
Project Address: 1221 LOMITA LN, CARPINTERIA, CA 93013
A.P.N.: 001-190-036
Zone: 1-E-1

The Planning and Development Department hereby approves this Coastal Development Permit for the project described below based upon compliance with the required findings for approval and subject to the attached terms and conditions.

APPROVAL DATE: 5/29/2019
LOCAL APPEAL PERIOD BEGINS: 5/30/2019
LOCAL APPEAL PERIOD ENDS: 6/10/2019
DATE OF PERMIT ISSUANCE (if no appeal is filed): 6/11/2019

APPEALS:

1. The approval of this Coastal Development Permit may be appealed to the County Planning Commission by the applicant, owner, or any aggrieved person. An aggrieved person is defined as any person who, either in person or through a representative, appeared at a public hearing in connection with this decision or action being appealed, or who by other appropriate means prior to a hearing or decision, informed the decision-maker of the nature of their concerns, or who, for good cause, was unable to do either. The appeal must be filed in writing and submitted in person to the Planning and Development Department at either 123 East Anapamu Street, Santa Barbara, or 624 West Foster Road, Suite C, Santa Maria, prior to 5:00 p.m. on or before the date that the local appeal period ends as identified above (Article II Section 35-182).
2. Final action by the County on this permit may not be appealed to the California Coastal Commission; therefore payment of a fee is required to file an appeal of the approval of this Coastal Development Permit.

PROJECT DESCRIPTION SUMMARY: Change in previously approved grading to elevate tennis court, accessory structures by approximately 2 feet. Associated 6' retaining wall at southern end of tennis court & 10 foot fencing surrounding tennis court to remain. Addition of smaller 115' long retaining 'planter wall' (ranging in height from 1-4') between tennis court retaining wall and property line. 50 foot extension of 6' retaining wall to the east of the tennis court, change in location of shallow retention basins from east to west side (near rear property line) of tennis court. Grading to increase flat area at driveway/entrance to property. Total grading calculations for project (including work done on the previous CDP) include 1050 cy of cut/fill and import of approximately 500 cubic yards of material. Project will include the 3 accessory structures and canopy proposed with the previous CDP. To receive additional information regarding this project and/or to view the application and/or plans, please contact Ciara Ristig at 123 East Anapamu Street, Santa Barbara, by email (cristig@co.santa-barbara.ca.us), or by phone ((805) 568-2077).

PROJECT SPECIFIC CONDITIONS: See Attachment A.

ASSOCIATED CASE NUMBERS: 18CDP-00000-00009; 19APL-00000-00006

PERMIT ISSUANCE: This Coastal Development Permit will be issued following the close of the appeal period provided an appeal is not filed, or if appealed, the date of final action on the appeal which has the effect of upholding the approval of the permit. Issuance of this permit is subject to compliance with the following terms and conditions:

1. **Notice.** Notice of this project shall be posted on the project site by the applicant utilizing the language and form of the notice provided by the Planning and Development Department. The notice shall remain posted continuously until at least 10 calendar days following action on the permit, including an action on any appeal of this permit (Article II Section 35-181). The **Proof of Posting of Notice on Project Site** shall be signed and returned to the Planning and Development Department prior the issuance of the permit.

2. **Compliance with conditions.** All conditions that are required to be satisfied prior to issuance of the permit have been satisfied and the permit has been signed by the applicant or owner.
3. **Design Review.** If required, the project has been granted final approval by the appropriate Board of Architectural Review (BAR), and an appeal of that final approval has not been filed.
4. **Appeals.** An appeal of the approval of this permit, or an appeal of the final approval by the BAR, has not been filed with the County. If an appeal has been filed then the permit shall not be issued until final action on the appeal(s) has occurred which has the effect of upholding the approval of this permit, and, if applicable, the final approval by the BAR.
5. **Other approvals.** Any other necessary approvals required prior to issuance of this Coastal Development Permit have been granted.

PERMIT EXPIRATION AND EXTENSION: This permit shall remain valid only as long as compliance with all applicable requirements of the Article II Coastal Zoning Ordinance and the permit continues, including the conditions of approval specific to this permit. Additionally:

1. The approval of this permit shall expire either 12 months from the effective date of the permit or other period allowed in compliance with an approved Time Extension, and shall be considered void and of no further effect unless the permit is either issued within the applicable period in compliance with the terms indicated above or a valid application for a Time Extension is submitted prior to the expiration of this 12 month period and is subsequently approved (Article II Section 35-169).
2. This permit shall expire two years from the date of issuance and be considered void and of no further effect unless the use and/or structure for which the permit was issued has been lawfully established or commenced in compliance with the issued permit or an application for a Time Extension is submitted prior to the expiration of this two year period and is subsequently approved (Article II Section 35-169).
3. The effective date of this permit shall be (a) the day following the close of any applicable appeal period provided an appeal is not filed, or (b) if appealed, the date of final action on the appeal which has the effect of upholding the approval, or (c) some other date as indicated in this permit (Article II Section 35-57B).

WORK PROHIBITED PRIOR TO PERMIT ISSUANCE: No work, development, or use intended to be authorized pursuant to this permit approval shall commence prior to issuance of this permit and/or any other required permit (e.g., building permit).

OWNER/APPLICANT ACKNOWLEDGMENT: Undersigned permittee acknowledges receipt of this approval and agrees to abide by all conditions and terms thereof. Undersigned permittee also acknowledges that issuance of this permit for this project does not allow construction or use outside of the project description, nor shall it be construed to be an approval of a violation of any provision of any County policy, ordinance or other governmental regulation.

Print name	Signature	Date
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Coastal Development Permit Approval By:

Director, Planning and Development	Date
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PERMIT ISSUANCE: The permit shall be issued and deemed effective on the date signed and indicated below.

Planning and Development Department Issuance By:

Planner	Date
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ATTACHMENT A: CONDITIONS OF APPROVAL

Project Description

- 1. Proj Des-01 Project Description:** This Coastal Development Permit is based upon and limited to compliance with the project description, and all conditions of approval set forth below, including mitigation measures and specified plans and agreements included by reference, as well as all applicable County rules and regulations. The project description is as follows:
Change in previously approved grading to elevate tennis court, accessory structures by approximately 2 feet. Associated 6' retaining wall at southern end of tennis court & 10 ft' fencing surrounding tennis court to remain. Addition of smaller 115' long retaining 'planter wall' (ranging in height from 1-4') between tennis court retaining wall and property line. 50 foot extension of 6' retaining wall to the east of the tennis court, change in location of shallow retention basins from east to west side (near rear property line) of tennis court. Grading to increase flat area at driveway/entrance to property. Total grading calculations for project (including work done on the previous CDP) include 1050 cy of cut/fill and import of approximately 500 cubic yards of material. Project will include the 3 accessory structures and canopy proposed with the previous CDP. The project site will continue to be served by the Carpinteria/Summerland Fire Protection District, the Carpinteria Valley Water District and a private septic system. Access to the site will continue to be provided off of Lomita Lane. The project site totals 1 acre, is zoned 1-E-1, is shown as Assessors Parcel Number 001-190-036 and is located at 1221 Lomita Lane, in the Carpinteria Area, First Supervisorial District.

Any deviations from the project description, exhibits or conditions must be reviewed and approved by the County for conformity with this approval. Deviations may require approved changes to the permit and/or further environmental review. Deviations without the above described approval will constitute a violation of permit approval.

- 2. Proj Des-02 Project Conformity:** The grading, development, use, and maintenance of the property, the size, shape, arrangement, and location of the structures, parking areas and landscape areas, and the protection and preservation of resources shall conform to the project description above and the hearing exhibits and conditions of approval below. The property and any portions thereof shall be sold, leased or financed in compliance with this project description and the approved hearing exhibits and conditions of approval thereto. All plans (such as Landscape and Tree Protection Plans) must be submitted for review and approval and shall be implemented as approved by the County.

Conditions By Issue Area

- 3. Air-01 Dust Control:** The Owner/Applicant shall comply with the following dust control components at all times including weekends and holidays:
 - a. Dust generated by the development activities shall be kept to a minimum with a goal of retaining dust on the site.
 - b. During clearing, grading, earth moving, excavation, or transportation of cut or fill materials, use water trucks or sprinkler systems to prevent dust from leaving the site and to create a crust after each day's activities cease.
 - c. During construction, use water trucks or sprinkler systems to keep all areas of vehicle movement damp enough to prevent dust from leaving the site.
 - d. Wet down the construction area after work is completed for the day and whenever wind exceeds 15 mph.

- e. When wind exceeds 15 mph, have site watered at least once each day including weekends and/or holidays.
- f. Order increased watering as necessary to prevent transport of dust off-site.
- g. Cover soil stockpiled for more than two days or treat with soil binders to prevent dust generation. Reapply as needed.
- h. If the site is graded and left undeveloped for over four weeks, the Owner/Applicant shall immediately:
 - i. Seed and water to re-vegetate graded areas; and/or
 - ii. Spread soil binders; and/or
 - iii. Employ any other method(s) deemed appropriate by P&D or APCD.

PLAN REQUIREMENTS: These dust control requirements shall be noted on all grading and building plans.

PRE-CONSTRUCTION REQUIREMENTS: The contractor or builder shall provide APCD with the name and contact information for an assigned onsite dust control monitor(s) who has the responsibility to:

- a. Assure all dust control requirements are complied with including those covering weekends and holidays.
- b. Order increased watering as necessary to prevent transport of dust offsite.
- c. Attend the pre-construction meeting.

TIMING: The dust monitor shall be designated prior to approval of first Grading Permit. The dust control components apply from the beginning of any grading or construction throughout all development activities until Final Building Inspection Clearance is issued.

MONITORING: B&S grading and building inspectors shall spot check; Grading and Building shall ensure compliance onsite. APCD inspectors shall respond to nuisance complaints.

4. **Geo-02 Erosion and Sediment Control Plan:** Where required by the latest edition of the California Green Code and/or Chapter 14 of the Santa Barbara County Code, an Erosion and Sediment Control Plan (ESCP) shall be implemented as part of the project. Grading and erosion and sediment control plans shall be designed to minimize erosion during construction and shall be implemented for the duration of the grading period and until re-graded areas have been stabilized by structures, long-term erosion control measures or permanent landscaping. The Owner/Applicant shall submit the ESCP using Best Management Practices (BMP) designed to stabilize the site, protect natural watercourses/creeks, prevent erosion, convey storm water runoff to existing drainage systems keeping contaminants and sediments onsite. The ESCP shall be a part of the Grading Plan submittal and will be reviewed for its technical merits by P&D. Information on Erosion Control requirements can be found on the County web site re: Grading Ordinance Chapter 14 (<http://sbcountyplanning.org/building/grading.cfm>) refer to Erosion and Sediment Control Plan Requirements.

PLAN REQUIREMENTS: The grading and ESCP shall be submitted for review and approved by P&D prior to approval of land use clearances. The plan shall be designed to address erosion, sediment and pollution control during all phases of development of the site until all disturbed areas are permanently stabilized.

TIMING: The ESCP requirements shall be implemented between November 1st and April 15th of each year, except pollution control measures shall be implemented year round.

MONITORING: P&D staff shall perform site inspections throughout the construction phase.

- 5. Noise-02 Construction Hours:** The Owner /Applicant, all contractors and subcontractors shall limit construction activity, including equipment maintenance and site preparation, to the hours between 8:00 a.m. and 5:00 p.m., Monday through Friday. No construction shall occur on weekends or State holidays. Non-noise generating construction activities such as interior plumbing, electrical, drywall and painting (depending on compressor noise levels) are not subject to these restrictions.
PLAN REQUIREMENTS: The Owner/Applicant shall provide and post [2] signs stating these restrictions at construction site entries.
TIMING: Signs shall be posted prior to commencement of construction and maintained throughout construction.
MONITORING: The Owner/Applicant shall demonstrate that required signs are posted prior to grading/building permit issuance and pre-construction meeting. Building inspectors and staff shall spot check and respond to complaints.
- 6. Parking-02 Onsite Construction Parking:** All construction-related vehicles, equipment staging and storage areas shall be located onsite and outside of the road and highway right of way. The Owner/Applicant shall provide all construction personnel with a written notice of this requirement and a description of approved parking, staging and storage areas. The notice shall also include the name and phone number of the Owner/Applicant's designee responsible for enforcement of this restriction.
PLAN REQUIREMENTS: Designated construction personnel parking, equipment staging and storage areas shall be depicted on project plans submitted for the Coastal Development Permit.
TIMING: A copy of the written notice shall be submitted to P&D permit processing staff prior to Issuance of the Coastal Development Permit. This restriction shall be maintained throughout construction.
MONITORING: P&D and Building and Safety shall confirm the availability of designated onsite areas during construction, and as required, shall require re-distribution of updated notices and/or refer complaints regarding offsite parking to appropriate agencies.
- 7. WatCons-03 Water Conservation in Landscaping:** The project is subject to the California Water Conservation in Landscaping requirements. Prior to issuance of the CDP, the Owner/Applicant shall fill out, obtain the stamp of the appropriate licensed professional, sign, and submit to P&D a Water Efficient Landscape Ordinance Supplemental application, as appropriate to the size of the landscape area.
TIMING: The supplemental application shall be completed, stamped, signed, and submitted to P&D prior to issuance of the CDP. The landscape and irrigation shall be installed per plan prior to Final Building Inspection Clearance.
MONITORING: Permit Compliance shall check in the field prior to Final Building Inspection Clearance.
PLAN REQUIREMENTS: The Owner/Applicant shall depict the California Water Conservation in Landscaping supplemental application landscape plans on building plans.
- 8. WatConv-03 Erosion and Sediment Control Revegetation:** The Owner/Applicant shall re-vegetate graded areas upon completion of grading activities with deep rooted, native, drought tolerant species to minimize slope failure and erosion potential. Use hydroseed, straw blankets, other geotextile binding fabrics or other P&D approved methods as necessary to hold slope soils until vegetation is

established. P&D may require the reseeded of surfaces graded for the placement of structures if construction does not commence within 30 days of grading.

PLAN REQUIREMENTS: Include this measure as a note on all grading and building plans.

TIMING: The Owner/Applicant shall re-vegetate graded areas within 30 days.

MONITORING: The Owner/Applicant shall demonstrate compliance to grading and building inspectors in the field.

County Rules and Regulations

- 9. Rules-01 Effective Date-Not Appealable to CCC:** This Coastal Development Permit shall become effective upon the date of the expiration of the applicable appeal period provided an appeal has not been filed. If an appeal has been filed, the planning permit shall not be deemed effective until final action by the final review authority on the appeal. No entitlement for the use or development shall be granted before the effective date of the planning permit.
- 10. Rules-03 Additional Permits Required:** The use and/or construction of any structures or improvements authorized by this approval shall not commence until the all necessary planning and building permits are obtained. Before any Permit will be issued by Planning and Development, the Owner/Applicant must obtain written clearance from all departments having conditions; such clearance shall indicate that the Owner/Applicant has satisfied all pre-construction conditions. A form for such clearance is available from Planning and Development.
- 11. Rules-05 Acceptance of Conditions:** The Owner/Applicant's acceptance of this permit and/or commencement of use, construction and/or operations under this permit shall be deemed acceptance of all conditions of this permit by the Owner/Applicant.
- 12. Rules-10 CDP Expiration:** The approval or conditional approval of a Coastal Development Permit shall be valid for one year from the date of action by the Director. Prior to the expiration of the approval, the review authority who approved the Coastal Development Permit may extend the approval one time for one year if good cause is shown and the applicable findings for the approval required in compliance with Section 35-169.5 can still be made. A Coastal Development Permit shall expire two years from the date of issuance if the use, building or structure for which the permit was issued has not been established or commenced in conformance with the effective permit. Prior to the expiration of such two year period the Director may extend such period one time for one year for good cause shown, provided that the findings for approval required in compliance with Section 35-169.5, as applicable, can still be made.
- 13. Rules-20 Revisions to Related Plans:** The Owner/Applicant shall request a revision for any proposed changes to approved plans. Substantial conformity shall be determined by the Director of P&D.
- 14. Rules-23 Processing Fees Required:** Prior to issuance of the Coastal Development Permit, the Owner/Applicant shall pay all applicable P&D permit processing fees in full as required by County ordinances and resolutions.
- 15. Rules-30 Plans Requirements:** The Owner/Applicant shall ensure all applicable final conditions of approval are printed in their entirety on applicable pages of grading/construction or building plans submitted to P&D or Building and Safety Division. These shall be graphically illustrated where feasible.

- 16. Rules-32 Contractor and Subcontractor Notification:** The Owner/Applicant shall ensure that potential contractors are aware of County requirements. Owner / Applicant shall notify all contractors and subcontractors in writing of the site rules, restrictions, and Conditions of Approval and submit a copy of the notice to P&D compliance monitoring staff.
- 17. Rules-33 Indemnity and Separation:** The Owner/Applicant shall defend, indemnify and hold harmless the County or its agents or officers and employees from any claim, action or proceeding against the County or its agents, officers or employees, to attack, set aside, void, or annul, in whole or in part, the County's approval of this project. In the event that the County fails promptly to notify the Owner / Applicant of any such claim, action or proceeding, or that the County fails to cooperate fully in the defense of said claim, this condition shall thereafter be of no further force or effect.
- 18. Rules-35 Limits:** This approval does not confer legal status on any existing structures(s) or use(s) on the property unless specifically authorized by this approval.
- 19. Rules-37 Time Extensions-All Projects:** The Owner / Applicant may request a time extension prior to the expiration of the permit or entitlement for development. The review authority with jurisdiction over the project may, upon good cause shown, grant a time extension in compliance with County rules and regulations, which include reflecting changed circumstances and ensuring compliance with CEQA. If the Owner / Applicant requests a time extension for this permit, the permit may be revised to include updated language to standard conditions and/or mitigation measures and additional conditions and/or mitigation measures which reflect changed circumstances or additional identified project impacts.

NOTICE OF EXEMPTION

TO: Santa Barbara County Clerk of the Board of Supervisors

FROM: Ciara Ristig, Planning & Development

The project or activity identified below is determined to be exempt from further environmental review requirements of the California Environmental Quality Act (CEQA) of 1970, as defined in the State and County Guidelines for the implementation of CEQA.

APN: 001-190-036 **Case No.:** 18CDP-00000-00062

Location: 1221 Lomita Lane

Project Title: Ni Tennis Court

Project Applicant: Wayne Ni

Project Description:

The project is for a Coastal Development Permit to allow a change in previously approved permit 18CDP-00000-00009 to elevate tennis court, accessory structures by approximately 2.5 feet and to maintain the associated 6 foot tall retaining wall at southern end of tennis court and 10 foot chain link fencing surrounding tennis. The project will allow the addition of a smaller 115 foot long retaining 'planter wall' (ranging in height from 1-4 feet) between tennis court retaining wall and property line. 50 foot extension of 6 foot tall retaining wall to the east of the tennis court, a change in location of shallow retention basins from east to west side (near rear property line) of tennis court and grading to increase flat area at driveway/entrance to property. Total grading calculations for project (including work done on the previous CDP) include 1050 cy of cut/fill and import of approximately 500 cubic yards of material. Project will include the 3 accessory structures and canopy proposed with the previous CDP. The project site will continue to be served by the Carpinteria/Summerland Fire Protection District, the Carpinteria Valley Water District and a private septic system. Access to the site will continue to be provided off of Lomita Lane. The project site totals 1 acre, is zoned I-E-1, is shown as Assessors Parcel Number 001-190-036 and is located at 1221 Lomita Lane, in the Carpinteria Area, First Supervisorial District.

