

## CONTACT LIST

### OWNER

FRANK SUAREZ  
6039 EASTBROOK AVENUE  
LAKEWOOD, CALIFORNIA 93713

### CIVIL ENGINEER

BETHEL ENGINEERING  
2624 AIRPARK DRIVE  
SANTA MARIA, CALIFORNIA 93455  
P: 805.934.5767  
C: RUSS GARRISON

### APPLICANT

CUYAMA FARMS, LLC.  
2350 WEST SHAW AVENUE, SUITE 140  
FRESNO, CALIFORNIA 93711  
P: 714.497.6057  
C: MOE ESSA

### LANDSCAPE ARCHITECT

PLEINAIRE DESIGN GROUP  
3203 LIGHTNING STREET, SUITE 201  
SANTA MARIA, CALIFORNIA 93455  
P: 805.349.9695  
C: KEVIN J. SMALL

### LAND USE PLANNER

BROWNSTEIN HYATT FARBER SCHRECK, LLP  
1021 ANACAPA STREET, 2<sup>nd</sup> FLOOR  
SANTA BARBARA, CALIFORNIA 93101  
P: 805.963.7000

### SURVEYOR

FARGEN SURVEYS, INC.  
2624 AIRPARK DRIVE, SUITE 210  
SANTA MARIA, CALIFORNIA 93455  
P: 805.934.5727  
C: MARSHALL FARGEN

## PUBLIC AGENCIES

### COUNTY OF SANTA BARBARA

PLANNING & DEVELOPMENT  
123 EAST ANAPAMU STREET  
SANTA BARBARA, CALIFORNIA 93101  
P: 805.568.2000

## PROPERTY STATISTICS

1. APN#: 149-160-033
2. LOT SIZE: 78.27 ACRES
3. CULTIVATION AREA: 34.7 ACRES

## PROPERTY DESCRIPTION

THE PROPOSED PROJECT INCLUDES A REQUESTS APPROVAL OF A LAND USE PERMIT TO ALLOW APPROXIMATELY 34.7 ACRES OF OUTDOOR CANNABIS CULTIVATION IN HOOP STRUCTURES. THE PROJECT SITE WILL BE LOCATED ON THE SOUTHERN 46 ACRES OF THE PROPERTY. THE NORTHERN AREAS OF THE PROPERTY ARE DEVELOPED WITH VARIOUS AGRICULTURAL STRUCTURES. ALL EXISTING STRUCTURES EXCEPT A 120 SQUARE FOOT (SF) STORAGE SHED FOR THE SHEEP RANCH WILL BE REMOVED. THE CANNABIS CULTIVATION AREA WILL BE FENCED WITH AN SIX-FOOT HIGH HOG WIRE/NO DEER CLIMB SECURITY FENCE. A 160 SF SECURITY KIOSK AND 168 SF RESTROOM STRUCTURE ARE PROPOSED IN THE PARKING AND LOADING AREA. A 160 SF PESTICIDE AND MATERIALS STORAGE CONTAINER AND TWO 5,000 GALLON WATER TANKS FOR FIRE PROTECTION AND DOMESTIC WATER STORAGE ARE PROPOSED ADJACENT TO THE PARKING AND LOADING AREA. THE PROPOSED PROJECT WILL INCLUDE THE INSTALLATION OF LIGHTING AND SECURITY CAMERAS AT LOCATIONS COMPLIANT WITH SHERIFF DEPARTMENT REQUIREMENTS. ALL SECURITY LIGHTING WILL BE HOODED AND DIRECTED DOWNWARD. AN EXISTING WATER WELL AND A PROPOSED NEW WATER WELL (COUNTY WELL PERMIT #0004497) WILL PROVIDE DOMESTIC AND AGRICULTURAL WATER FOR THE PROPOSED PROJECT. THE PROJECT INCLUDES THE INSTALLATION OF A PRIVATE ONSITE WASTEWATER TREATMENT (I.E. SEPTIC) SYSTEM FOR SEWAGE DISPOSAL. THE PROPOSED CANNABIS OPERATION WILL INVOLVE A MAXIMUM OF FOUR FULL-TIME EMPLOYEES ON-SITE FROM MARCH TO DECEMBER, AND A MAXIMUM OF 20 TEMPORARY WORKERS FROM APRIL TO NOVEMBER FOR PLANTING AND HARVEST OPERATIONS. THE HOURS OF OPERATION WILL BE FROM 7:00 AM TO 4:00 PM, MONDAY THROUGH SATURDAY. ACCESS WILL BE VIA A NEW DRIVEWAY FROM FOOTHILL ROAD ALONG THE EASTERN PROPERTY BOUNDARY.

### STRUCTURES

2225 Foothill Road  
10/8/2020

Structure ID	Name	AG Existing Sq. Ft.	AG Proposed Sq. Ft.	Cannabis Related Y (Yes) or N (No)	Status
1	Cold Storage	747	0	N	(E) To be removed
2	Storage Shed	120	120	N	(E) To remain
3	Pump House	137	0	N	(E) To be removed
4	AG Accessory Bldg.	101	0	N	(E) To be removed
5	Storage Container	320	0	N	(E) To be removed
6	Barn	822	0	N	(E) To be removed
7	Storage Shed (Orchard)	120	0	N	(E) To be removed
	Security Office	0	160	Y	(P) To be permitted
	Prefab Restroom	0	168	Y	(P) To be permitted
	Pesticide Storage	0	160	Y	(P) To be permitted
	5,000 Gal. Water Tank	0	77	Y	(P) To be permitted
	5,000 Gal. Water Tank	0	77	Y	(P) To be permitted
	<b>Total</b>	<b>2367</b>	<b>762</b>		

## REVISION DATES

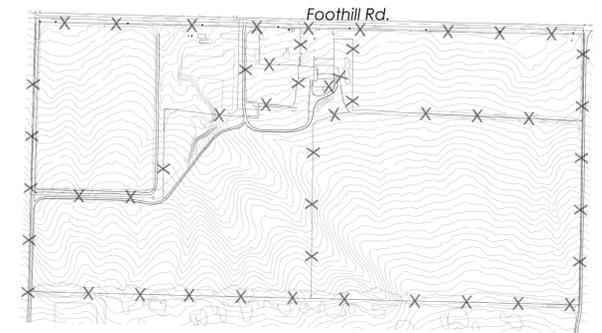
REV.	DATE	BY	APPROVED	COMMENTS
4				
3				
2	2021.05.20	A.O.	K.S.	P.C. COMMENTS
1	2020.05.11	A.O.	K.S.	P.C. COMMENTS

# ORANGE COAST FARMS

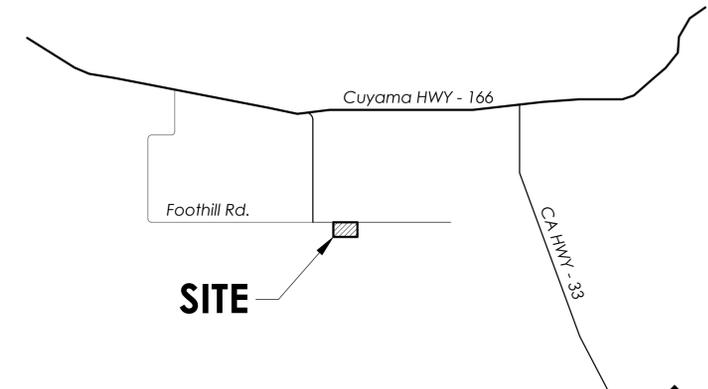
## LAND USE PERMIT APPLICATION PERMIT #19LUP-0000-00327

2225 FOOTHILL ROAD  
NEW CUYAMA, CALIFORNIA 93254

## SITE MAP



## LOCATION MAP



## SHEET LEGEND

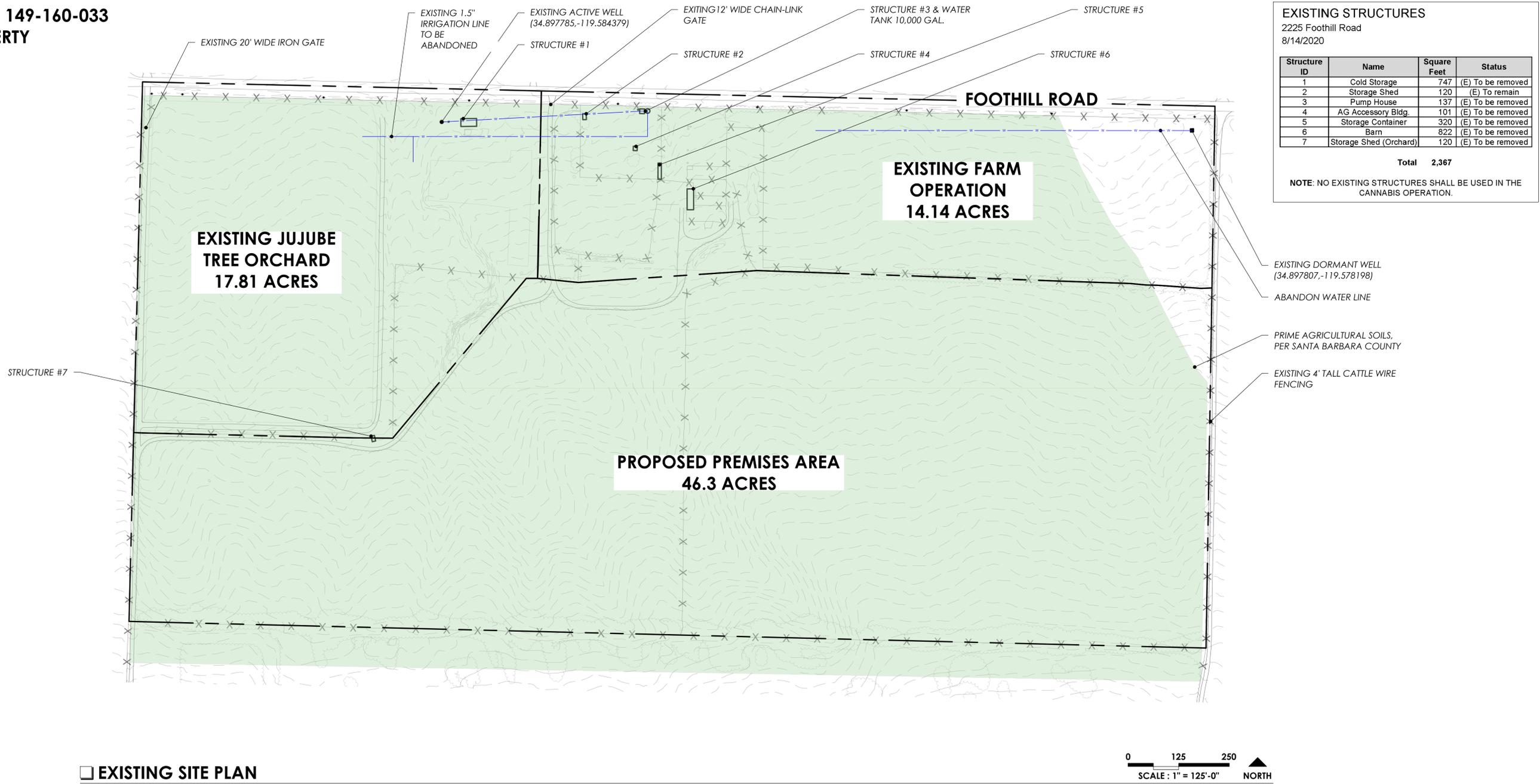
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|--|-----------------------------------|
| L-0.0 COVER SHEET                                | L-1.15 WILD LIFE MOVEMENT PLAN    |
| L-1.0 EXISTING SITE PLAN                         | L-1.16 HABITAT PROTECTION PLAN    |
| L-1.1 PROPOSED SITE PLAN                         |                                   |
| L-1.2 PROPOSED SITE ENLARGEMENT/FIRE ACCESS PLAN | <b>CIVIL SHEETS FOR REFERENCE</b> |
| L-1.3 LIGHTING PLAN                              | C-1 PRELIMINARY GRADING PLAN      |
| L-1.4 FENCING & SECURITY PLAN                    | C-2 PARKING ENLARGEMENT & DETAILS |
| L-1.5 LANDSCAPE SCREENING PLAN                   | C-3 EROSION CONTROL PLAN          |
| L-1.6 LANDSCAPE SCREENING ENLARGEMENT            |                                   |
| L-1.7 LANDSCAPE SCREENING IRRIGATION & NOTES     |                                   |
| L-1.8 LANDSCAPE SCREENING IRRIGATION DETAILS     |                                   |
| L-1.9 EXISTING STRUCTURES                        |                                   |
| L-1.10 PROPOSED HOOP STRUCTURES                  |                                   |
| L-1.11 PROPOSED STRUCTURES                       |                                   |
| L-1.12 DETAILS & NOTES                           |                                   |
| L-1.13 WATER EFFICIENCY PLAN                     |                                   |
| L-1.14 TRANSPORTATION DEMAND MANAGEMENT PLAN     |                                   |

L-0.0



**PLEINAIRE**  
DESIGN GROUP

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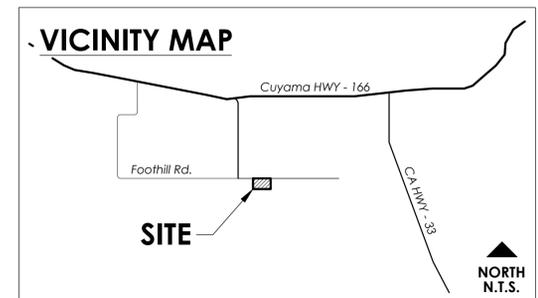
# ORANGE COAST FARMS

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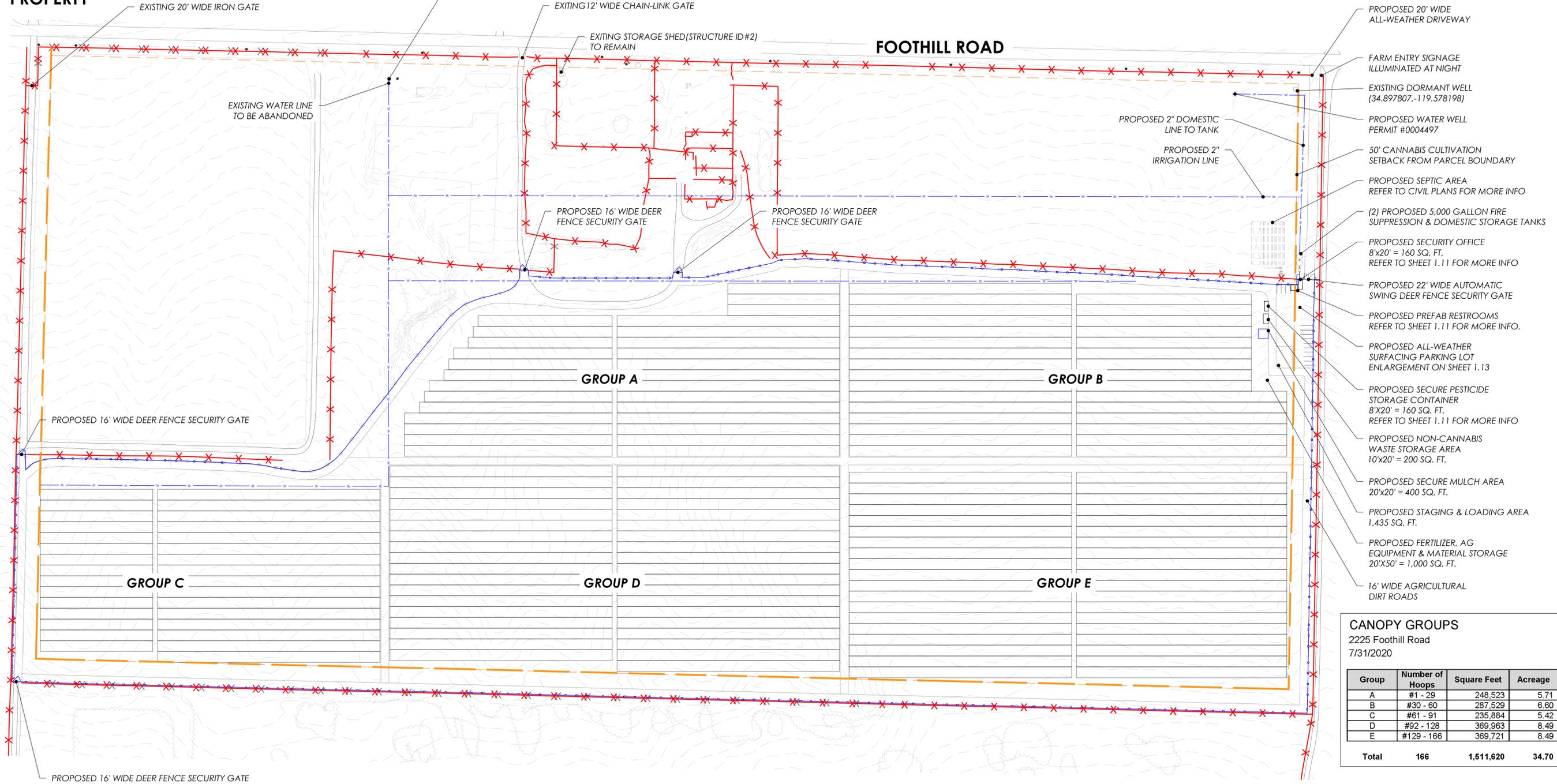
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APN#: 149-160-033  
PROPERTY