Name of Public Agency Approving Project: County of Santa Barbara

Name of Person or Agency Carrying Out Project: Wayne Ni

Exempt Status: (Check one)

- Ministerial
- Statutory Exemption
- Categorical Exemption
- Emergency Project
- Declared Emergency

Cite specific CEQA and/or CEQA Guideline: Sections 15303 and 15304

Reasons to support exemption findings:

Section 15303 exempts new construction or conversion of small structures, including accessory structures, such as a tennis court and retaining walls. Section 15304 relates to this project in that it exempts alterations in the condition of land which do not involve the removal of healthy, mature, scenic trees.

The proposed project does not involve unusual circumstances, including future activities, resulting in or which might reasonably result in significant impacts which threaten the environment. The exceptions to the categorical exemptions pursuant to Section 15300.2 of the State CEQA Guidelines are:

- (a) **Location. Classes 3, 4, 5, 6, and 11 are qualified by consideration of where the project is to be located -- a project that is ordinarily insignificant in its impact on the environment may in a particularly sensitive environment be significant. Therefore, these classes are considered to apply all instances, except where the project may impact on an environmental resource of hazardous or critical concern where designated, precisely mapped, and officially adopted pursuant to law by federal, state, or local agencies.**

There are no designated or mapped environmentally sensitive habitats (ESH), biological or cultural resources, or other resources of hazardous or critical concern located in, or within close proximity to, the proposed project site. The nearest mapped ESH area is located approximately 3000 feet northwest of the proposed project site and is separated from the project site by existing dwellings and roads. Impacts associated with the project would be insignificant as all proposed development would be located on already disturbed portions of the site. Therefore, this exception to the categorical exemptions would not apply.

- (b) **Cumulative Impact. All exemptions for these classes are inapplicable when the cumulative impact of successive projects of the same type in the same place, over time is significant.**

The proposed project includes elevation of the previously approved tennis court by 2 feet, addition retaining walls ranging from 1-6' retaining wall, shallow retention basins, grading to increase flat area at driveway/entrance to property and landscaping on a legal lot. The proposed development meets all applicable criteria of the Article II Coastal Zoning Ordinance and the Comprehensive Plan, including the Coastal Land Use Plan. The proposed project would create no significant impacts to protected resources. Additional minor structural development of the same type in the same place, over time, that is developed in conformance with applicable ordinance and policy regulations on residentially-zoned parcels in the vicinity would not result in a cumulatively significant impact. Therefore, this exception to the categorical exemptions does not apply.

- (c) **Significant Effect. A categorical exemption shall not be used for an activity where there is a reasonable possibility that the activity will have a significant effect on the environment due to unusual circumstances.**

There is no substantial evidence that the proposed project involves unusual circumstances, including future activities, resulting in or which might reasonably result in significant impacts which threaten the environment. Accordingly, this exception to the Categorical Exemption is not applicable to the proposed project.

- (d) **Scenic Highways. A categorical exemption shall not be used for a project which may result in damage to scenic resources, including but not limited to, trees, historic buildings, rock outcroppings, or similar resources, within a highway officially designated as a state scenic highway. This does not apply to improvements which are required as mitigation by an adopted negative declaration or certified EIR.**

The project site is not located near a designated state scenic highway. Accordingly this exception to the Categorical Exemption is not applicable to the proposed project.

- (e) **Hazardous Waste Sites. A categorical exemption shall not be used for a project located on a site which is included on any list compiled pursuant to Section 65962.5 of the Government Code.**

The project site is not a hazardous waste site included on any list compiled pursuant to Section 65962.5 of the Government Code, and therefore this exception to the Categorical Exemption is not applicable to the proposed project.

- (f) **Historical Resources. A categorical exemption shall not be used for a project which may cause a substantial adverse change in the significance of a historical resource.**

No known pre-historic cultural sites exist within the project site. There is no substantial evidence that the proposed project would cause an adverse change in any historical resources, and therefore this exception to the Categorical Exemption is not applicable to the proposed project.

Lead Agency Contact Person: Ciara Ristig

Phone #: 805-568-2077 Department/Division Representative: _____

Date: _____

Acceptance Date: _____

distribution: Hearing Support Staff

Date Filed by County Clerk: _____.

SITENWORK SPECIFICATIONS CONT.

2875 RETAINING WALL

- 2876 EXCAVATION: Footings shall be placed in firm natural ground.
- 2877 EXCAVATION INSPECTION: Soils engineer shall inspect all footing excavations before installing reinforcing steel or forms.
- 2878 FOOTINGS: Concrete shall be 2500 psi @ 28 days conforming to ASTM C150.
- 2879 REBAR: Shall be ASTM A 615, grade 60 for #5 bars and larger, grade 40 for #4 bars and smaller.
- 2880 REBAR SPLICE: Minimum rebar splice shall be 40 bar diameters. Stagger splices in adjacent bars by the length of the splice.
- 2881 MORTAR: Mortar shall be type M or S.
- 2882 MASONRY: Masonry shall be Fx + 1500 psi.
- 2883 GROUT: Grout all cells. Grout shall be 2000 psi @ 28 days.
- 2884 EXPANSION JOINTS: Walls which are not adjacent to the building shall have expansion joints at a maximum spacing of 50 feet on center.
- 2885 WATERPROOFING: Walls shall be waterproofed per the architect's requirements.
- 2886 BACKFILLING: Backfill shall be free-draining granular soil, compact to 90% relative density. Allow wall to gain 21 days strength before backfilling. If backfill supports driveway compact to 95% relative density.
- 2887 DRAINAGE: Provide continuous 4" perforated ABS drain line behind all walls. Drain shall be sloped 1% towards outlet. Contractor shall provide filter blanket in gravel bed to prevent plugging of perforations.
- 2888 BLOCKS: Concrete blocks shall conform to ASTM C90.
- 2889 EXPANSION JOINTS: Provide vertical expansion joints at max. 30' intervals by placing rubber-strip or calotex for full vertical hgt. of wall. Longitudinal steel to terminate on each side of joint.
- 2890 CODE: All work shall be accordance with 2016 CBC.
- 2891 SPECIAL INSPECTION: Special inspection is required for the following retaining wall work:
A. Footing excavation
- 2892 TOP OF WALL: Top of wall shall be stepped as required to be 6" above finish.

2900 FENCING

- 2901 REMOVAL: Where fences removal is required per the drawings, fence material shall be saved to the practical extent and neatly stockpiled in a location approved by the owner. Damage fencing and/or concrete bases shall be properly disposed off-site.
- 2905 Fencing and fence design shall be provided by tennis court installer.

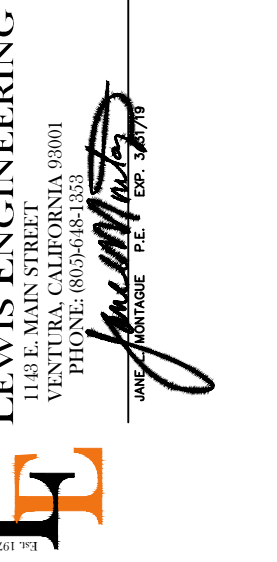
2920 LANDSCAPING

- 2921 DRAWINGS: Landscape drawings showing planting, irrigation, and miscellaneous features have been prepared by others.
- 2922 COORDINATION OF IMPROVEMENTS: The contractor shall be responsible for the coordination of the landscape drawings with the other site development drawings.
- 2923 EROSION CONTROL: The owner shall be responsible for erosion control of the regarded hillside by one of the following:
 - 1) HYDROSEEDING: Consisting of the following:
 - a) Hydraulic Planting Mulch with wood cellulose fiber (to be approved by the engineer)
 - b) Seed Mix: Seed mix shall be 90% purity with an 85% germination rate. The actual seed mix shall be selected based on its erosion control ability, maintenance requirements, ornamentation and cost.
 - c) Fertilizer: A fertilizer formulation shall be incorporated into the hydroseeding slurry and shall be based on a soil analysis.
 - d) Tackifier: A powdered organic glue shall be added to the hydroseed slurry or within the planting mulch.
 - e) Application: The hydroseed contractor shall be appropriately licensed, insured and provide references.
 - f) Maintenance: Hydroseed maintenance shall be agreed upon by the owner and contractor.

or
 - 2) LANDSCAPE PLANTING AND IRRIGATION: In lieu of hydroseeding the owners may elect to consult with a landscape architect to prepare a planting and irrigation plan that will provide erosion control with drought tolerant and fire retardant plants.

2975 EROSION CONTROL

- 2976 CATCH BASIN PROTECTION: A filter system shall be used on catch basin (drop inlets) in public and private streets, and parking areas as a means of sediment control. Alternate methods will require the approval of the city.
- 2977 SEDIMENT FILTER / BARRIERS: For all projects, a silt fence or straw wattle dike shall be installed along the down slope edge of the disturbed area prior to the commencement of grading. The sediment filter structures will be located so that all runoff from the construction site is filtered, or passes through a sediment detention basin prior to crossing a property line, entering a creek, or entering the city storm drain basin. Sediment filter structures are to be inspected regularly by the city inspection staff during inspection scheduled by the contractor or engineer of record, and sediment removed when the depth of sediment is no more than one-half the height of the structure. Silt fences and straw wattles shall be installed according to the standard references cited.
- 2978 SILT FENCES: Should be installed where sediment from sheet flow or rill and gully erosion will enter directly onto adjacent property. When installing it is important the fabric material be anchored into a trench and backfilled. Maintenance of filter fences is similar to that of straw wattles in that the fabric must be inspected and needed repairs implemented after every storm event. Sediment deposits should be removed when material reaches no more than a depth of one-half the fence height.
- 2979 PROTECTION OF EXISTING VEGETATION: As far as is practicable, existing vegetation shall be protected and left in place, in accordance with the clearing limits shown on the approved building grading or public works and erosion control plans. The exception is where exotic plant materials are to be removed, or fire fuels to be reduced in accordance with an approved plan.
- 2980 MAINTENANCE RESPONSIBILITY: It shall be the owner's responsibility to maintain control of the entire construction operations and to keep the entire site in compliance with the soil erosion control plan. Owner / contractor shall be responsible for monitoring erosion and sediment control measures prior, during and after storm events. Monitoring includes maintaining a file. Documenting on-site inspections, problems encountered, corrective actions, and notes and a red-line map of remedial implementation measures.
- 2981 HAULING OF MATERIALS: Reasonable care shall be taken hauling and earth, sand, gravel, stone, debris or any hazardous substances over public street, alley or other public street. Should any blow, spill or track over and upon solid public or adjacent private property, immediate clean-up shall occur. Construction entrances shall be installed prior to commencement of grading. All construction traffic, entering onto the paved roads must cross the stabilized construction entranceway.
- 2982 SANITARY FACILITIES: Shall be maintained on-site as appropriate.
- 2983 EROSION PREVENTION: During the rainy season, all paved areas shall be kept clear of earth material and debris. All earth stockpiles over 2.0 CU.YDs shall be covered by a tarp and ringed with straw bales or silt fencing. The site shall be maintained so as to minimize sediment-laden runoff to any storm drainage system including existing drainage swales and watercourses.
- 2984 POLLUTION ABATEMENT: Construction operations shall be carried out in such a manner that erosion and water pollution will be minimized. State and local laws concerning pollution abatement shall be complied with.
- 2985 RAINY SEASON RESTRICTIONS: The facilities shown on this plan are designed to control erosion and sediment during the rainy season, November 1 to April 15. Facilities are to be operable prior to October 15 of any year. Grading operations during the rainy season which leave denuded slopes shall be protected with erosion control measures immediately following grading on the slopes. This will include use of straw mulch and tackifier, and erosion control blankets.
- 2986 WINTERIZATION: This plan covers only the first winter following grading with assumed site conditions as shown on the detailed erosion control plan. Prior to September 15, the completion of site improvement shall be evaluated and revisions made to this plan as necessary with the approval of the city. Plans are to be resubmitted for approval prior to August 15 of each subsequent year until site improvements are accepted by the city.



GRADING AND DRAINAGE PLAN
 NI RESIDENCE
 1221 LOMITA LANE, CARPINTERIA CA. 93013
 A.P.N. 001-190-036

DRAWINGS BY: SO

DATE: 12/11/2018

REVISIONS:

JOB NO.

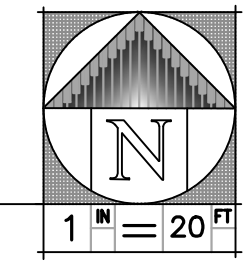
C1.1

SHEET 2 OF 8



SEE SH C2.0
FOR ENLARGEMENT

KEY MAP



SURVEY NOTES

SURVEY NOTES:
 BOUNDARY & BASIS OF BEARINGS, SHOWN PER PARCEL MAP BOOK 11, PAGE 58 AS FILLED IN THE OFFICE OF THE COUNTY SURVEYOR.
 BENCHMARK: LOCAL BENCHMARKS SHOWN AS "CP". OPUS GPS OBSERVATION.
 DATUM: NAVD 88.
 WATERLINE AND PRIVATE ROAD EASEMENTS SHOWN PER PARCEL MAP. EASEMENTS PER CURRENT TITLE WORK NOT SHOWN.

STORM WATER MANAGEMENT STUDY

THE FOLLOWING INFORMATION IS BASED ON COUNTY STORM WATER BMP GUIDANCE MANUAL & GRADING PLAN BY MIKE GONES, DATED MARCH, 2018.

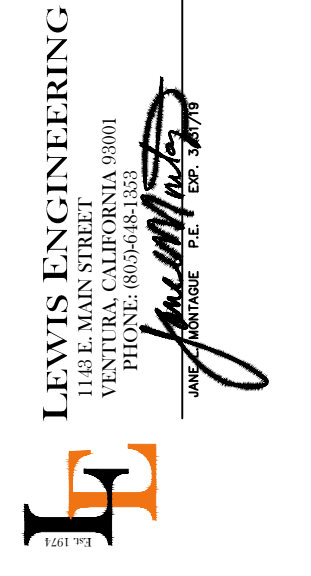
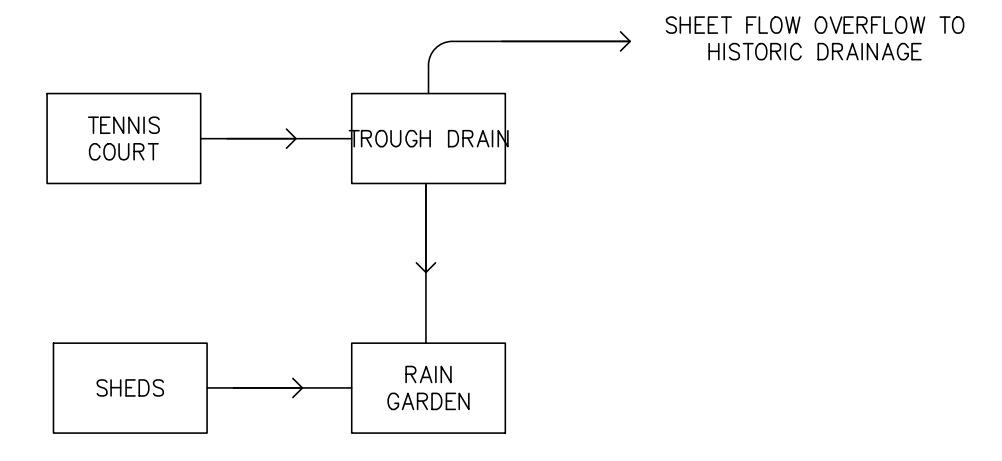
- PROJECT IS IN CARPINTERIA (UNINCORPORATED).
- SITE ASSESSMENT
 - HILLSIDE
 - CARPINTERIA WATERSHED
 - TYPE D SOIL
 - SITE SLOPES SOUTHWEST 5-10%
 - NO GROUND WATER ANTICIPATED
 - NO FLOOD HAZARD
- POLLUTANTS OF CONCERN:
 - TRASH - NOT AN ISSUE, RESIDENTIAL
 - NUTRIENTS - TO BE TREATED BY STORM WATER BMP
 - BACTERIA - NOT AN ISSUE, RESIDENTIAL
 - SEDIMENT - NOT AN ISSUE OTHER THAN FROM DURING CONSTRUCTION (EROSION CONTROL PLAN WILL BE PREPARED)
 - HYDROCARBON - TO BE TREATED BY STORM WATER BMP
 - METAL - NOT APPLICABLE, RESIDENTIAL
 - PESTICIDE - NOT APPLICABLE
- SOILS REPORT. PRELIMINARY GEOTECHNICAL INVESTIGATION BY PACIFIC MATERIALS DATED 11/17/17.
- SITE DESIGN BMP OPTIONS:
(E) RUNOFF PATTERNS TO BE HONORED. RESPECT (E) CONTOURS, TREES.
- BASIC BMP'S - TIER 1, RAIN GARDEN (BIORETENTION).
- AREA STUDY

A. IMPERVIOUS AREAS (SQ. FT.)/AC.	(E)	PROPOSED	CHANGE
1. ROOF AREA	2910	3310	+400
2. PATIO/WALKWAY	362	1232	+870
3. TENNIS COURT	0	7290	+7290
4. DRIVEWAY	1640	2498	+858
5. SUB-TOTAL	4912	14330	+9418
B. PERVIOUS (SQ. FT.)	(E)	PROPOSED	CHANGE
1. PATIO/WALK	0	0	0
2. LANDSCAPE	38646	29228	-9418
3. SUB-TOTAL	38646	29228	-9418
TOTAL A5 + B3	43558	43558	0

SUMMARY: (N) IMPERVIOUS AREA = 9418 S.F.
 REPLACED IMPERVIOUS AREA = 936 S.F.
 (E) IMP. AREA TO REMAIN = 3976 S.F.
 (N) + REPLACED IMPERVIOUS AREA = 9418 S.F. + 936 S.F. = 10354 S.F.

(N) + REPLACED IMPERVIOUS AREA = 10354 S.F. <15,000 S.F., THEREFORE, PROJECT IS TIER 1. SEE STORM WATER CONTROL PLAN FOR MORE INFORMATION AND BMP SIZING CALCS.

7. SCHEMATIC



GRADING AND DRAINAGE PLAN
 NI RESIDENCE
 1221 LOMITA LANE, CARPINTERIA CA. 93013
 A.P.N. 001-190-036

DRAWINGS BY: SO
 DATE: 12/11/2018
 REVISIONS:

JOB NO.