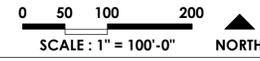


- PROPOSED 20' WIDE ALL-WEATHER DRIVEWAY
- FARM ENTRY SIGNAGE ILLUMINATED AT NIGHT
- EXISTING DORMANT WELL (34.897807,-119.578198)
- PROPOSED WATER WELL PERMIT #0004497
- 50' CANNABIS CULTIVATION SETBACK FROM PARCEL BOUNDARY
- PROPOSED SEPTIC AREA REFER TO CIVIL PLANS FOR MORE INFO
- (2) PROPOSED 5,000 GALLON FIRE SUPPRESSION & DOMESTIC STORAGE TANKS
- PROPOSED SECURITY OFFICE 8'x20' = 160 SQ. FT. REFER TO SHEET 1.11 FOR MORE INFO
- PROPOSED 22' WIDE AUTOMATIC SWING DEER FENCE SECURITY GATE
- PROPOSED PREFAB RESTROOMS REFER TO SHEET 1.11 FOR MORE INFO.
- PROPOSED ALL-WEATHER SURFACING PARKING LOT ENLARGEMENT ON SHEET 1.13
- PROPOSED SECURE PESTICIDE STORAGE CONTAINER 8'x20' = 160 SQ. FT. REFER TO SHEET 1.11 FOR MORE INFO
- PROPOSED NON-CANNABIS WASTE STORAGE AREA 10'x20' = 200 SQ. FT.
- PROPOSED SECURE MULCH AREA 20'x20' = 400 SQ. FT.
- PROPOSED STAGING & LOADING AREA 1,435 SQ. FT.
- PROPOSED FERTILIZER, AG EQUIPMENT & MATERIAL STORAGE 20'x50' = 1,000 SQ. FT.
- 16' WIDE AGRICULTURAL DIRT ROADS

**CANOPY GROUPS**  
2225 Foothill Road  
7/31/2020

Group	Number of Hoops	Square Feet	Acreage
A	#1 - 29	248,523	5.71
B	#30 - 60	287,529	6.60
C	#61 - 91	235,884	5.42
D	#92 - 128	369,963	8.49
E	#129 - 166	369,721	8.49
<b>Total</b>	<b>166</b>	<b>1,511,620</b>	<b>34.70</b>

PROPOSED SITE PLAN

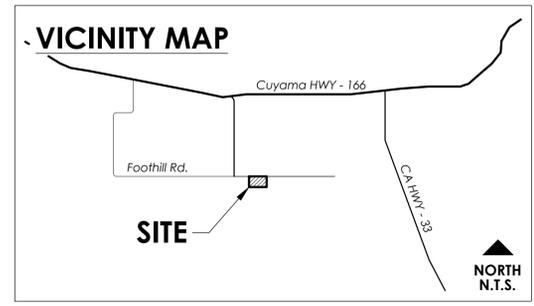


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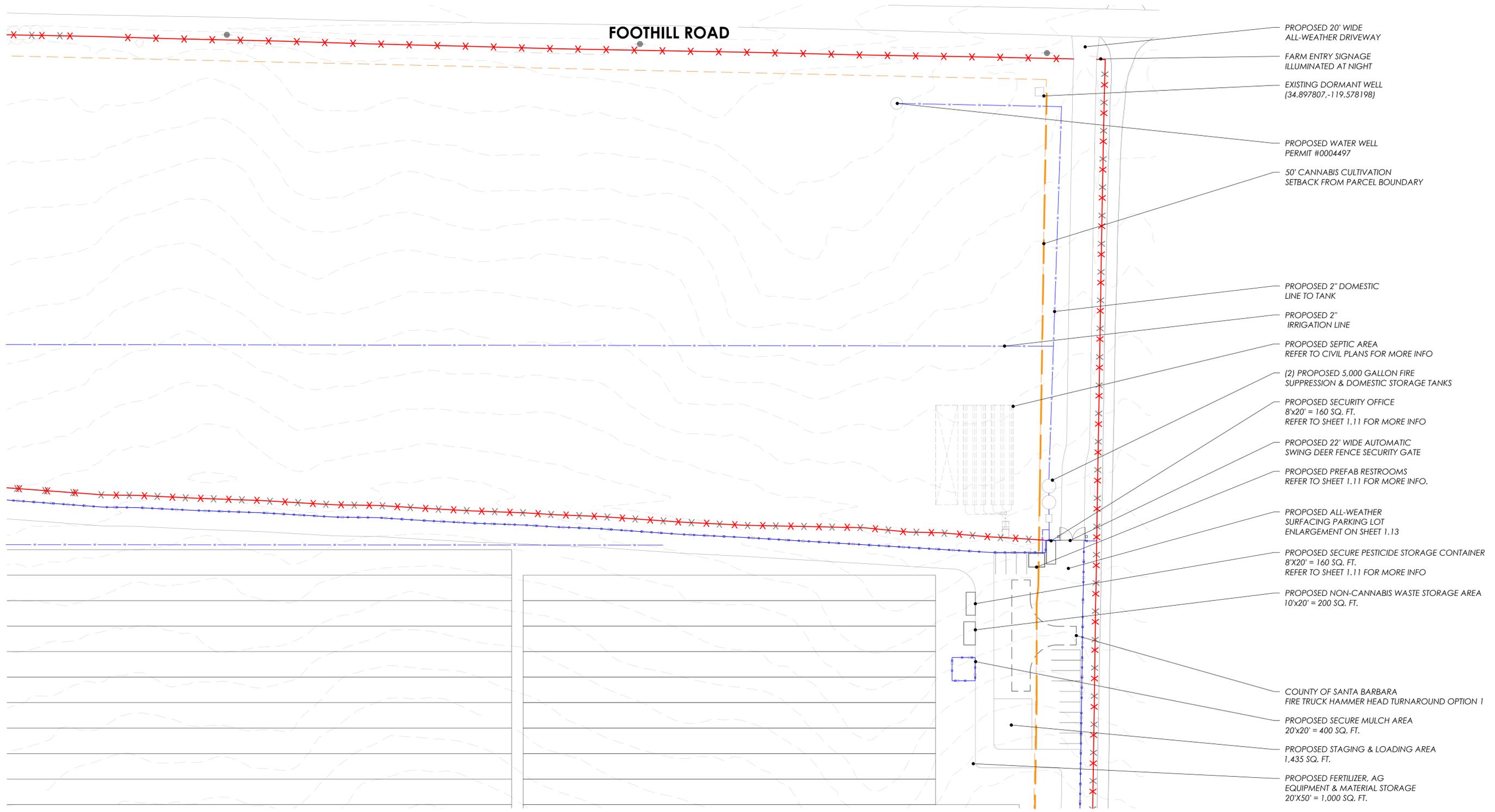
2225 FOOTHILL ROAD // NEW CUYAMA, CALIFORNIA 93254

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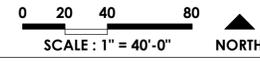
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☐ PROPOSED SITE ENLARGEMENT/FIRE ACCESS PLAN

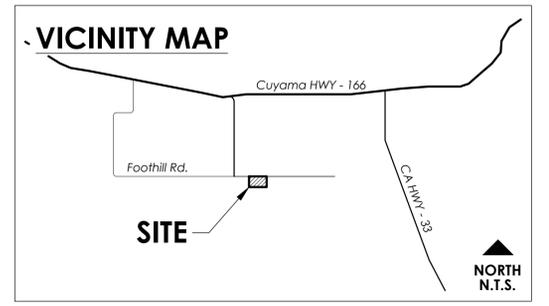


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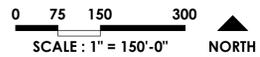
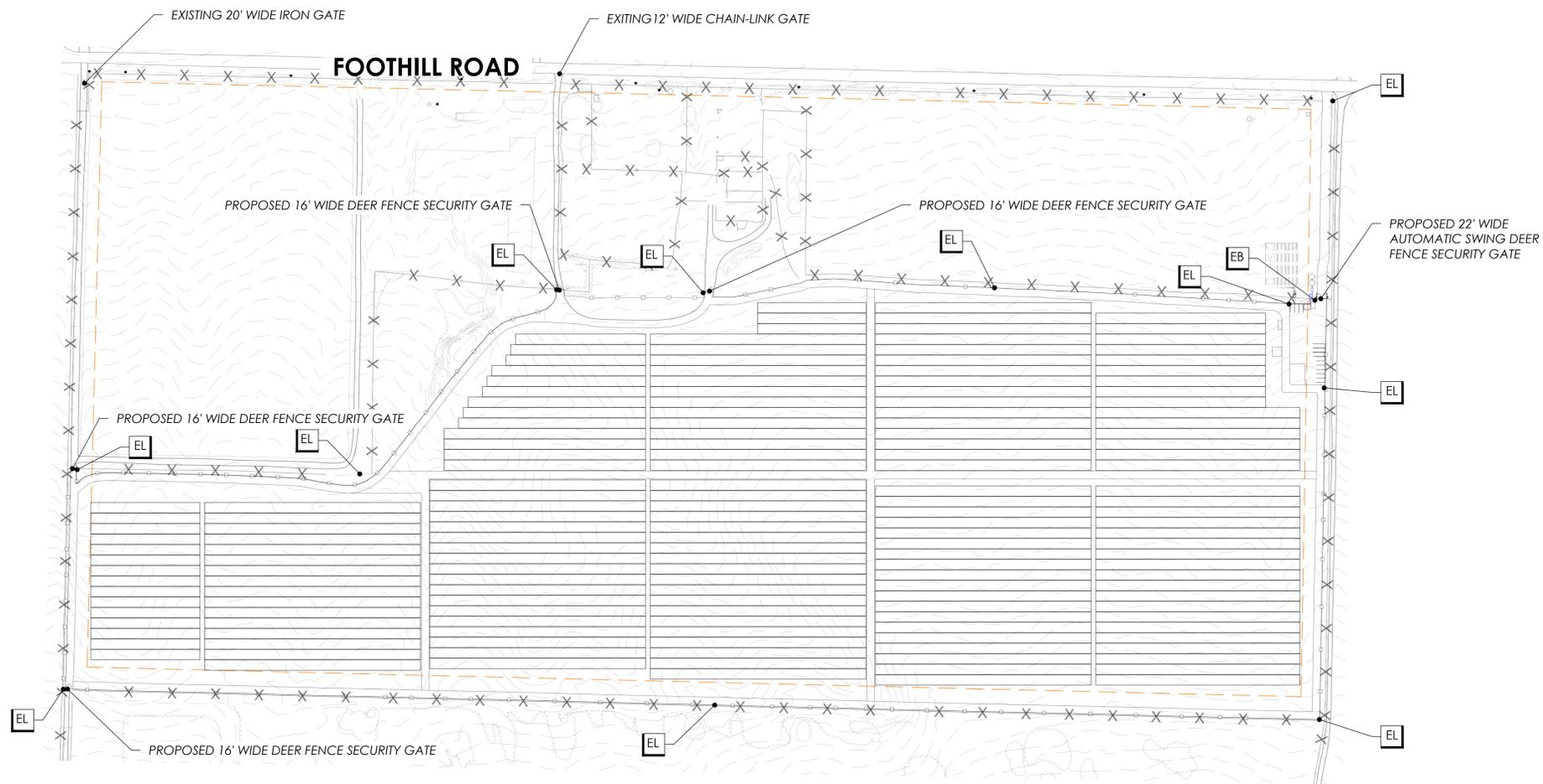
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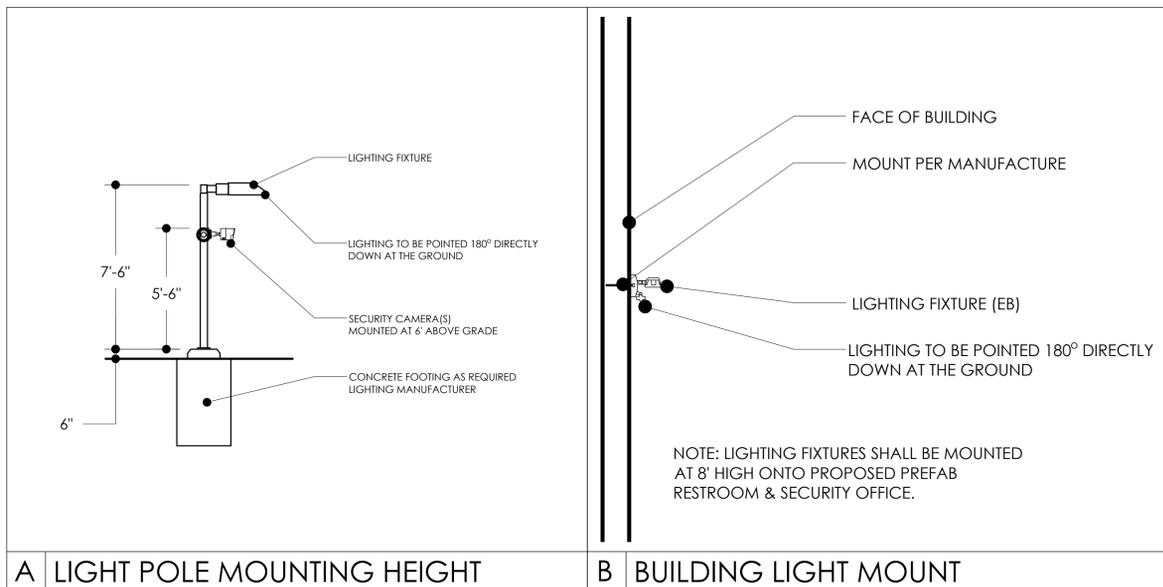
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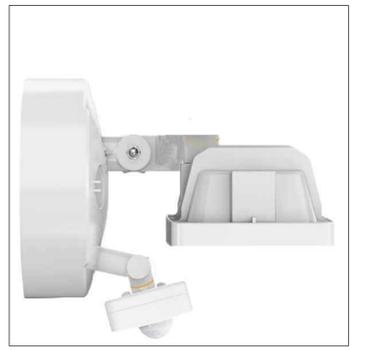
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**LIGHTING PLAN**



Proposed Pole Lighting Fixture (EL)  
7,600 LUMENS



Proposed Building Lighting Fixture (EB)  
3,000 LUMENS

**LIGHTING NOTES:**

ALL OUTDOOR LIGHTING SHALL ADHERE TO THE FOLLOWING CONDITIONS:

- MOTION-SENSOR SECURITY LIGHTING WILL BE FULLY-SHIELDED AND ADJUSTED TO POINT 180 DEGREES DIRECTLY AT THE GROUND.
- MOTION-SENSOR SECURITY LIGHTING WILL REMAIN ON NO LONGER THAN THREE MINUTES AFTER BEING TRIGGERED.
- NO LIGHTING SHALL BE LOCATED IN HOOP HOUSES
- POLE-MOUNTED LIGHTING AT THE MAIN ENTRY AND IN THE PARKING LOT THE MINIMUM HEIGHT TO DETER TAMPERING & PREVENT DAMAGE

**LEGEND:**

EB - EXTERIOR BUILDING LIGHTING FIXTURE.  
EL - EXTERIOR LIGHTING FIXTURE

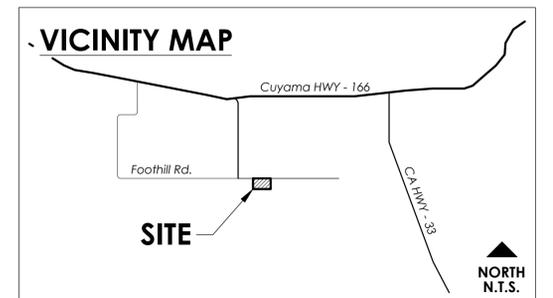
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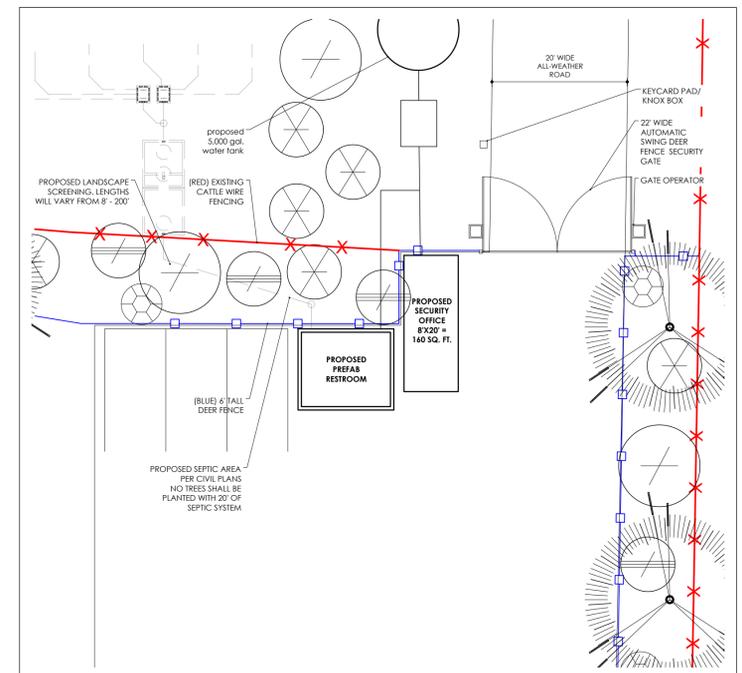
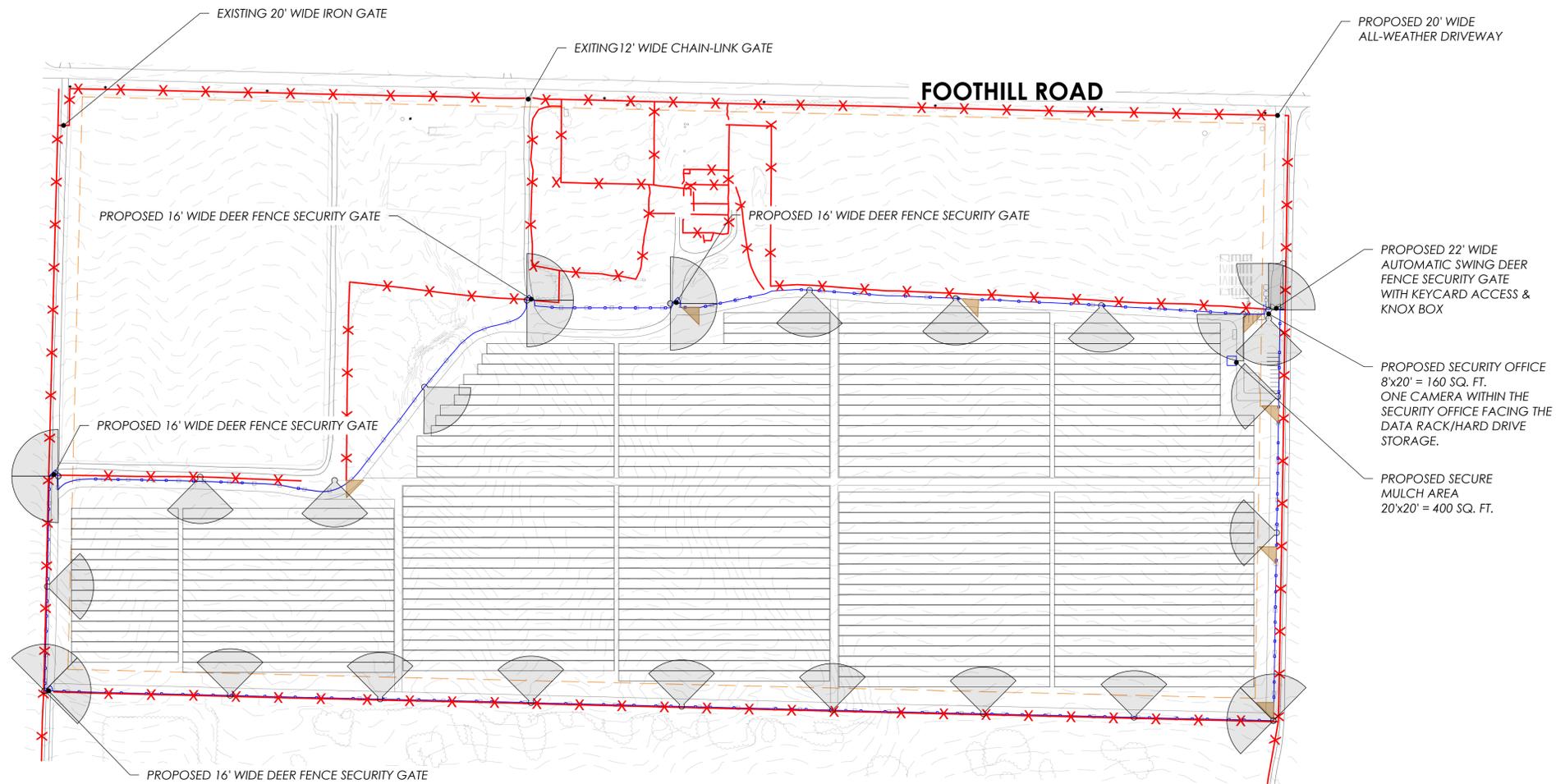
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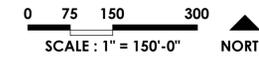