C1.2

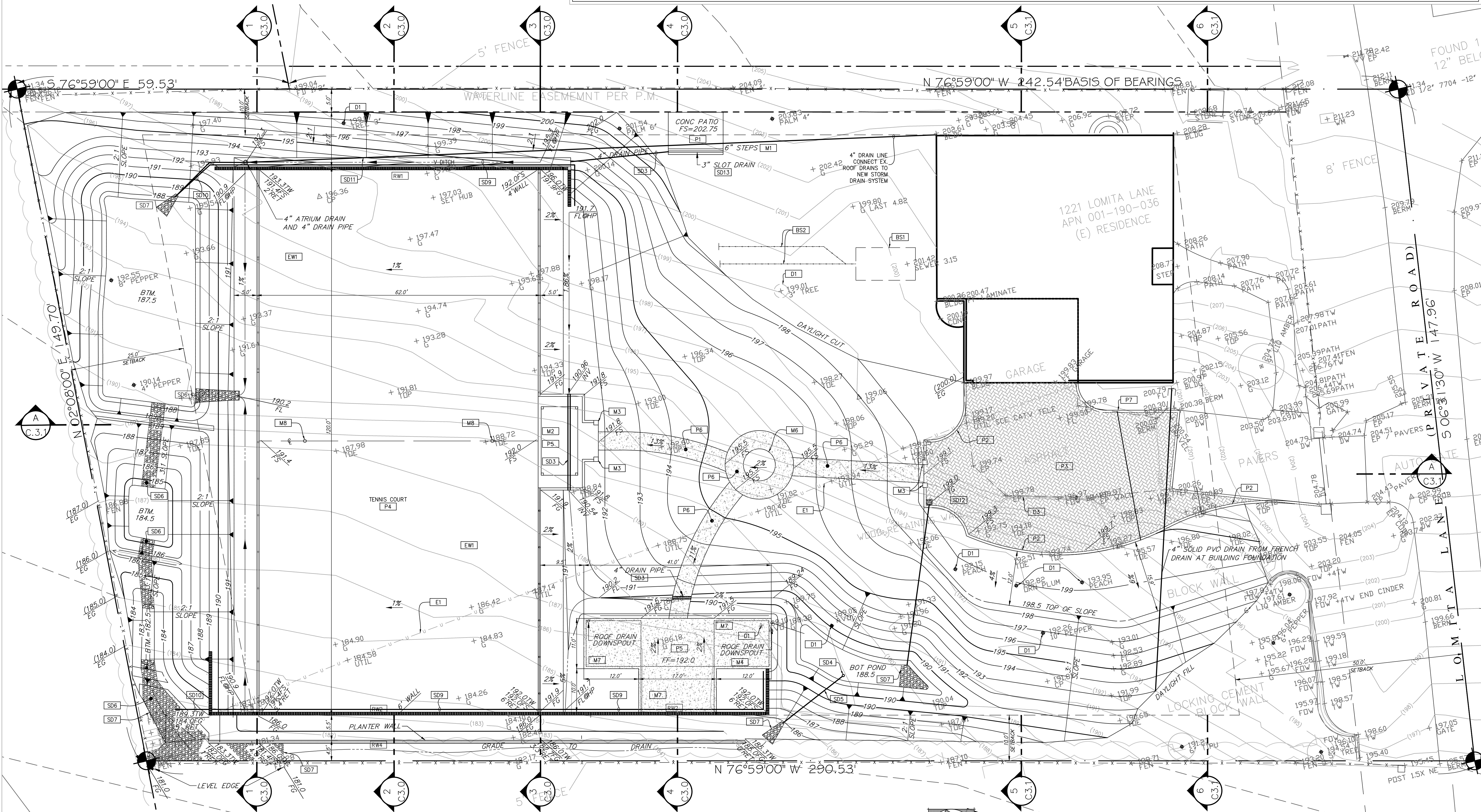
CONSTRUCTION NOTES

- BS1 APPROX LOCATION OF (E) SEPTIC TANK.
- BS2 APPROX LOCATION OF (E) LEACH LINES DO NOT DISTURB.
- D1 REMOVE TREE & ROOT (OWNER MAY WISH TO RELOCATE).
- D2 REMOVE FENCE.
- D3 REMOVE WOOD RET. WALL.
- E1 (E) DIRECT BURIAL ELECT., CABLE TV AND TELEPHONE. TO BE PLACED IN CONDUIT AND REPLACED AS REQ'D FOR SOIL RECOMPACTION. ASSUME 3' COVER ON ELECTRIC LINE AND 24" COVER FOR CATV & TEL. SEE DET. 7/C.5.
- EW1 FOR TENNIS COURT SPECIAL RECOMPACTION REQUIREMENTS SEE SOILS REPORT GRADING RECOMMENDATION #4 (SEE SHEET C1.0 SPEC. 2255, GRADING ITEM #4)
- M1 CONSTRUCT STAIR PER DET. 2/C5.0.
- M2 INSTALL PREFAB 8'x15' CANOPY (ROOF AREA 120 SF)
- M3 CONSTRUCT 12" SQ. CMU x 3'9" H. COLUMN.

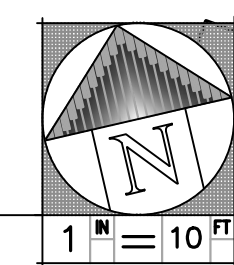
- M4 ADD GUTTER AND DOWNSPOUT TO PREFAB SHED. EXTEND 4" RAIN WATER LINE TO RAIN GARDEN.
- M5 GUARD-RAIL PER 8/65-0
- M6 PROVIDE 7" DIA. CIRCLE PLANTER/FOCAL POINT
- M7 INSTALL PREFAB SHEDS SELECTED BY OWNER. MAX ROOF AREA 120 SF EACH
- M8 TENNIS NET POST & ANCHOR PER TENNIS COURT CONTRACTOR.
- P1 INSTALL CONC. VIEW TERRACE PER DET. 13/C5.0 8"x12"
- P2 INSTALL CURB/PAVER RESTRAINT PER DET. 36/C5.0
- P3 INSTALL INTERLOCKING PRECAST CONCRETE PAVERS (NON PERMEABLE) PER DET. 3/C5.0
- P4 TENNIS COURT SURFACING BY OTHERS ASSUME 6" POST TENSIONED CONCRETE SLAB OVER SAND BASE ON RECOMPACT EARTH.
- P5 CONSTRUCT 4" CONC. SLAB w/ #3's @ 24" OCEW OVER 12" YELLOW SAND ON CERTIFIED COMPACTED FILL

- P6 CONSTRUCT 4" WIDE 4" CONC. SIDEWALK/RAMP w/ #3's @ 24" OCEW. NOTE: OWNER HAS ELECTED TO HAVE RAMP INSTALLED TO AVOID STEPS. PROVIDE 2% CROSS SLOPE.
- P7 INSTALL PAVER FLUSH CURB RESTRAINT PER DET. 3C/C5.0
- RW1 CONSTRUCT RET. WALL PER DET. 16/C5.0
- RW2 CONSTRUCT RET. WALL PER DET. 12/C5.0
- RW3 CONSTRUCT RET. WALL PER DET. 8/C5.0
- RW4 CONSTRUCT RET. WALL PER DET. 4/C5.0

- SD6 CONSTRUCT ROCK CHANNEL PER TAPER FROM 3" WIDE AT HIGH POINT TO 4" AT OUTLET PER DET. 11/C5.0.
- SD7 INSTALL ENERGY DISSIPATOR PER DET. 19/C5.0.
- SD8 CONNETT-TROUGH-DRAIN TO DET.
- SD9 INSTALL 6" TD @ 1% MIN. TO OUTLET.
- SD10 OUTLET FD THRU BASE OF WALL ABOVE GRADE.
- SD11 INSTALL CONC. V. DITCH PER RET. WALL PER DET. 1/C5.0
- SD12 INSTALL DRAIN INLET IN PAVEMENT PER DET. 14/C5.0
- SD13 INSTALL 3" SLOT DRAIN
- SD14 INSTALL DRAIN INLET PER DET. 15/C5.0 W-0"
- SD15 INSTALL DRAIN INLET PER DET. 15/C5.0 W-0" w/4" DRAIN LINE-OUTLET THRU WALL



GRADING, DRAINAGE, UTILITIES PLAN



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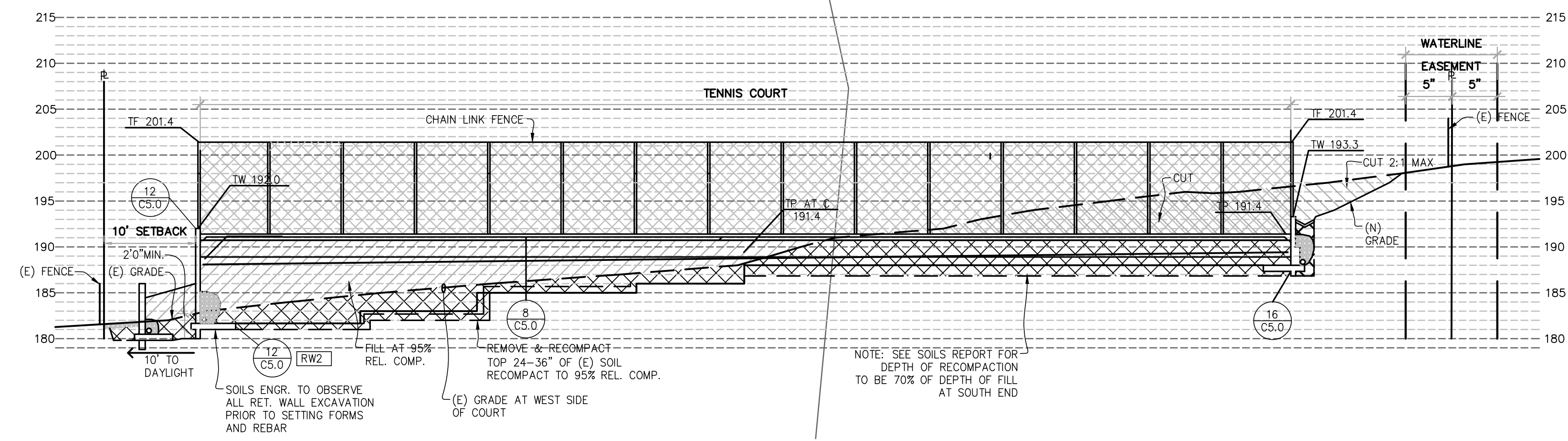
GRADING AND DRAINAGE PLAN
 NI RESIDENCE
 1221 LOMITA LANE, CARPINTERIA CA. 93013
 A.P.N. 001-190-036

DRAWINGS BY: SO
 DATE: 12/11/2018
 REVISIONS:

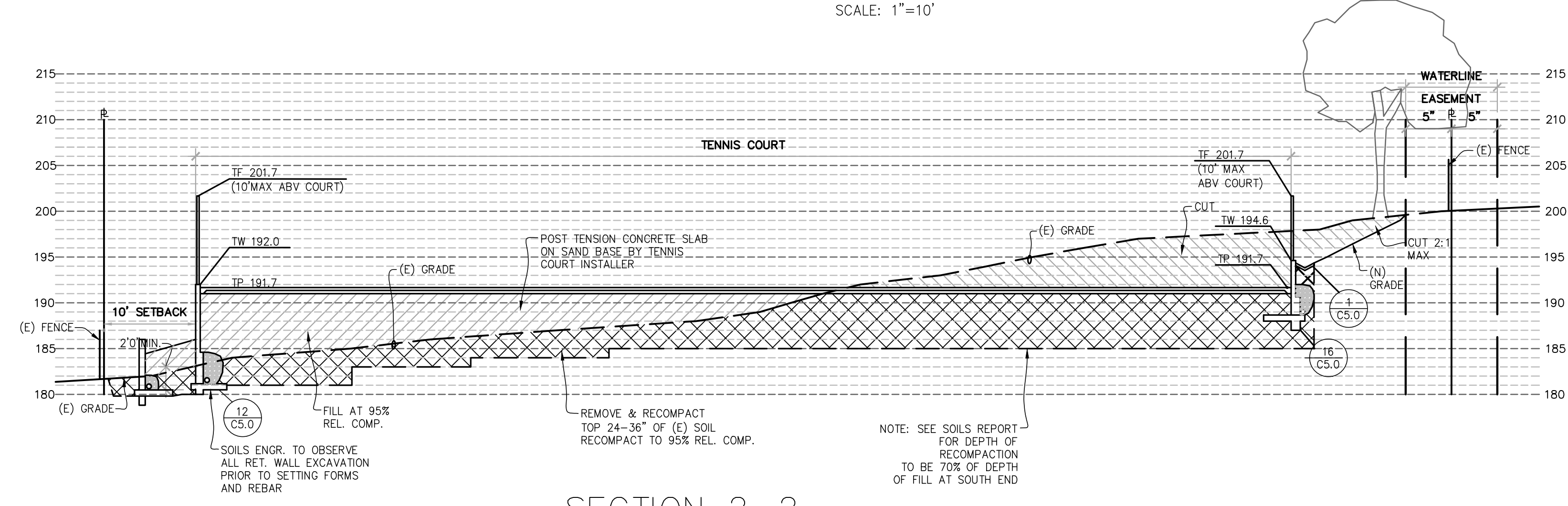
JOB NO.

C2.0

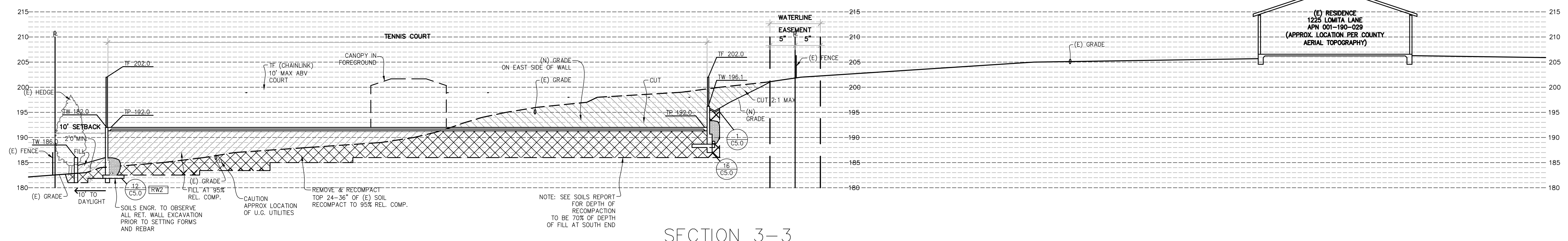
SHEET 4 OF 8



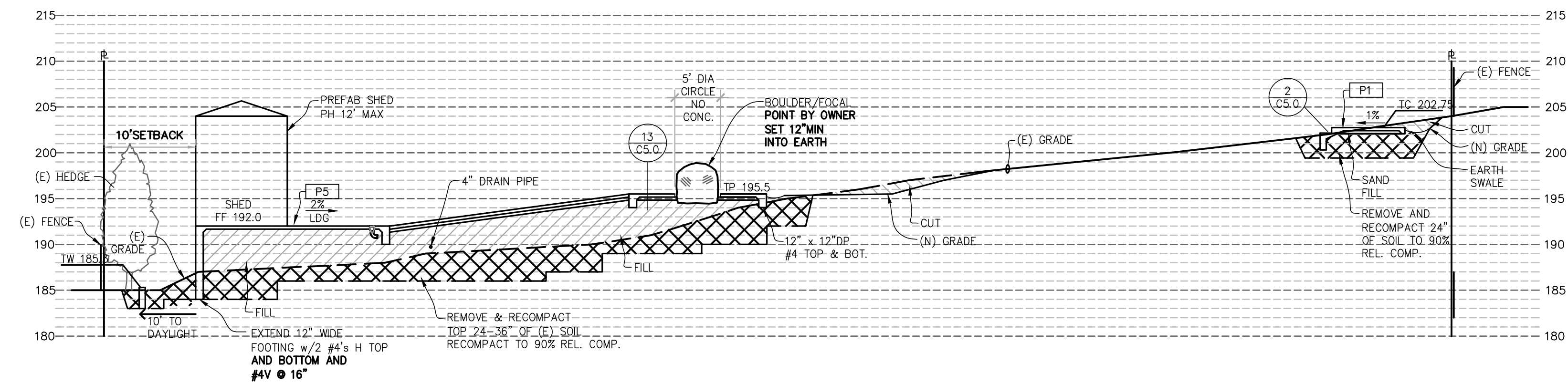
SECTION 1-1
SCALE: 1"=10'



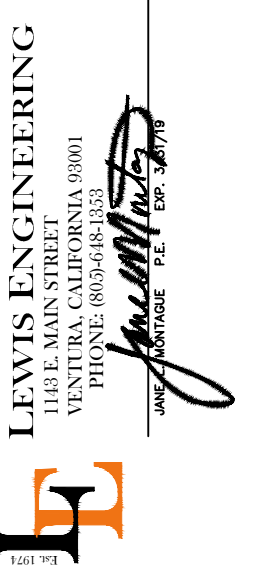
SECTION 2-2
SCALE: 1"=10'



SECTION 3-3
SCALE: 1"=10'

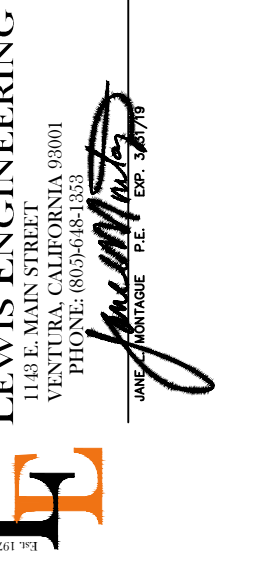


SECTION 4-4
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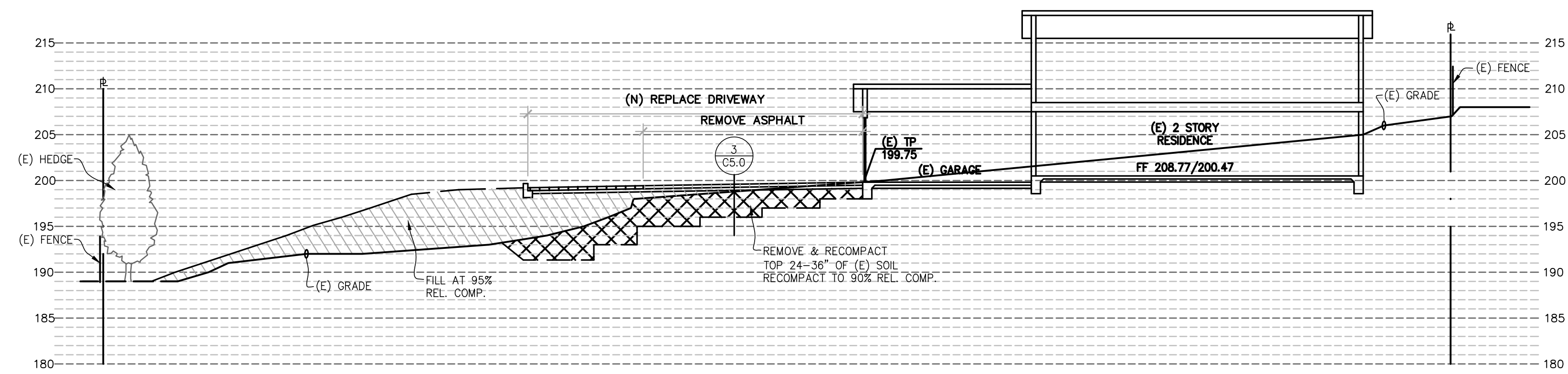


GRADING AND DRAINAGE PLAN
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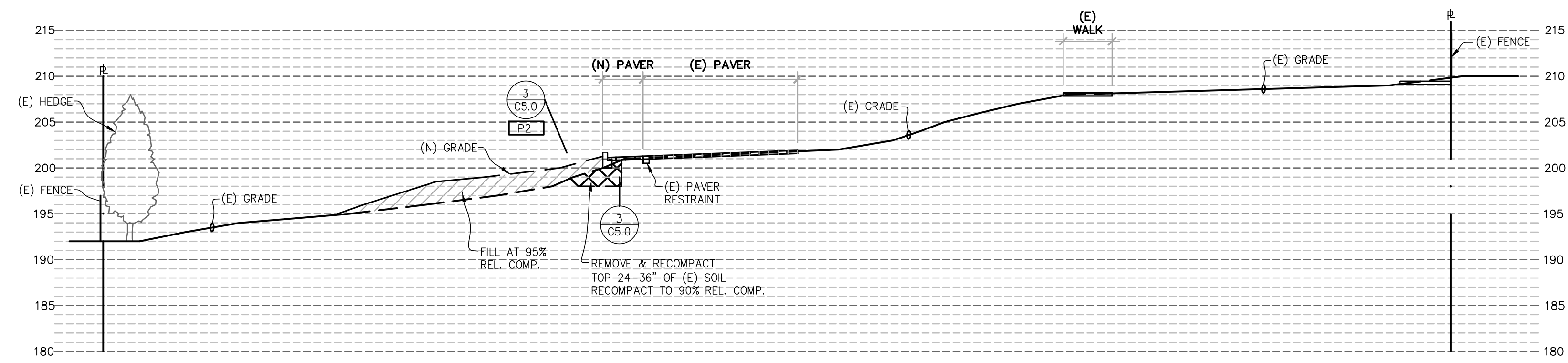
DRAWINGS BY:	SO
DATE:	12/11/2018
REVISIONS:	
JOB NO.	
C3.0	
SHEET 5 OF 8	



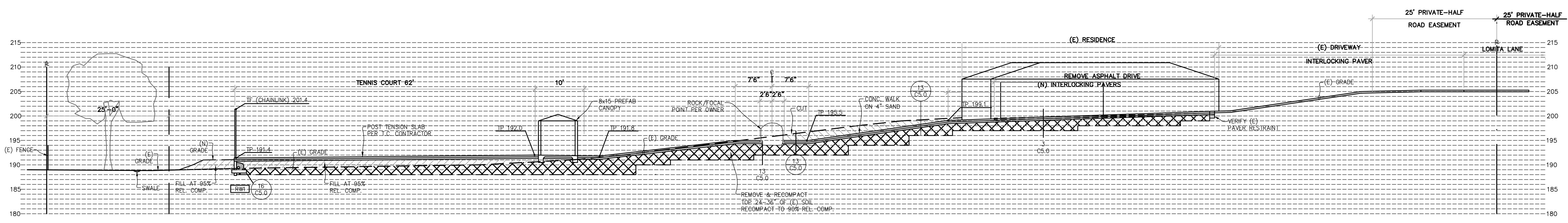
GRADING AND DRAINAGE PLAN
NI RESIDENCE
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A.P.N. 001-190-036



SECTION 5-5
SCALE: 1"=10'



SECTION 6-6
SCALE: 1"=10'



SECTION A-A
SCALE: 1"=10'

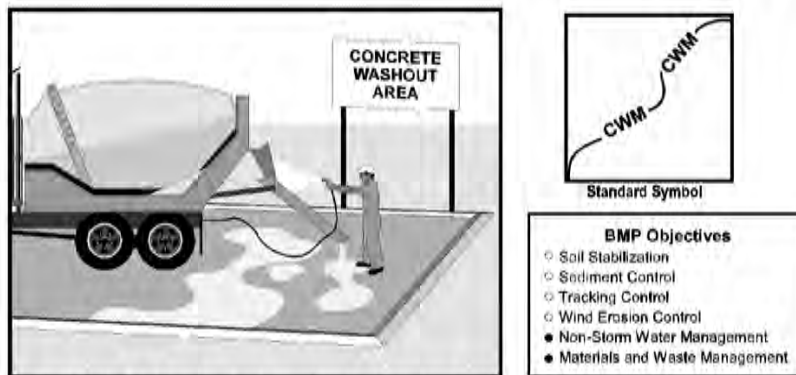
DRAWINGS BY: SO
DATE: 12/11/2018
REVISIONS:

JOB NO.

C3.1

SHEET 6 OF 8

Concrete Waste Management WM-8



Definition and Purpose: These are procedures and practices that are designed to minimize or eliminate the discharge of concrete waste materials to the storm drain system or watercourses.

Appropriate Applications:

- Concrete waste management procedures and practices are implemented on construction projects where concrete is used as a construction material or where concrete dust and debris result from demolition activities.
- Where slurry walls containing portland cement concrete (PCC) or asphalt concrete (AC) are generated, such as from sawcutting, coring, grading, grinding, and hydro-concrete demolition.
- Where concrete trucks and other concrete-related equipment are washed on site, when approved by the Resident Engineer (RE). See also NS-4, "Vehicle and Equipment Cleaning."
- Where mortar-mixing stations exist.
- None identified.

Standards and Specifications:

- Educate employees, subcontractors, and suppliers on the concrete waste management techniques described herein.
- The Contractor's Water Pollution Control Manager (WPCM) shall oversee and enforce concrete waste management procedures.

Concrete Slurry Washes:

- PCC and AC waste shall not be allowed to enter storm drains or watercourses.

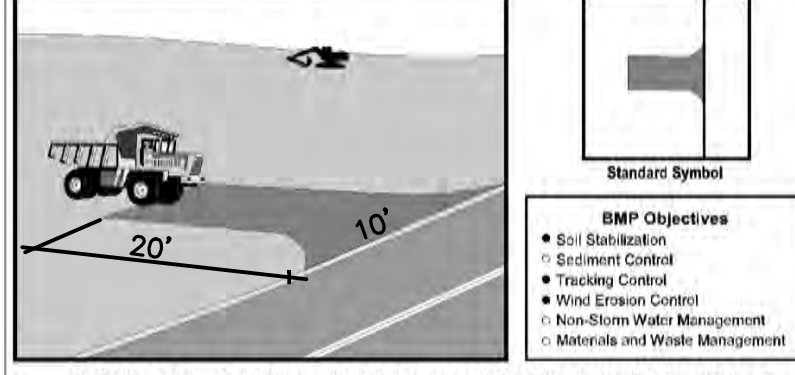
4 CONCRETE WASHOUT AREA N.T.S.

BEST MANAGEMENT PRACTICES FOR CONSTRUCTION ACTIVITIES:

- ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES OR WIND.
- STOCKPILES OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR WATER.
- FUELS, OILS, SOLVENTS AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
- EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS MUST BE MADE TO RETAIN CONCRETE WASTES ON SITE UNTIL THEY CAN BE DISPOSED OF AS A SOLID WASTE.
- TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.
- SEDIMENTS AND OTHER MATERIAL MAY NOT BE TRACED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY. ACCIDENTAL DEPOSITIONS MUST BE SWEEP UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.
- ANY SLOPES WITH DISTURBED SOILS OR DEMANDED OF VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER.

1 BEST MANAGEMENT PRACTICES

Stabilized Construction Entrance/Exit TC-1



Definition and Purpose: A stabilized construction access is defined by a point of entrance/exit to a construction site that is stabilized to reduce the tracking of mud and dirt onto public roads by construction vehicles.

Appropriate Applications:

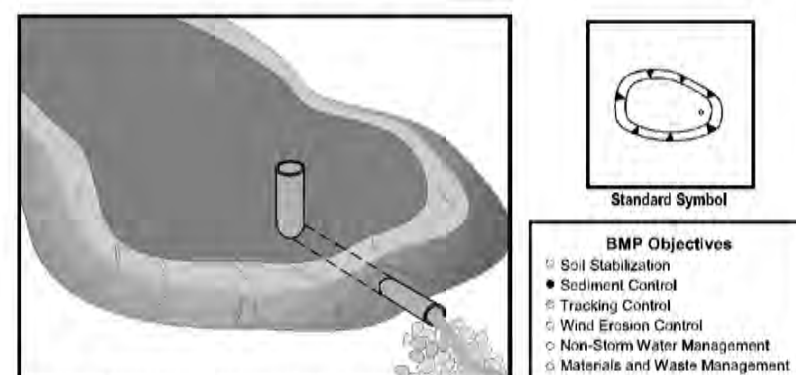
- Use at construction sites:
 - Where dirt or mud can be tracked onto public roads.
 - Adjacent to water bodies.
 - Where poor soils are encountered.
 - Where dust is a problem during dry weather conditions.
- This BMP may be implemented on a project-by-project basis in addition to other BMPs when determined necessary and feasible by the Resident Engineer (RE).

Limitations:

- Site conditions will dictate design and area.
- Limit the points of entrance/exit to the construction site.
- Limit speed of vehicles to control dust.
- Prepgrade each construction entrance/exit to prevent runoff from leaving the construction site.
- Route runoff from stabilized entrance/exit through a sediment-trapping device before discharge.
- Design stabilized access/exit to support the heaviest vehicles and equipment that will use it.

7 CONSTRUCTION ENTRANCE N.T.S.

Sediment/Desilting Basin SC-2



Definition and Purpose: A sediment/desilting basin is a temporary basin formed by excavating and/or constructing an embankment so that sediment-laden runoff is temporarily detained under quiescent conditions, allowing sediment to settle out before the runoff is discharged (refer to Figures 1 and 2).

Appropriate Applications:

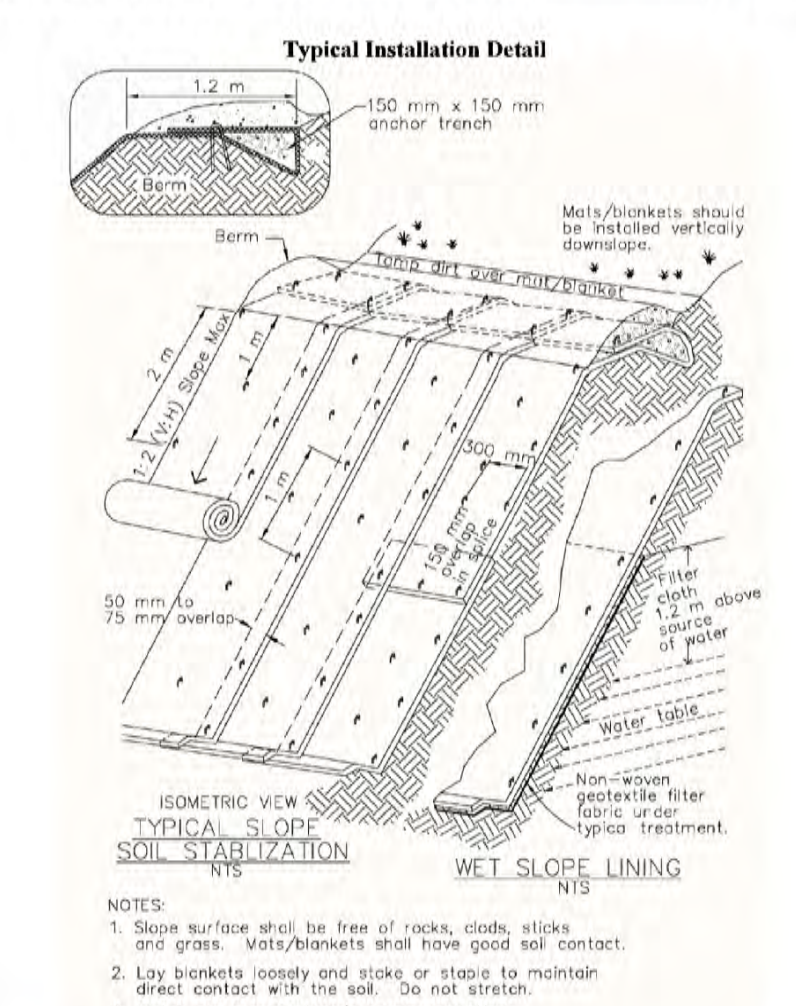
- Sediment basins shall be designed in accordance with Section 4 of the State of California OFFICE General Permit for Storm Water Discharges Associated with Construction Activities (General Permit). If there is insufficient area to construct a sediment basin in accordance with the General Permit requirements, then the alternate design standards specified herein may be used. This BMP may be implemented on a project-by-project basis with other BMPs when determined necessary and feasible by the RE.
- Sediment/desilting basins shall be considered for use:
 - On construction projects with disturbed areas during the rainy season.
 - Where sediment-laden water may enter the drainage system or watercourses.
 - At outlets of disturbed soil areas with areas between 2 ha and 4 ha (5 ac and 10 ac).

Limitations:

- Alternative BMPs must be thoroughly investigated for erosion control before selecting temporary desilting basins.
- Requires large surface areas to permit settling of sediment.
- Not appropriate for drainage areas greater than 30 ha (75 ac).
- Not to be located in live streams.

8 SEDIMENTATION BASIN N.T.S.

Geotextiles, Mats, Plastic Covers and Erosion Control Blankets SS-7

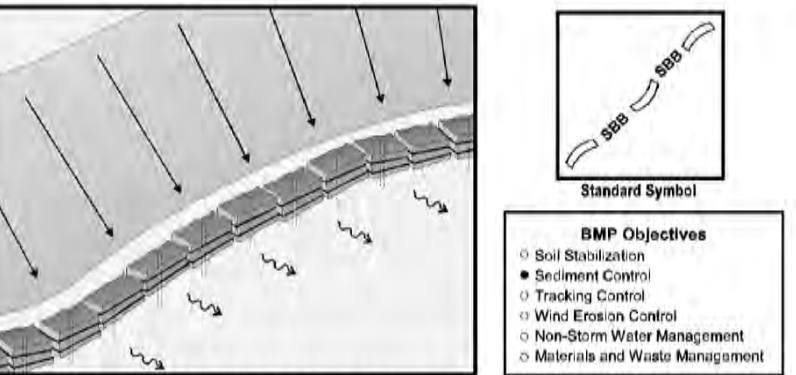


Notes:

- Slope surface shall be free of rocks, clods, sticks and debris. Mats/blankets shall have good soil contact.
- Use blankets evenly and spike, or staple to maintain direct contact with the soil. Do not stretch.
- Install per manufacturer's recommendations.

9 HILLSIDE RESTORATION N.T.S.

Straw Bale Barrier SC-9



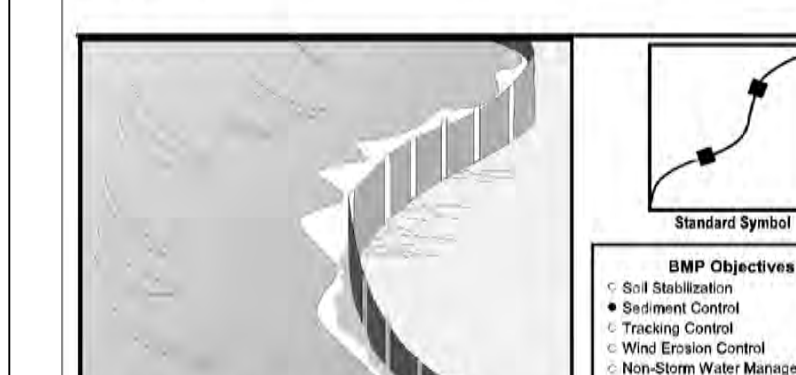
Definition and Purpose: A straw bale barrier is a temporary linear sediment barrier consisting of straw bales, designed to intercept and slow sediment-laden runoff. Straw bale barriers allow sediment to settle from runoff before water leaves the construction site.

Appropriate Applications:

- This BMP may be implemented on a project-by-project basis in addition to other BMPs when determined necessary and feasible by the Resident Engineer (RE).
- Along the perimeter of a site.
- Along streams and channels.
- Below the toe of exposed and erodible slopes.
- Down slope of exposed soil areas.
- Around stockpiles.
- Across minor swales or ditches with small catchments.
- Around above grade-type temporary concrete washouts (See BMP WM-8, "Concrete Waste Management").
- Parallel to a roadway to keep sediment off paved areas.

5 STRAW BALES N.T.S.

Silt Fence SC-1



Definition and Purpose: A silt fence is a temporary linear sediment barrier of permeable fabric designed to intercept and slow the flow of sediment-laden runoff. Silt fences allow sediment to settle from runoff before water leaves the construction site.

Appropriate Applications:

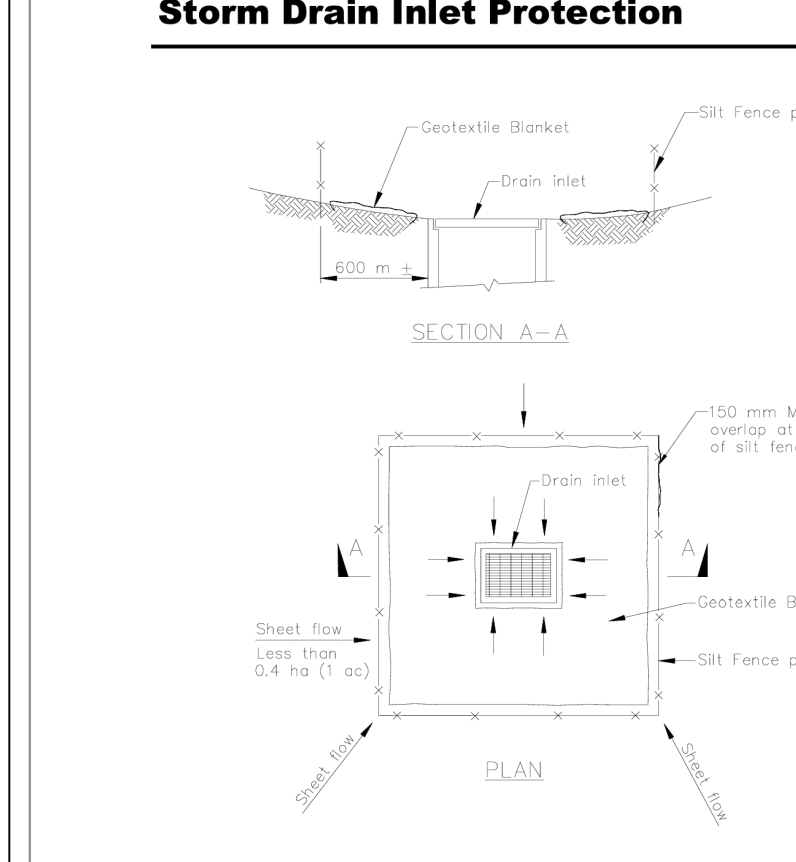
- Silt fences are placed:
 - Below the toe of exposed and erodible slopes.
 - Down-slope of exposed soil areas.
 - Around temporary stockpiles.
 - Along streams and channels.
 - Along the perimeter of a project.

Limitations:

- Not effective unless trenched and keyed in.
- Not intended for use as mid-slope protection on slopes greater than 1:4 (V:H).
- Must be maintained.
- Must be removed and disposed of.
- Don't use below slopes subject to creep, slumping, or landslides.
- Don't use in streams, channels, drain inlets, or anywhere flow is concentrated.
- Don't use silt fences to divert flow.

2 SILT FENCE N.T.S.

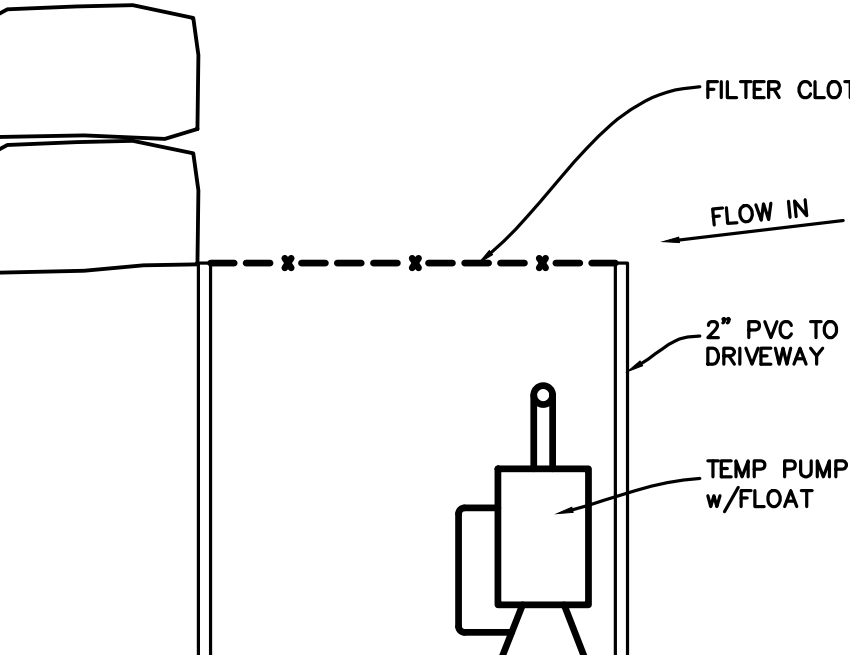
Storm Drain Inlet Protection SC-10



Notes:

- For use in areas where grading has been completed and final soil stabilization and seeding are pending.
- Not applicable in paved areas.
- Not applicable with concentrated flows.