A FENCING ENLARGEMENT

**FENCING & SECURITY NOTES:**

1. SECURITY GATES TO BE LOCKED AT ALL TIMES EXCEPT FOR ACTIVE INGRESS AND EGRESS.
2. SECONDARY SECURITY GATES WILL BE PADLOCKED AND CAN ONLY BE UNLOCKED BY AUTHORIZED STAFF.
3. THE PRIMARY SECURITY GATE WILL BE ACCESSED BY KEYCARD TECHNOLOGY.
4. THERE WILL BE ROUGHLY 31 SECURITY CAMERAS THROUGHOUT THE PROPERTY.
5. 4' WIDE MAINTENANCE GATES SHALL BE PLACED ADJACENT (7 TOTAL) LIGHT POLE/CAMERA LOCATIONS
6. PROPOSED DEER FENCING SHALL BE 6" ABOVE GRADE TO ALLOW FOR WILDLIFE MOVEMENT. REFER TO DETAIL B ON SHEET 1.12. FOR MORE INFO REFER TO WILDLIFE MOVEMENT PLAN ON SHEET 1.14.
7. REFER TO SHEET 1.12 FOR FENCING & SECURITY DETAILS.
8. PROJECT FENCING SHALL BE CONSTRUCTED WITH MATERIALS THAT ARE NOT HARMFUL TO WILDLIFE INCLUDING, BUT ARE NOT LIMITED TO SPIKES, GLASS, RAZOR, OR BARBED WIRE. ALL HALLOW FENCE POSTS SHOULD BE CAPPED TO PREVENT BIRDS AND OTHER WILDLIFE FROM ENTERING AND BECOMING ENTRAPPED. OPEN BOLT HOLES ON METAL FENCE POSTS CAN ENTRAP RAPTORS PERCHING UPON THE TOP OF THE POST. THESE HOLES SHOULD BE SEALED NEAR TOP TO PREVENT RAPTOR MORTALITY.

**FENCING & SECURITY PLAN**



**LEGEND:**

- EXISTING 4' TALL CATTLE WIRE FENCING
- PROPOSED 6' TALL SECURITY DEER FENCING
- PROPOSED SECURITY CAMERA(S) (CAMERA SIZE EXAGGERATED FOR SCALE)
- PROPOSED 4' WIDE MAINTENANCE GATES (EXAGGERATED FOR SCALE)

# ORANGE COAST FARMS

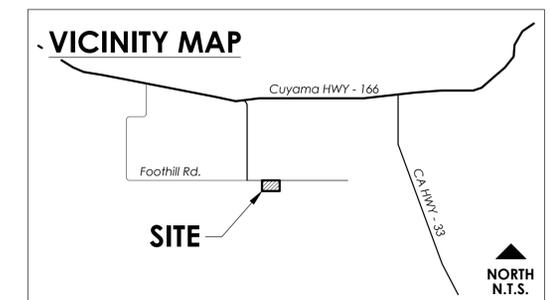
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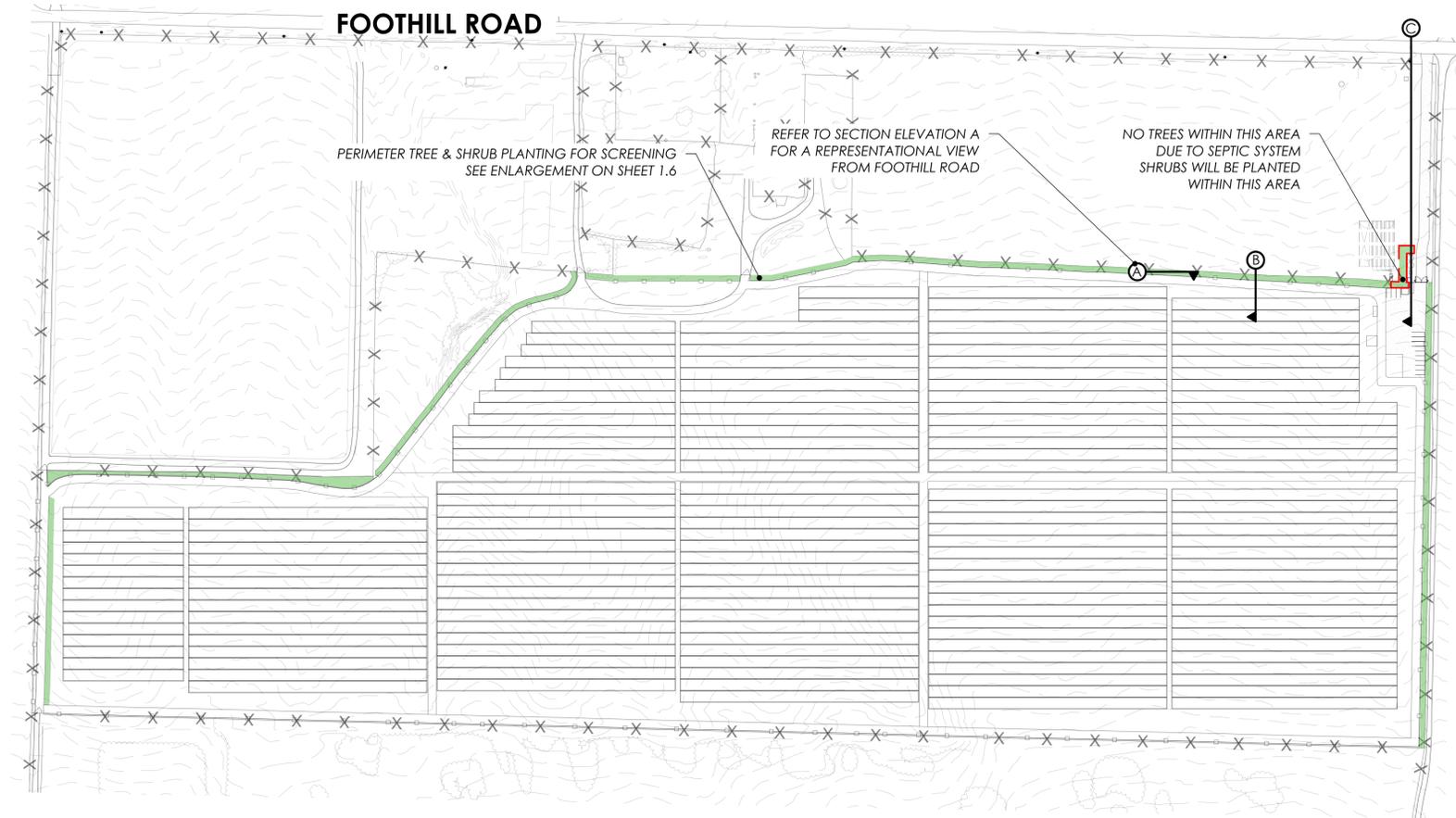
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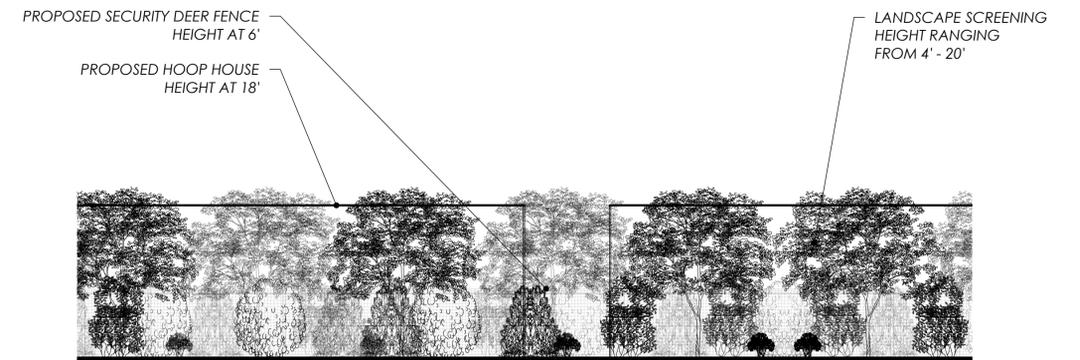
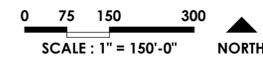
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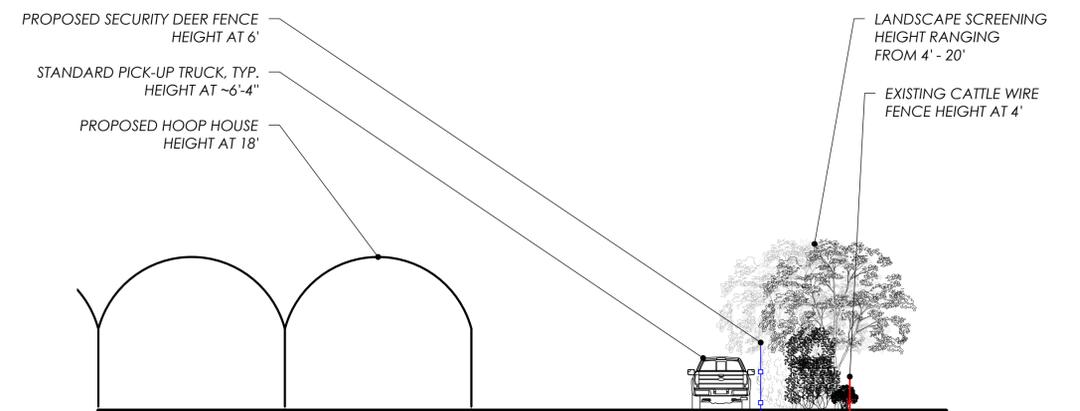
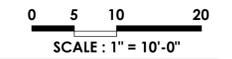




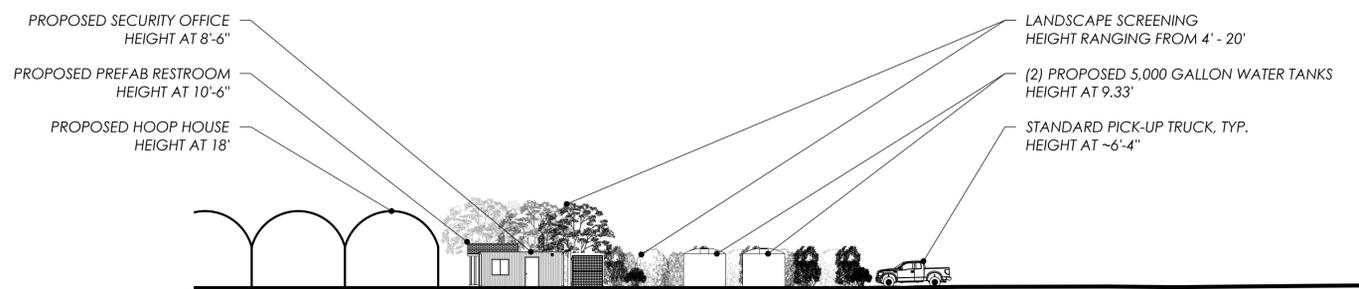
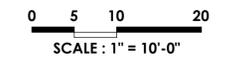
LANDSCAPE SCREENING PLAN



LANDSCAPE SCREENING - SECTION ELEVATION A



LANDSCAPE SCREENING - SECTION ELEVATION B



LANDSCAPE SCREENING - SECTION ELEVATION C

**NOTE:** LANDSCAPE SCREENING SECTION ELEVATIONS ARE A REPRESENTATION OF PLANT GROWTH WITHIN 5 YEARS.

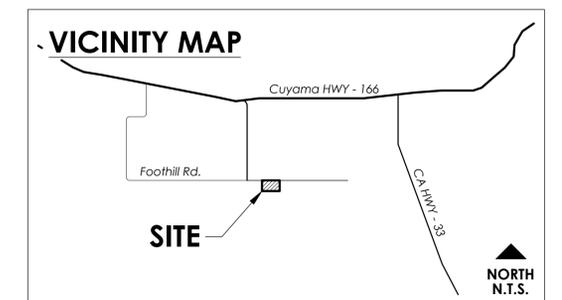
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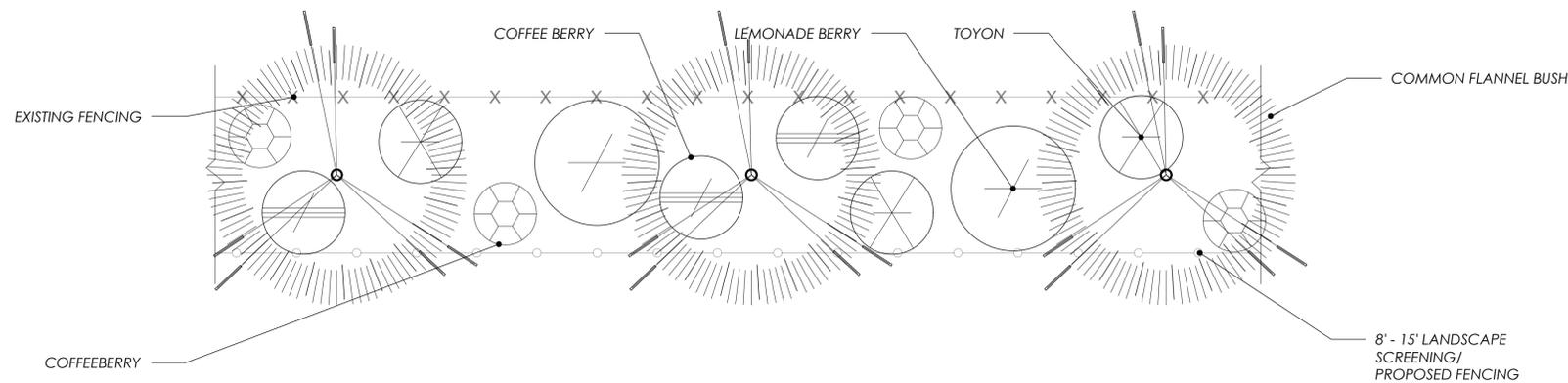
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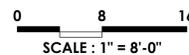
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**LANDSCAPE SCREENING ENLARGEMENT - 100' SECTION**



**PLANT LEGEND**

**TREES**

SYMBOL	NAME	COMMENTS	SIZE	WUCOLS	QTY.
	FREMONTODENDRON CALIFORNICUM COMMON FLANNEL BUSH	PLANT PER DETAIL A	15 GAL.	LOW	130

**SHRUBS**

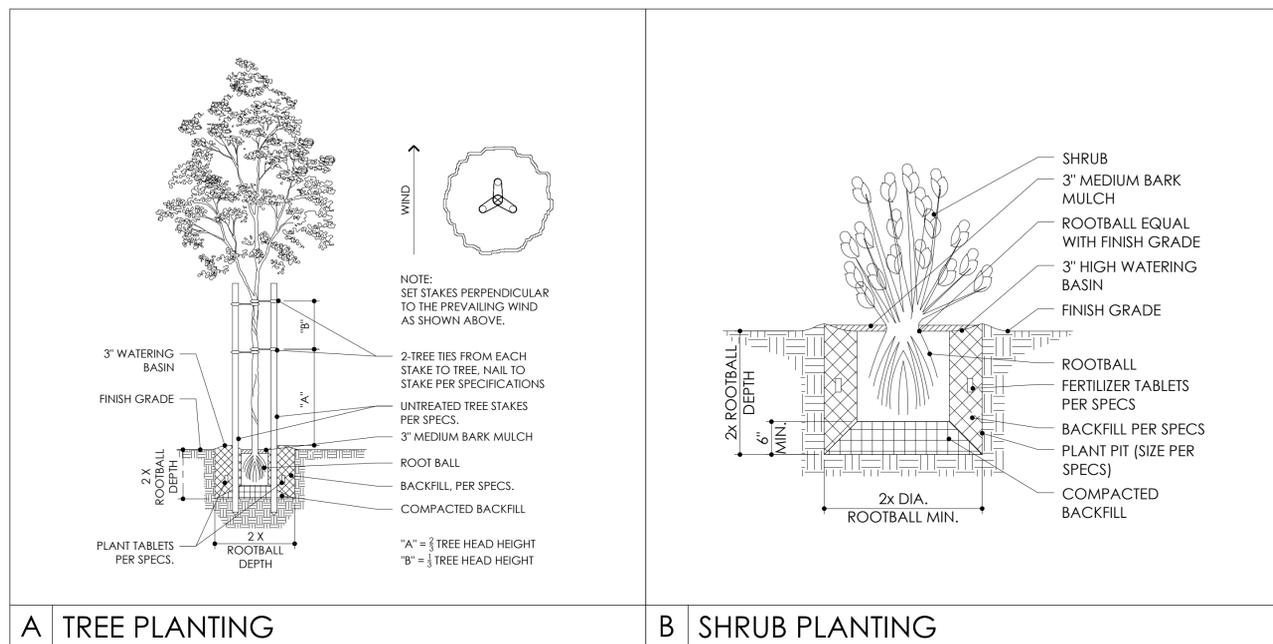
SYMBOL	NAME	COMMENTS	SIZE	WUCOLS	QTY.
	ARCTOSTAPHYLOS 'JOHN DOURLEY' JOHN DOURLEY MANZANITA	PLANT PER DETAIL B	1 GAL.	LOW	104
	FRANGULA CALIFORNICA COFFEE BERRY	PLANT PER DETAIL B	1 GAL.	V. LOW	64
	HETEROMELES ARBUTIFOLIA TOYON	PLANT PER DETAIL B	5 GAL.	V. LOW	70
	RHUS INTEGRIFOLIA LEMONADE BERRY	PLANT PER DETAIL B	5 GAL.	LOW	78