3 INLET PROTECTION N.T.S.

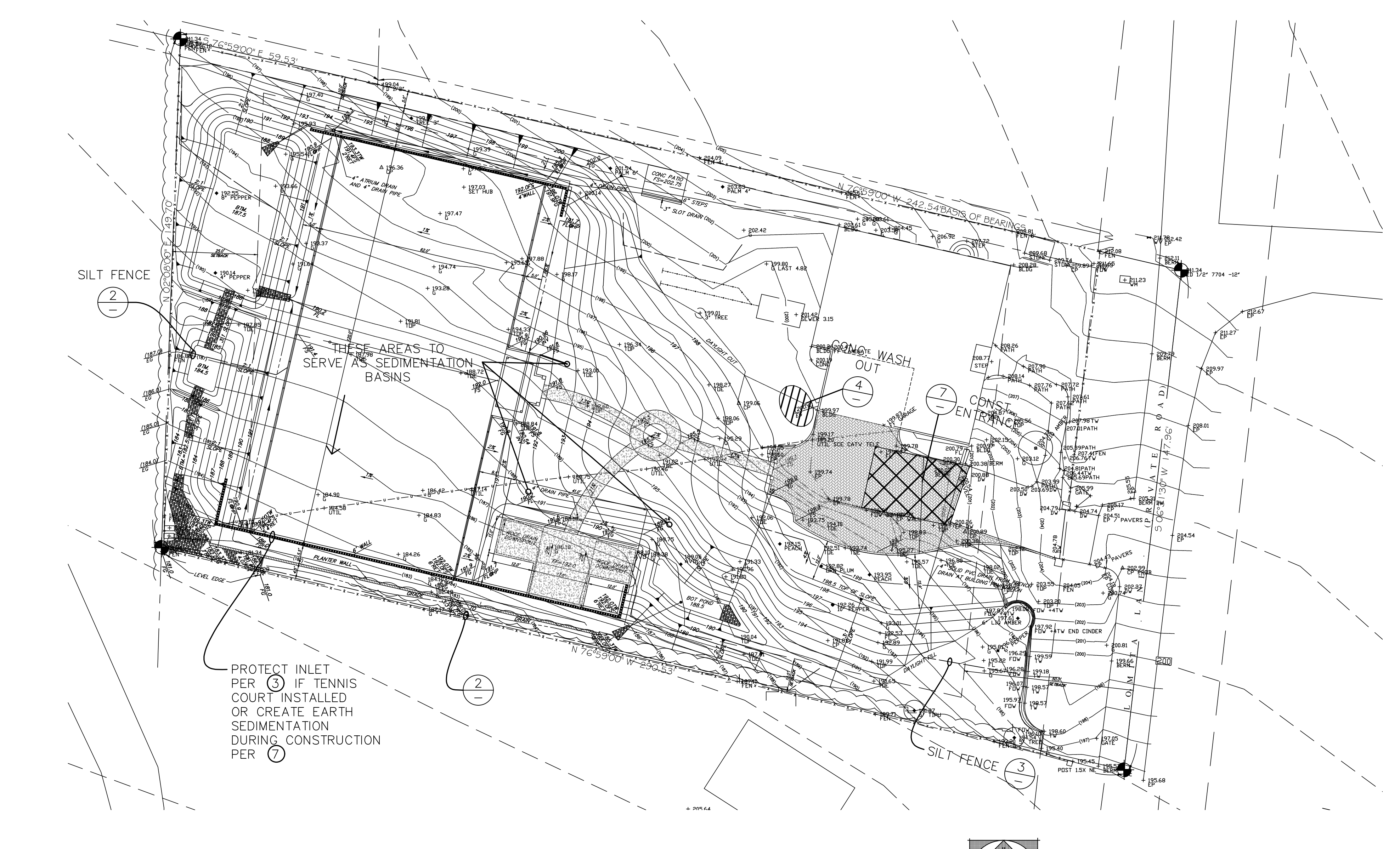


6 DRAIN INLET w/PUMP N.T.S.

2 SILT FENCE N.T.S.

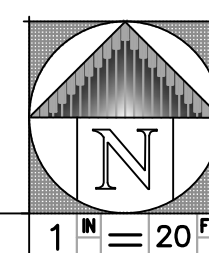
3 SILT FENCE N.T.S.

4 CONCRETE WASHOUT N.T.S.



PROTECT INLET PER ③ IF TENNIS COURT INSTALLED OR CREATE EARTH SEDIMENTATION DURING CONSTRUCTION PER ⑦

EROSION CONTROL PLAN



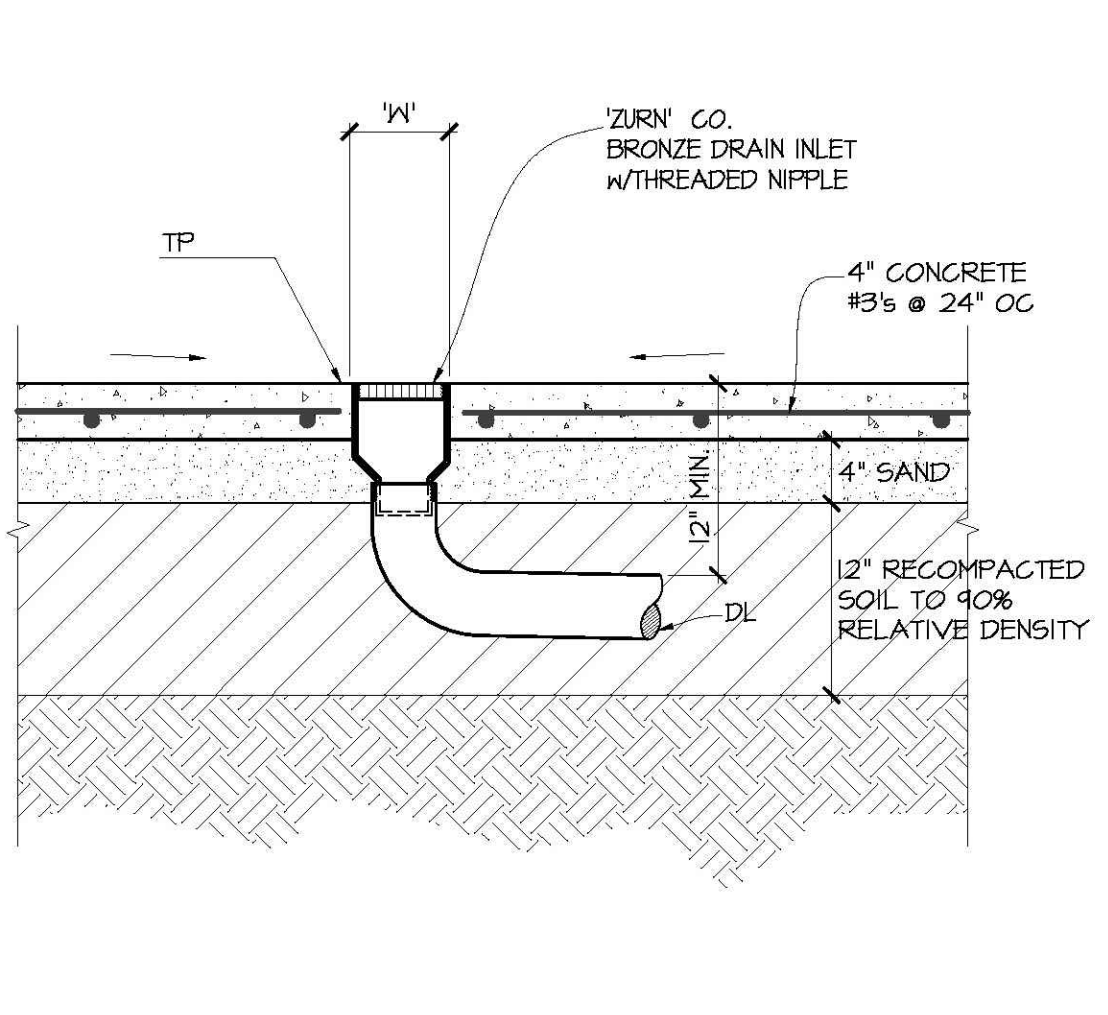
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DRAWINGS BY: SO
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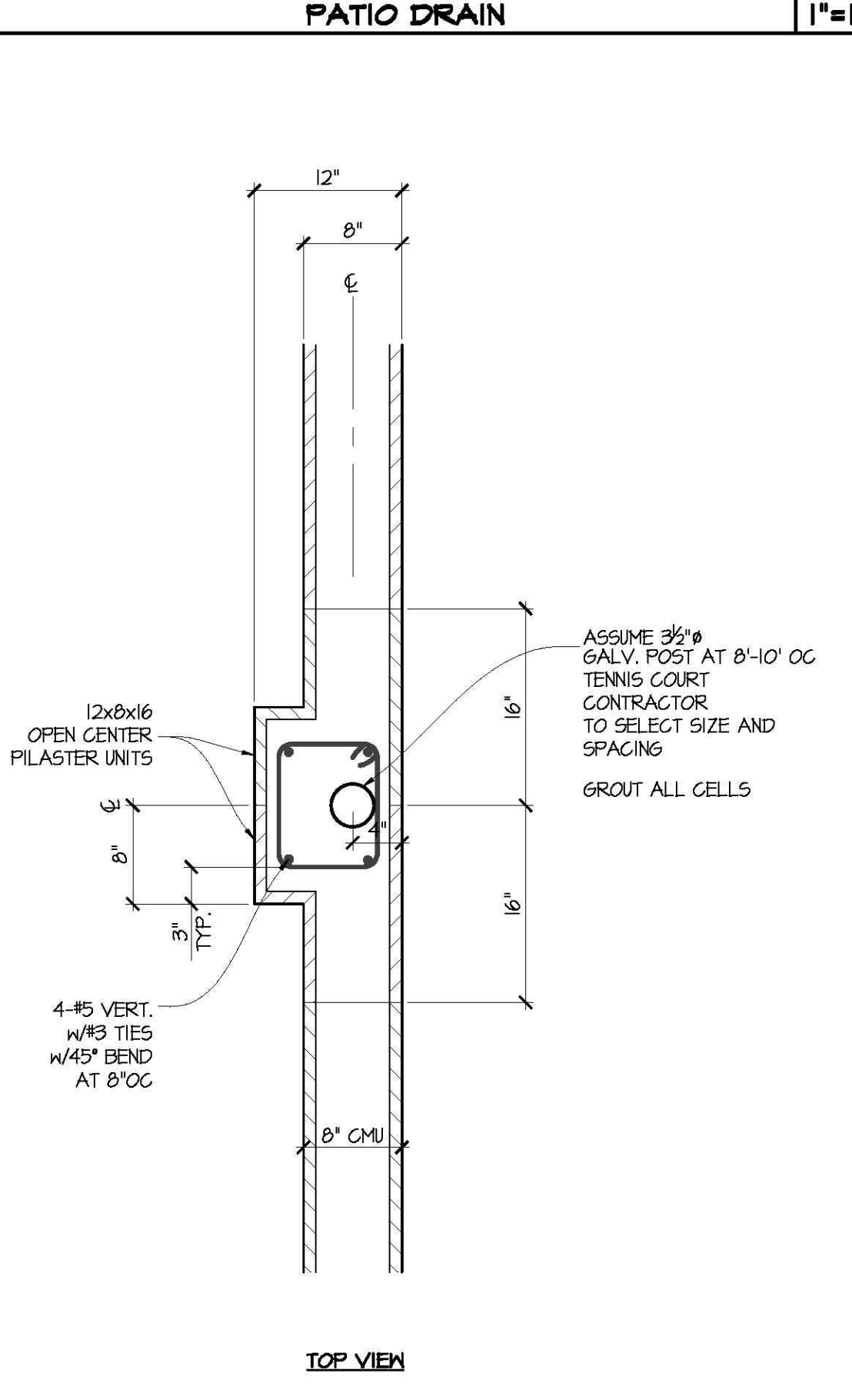
JOB NO.

C4.0



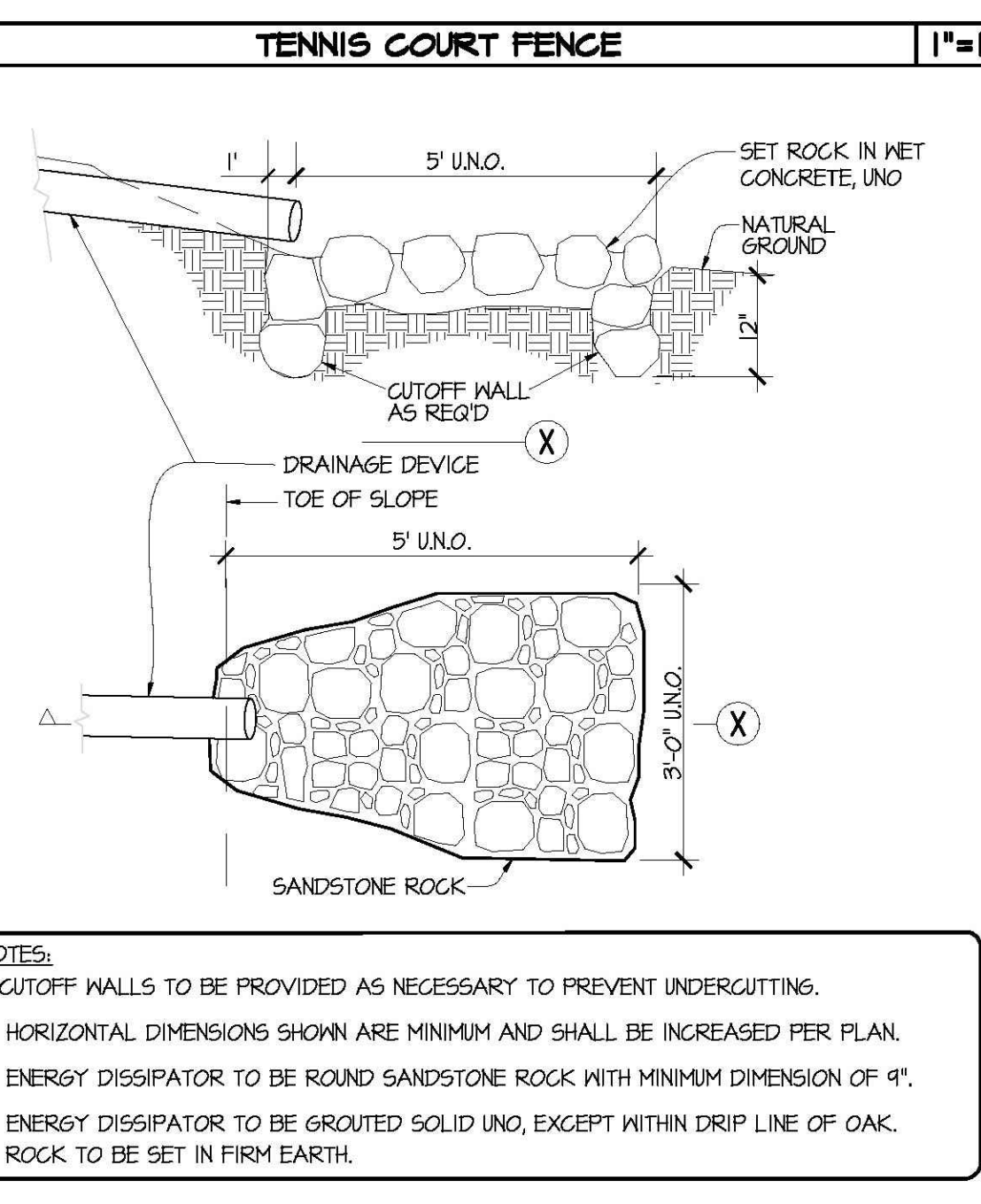
PATIO DRAIN

1"=1"



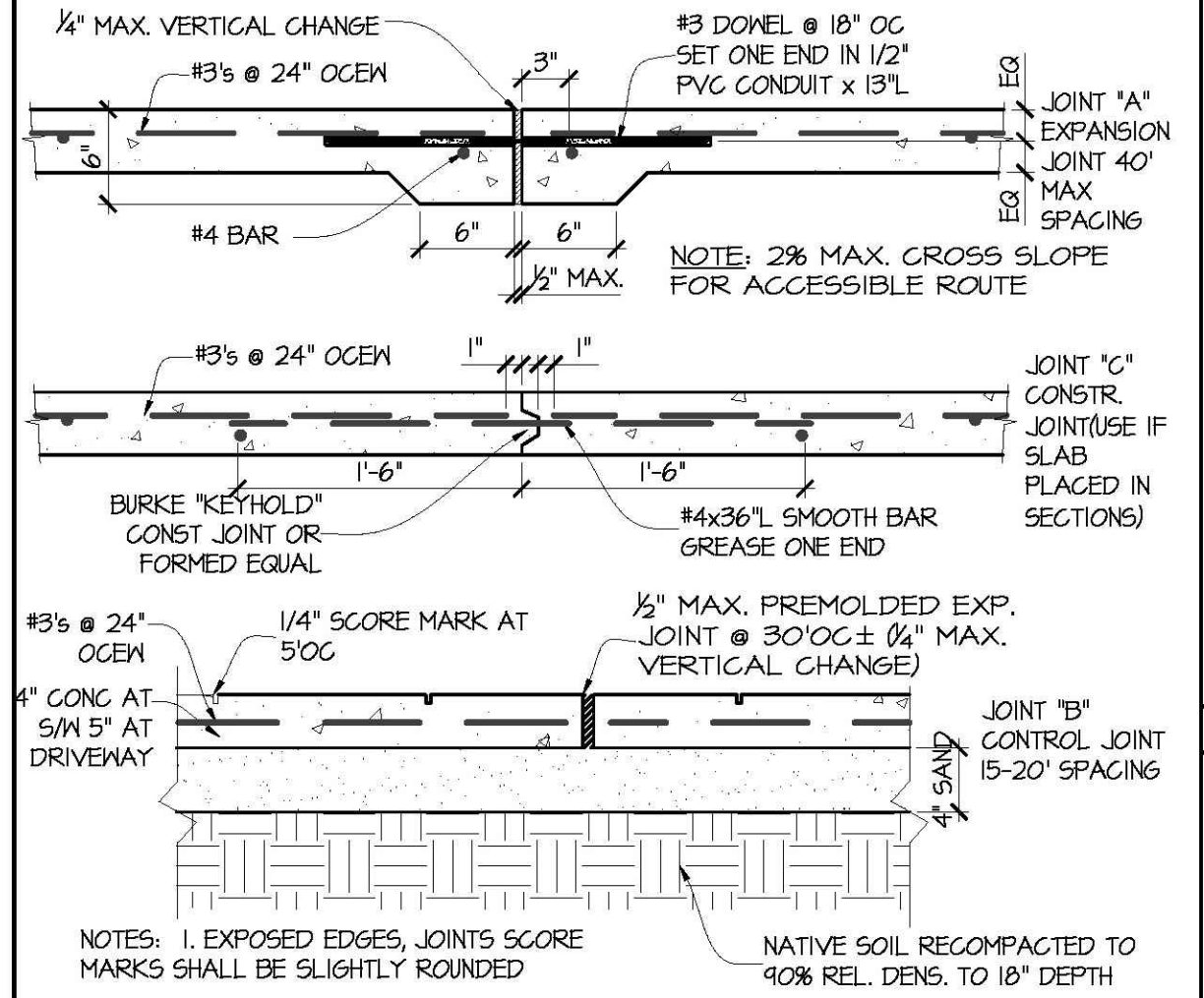
TENNIS COURT FENCE

1"=1"