**PLANTING LEGEND NOTES**

- ALL TREES ARE TO BE STAKED PER DETAIL A/L-1.6
- ALL SHRUBS ARE TO BE PLANTED PER DETAIL B/L-1.6
- CONTRACTOR IS TO PROVIDE AN AUTOMATIC IRRIGATION SYSTEM WITH 100% COVERAGE AND SEPARATE SUN/SHADE AND TURF/GROUNDCOVER SYSTEMS. REFER TO IRRIGATION PLANS FOR SPECIFICS OF INSTALLATIONS.
- CONTRACTOR SHALL NOT DETOUR FROM ANY OF THE PLANT MATERIAL ON THE LIST UNLESS CONSULTING WITH THE LANDSCAPE ARCHITECT FIRST.
- CONTRACTOR SHALL INSTALL HEADER AT THE EDGE OF ALL TURF TO SHRUB AREAS. SEE DETAILS FOR MATERIAL.
- ALL SHRUB AREAS SHALL RECEIVE A 3" LAYER OF MEDIUM SIZED FIR MULCH 1/2" TO 1" IN DIAMETER. TOP SURFACE OF MULCH SHALL BE A MINIMUM OF 1" BELOW ANY ADJACENT HARDSCAPE. "GORILLA HAIR" OR POST CONSTRUCTION WASTE WILL NOT BE ACCEPTED.
- ALL SLOPE AREAS 3:1 OR GREATER SHALL HAVE JUTE NETTING OR EQUIVALENT SLOPE STABILIZATION MATERIAL APPLIED ON TOP OF ANY APPLIED MULCH.
- ALL PLANT MATERIAL, COLOR, SIZE AND QUANTITIES ARE TO BE VERIFIED WITH OWNER.

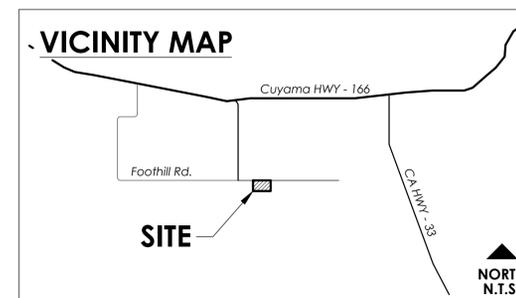
**GENERAL PLANTING NOTES**

- REMOVE ALL DEBRIS, WEEDS, EXCESS MATERIAL AND ROCKS LARGER THAN 3" IN DIAMETER FROM PLANTING AREAS.
- CROSS RIP ALL TURF AND PLANTING AREAS TO A DEPTH OF 12" AND BLEND THE FOLLOWING AMENDMENT INTO THE TILLED SOIL TO A DEPTH OF 6".
  - PER 1000 SQUARE FEET:
    - 6 CUBIC YARDS NITROGEN AND IRON FORTIFIED ORGANIC SOIL AMENDMENT
    - 14 POUNDS 12-12-12 FERTILIZER
    - 15 POUNDS SOIL SULFUR
- EXCAVATE THE PLANTING PITS FOR TREES AND SHRUBS TWICE THE DIAMETER AND TWICE THE DEPTH OF THE ROOT BALL SCARIFY THE SIDES AND BOTTOM OF THE PIT. THE BACKFILL MIX FOR USE AROUND THE ROOT BALL SHALL CONSIST OF THE FOLLOWING:
  - PER CUBIC YARD OF SOIL:
    - 1/3 CUBIC YARD NITROGEN STABILIZED FIR BARK
    - 1 POUND 12-12-12 FERTILIZER
    - 1 1/2 POUNDS IRON SULFATE (20% IRON)
    - 2/3 CUBIC YARD TOPSOIL
 PLANT TABS SHALL BE AGRIFORM OR APPROVED EQUAL USED AT MANUFACTURER'S RECOMMENDED RATE FOR EACH PLANT SIZE.
- SOIL AMENDMENT AND BACKFILL MIX ARE PROVIDED FOR BIDDING PURPOSES ONLY. THE CONTRACTOR SHALL PROVIDE FOR IN HIS BID FOR A SOIL AGRONOMY REPORT BY AN APPROVED SOIL AGRONOMIST UPON COMPLETION OF THE ROUGH GRADING. ACTUAL SOIL AMENDMENTS AND BACKFILL MIX SHALL BE AS PER SOIL AGRONOMISTS REPORT AND RECOMMENDATIONS.
- FINE PRUNE ALL SPECIMEN TREES AFTER PLANTING UNDER THE DIRECTION OF THE LANDSCAPE ARCHITECT.
- ALL SPECIMEN TREES SHALL BE SELECTED AT THE SOURCE BY THE LANDSCAPE ARCHITECT.
- UPON COMPLETION, REMOVE ALL EXTRANEIOUS MATERIAL AND DEBRIS, BROOM AND WASH CLEAN AREA.
- ACTUAL SYMBOLS SHALL HAVE PRIORITY OVER WRITTEN QUANTITIES. CONTRACTOR SHALL VERIFY QUANTITIES AND NOTIFY LANDSCAPE ARCHITECT OF DISCREPANCIES.
- ALL PLANT MATERIAL, COLOR, SIZE AND QUANTITIES ARE TO BE VERIFIED WITH OWNER.
- ALL SUBSTITUTIONS SHALL BE APPROVED BY LANDSCAPE ARCHITECT AND OWNER, PRIOR TO INSTALLATION.
- ALL FLOW LINES ESTABLISHED BY GRADING PLAN SHALL BE MAINTAINED BY FINISH GRADING. MAINTAIN 1.5% MINIMUM FLOW IN ALL PLANTER AREAS.



**PLANT NOTES:**

- LANDSCAPING AND FENCING TO BE INSTALLED IN LOCATIONS SHOWN ON SHEET L-1.5.
- THIS LANDSCAPE SCREENING SECTION IS A REPRESENTATION FOR A DESIGN INTENT. ACTUAL LAYOUT SHALL BE PLANTED IN IRREGULAR MASSING AS PART OF THE CONSTRUCTION DOCUMENT PHASE.
- ALL PLANT MATERIAL SHALL BE OBTAINED FROM LOCAL NURSERIES, IF AVAILABLE. CONTRACTOR MAY OBTAIN PLANT MATERIAL OUTSIDE OF COUNTY, IF NO STOCK IS AVAILABLE.
- IF PLANT SPECIES OR SIZES ARE UNAVAILABLE, CONTRACTOR TO SUBMIT AN ALTERNATIVES LIST FOR LANDSCAPE ARCHITECT & PLANNING APPROVAL.



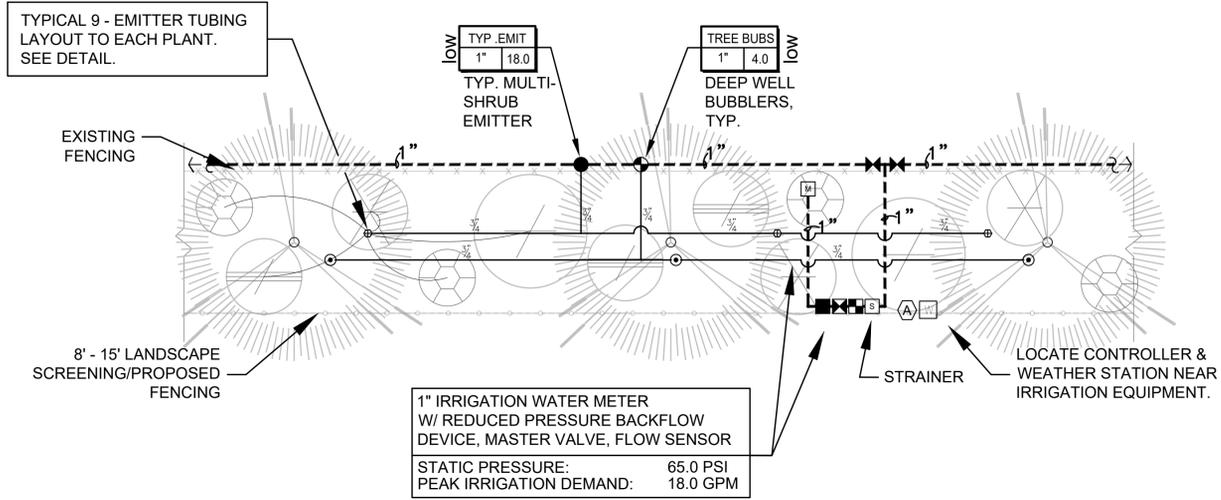
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2021.06.02

**ORANGE COAST FARMS**

2225 FOOTHILL ROAD // NEW CUYAMA, CALIFORNIA 93254

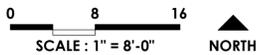
L-1.6



TYPICAL IRRIGATION EQUIPMENT LEGEND (PER 100' OF LAND, SCREENING)

SYMBOLS	MANUFACTURER	ITEM	GPM	PATTERN	R	PSI
	TORO	# DL2000 RGP 4-18-01				
	RAINBIRD	# RWS-B-1402				
	TORO	# LF-20-PC				
	TORO	# T-PR25-9 W/ EMITTER T-DPJ08-A-RED				
	CONTROLLER AND STATION NUMBER					
	VALVE SIZE / GPM FLOW					
	TORO	# TPVF100				
	TORO	# DZK-700-1-MF				
	TORO	# DZK-700-1-LF				
	TORO	# 075-SLSC				
	TORO	# EVO-OD-4-SC				
	TORO	# EVO-WS				
	NIBCO	# T-113				
	TORO	# T-FCH-H-FIPT				
	TORO	# T-YD-500-34				
	TORO	# TFS-075				
	GRISWOLD	# 2230				
	FEBCO	# 825 YA				
	HAYWARD	# 72				
	WATER METER					
	PVC	SCHEDULE 40				
	PVC	SCHEDULE 40				
	PVC	SCHEDULE 40				

IRRIGATION PLAN



MWEO IRRIGATION NOTES

DESIGN & INSTALLATION REQUIREMENTS FOR THE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWEO) EFFECTIVE DECEMBER 1, 2015

- DESIGN AND INSTALLATION SHALL INCLUDE THE FOLLOWING:
- AUTOMATIC IRRIGATION CONTROLLER USING ET OR SOIL MOISTURE SENSOR DATA AREA REQUIRED.
    - LANDSCAPE WATER METERS (DEDICATED OR PRIVATE) SHALL BE INSTALLED FOR ALL NON-RESIDENTIAL LANDSCAPE OF 1,000 SQUARE FEET BUT NOT MORE THAN 5,000 SQUARE FEET OR GREATER.
    - RESIDENTIAL OVER 5,000 SQUARE FEET.
  - RAIN, FREEZE AND WIND SENSORS ARE REQUIRED, AS NEEDED FOR LOCAL CLIMATE.
  - FLOW SENSORS THAT DETECT HIGH FLOW ARE REQUIRED FOR ALL NON-RESIDENTIAL LANDSCAPES AND RESIDENTIAL 5,000 SQUARE FEET.
  - PRESSURE REGULATING DEVICES ARE REQUIRED. LOW FLOW WILL NEED BOOSTER.
  - CHECK VALVE AND ANTI-DRAIN VALVES ARE REQUIRED WHERE LOW HEAD DRAINAGE COULD OCCUR.
  - NO OVERHEAD IRRIGATION WITHIN 24 INCHES OF ANY NON-PERMEABLE SURFACE.
  - LOW VOLUME (DRIP) IRRIGATION IS REQUIRED ON MULCHED PLANTING AREAS.
  - AREAS LESS THAN 10 FEET IN WIDTH IN ANY DIRECTION MUST BE IRRIGATED WITH SUBSURFACE IRRIGATION OR ANOTHER MEANS THAT PRODUCES NO RUNOFF.
  - ALL SPRINKLER HEADS MUST DOCUMENT A LOWER QUARTER DISTRIBUTION UNIFORMITY (DULQ) OF 65% OR HIGHER.
  - EMISSION DEVICES MUST HAVE MATCHED PRECIPITATION RATES.
  - SOIL MANAGEMENT REPORT THAT INCLUDES SOIL ANALYSIS: TEXTURE, INFILTRATION RATE, PH, SOLUBLE SALTS, SODIUM, % ORGANIC, RECOMMENDATIONS.

- SOIL PREPARATION:
- PRIOR TO PLANTING COMPACTED SOIL SHALL BE TRANSFORMED TO A FRIABLE CONDITION.
  - INSTALLATION: COMPOST AT A MINIMUM RATE OF FOUR CUBIC YARDS PER 1,000 SQUARE FEET OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF 6 INCHES INTO SOIL.
- IRRIGATION AUDITS:
- LANDSCAPE AUDITS SHALL NOT BE CONDUCTED BY THE PERSON WHO DESIGN OR INSTALLED THE LANDSCAPE AND CONDUCTED IN A MANNER CONSISTENT WITH THE IA LANDSCAPE IRRIGATION AUDIT OR "WATERSENSE" LABELING AUDIT BY USEPA. 2. CERTIFICATE OF COMPLETION SUBMITTED TO LOCAL AGENCY FOR APPROVAL.

ASSIGNMENT OF RESPONSIBILITY

GENERAL: THE IRRIGATION SYSTEM IS DESIGNED TO PROVIDE FULL COVERAGE OF ALL PLANTING AREAS WITH MINIMUM OVERSPRAY ONTO PAVING, WALKS, WALLS AND EXISTING UTILITIES. THE IRRIGATION CONSULTANT DOES NOT ASSUME ANY MAINTENANCE OBLIGATIONS.

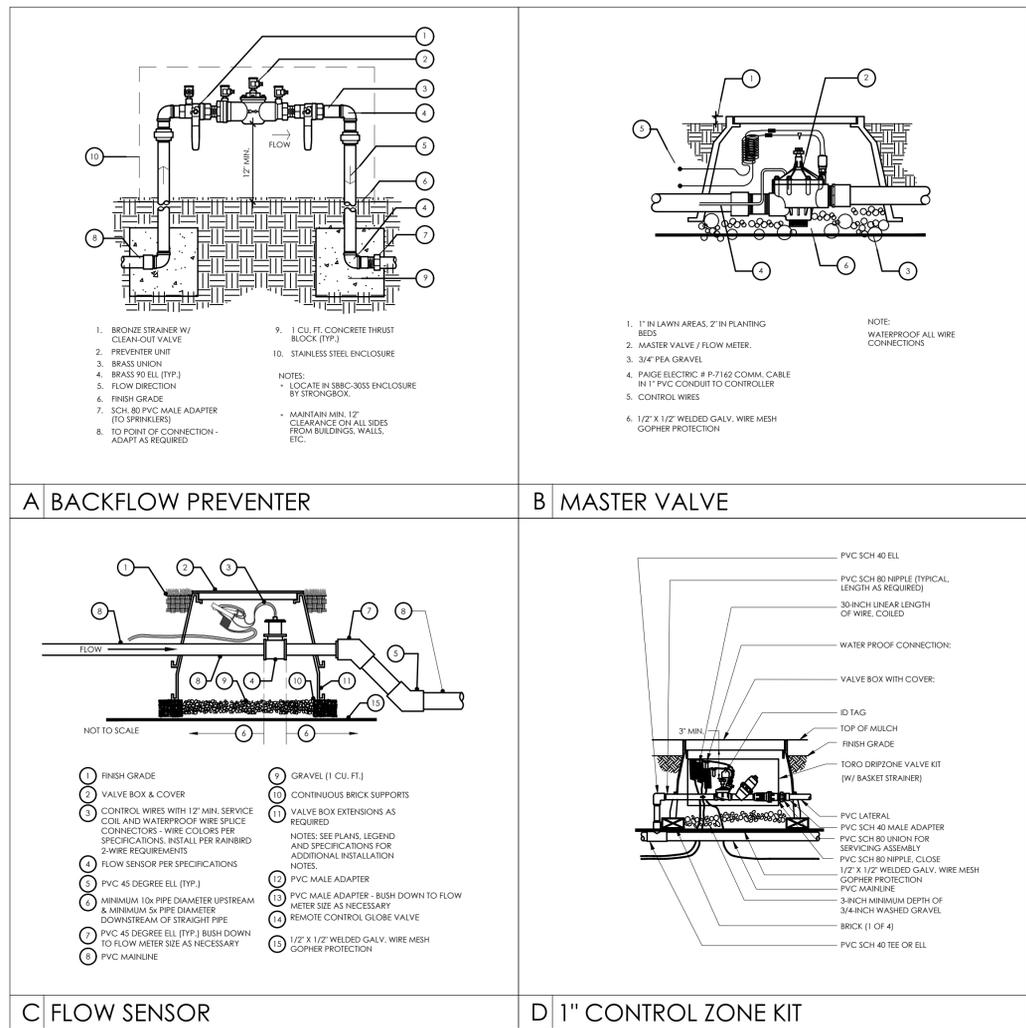
CONTRACTORS RESPONSIBILITIES: THE CONTRACTORS SHALL ASSUME THE SOLE RESPONSIBILITY FOR THE CORRECT ALIGNMENT OF THE SPRINKLER HEADS, PROPER SETTINGS OF CONTROLLER ENCLOSURES AND ALL OTHER IRRIGATION SYSTEM COMPONENTS. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ADJUSTING THE WATERING CYCLES TO SUIT THE SEASONAL REQUIREMENTS. ADJUST THE WATERING CYCLES TO THE SOILS INFILTRATION RATE. NO RUN OFF SHALL OCCUR AT ANY TIME. THE INSTALLATION CONTRACTOR SHALL INSTRUCT THE MAINTENANCE CONTRACTOR IN THE USE AND ADJUSTMENT OF THE IRRIGATION SYSTEM. PERFORM ALL REVIEWS AND AUDITS AS CALLED OUT IN THE IRRIGATION MAINTENANCE NOTES AND SUBMIT WRITTEN REPORTS TO THE OWNER.