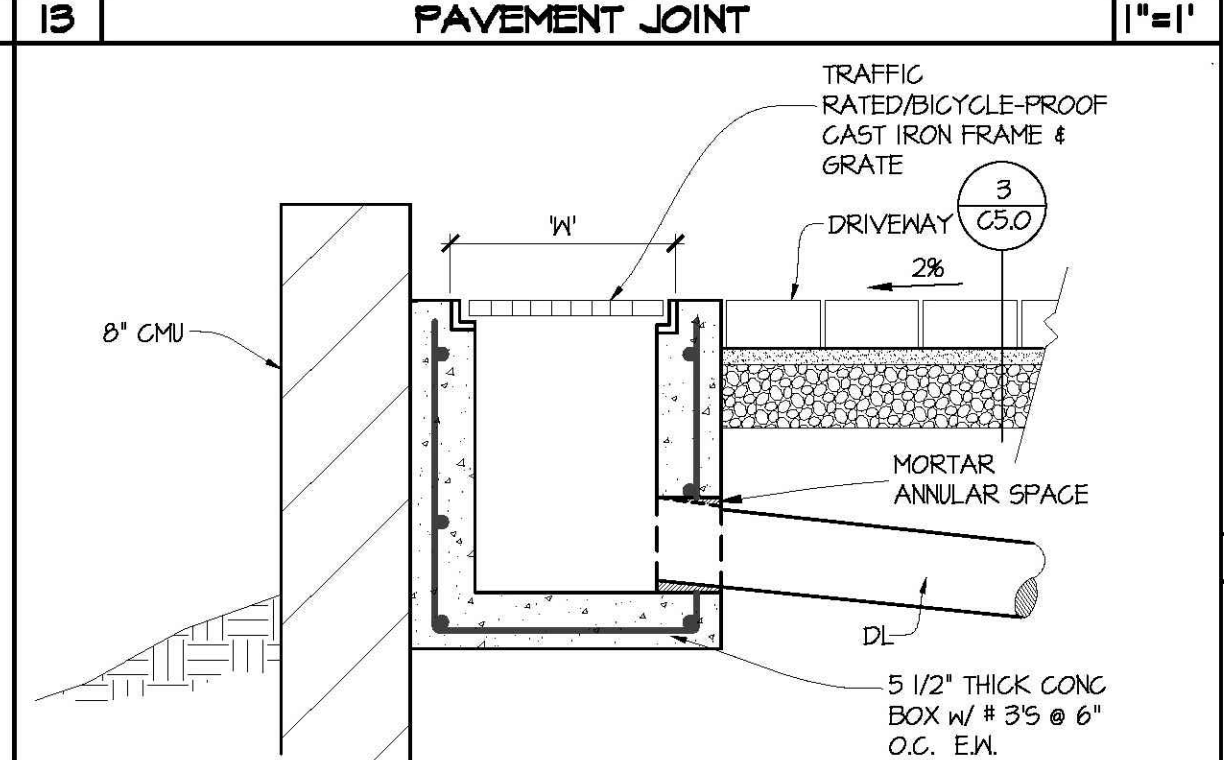
ENERGY DISSIPATER

N.T.S.



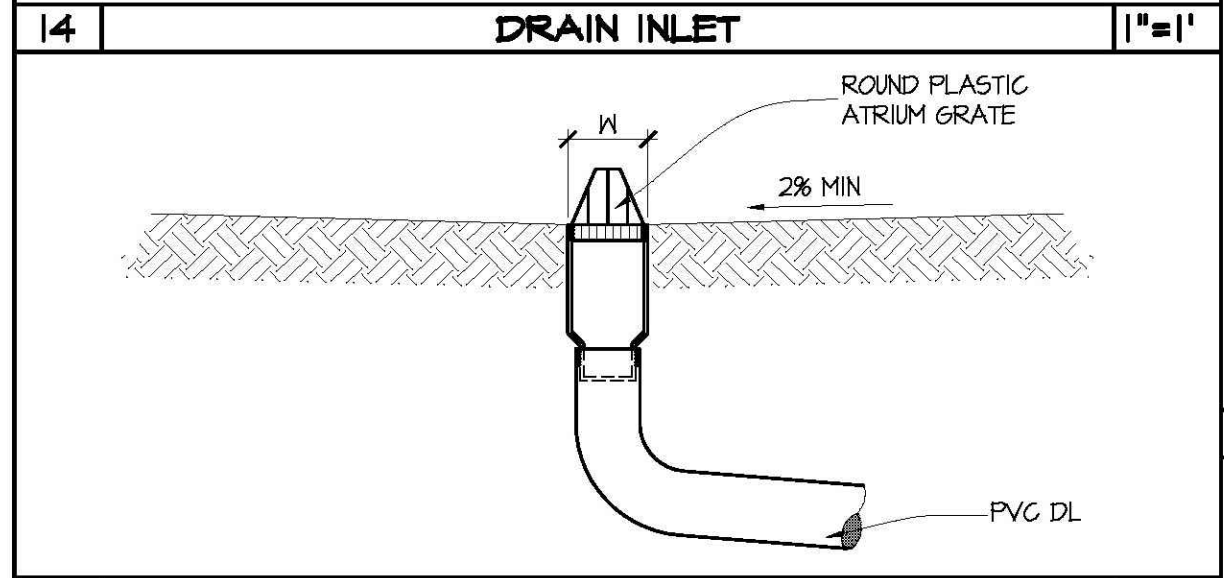
PAVEMENT JOINT

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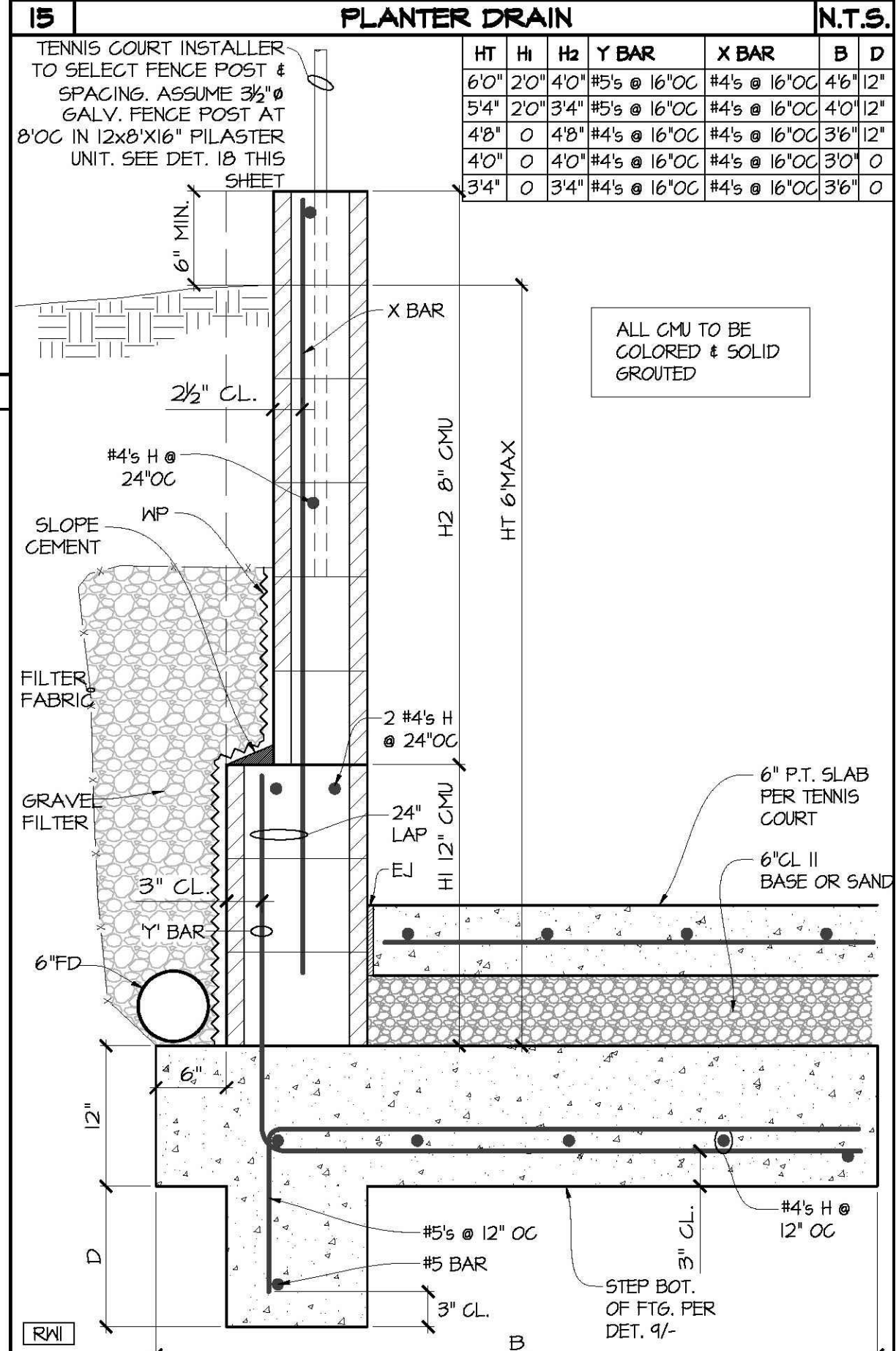
DRAIN INLET

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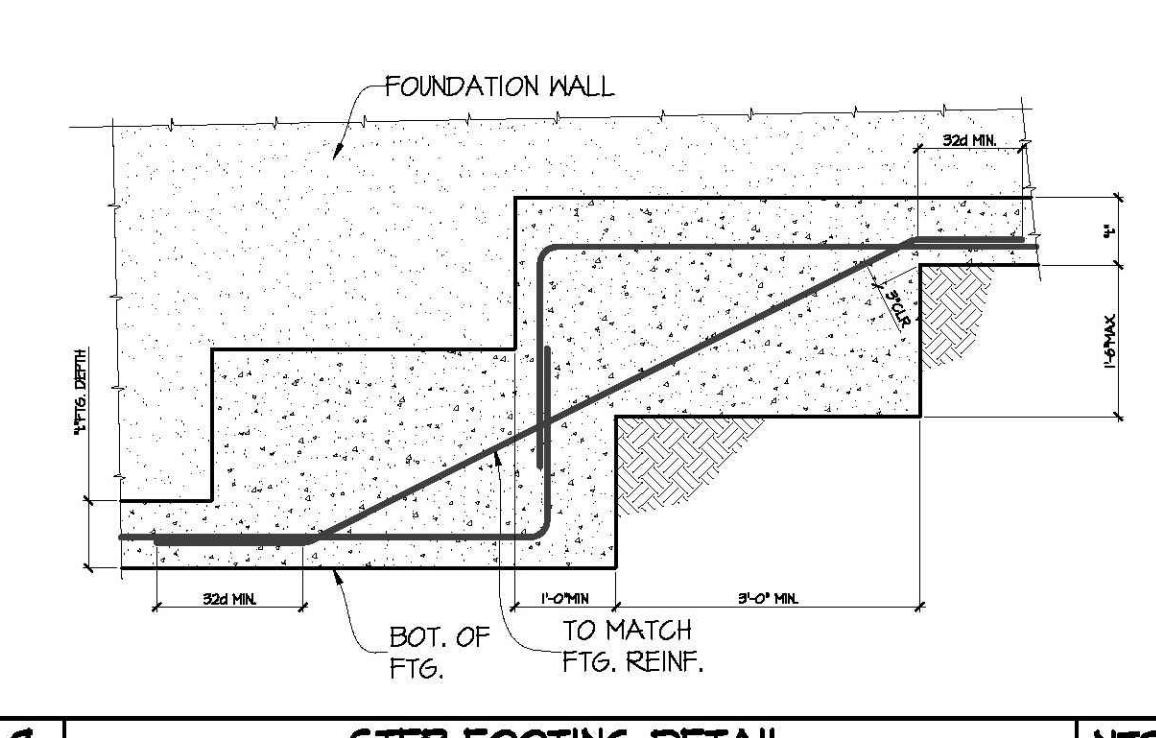
PLANTER DRAIN

N.T.S.



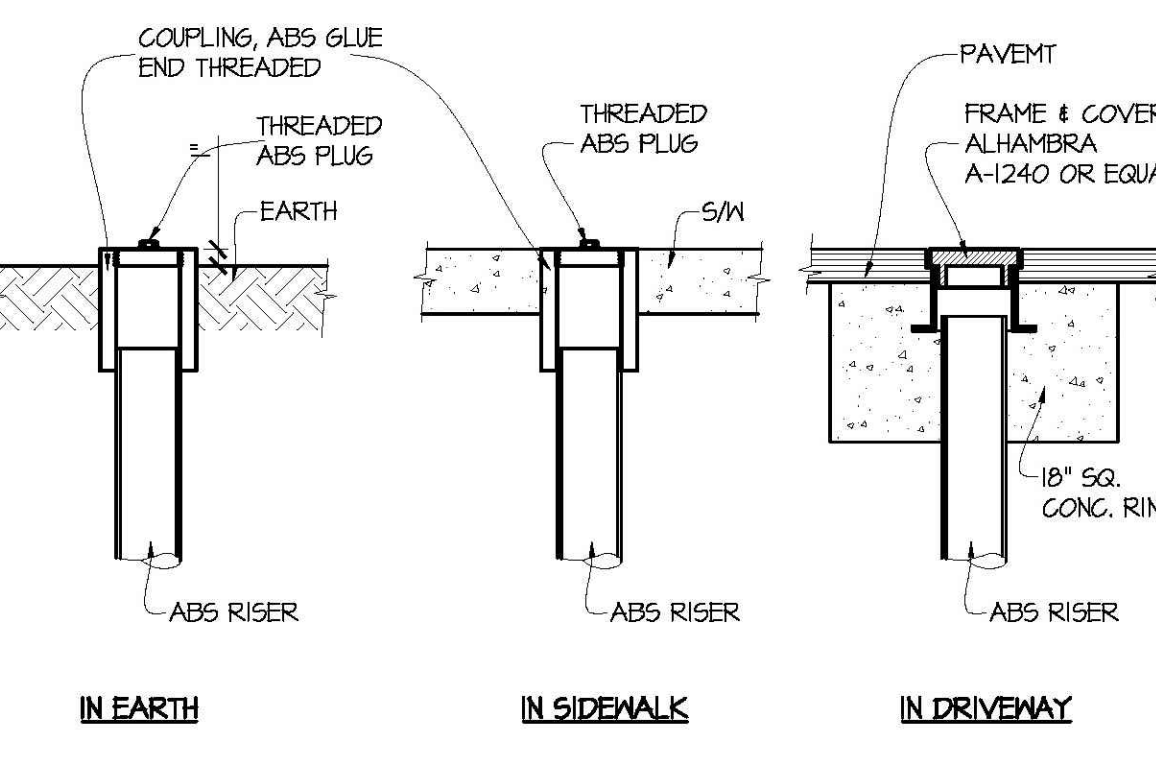
RETAINING WALL

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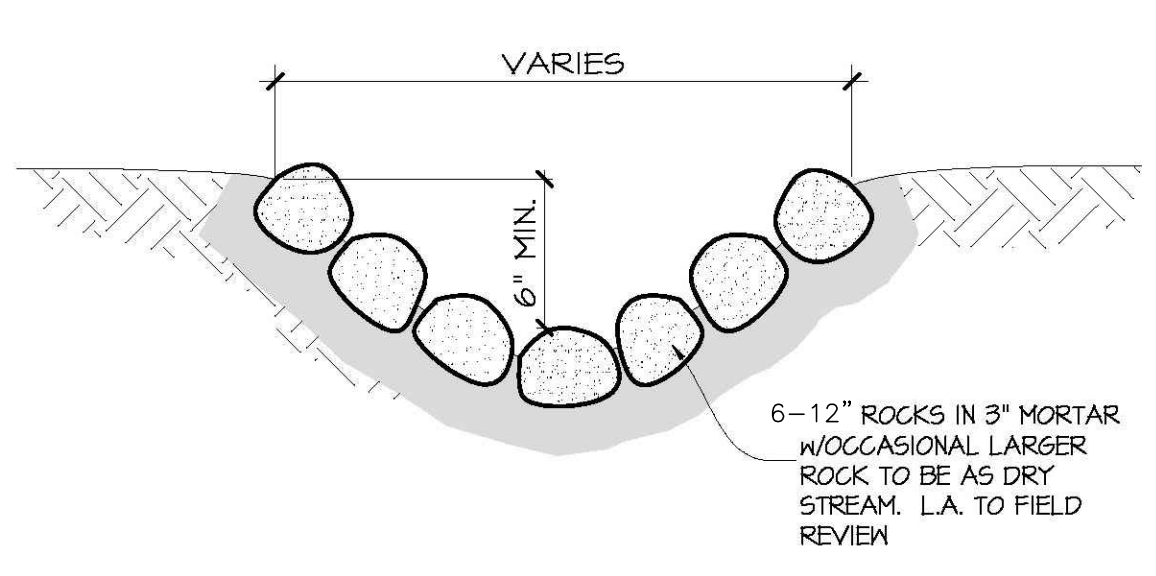
STEP FOOTING DETAIL

N.T.S.



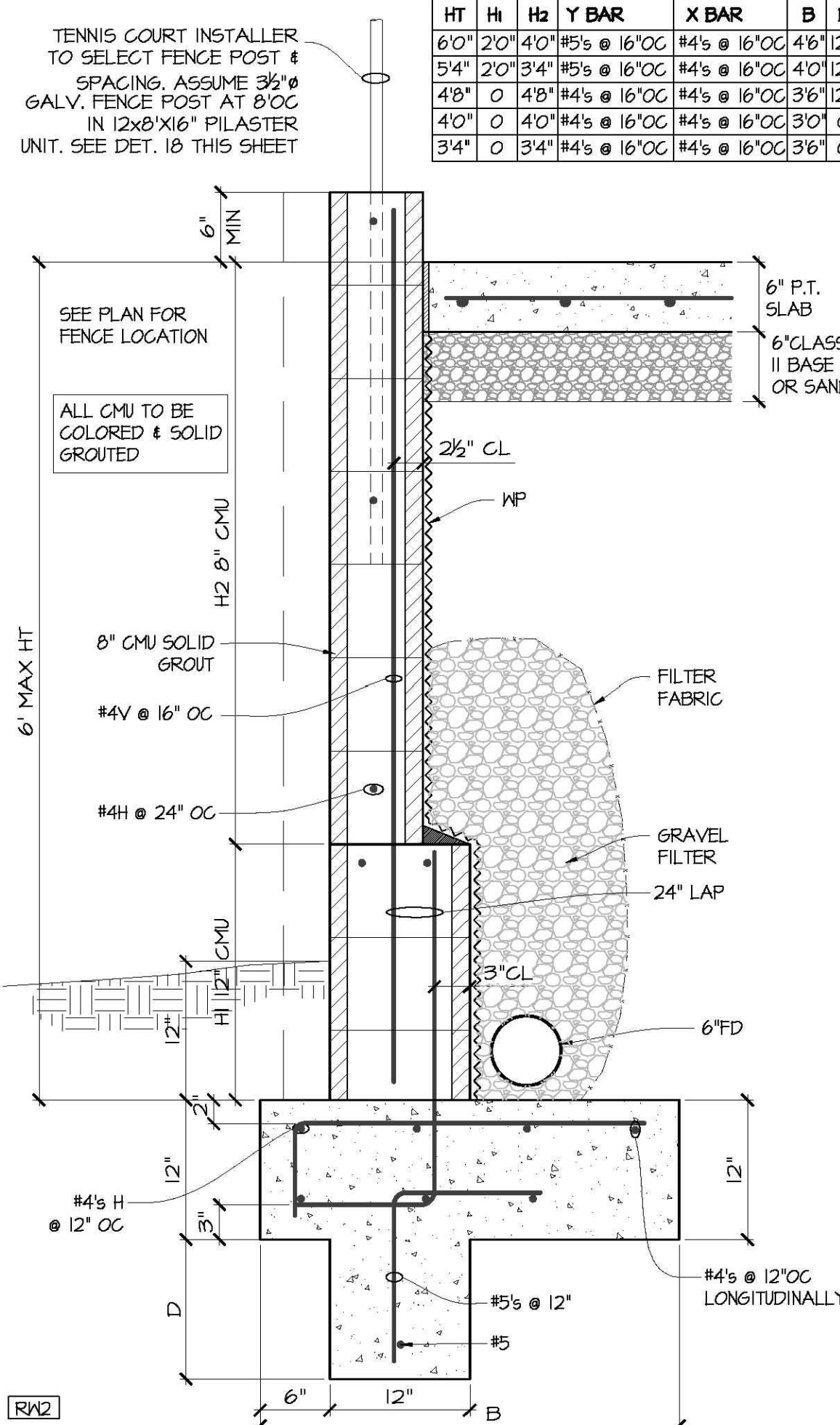
CLEAN OUT DETAIL

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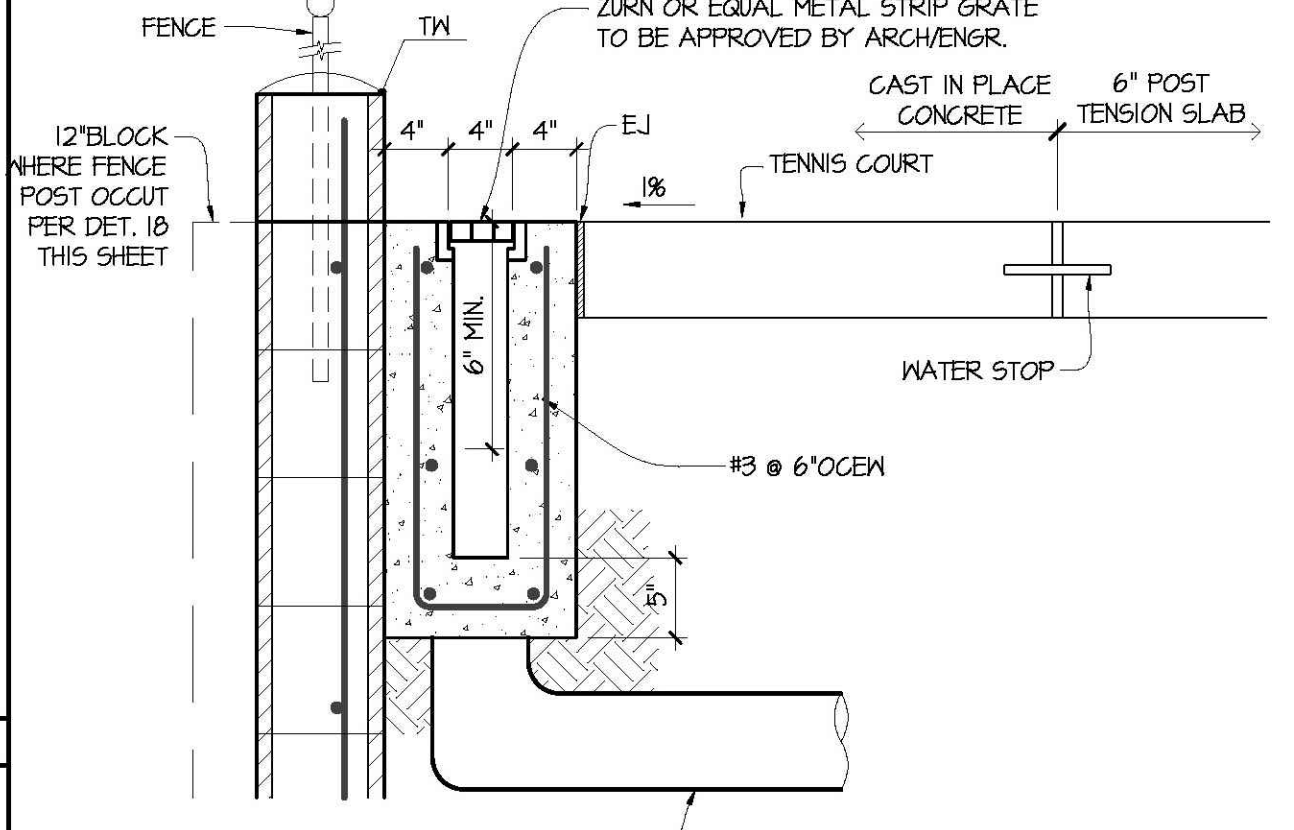
ROCK & MORTAR CHANNEL

1"=1"



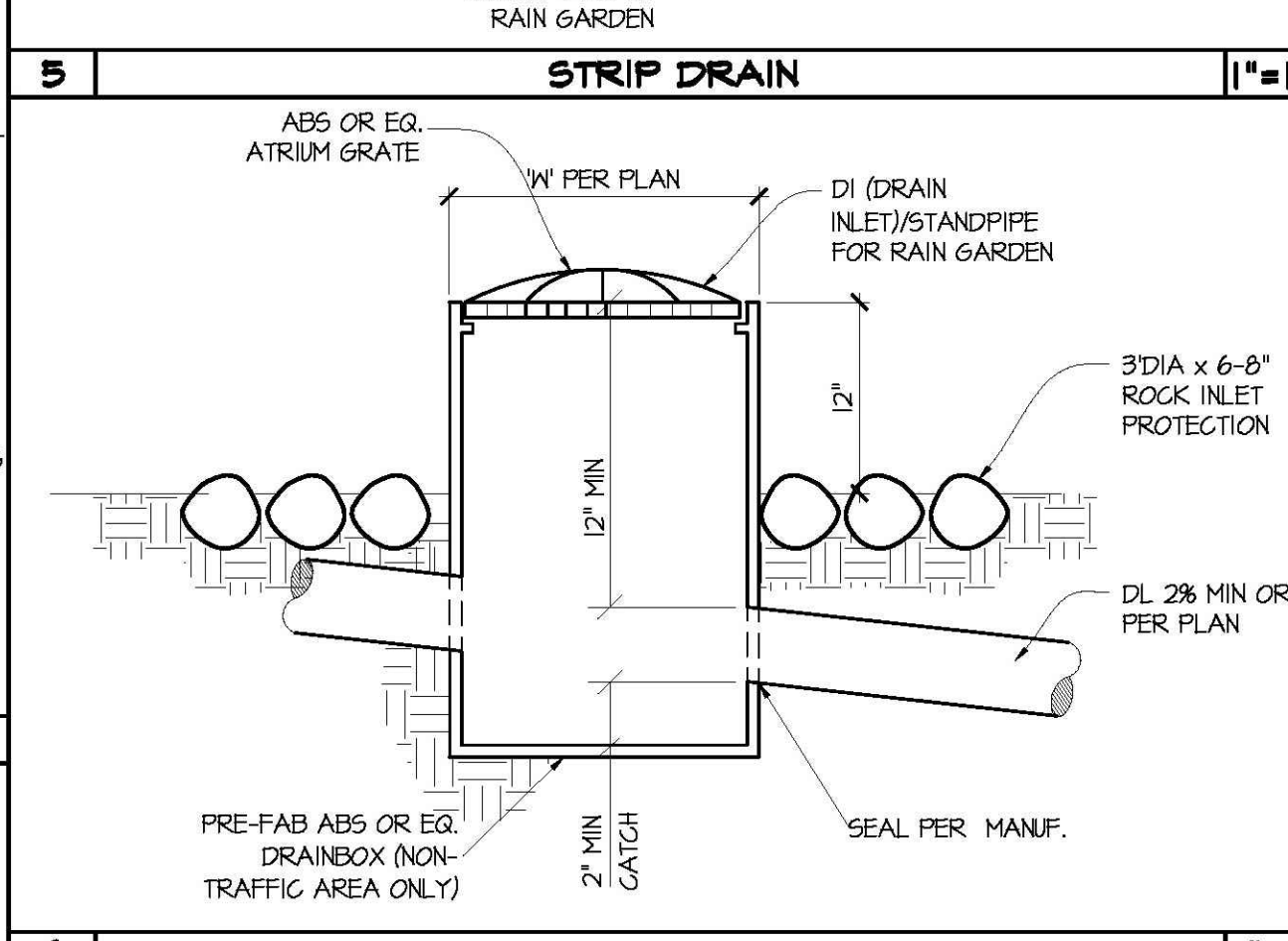
RETAINING WALL

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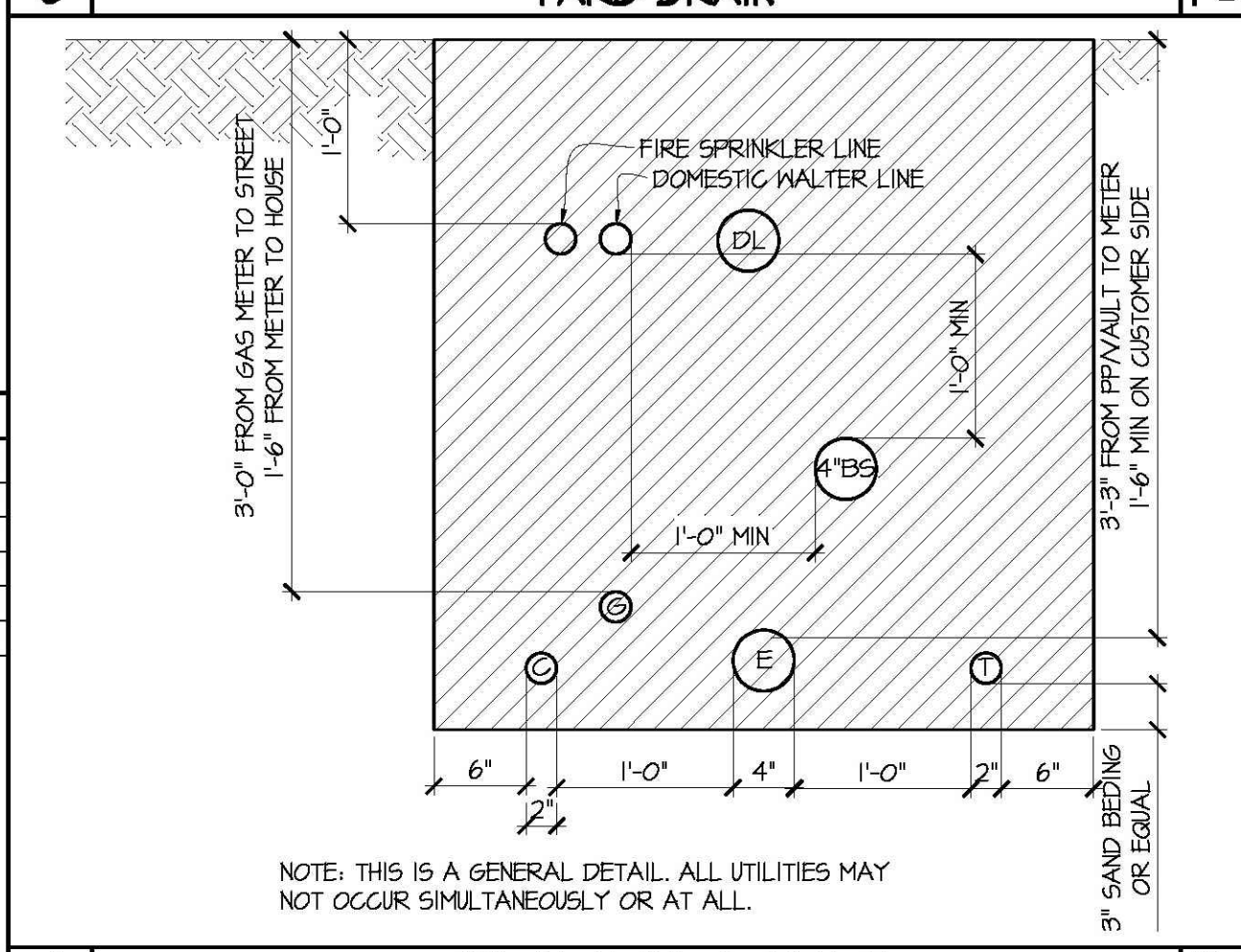
STRIP DRAIN

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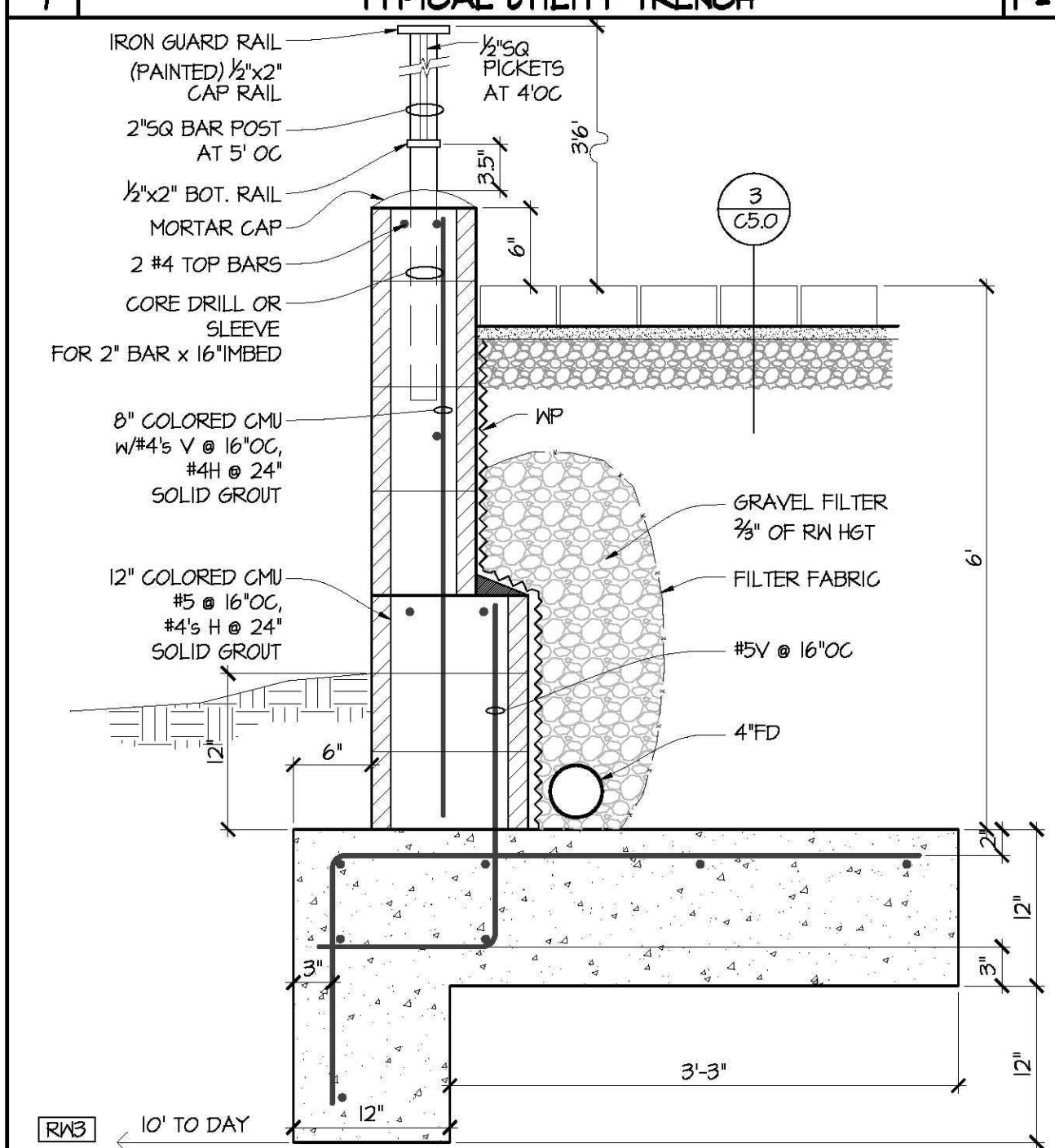
YARD DRAIN

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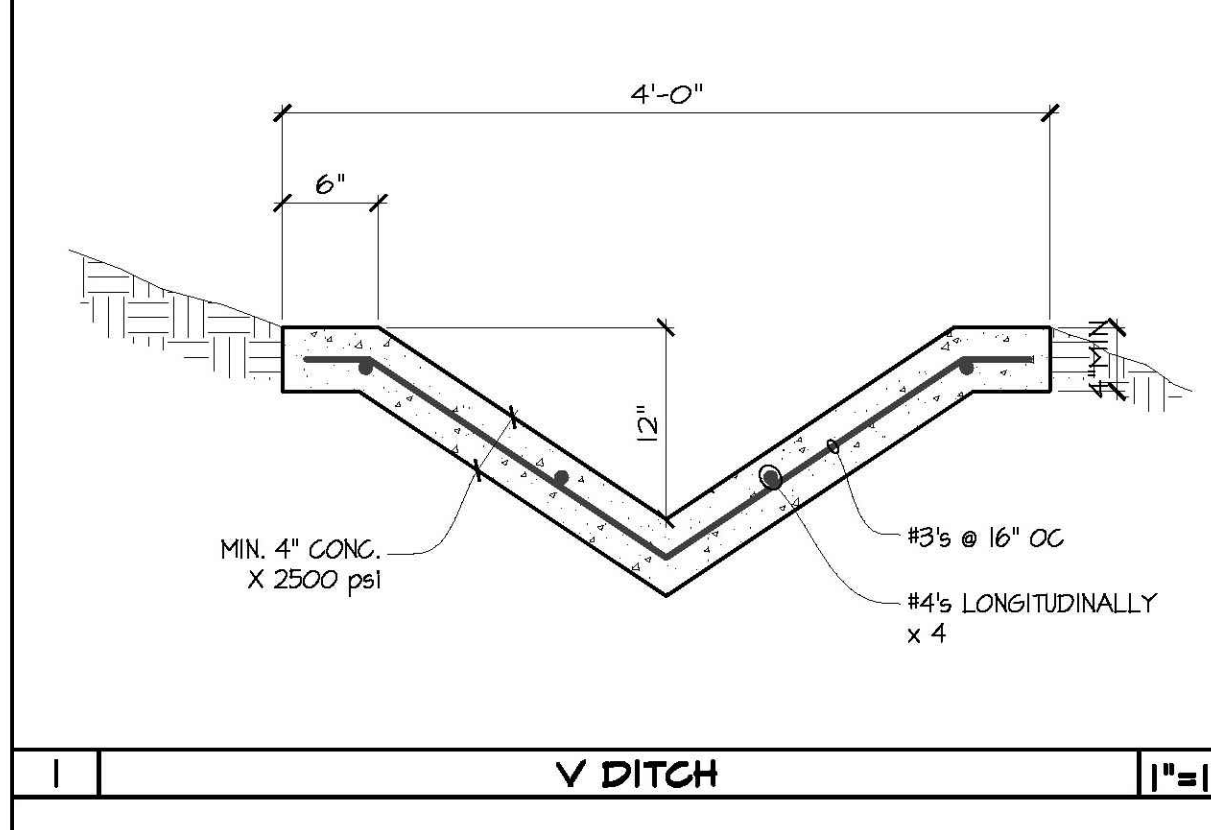
TYPICAL UTILITY TRENCH

1"=1"