OWNERS RESPONSIBILITIES: THE OWNER SHALL BE SOLELY RESPONSIBLE FOR OBTAINING "AS BUILT" DRAWINGS AND CONTROLLER CHARTS FROM THE INSTALLATION CONTRACTOR. ANY DANGEROUS CONDITIONS THAT MAY OCCUR DURING THE CONSTRUCTION OR LATER MAINTENANCE PERIOD SHALL BE CORRECTED IMMEDIATELY.

SUBSTITUTIONS: NO SUBSTITUTIONS OF MATERIALS SHALL BE ALLOWED DURING THE CONSTRUCTION OR LATER MAINTENANCE WITHOUT THE WRITTEN CONSENT OF THE IRRIGATION CONSULTANT. ALL REPLACEMENT COMPONENTS SHALL BE AS CALLED OUT ON THE DRAWINGS AND IN THE SPECIFICATIONS. THE CONSULTANT CAN NOT BE HELD RESPONSIBLE FOR ALTERATIONS OF THE IRRIGATION SYSTEM THAT WERE DONE WITHOUT HIS WRITTEN PERMISSION.

OBSTRUCTIONS

WHEN VERTICAL OBSTRUCTIONS (PROPS, STREET LIGHTS, TREES, ETC.) INTERFERE WITH THE SPRAY PATTERN OF THE SPRINKLER HEADS SO AS TO PREVENT PROPER COVERAGE, THE IRRIGATION CONTRACTOR SHALL FIELD ADJUST THE SPRINKLER SYSTEM BY INSTALLING A QUARTER CIRCLE OR HALF CIRCLE SPRINKLER HEAD ON EACH SIDE OF THE OBSTRUCTION SO AS TO PROVIDE PROPER COVERAGE. ALL ADJUSTMENTS SHALL BE MADE AT NO ADDITIONAL COST TO THE OWNER. (TYPICAL)



NOTE: THE LANDSCAPING SCREENING IRRIGATION IS A REPRESENTATION FOR A DESIGN INTENT. ACTUAL IRRIGATION & CALCS. SHALL BE DONE DURING THE CONSTRUCTION DOCUMENT PHASE.

# ORANGE COAST FARMS

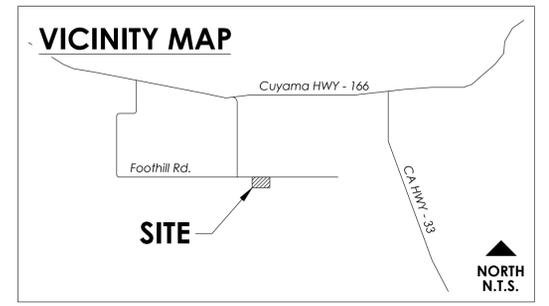
2225 FOOTHILL ROAD // NEW CUYAMA, CALIFORNIA 93254

L-1.7

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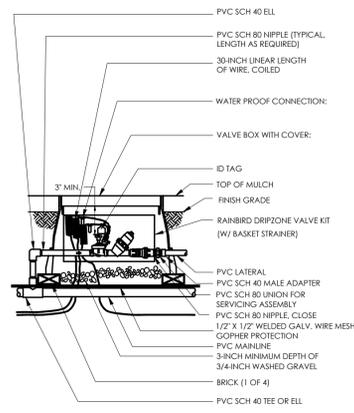
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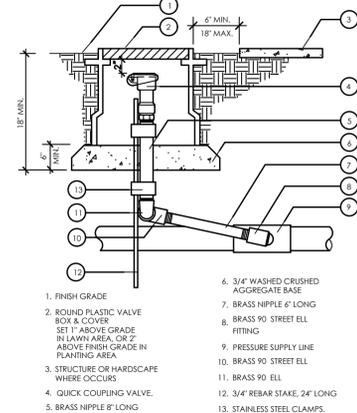
**larry lewis**  
irrigation consultant  
landscape architect #3906  
ph: 909.337.9733

**811** TWO DAYS BEFORE YOU DIG  
CALL: TOLL FREE 1.800.422.4133  
UNDERGROUND SERVICE ALERT

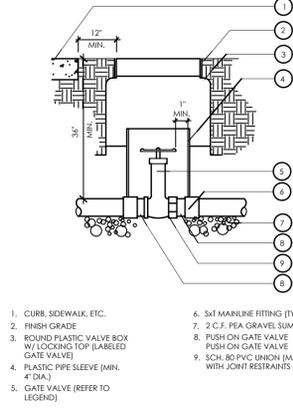
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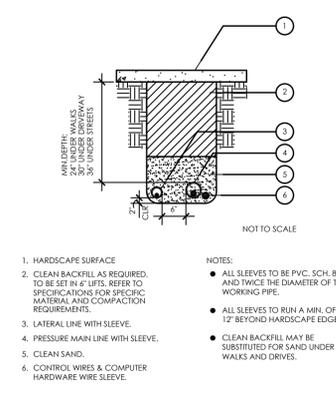
E | 1" CONTROL ZONE KIT



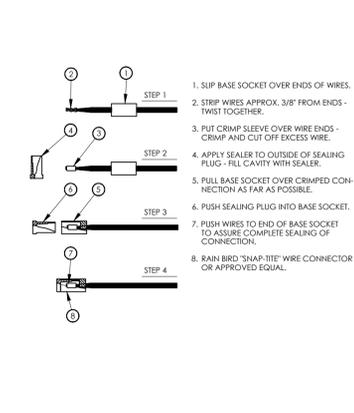
F | QUICK COUPLING VALVE



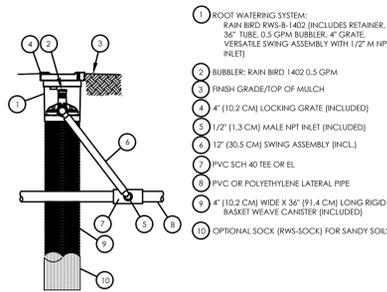
G | GATE VALVE



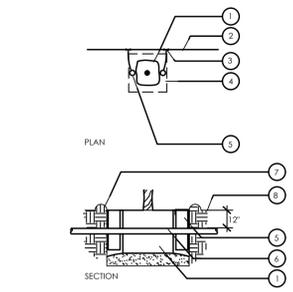
H | SLEEVING



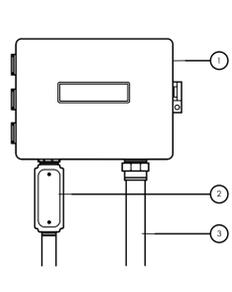
I | WIRE CONNECTIONS



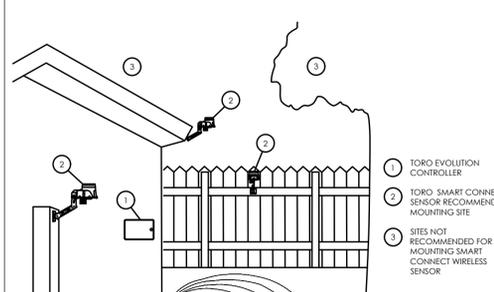
- NOTES:
1. 4" GRATE IS ALSO AVAILABLE IN PURPLE (RWS-GRATE-P).
  2. INSTALL PRODUCT SO THAT THE GRATE IS EVEN WITH FINISH GRADE OR TOP OF MULCH.
  3. OPTIONAL SAND SOCK (RWS-SOCK) IS 34" IN LENGTH TO COVER MESH BASKET AREA.
  4. WHEN INSTALLING IN EXTREMELY HARD OR CLAY SOILS, ADD 3/4" GRAVEL UNDER AND AROUND THE UNIT TO ALLOW FASTER WATER INFILTRATION AND ROOT PENETRATION.
  5. ONCE RWS HAS BEEN INSTALLED FILL THE BASKET WITH PEA GRAVEL BEFORE LOCKING ID.



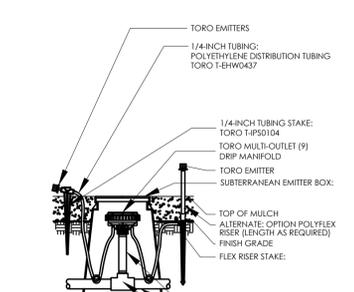
- PLAN
- SECTION
1. ROOTBALL
  2. PVC LATERAL LINE
  3. PVC TEE
  4. PLANT PIT
  5. ROOT WATER SYSTEM
  - 2 FOR 24" TO 36" BOX TREE
  - 3 FOR 48" TO 60" BOX TREE
  - EQUALLY SPACED AROUND TREE
  6. PVC LATERAL LINES
  7. 4" HIGH BASIN IN SHRUB AREAS
  8. FINISH GRADE



1. AUTOMATIC CONTROLLER - MOUNT AS PER MANUFACTURER'S RECOMMENDATIONS
2. 110V POWER SUPPLY (TO BE PROVIDED BY ELECTRICAL CONTRACTOR)
3. DIRECT BURIAL WIRES IN GALVANIZED CONDUIT ABOVE GRADE TO AUTOMATIC VALVES IN FIELD



- NOTE:
1. SENSOR MAY BE MOUNTED ON FENCE, FENCE POST OR ON EAVE OF HOUSE.
  2. SENSOR SHOULD NOT BE MOUNTED UNDER TREES, IN AREAS AFFECTED BY SPRINKLER SYSTEM OR UNDER EAVE OF HOUSE.



- NOTE:
1. COIL ADDITIONAL 9 INCHES OF TUBING IN VALVE BOX TO FACILITATE MAINTENANCE.

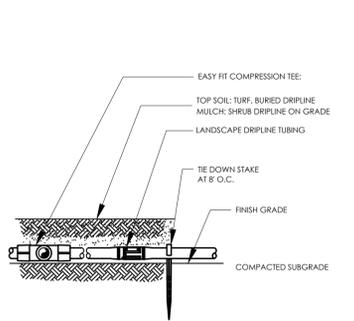
J | ROOT BALL WATERING SYSTEM

K | ROOT WATERING SYSTEM

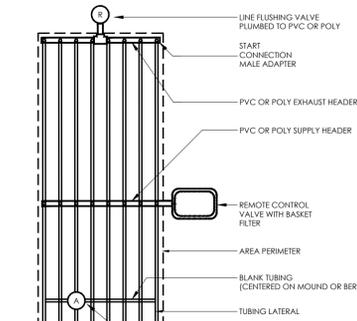
L | AUTOMATIC CONTROLLER WALL MOUNT

M | WIRELESS WEATHER SENSOR LOCATION

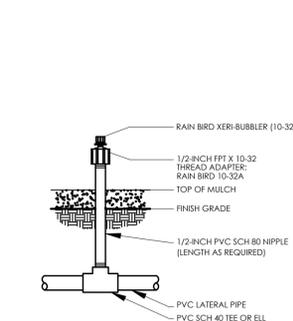
N | MULTI-OUTLET DRIP MANIFOLD IN VALVE BOX



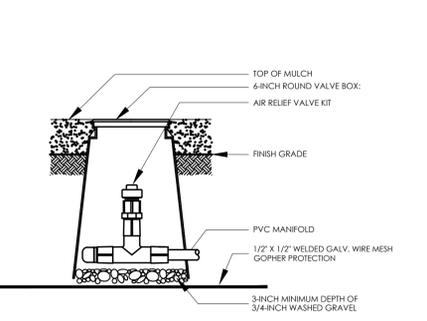
O | DRIPLINE ON GRADE



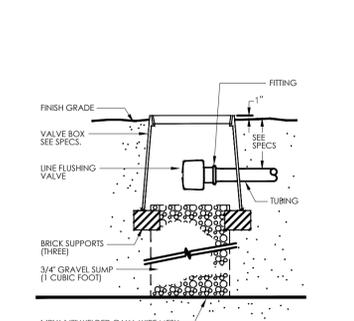
P | DRIPLINE CENTER FEED LAYOUT



Q | EMITTER ON A SCH 80 RISER / VINE



R | AIR RELIEF VALVE IN KIT

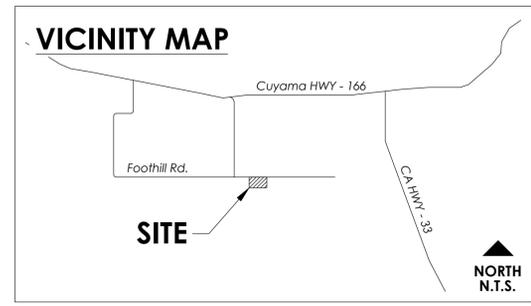


S | LINE FLUSHING VALVE

larry lewis  
irrigation consultant  
landscape architect #3605  
ph: 909.337.9733

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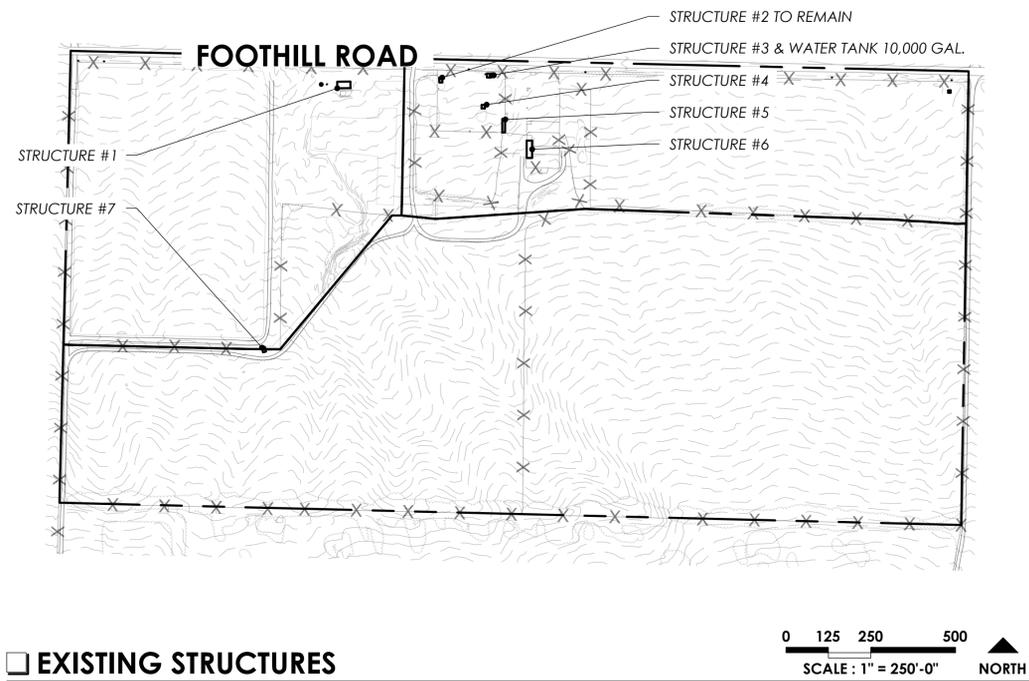


# ORANGE COAST FARMS

2225 FOOTHILL ROAD // NEW CUYAMA, CALIFORNIA 93254

L-1.8

\\Kevin\1\Drawing\Orange Coast\landscape\Construction-LUP2225 Foothill Rd - 1.dwg - 6/2/2021 1:24:30 PM



STRUCTURE ID#1 - COLD STORAGE - NORTH ELEVATION N.T.S.



STRUCTURE ID#2 - STORAGE SHED - EAST ELEVATION N.T.S.



STRUCTURE ID#3 - PUMP HOUSE - SOUTH ELEVATION N.T.S.



STRUCTURE ID#4 - AG ACC. BLDG. - NORTH ELEVATION N.T.S.



STRUCTURE ID#5 - STORAGE CONT. - NORTH ELEVATION N.T.S.



STRUCTURE ID#6 - BARN N.T.S.



STRUCTURE ID#7 - STORAGE SHED - NORTH ELEVATION N.T.S.

EXISTING STRUCTURES

EXISTING STRUCTURES

2225 Foothill Road  
8/14/2020

Structure ID	Name	Square Feet	Status
1	Cold Storage	747	(E) To be removed
2	Storage Shed	120	(E) To remain
3	Pump House	137	(E) To be removed
4	AG Accessory Bldg.	101	(E) To be removed
5	Storage Container	320	(E) To be removed
6	Barn	822	(E) To be removed
7	Storage Shed (Orchard)	120	(E) To be removed

Total 2,367

NOTE: NO EXISTING STRUCTURES SHALL BE USED IN THE CANNABIS OPERATION.