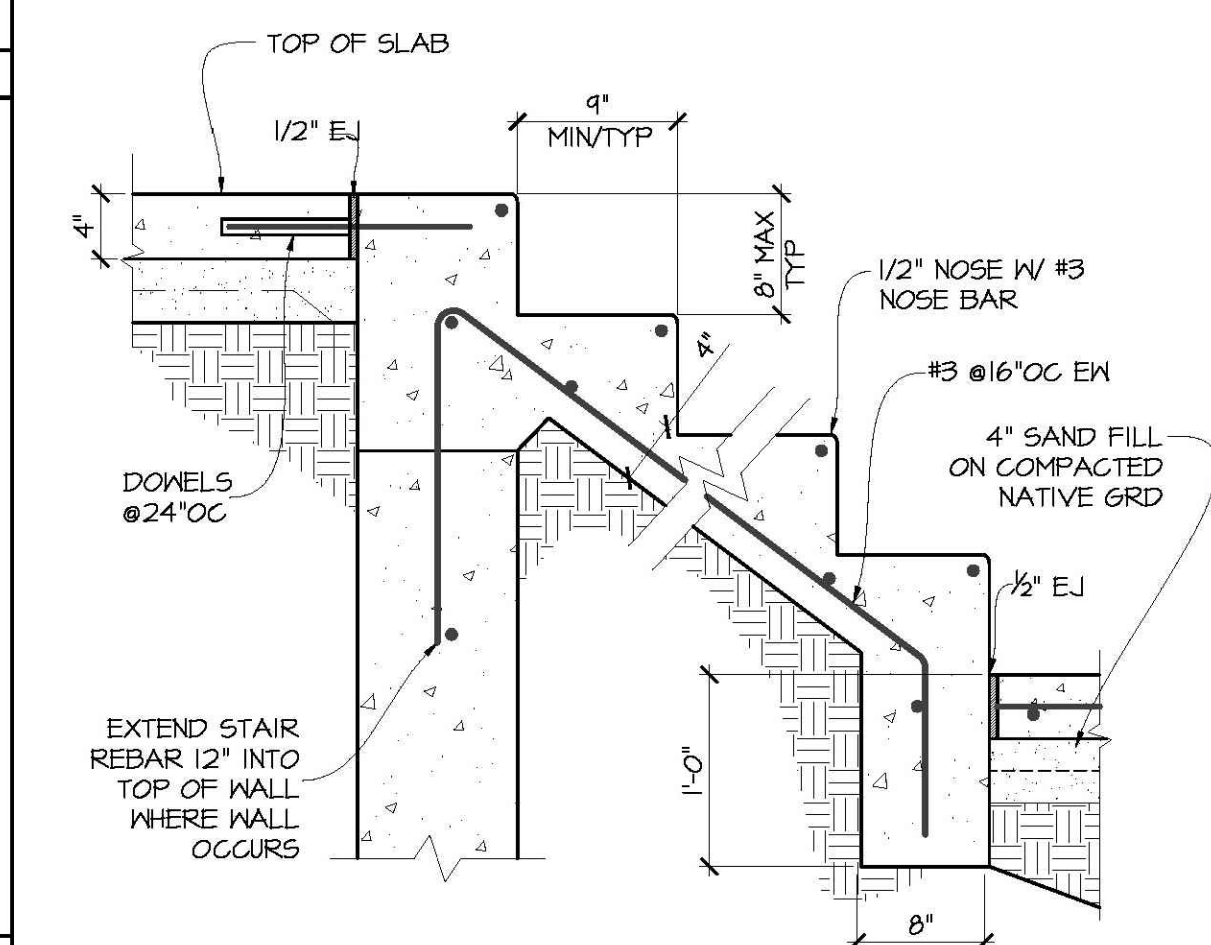
RETAINING WALL

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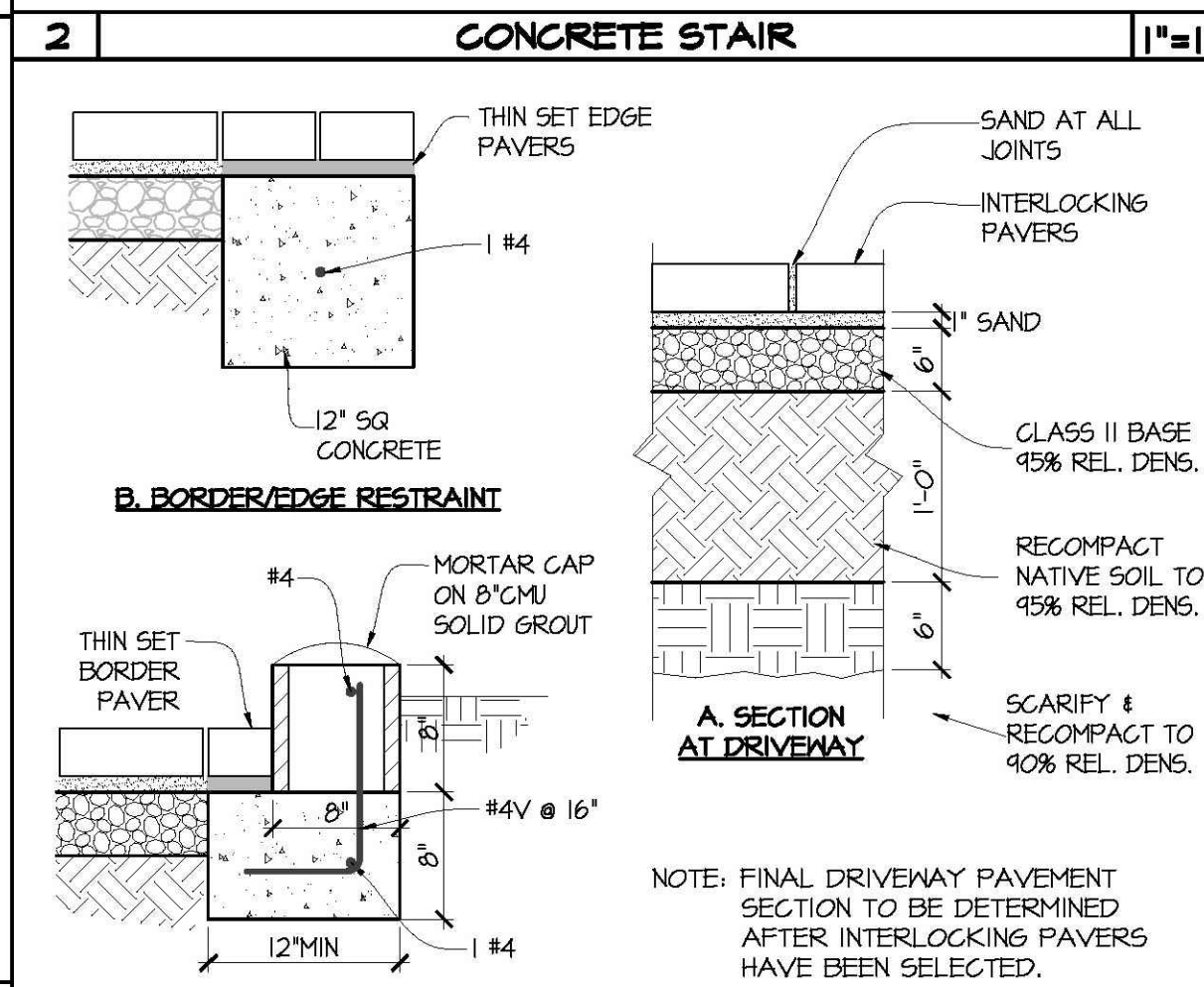
V DITCH

1"=1"



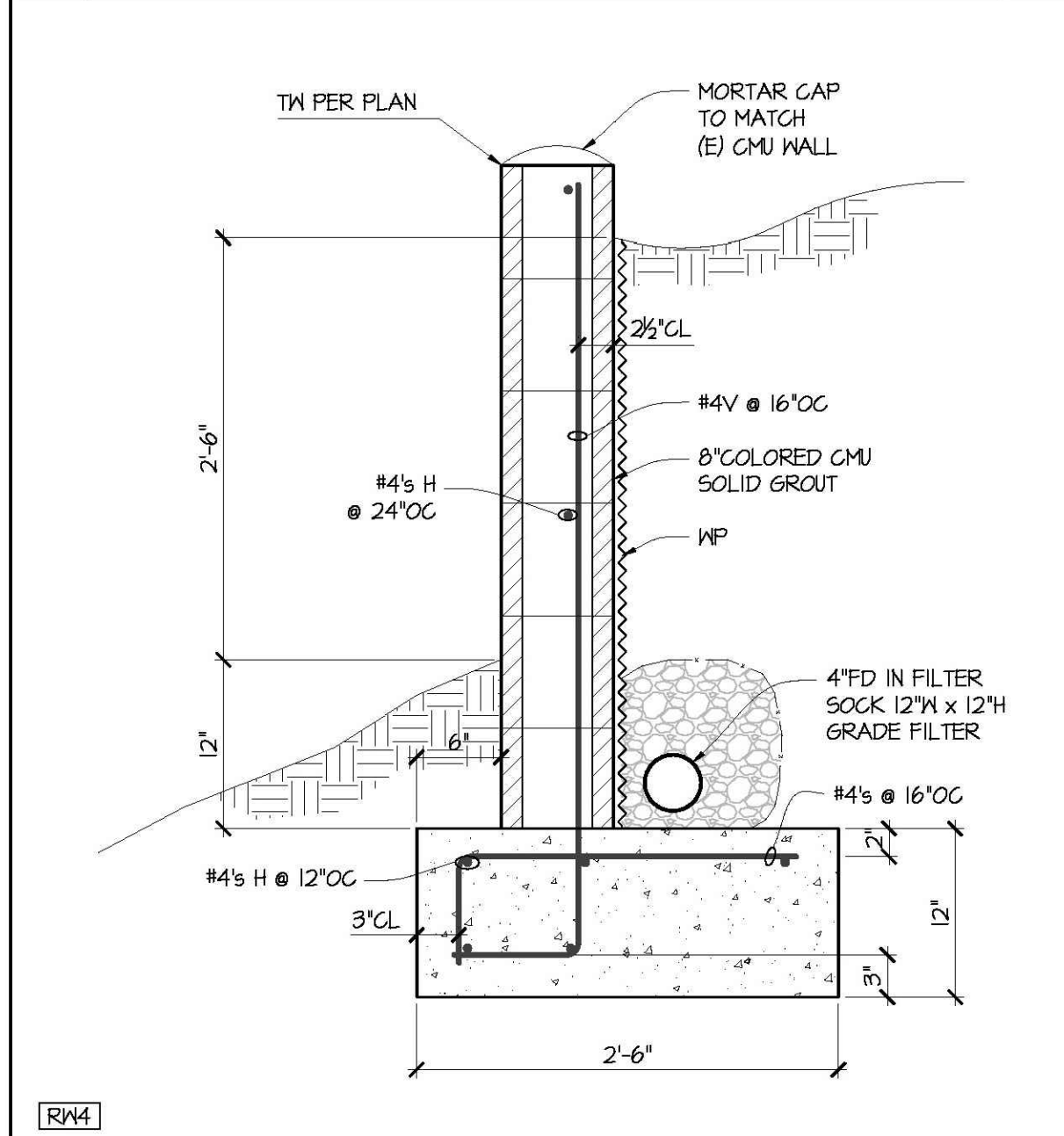
CONCRETE STAIR

1"=1"



INTERLOCKING CONC. PAVERS (NON PERMEABLE)

1"=1"



RETAINING WALL

1"=1"



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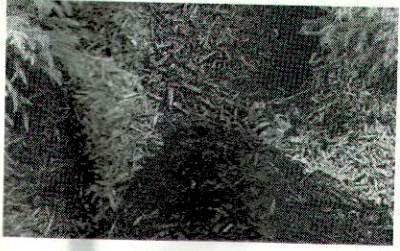
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C5.0

SHEET 8 OF 8

Ground cover:
Cooper's Ice Plant
Garden Mulch



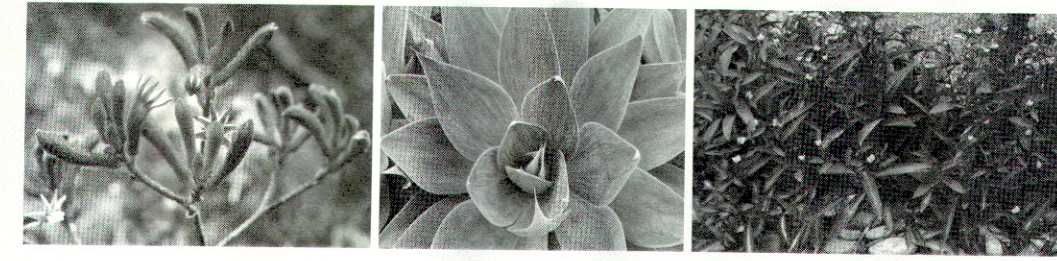
New trees:
7 Dwarf citrus trees.



Existing trees:

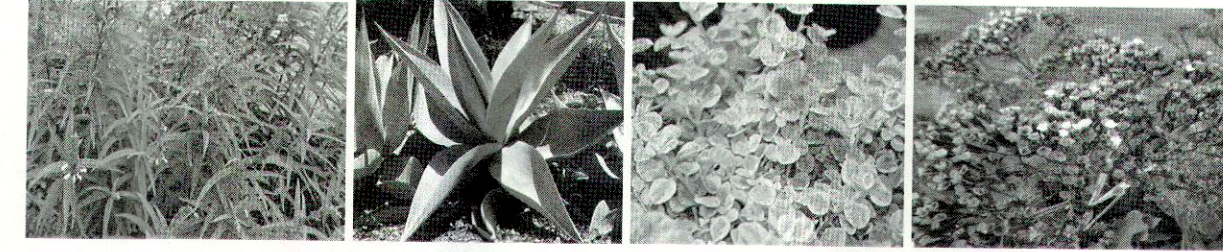
3 Peach trees, 1 Apricot tree, 8 Citrus trees, 3 Macadamia nut trees, 1 Pomegranate tree
4 Persimmon trees, 2 Avocado trees, 1 Mulberry tree, 15 Ornamental trees.

Purple Rain Garden #1



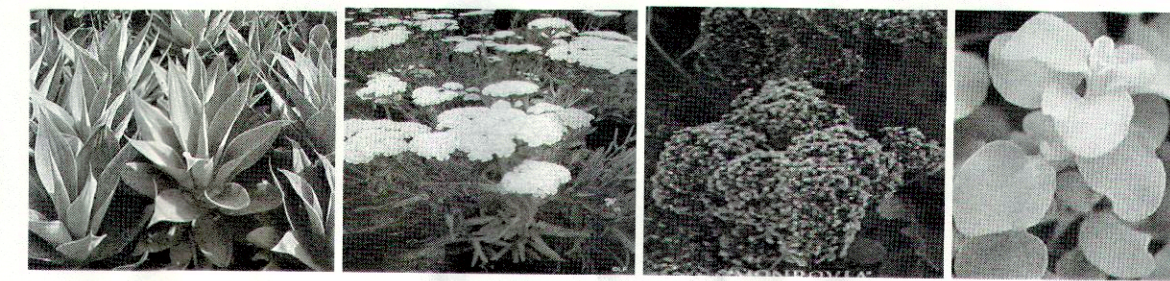
Kangaroo paw, Blue Agave, Purple heart.

Large Rain Garden #2

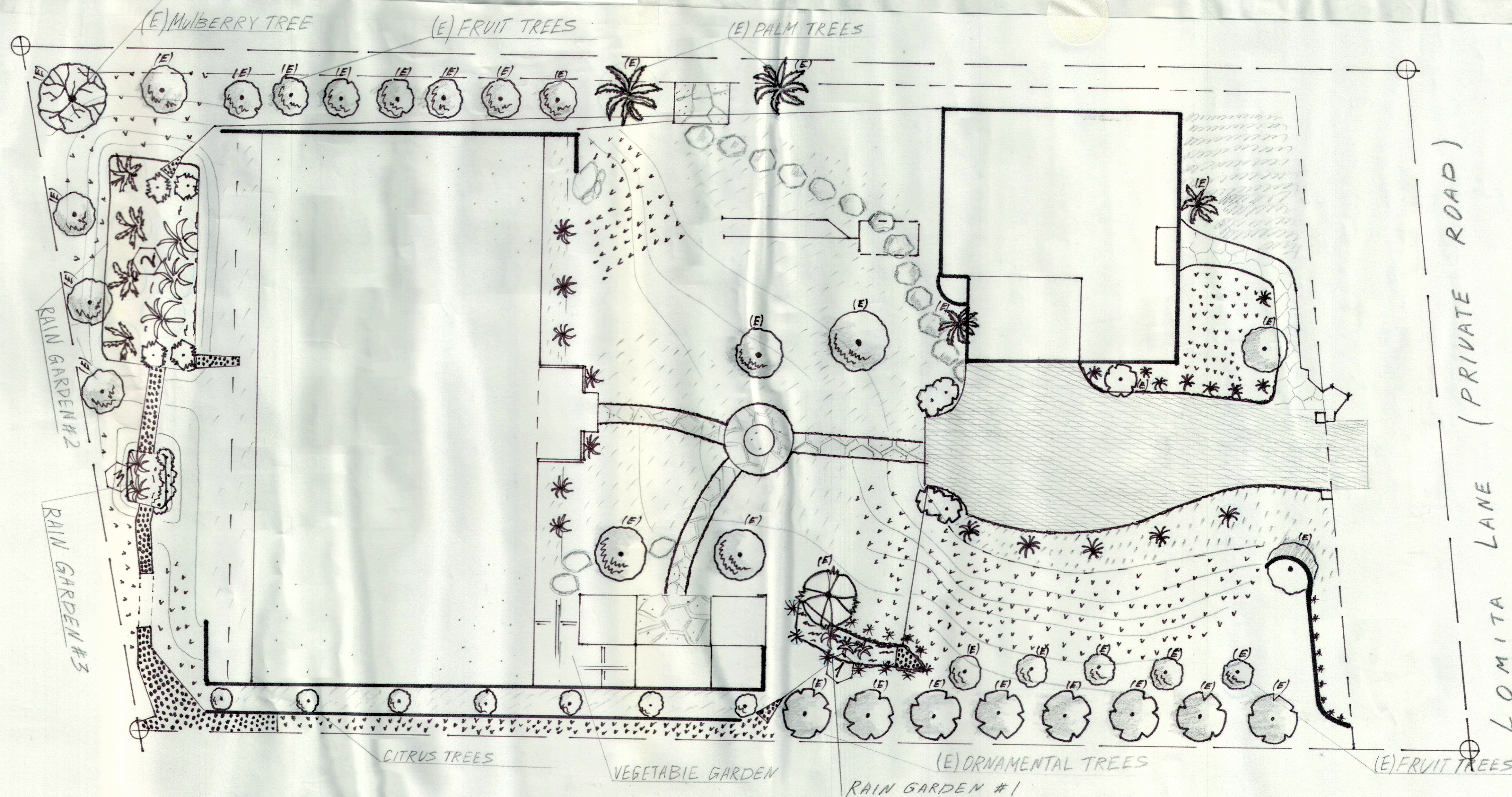


Mexican Bush Sage, Fox Tail Agave, Licorice Plant, Sea Lavender.

Small Rain Garden #3



Fox Tail Agave, Yarrow Moonshine, Sea Lavender, Licorice Plant.



REVISIONS	BY

SUSTAINABLE LANDSCAPING
M. RESIDENCE
1221 LOMITA LN, CARPINTERIA CA, 93013

Date	
Scale	
Drawn	
Job	
Sheet	
Of	
Sheets	