EXISTING STRUCTURES

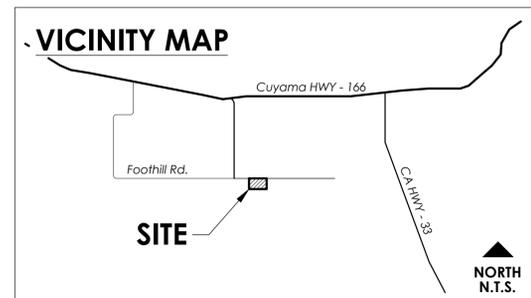
# ORANGE COAST FARMS

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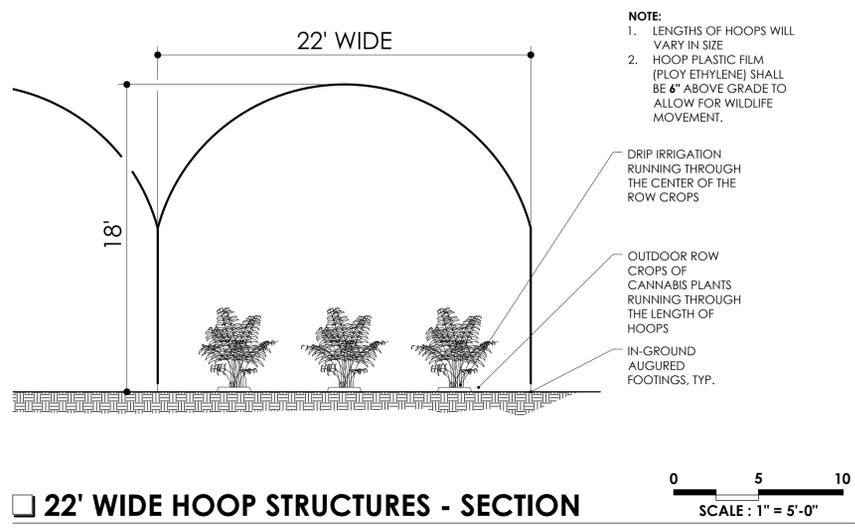
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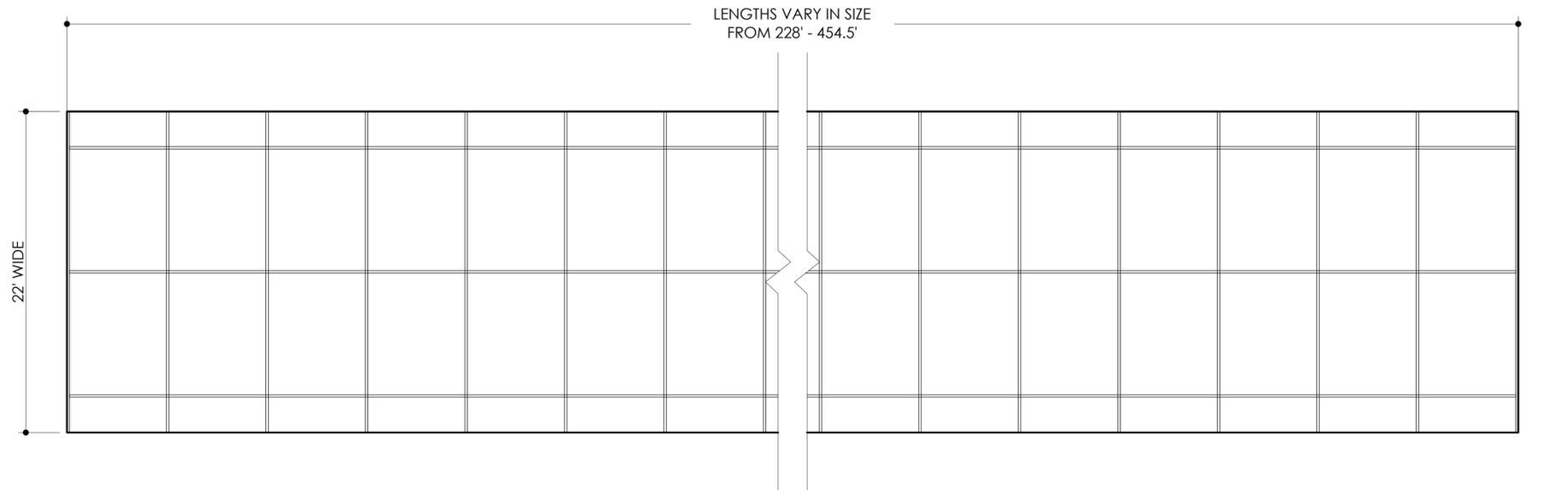
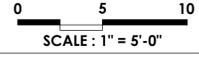
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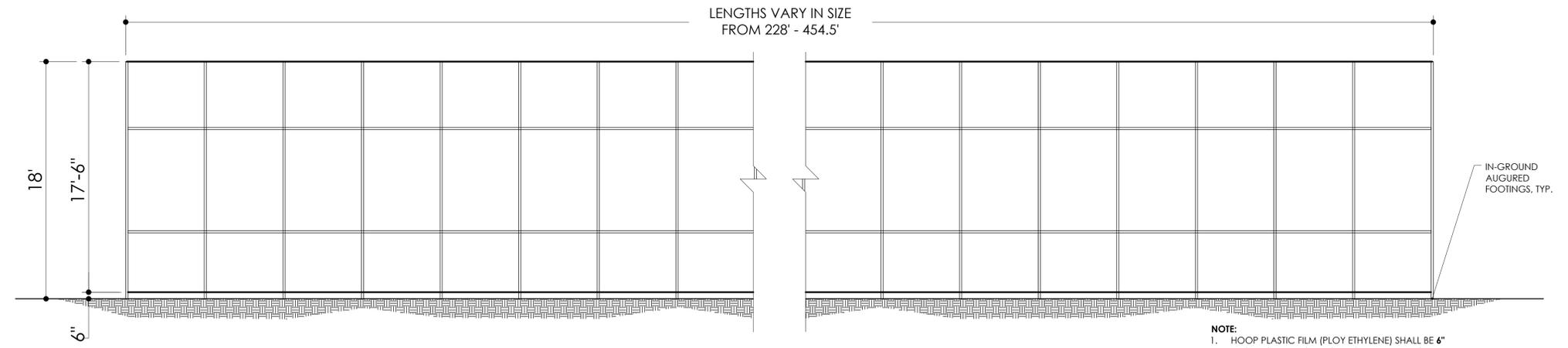
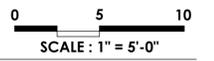
NORTH  
N.T.S.



22' WIDE HOOP STRUCTURES - SECTION

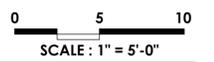


22' WIDE HOOP STRUCTURE - LAYOUT



22' WIDE HOOP STRUCTURE - ELEVATION

NOTE:  
1. HOOP PLASTIC FILM (POLY ETHYLENE) SHALL BE 6\"/>



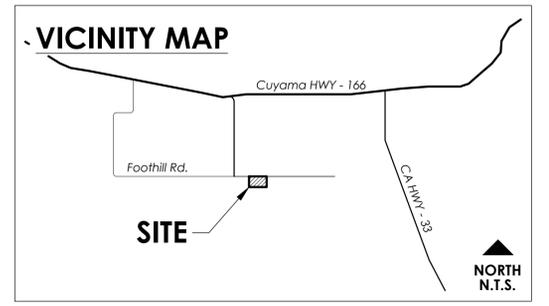
PROPOSED HOOP STRUCTURES

# ORANGE COAST FARMS

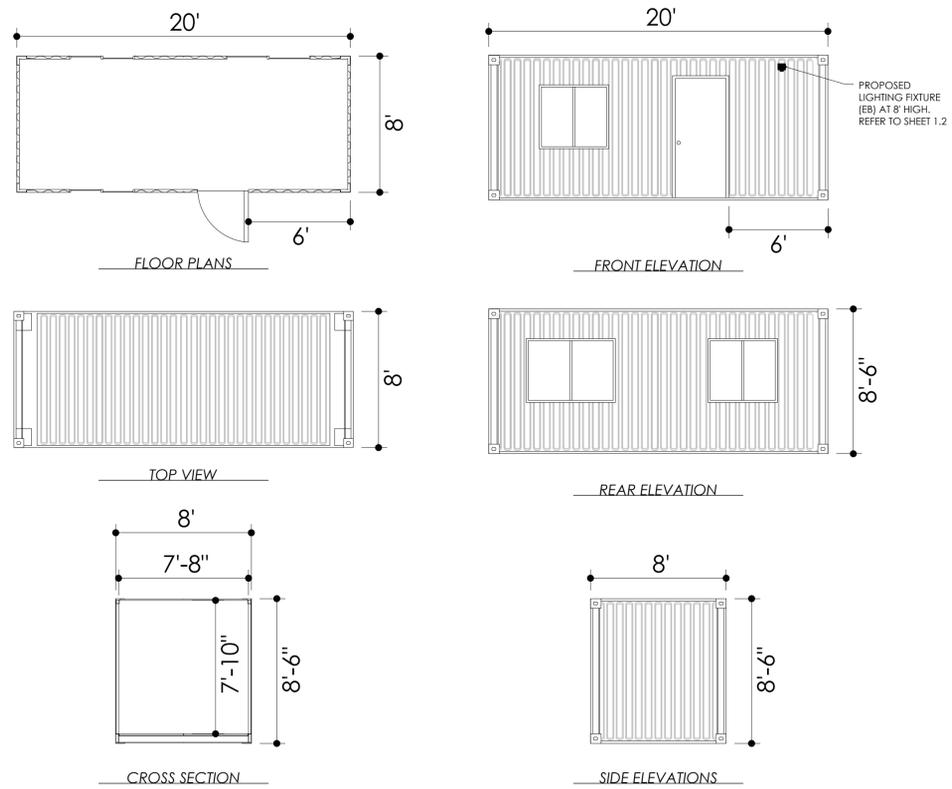
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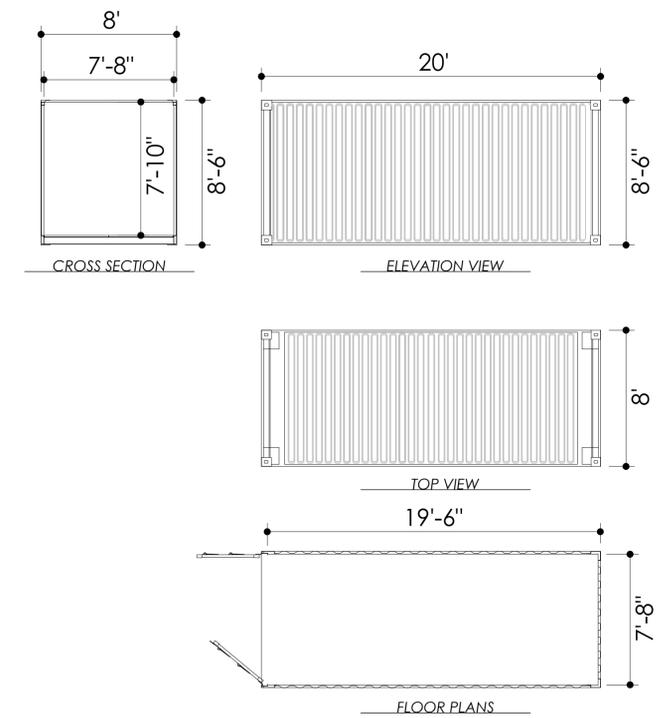
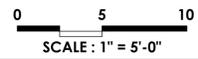
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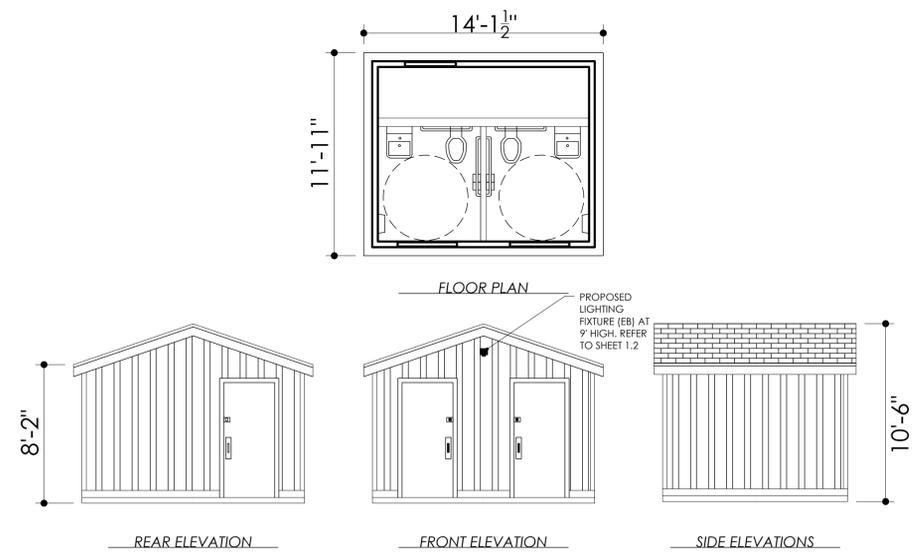
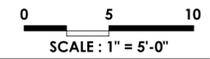
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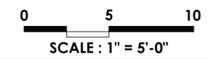
**PROPOSED - SECURITY OFFICE**



**PROPOSED STORAGE CONTAINER - PESTICIDE STORAGE**



**PROPOSED PREFAB RESTROOMS**



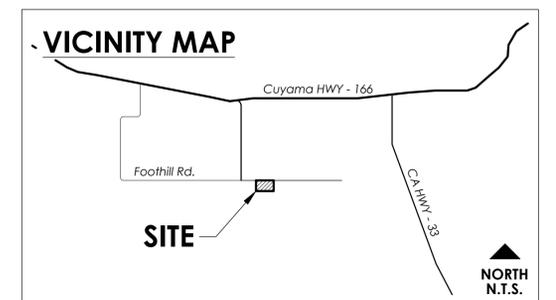
NOTES:  
1. LANDINGS, WALKWAYS, & RAMPS ARE TO BE DONE AND INSTALLED BY OTHERS, AS REQUIRED TO MEET LOCAL HANDICAP ACCESSIBILITY REQUIREMENTS.

# ORANGE COAST FARMS

2225 FOOTHILL ROAD // NEW CUYAMA, CALIFORNIA 93254

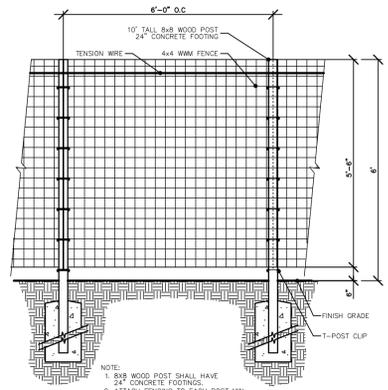
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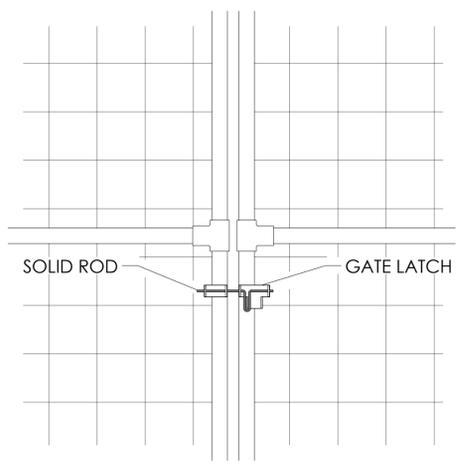




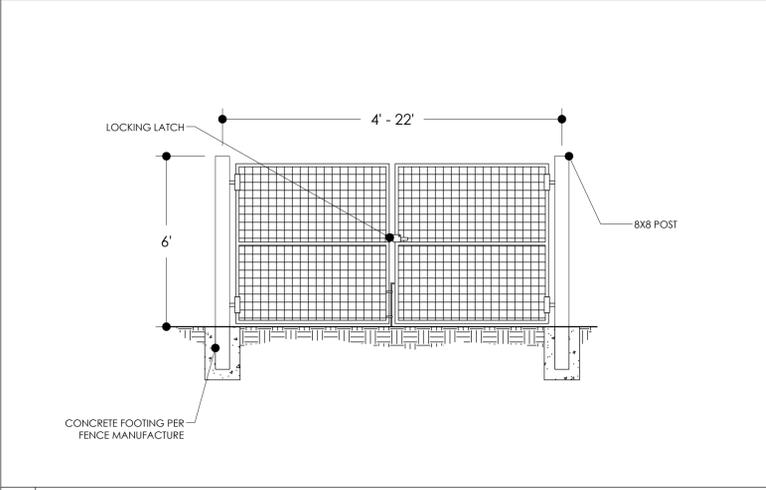
A EXISTING CATTLE WIRE FENCE (NON-SECURITY)



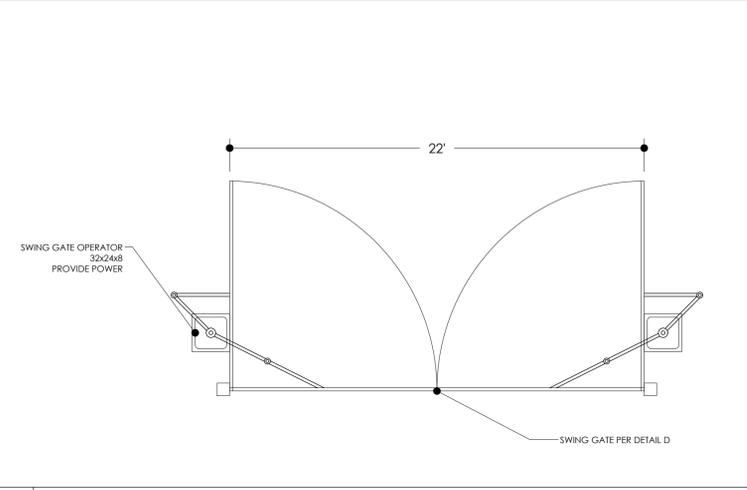
B PROPOSED SECURITY DEER FENCING



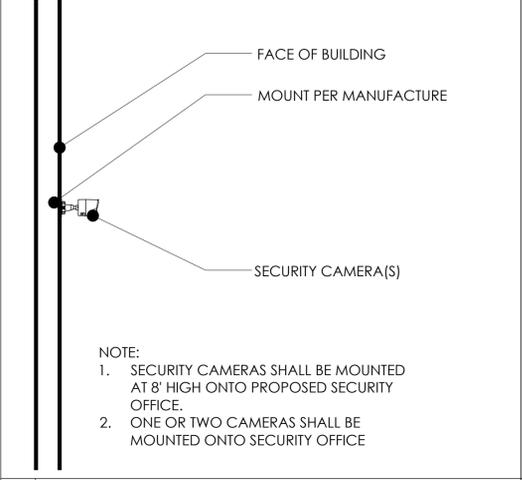
C LOCKING LATCH



D PROPOSED DEER FENCE SECURITY GATE



E PROPOSED SECURITY AUTOMATIC SWING DEER FENCE MAIN-ENTRY GATE



F SECURITY CAMERA MOUNTING



G SECURITY CAMERA

INFO:  
 BRAND- HIKVISION  
 MODEL - DS-2CD2045FWD-I  
 4 MP IR FIXED BULLET NETWORK CAMERA  
 IP-BASED PoE

- NOTE:
- SECURITY CAMERAS SHALL BE MOUNTED AT 8' HIGH ONTO PROPOSED SECURITY OFFICE.
  - ONE OR TWO CAMERAS SHALL BE MOUNTED ONTO SECURITY OFFICE

DETAILS & NOTES

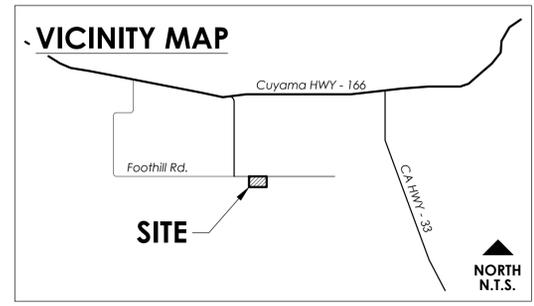
# ORANGE COAST FARMS

2225 FOOTHILL ROAD // NEW CUYAMA, CALIFORNIA 93254

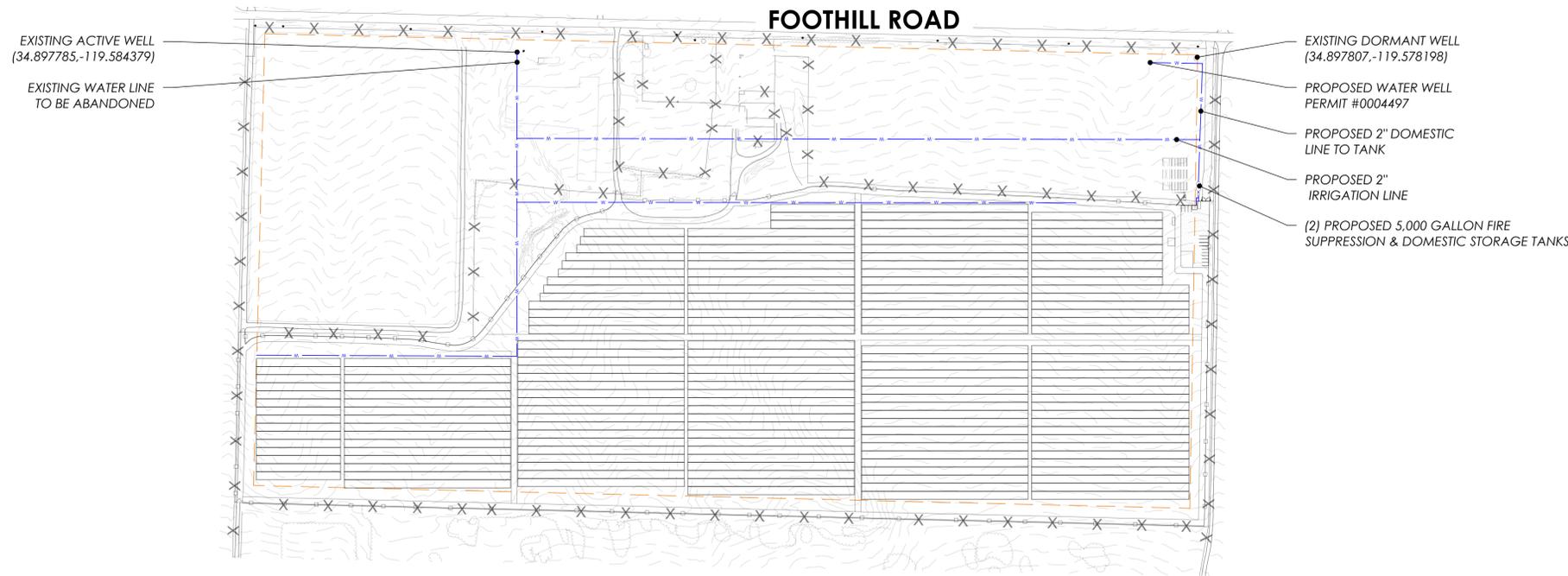
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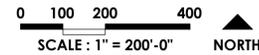
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**WATER EFFICIENCY PLAN**



**WATER EFFICIENT LANDSCAPE WORKSHEET**

Reference Evapotranspiration (ET<sub>0</sub>): 59.7

Project: 2225 Foothill Road, New Cuyama CA

Hydrozone # /Planting Description a	Plant Factor (PF)	Irrigation Method b	Irrigation Efficiency (IE)c	ETAF (PF/IE)	Landscape Area (sq. ft.)	ETAF x Area	Estimated Water Use (ETWU) e	Total
<b>Regular Landscape Areas</b>								
Very Low	0.1	drip	0.81	0.12	-	-	-	-
Low - Screening	0.2	drip	0.81	0.25	40,788.00	10,071.11	372,772.11	-
Low	0.3	drip	0.81	0.37	-	-	-	-
Med	0.7	drip	0.81	0.86	-	-	-	-
High	0.9	drip	0.81	1.11	-	-	-	-
<b>Totals</b>					40,788.0	10,071.1	372,772.1	-
<b>Special Landscape Areas</b>								
					1.0	-	-	-
					-	-	-	-
					-	-	-	-
					-	-	-	-
					-	-	-	-
<b>Totals</b>					-	-	-	-
						<b>ETWU Total</b>	372,772.1	-
<b>Maximum Allowed Water Allowance (MAWA)e</b>							679,377.2	-

**a Hydrozone #/Planting Description**  
E.g.  
1.) front lawn  
2.) medium water use planting

**b Irrigation Method**  
overhead spray  
or drip

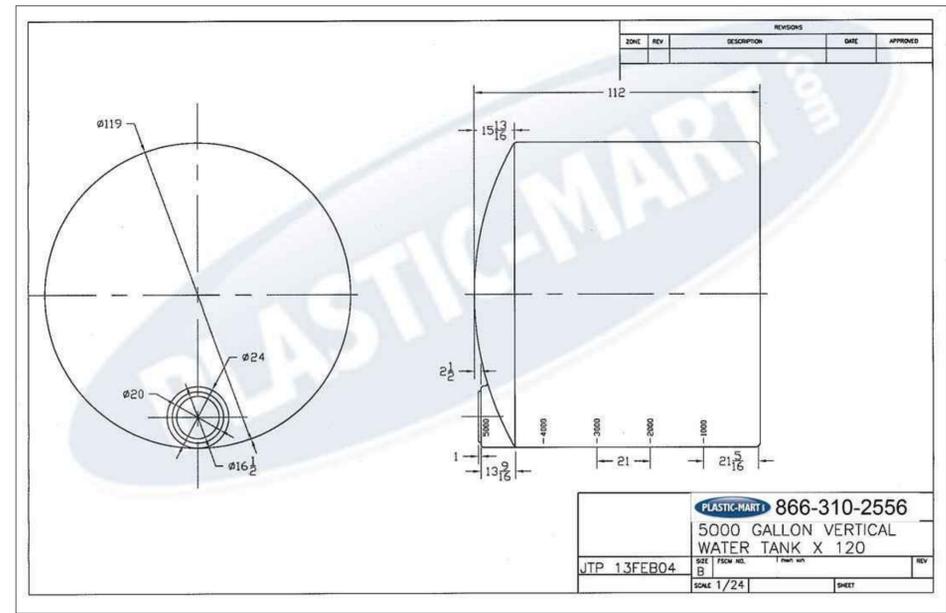
**c Irrigation Efficiency**  
0.75 for spray head  
0.81 for drip

**d ETWU (Annual Gallons Required)**  
= Eto x 0.62 x ETAF x Area  
where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year.

**e MAWA (Annual Gallons Allowed)**  
= (Eto) (0.62) [(ETAF x LA) + ((1-ETAF) x SLA)]  
where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year. LA is the total landscape area in square feet. SLA is the total special landscape area in square feet, and ETAF is .55 for residential areas and 0.45 for non-residential areas.

**ETAF Calculations:**  
Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.

All Landscape Areas		Regular	
Total ETAF x Area (B+D)	10,071.11	Total ETAF x Area (B)	10,071.11
Total Area (A+C)	40,788.00	Total Area (A)	40,788.00
Site-wide ETAF (B+D) ÷ (A+C)	0.25	Average ETAF (B ÷ A)	0.25



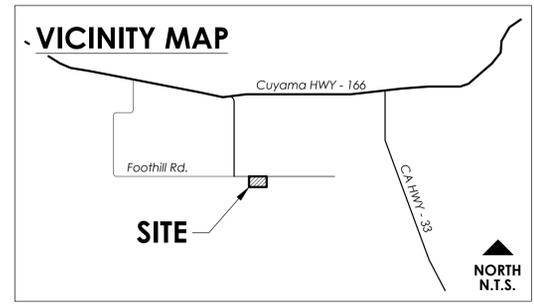
**PROPOSED 5,000 GALLON WATER TANKS** SCALE: 1/24

- WATER EFFICIENCY MEASURES:**
- A DRIP IRRIGATION SYSTEM WILL BE USED TO ELIMINATE THE POTENTIAL FOR IRRIGATION RUNOFF AND MAXIMIZE THE EFFICIENT USE OF WATER. TENSIMETERS WILL BE USED TO MONITOR SOIL MOISTURE AND PREVENT OVER WATERING.
  - THE PROJECT WILL ALSO OFFSET ALL GROUNDWATER USED FOR IRRIGATION OF CANNABIS AND LANDSCAPING ON A 1:1 BASIS BY FUNDING THE FOLLOWING OF OTHER CROPS AND/OR IRRIGATION IMPROVEMENTS IN THE SAME GROUNDWATER BASIN.

**LANDSCAPE AREA CALCS. FOR WATER USE ESTIMATE**  
2225 Foothill Road  
2/18/2021

Total area of Site (78.27 ac)	3,409,441	Sq. ft.
Landscape Screening	40,788	Sq. ft.
Cultivated area	1,511,620	Sq. ft.
Area of site built out with roads structures etc.	448	Sq. ft.
Balance of site undeveloped (non-irrigated)	1,856,585	Sq. ft.

Water source is by private onsite well. Water use is an estimate based on information currently available.



# ORANGE COAST FARMS

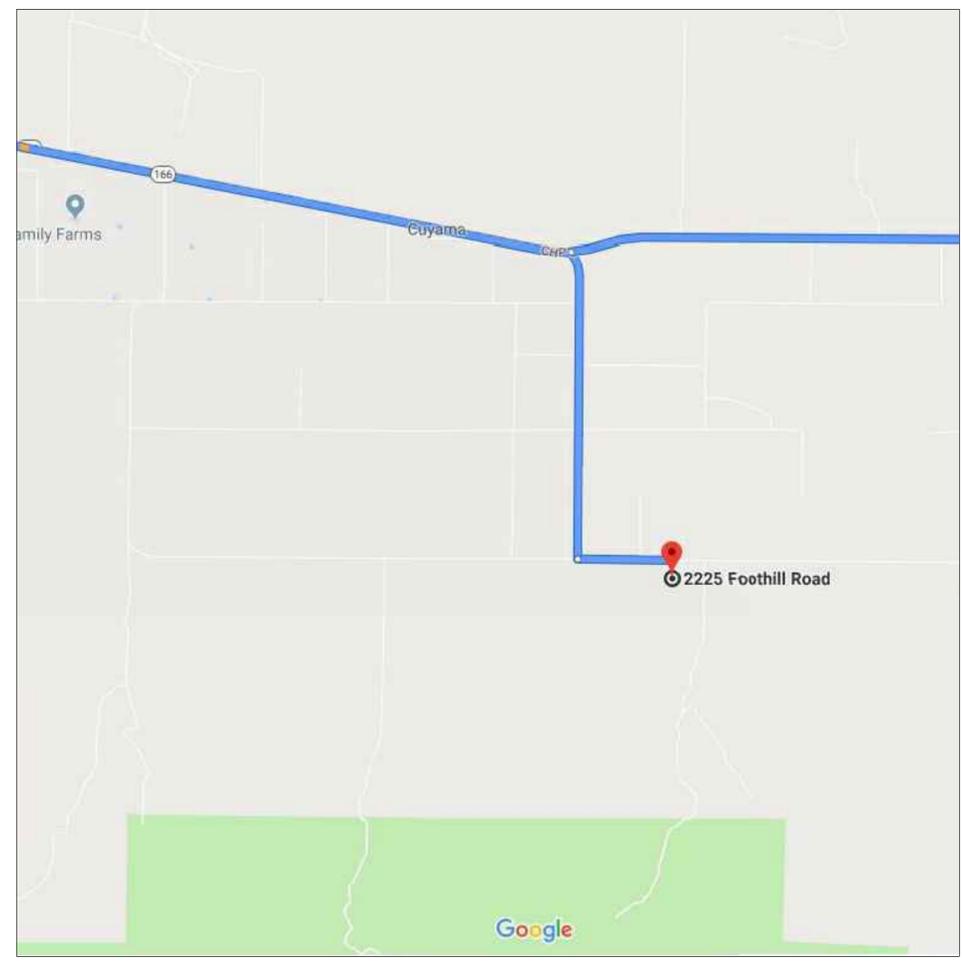
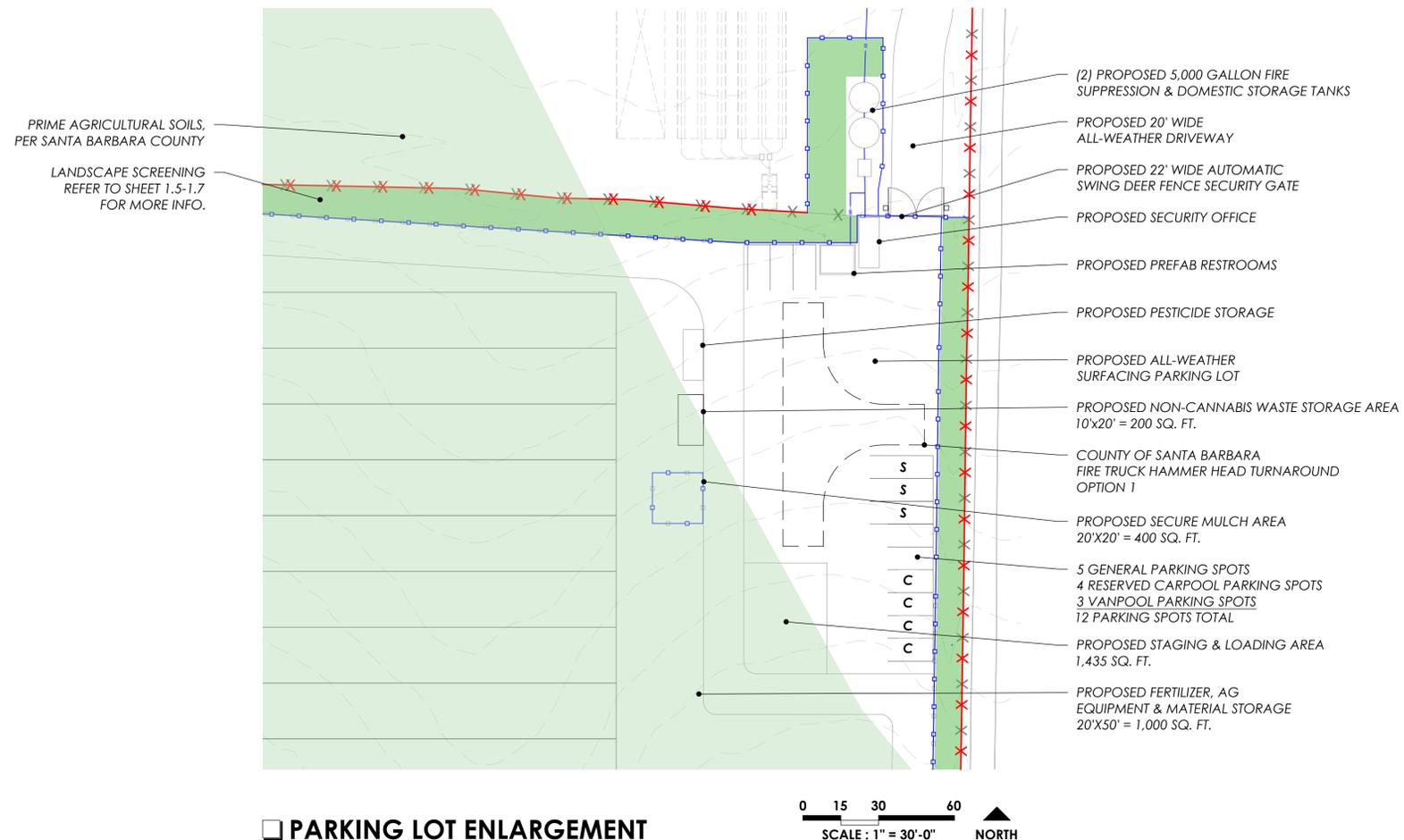
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**GENERAL NOTES:**

1. LOT LOCATION
  - 1.1. ONE PARKING LOT ON SITE CONSTRUCTED WITH CLASS II ROAD BASE
  - 1.2. PARKING LOT WILL CONSIST OF 5 GENERAL PARKING SPOT, 4 RESERVED FOR CARPOOL, & 3 FOR VANPOOL PARKING.
2. TOTAL NUMBER OF EMPLOYEES
  - 2.1. MAXIMUM 4 PERMANENT EMPLOYEES WILL BE ON-SITE DURING MARCH - DECEMBER.
  - 2.2. MAXIMUM 20 TEMPORARY EMPLOYEES WILL BE ON-SITE FOR PLANTING & HARVEST ACTIVITIES FROM APRIL - NOVEMBER.
3. HOURS OF OPERATION
  - 3.1. 7:00 AM - 4:00 PM, MONDAY - SATURDAY
4. TRIP ORIGINS
  - 4.1. LABOR COMES FROM THE SANTA MARIA & TAFT AREAS
5. TRIP GENERATION
  - 5.1. DELIVERIES TO THE SITE WILL AVERAGE ONE TRUCK PER DAY OR LESS AND DURING HARVEST PERIODS (JUNE-NOVEMBER) REFRIGERATED TRUCKS WILL PICK UP HARVESTED PLANTS TWICE A WEEK
  - 5.2. TEMPORARY EMPLOYEES WILL USE VANPOOLS AND RIDESHARE TO ACCESS SITE.
6. TRANSPORTATION DEMAND MANAGEMENT MEASURES
  - 6.1. TEMPORARY EMPLOYEES FROM SANTA MARIA & TAFT WILL USE VANPOOLS TO ACCESS SITE.
  - 6.2. WORKERS RESIDING IN AREAS NOT SERVED BY VANPOOLS WILL BE ENCOURAGED TO RIDESHARE TO REDUCE THE COST THE COMMUTING.
  - 6.3. A MANAGEMENT STAFF MEMBER WILL ACT AS THE TRANSPORTATION ORGANIZER (TO). THE TO WILL DISTRIBUTE INFORMATIONAL MATERIALS ON THE BENEFITS OF CARPOOLING TO NEW EMPLOYEES WHO WILL NOT BE USING THE SHUTTLE AND DISTRIBUTE A CARPOOL INTEREST FORM. EMPLOYEES INTERESTED IN CARPOOLING WILL REGISTER WITH THE TO WHO WILL HELP MATCH EMPLOYEES WITH CARPOOL OPPORTUNITIES. THE TO WILL MAINTAIN RECORDS OF THE NUMBER OF INFORMATIONAL MATERIALS DISTRIBUTED AND THE NUMBER OF EMPLOYEES INTERESTED IN CARPOOLING

**TRANSPORTATION ROUTE NOTES:**  
ALL TRAFFIC LEAVES AND ARRIVES VIA KIRSCHENMANN ROAD CONNECTED DIRECTLY TO CUYAMA HIGHWAY CA-166

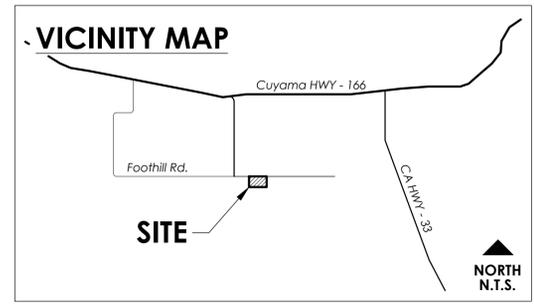
# ORANGE COAST FARMS

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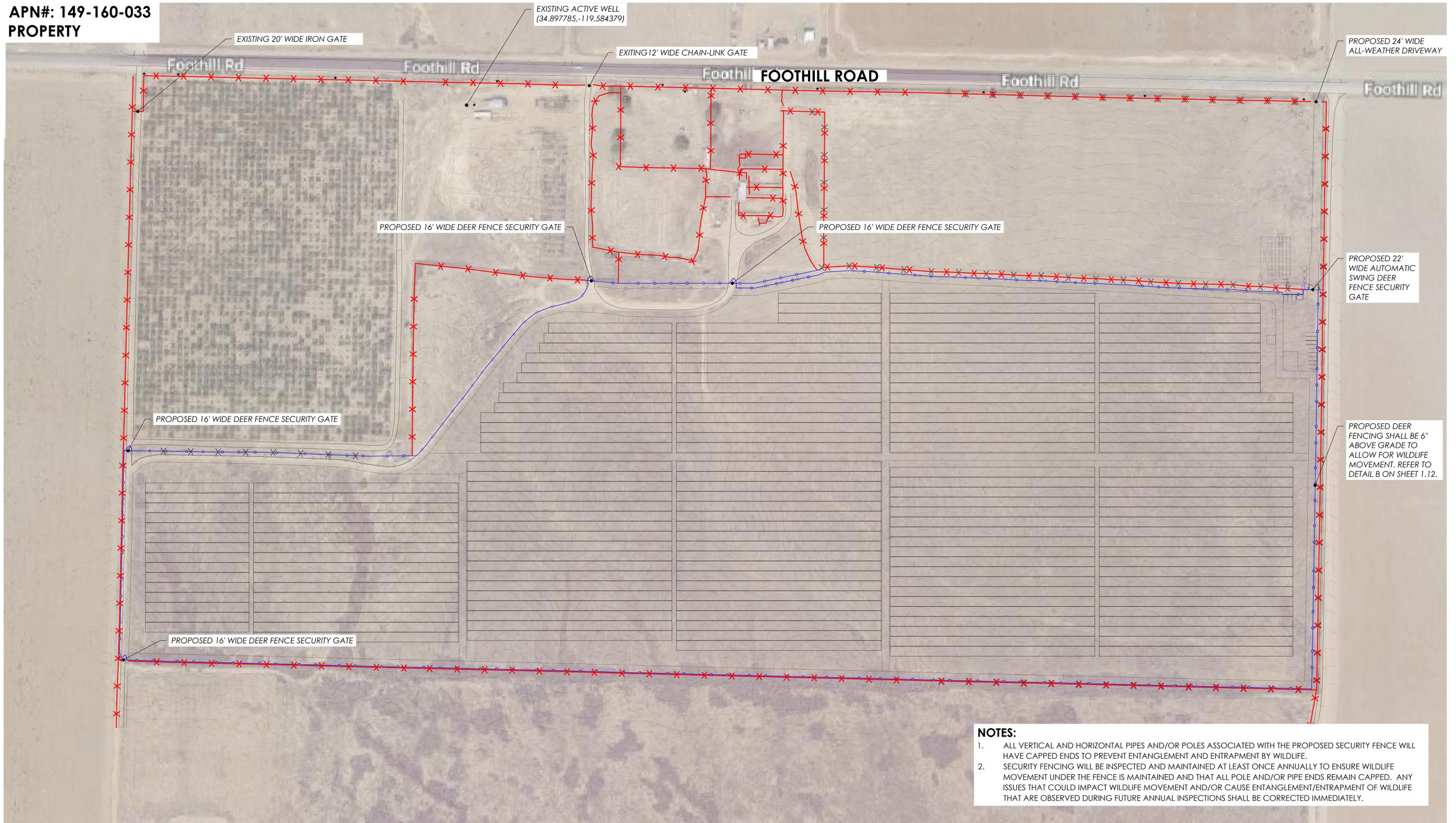
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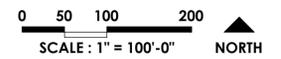
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**NOTES:**

1. ALL VERTICAL AND HORIZONTAL PIPES AND/OR POLES ASSOCIATED WITH THE PROPOSED SECURITY FENCE WILL HAVE CAPPED ENDS TO PREVENT ENTANGLEMENT AND ENTRAPMENT BY WILDLIFE.
2. SECURITY FENCING WILL BE INSPECTED AND MAINTAINED AT LEAST ONCE ANNUALLY TO ENSURE WILDLIFE MOVEMENT UNDER THE FENCE IS MAINTAINED AND THAT ALL POLE AND/OR PIPE ENDS REMAIN CAPPED. ANY ISSUES THAT COULD IMPACT WILDLIFE MOVEMENT AND/OR CAUSE ENTANGLEMENT/ENTRAPMENT OF WILDLIFE THAT ARE OBSERVED DURING FUTURE ANNUAL INSPECTIONS SHALL BE CORRECTED IMMEDIATELY.

WILDLIFE MOVEMENT PLAN

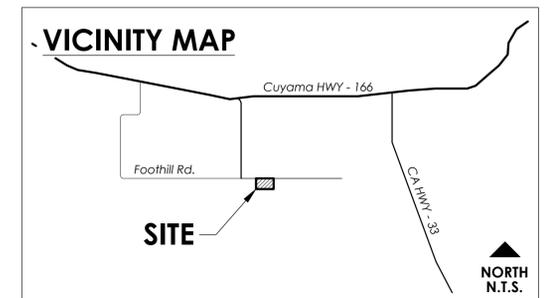


# ORANGE COAST FARMS

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**Orange Coast Farms**  
**2225 Foothill Road (APN 149-160-033)**  
**Cuyama, Santa Barbara County, California**  
**Case No. 18LUP-00000-00327**

**Habitat Protection Plan**



Prepared for:  
 Cuyama Farms, LLC,  
 2350 West Shaw Avenue, Suite 140  
 Fresno, CA 93711  
 P: 714.497.6057



Original: May 7, 2020  
 Revised: September 22, 2020

PO Box 6840, Los Osos, CA 93412 | 805.440.6137  
 http://www.ecologicalmgmt.com | dwayne@ecologicalmgmt.com

Orange Coast Farms, 2225 Foothill Road, Cuyama Habitat Protection Plan

January 31 or within 250 feet during the breeding season of February 1 through August 31.

- 3) If an active burrow is observed within 250 feet of the work area during the breeding season, construction activities shall not continue until a qualified biologist confirms the burrow is no longer active. Proposed adjustments to the buffer will be through consultation with the CDFW.
- 4) If an active burrow is observed within 160 feet of the work area during the non-breeding season, construction activities shall not continue until a qualified biologist confirms the burrow is no longer active.
- 5) The qualified biologist, with prior consultation and approval from the CDFW, may institute passive relocation through use of one-way burrow doors that will not allow the owls to reenter the burrow. Then, immediately before the start of construction activities, the biologists shall remove all doors and excavate the burrows to ensure that no animals are present the burrow. The excavated burrows shall then be backfilled.
- 6) A qualified biologist shall be present during the initial clearing and grading activity. If additional burrowing owl burrows are found, all work should cease until the biologist can complete measures described above for inactive and active burrows. Once all burrowing owl burrows have been excavated, work on the site may resume.

**SAN JOAQUIN KIT FOX**

San Joaquin kit fox is listed as endangered under the Federal Endangered Species Act and as threatened under the California Endangered Species Act. San Joaquin kit fox is known from the general Cuyama region, and thus has been determined to have the potential to transit or forage within the proposed cultivation area due to presence of non-native grassland habitat, loose soils, and a prey base of California ground squirrels and other rodents. Potential direct and indirect impacts to kit fox would only be anticipated to occur during grading and construction activities, and are not expected to be significant with the incorporation of the following standard avoidance and protection measures.

The following avoidance and protection measures are standard measures to avoid take and reduce impacts to kit fox to an insignificant level. However, the requirements for individual projects may vary depending on the type of project, extent of disturbance, and other project specifics. The typical measures for cumulative and construction-related impacts are as follows:

- 1) A Planning and Development Department-approved biologist shall conduct pre-construction surveys of the project site and immediate surrounding areas (500-foot

Orange Coast Farms, 2225 Foothill Road, Cuyama Habitat Protection Plan

**INTRODUCTION**

The 2017 Final Environmental Impact Report (FEIR) for the Cannabis Land Use Ordinance and Licensing Program for Santa Barbara County requires applicants to prepare a Habitat Protection Plan (HPP) for all outdoor cannabis cultivation sites that may impact native or sensitive habitats, or special-status plant or wildlife species. The FEIR states:

*"Applicants who apply for a cannabis license for a site that would involve clearing of native vegetation or other sensitive vegetation shall submit a Habitat Protection Plan (HPP) to the County Planning and Development Department. The plan shall apply within areas that have been identified as having a medium to high potential of being occupied by a special-status wildlife species, nesting bird, or a federal or state-listed special-status plant species. The plan shall be prepared by a Planning and Development Department-approved biologist and designed to determine whether protected species, habitat, or sensitive communities may be present, and whether avoidance, minimization or compensatory measures are necessary. Focused species-specific surveys shall be required to determine whether a sensitive species or nesting bird may be present, and shall be conducted at the appropriate time of year and time of day when that species is active or otherwise identifiable. Where warranted by the findings of initial review, protocol level surveys may also be required. In addition, the HPP shall determine whether specific restoration measures are required where disturbance associated with previous cannabis activities on the property being considered for permitting or licensing has occurred."*

This HPP for the proposed Orange Coast Farms cannabis cultivation project is intended to comply with local, state, and federal requirements for special-status species and habitat protection, through implementation of pre-construction surveys, protection and avoidance measures for special-status species in and adjacent to project areas, and monitoring during initial ground disturbance.

Proposed cultivation activities would convert existing non-native annual grassland into cannabis cultivation consisting of hoophouse structures. Based on the biological surveys conducted on the subject parcel in April 2019, and April and August 2020 cultivation site preparation has the potential to impact special-status species. Several protection and avoidance measures are necessary to adequately protect resident and transient special-status species potentially present within the proposed cultivation area. Due to the current non-native vegetation and disturbed nature of the cultivation area no additional restoration or revegetation measures are required for the project.

The following measures shall be implemented by a Planning and Development Department-approved biologist where applicable prior to and during initial project ground disturbance activities.

Orange Coast Farms, 2225 Foothill Road, Cuyama Habitat Protection Plan

buffer if access is allowed) for dens (e.g. potential, known, active, atypical, and natal dens) no more than 30 days before the start of construction activities.

- 2) If a kit fox is found in an "atypical" den such as a pipe or culvert, a minimum 50-foot buffer around the "atypical" den shall be established using flagging. If a known kit den is discovered, a minimum buffer of at least 100 feet around the den using fencing or flagging should be established. If a natal den (den in which kit fox young are reared) is discovered, a buffer of at least 200 feet around the den using fencing or flagging should be established. For any natal dens with pups, the den shall have a buffer of at least 500 feet around it using fencing or flagging. If a natal/pupping den is discovered within the project area or within 500-feet of the project boundary, the US Fish and Wildlife Service and the California Department of Fish and Wildlife shall be immediately notified and under no circumstances should the den be disturbed or destroyed without prior authorization.
- 3) A Planning and Development Department-approved biologist shall conduct a pre-construction kit fox briefing for construction workers to minimize kit fox impacts.
- 4) Include all kit fox protection measures on project plans.
- 5) Require a maximum 20 mph speed limit at the project site during construction.
- 6) All construction activities must cease at dusk.
- 7) Cover excavations deeper than 2 feet at the end of each working day or provide escape ramps for kit fox.
- 8) No pets, such as dogs or cats, should be permitted on the project site to prevent harassment, mortality of kit foxes, or destruction of dens.
- 9) Inspect pipes, culverts, or similar structures for kit fox before burying, capping, or moving.
- 10) Remove food-related trash from the project site daily.
- 11) If rodenticides and/or herbicides are used, they must be used according to local, state, and federal regulations to prevent secondary poisoning of kit fox.
- 12) If a kit fox is discovered at any time in the project area, all construction must stop and the kit fox shall be allowed to leave the area unharmed. The CDFW and USFWS must be contacted immediately. The appropriate federal and state permits must be obtained before the project can proceed.
- 13) All security fence material will be installed six (6) inches above grade to create a continuous gap along the entire perimeter of the cultivation site in order to allow for wildlife movement by smaller sized animals through the project area. In addition, hoophouse structures shall allow for wildlife movement by smaller animals by holding the poly-film of each hoophouse six (6) inches above grade.

Orange Coast Farms, 2225 Foothill Road, Cuyama Habitat Protection Plan

**HABITAT PROTECTION PLAN -SPECIAL-STATUS SPECIES AND HABITAT PROTECTION AND AVOIDANCE MEASURES**

**REPTILES**

Impacts to special-status reptile species potentially present in the cultivation area would be direct impacts that would occur during initial grading and grubbing activities. Implementation of the following pre-construction surveys and monitoring would avoid and/or minimize impacts to special-status reptile species.

- 1) A qualified biologist shall conduct pre-construction surveys for California glossy snake, Coast horned lizard, and San Joaquin coachwhip immediately before initial ground disturbance. If California glossy snake, Coast horned lizard, and San Joaquin coachwhip, or other special-status species are found in the area of disturbance, the qualified biologist shall move the animals to an appropriate location outside the area of disturbance. The relocation shall be identified before construction and shall be selected based on the size and type of habitat present, the potential for negative interactions with resident species, and the species' range.
- 2) The qualified biologist shall be present and monitor all initial grubbing and grading of the site to capture any displaced California glossy snake, Coast horned lizard, and San Joaquin coachwhip and relocate to an appropriate relocation site outside of the area of disturbance.

**NESTING BIRDS**

Potential direct and indirect impacts to ground nesting birds have been identified as a potential impact and could occur if ground nesting birds are present within the proposed cultivation areas or near construction related activities causing noise generation. Potential impacts and recommended avoidance and protection measures to western burrowing owl is discussed separately, below. Impacts to ground nesting birds are considered temporary, and would be avoided and/or minimized with the incorporation of the following recommended avoidance and protection measures.

- 1) To minimize impacts to ground nesting bird species, including special-status species and species protected by the Migratory Bird Treaty Act, if work is proposed between February 1 through September 15, a qualified biologist should conduct a pre-construction survey for active bird nests within 250 feet of the limits of the project site (may be limited by property boundaries) within seven (7) days prior to any disturbance activities. If no nesting activity is observed, project activities can proceed.
- 2) If active nest sites of non-raptor bird species protected under the Migratory Bird Treaty Act and/or California Fish and Game Code Section 3503 are observed within 500 feet of the project area, then the project should be modified and/or

Orange Coast Farms, 2225 Foothill Road, Cuyama Habitat Protection Plan

The Wildlife Movement Plan prepared for this project addresses these wildlife movement design features.

- 14) To confirm kit fox can continue to move through the project site, the security fence and hoophouses will be inspected at least once annually by a Planning and Development Department-approved biologist. Any issues that are identified during the annual inspections that could impact wildlife movement through the site and/or cause entanglement/entrapment of any wildlife shall be repaired and/or corrected immediately.

**AMERICAN BADGER**

American badger was determined to have the potential to forage within the general are of the subject parcel due to presence of non-native annual grassland habitats and a prey base of ground squirrels and pocket gophers. Potential direct and indirect impacts to American badger would only be anticipated to occur during initial construction activities, and are not expected to be significant with the incorporation of the following avoidance and protection measures.

- 1) A pre-construction survey for active badger dens should be conducted by a qualified biologist within the construction impact footprint and surrounding accessible areas of the subject parcel no more than fourteen (14) days prior to any ground disturbing activities. The survey should evaluate all dens found to determine if they have the potential to be occupied by American badger.
- 2) If pre-construction surveys discover potential badger dens, the Planning and Development Department-approved biologist will evaluate the dens to determine if they are active using a fiber-optic scope, tracking medium, remote camera system, and/or spotlighting at night for a minimum of three days to assess the presence of badgers.
- 3) If the dens prove to be inactive, they shall be excavated by hand with a shovel under the supervision of the qualified biologist to prevent badgers from re-using them during construction.
- 4) If occupied badger dens are located, they shall be flagged, and ground-disturbing activities avoided, within 50 feet of the occupied den during the nonbreeding season (July 1 through February 14). Dens determined to be occupied during the breeding season (15 February through 30 June) shall be flagged, and ground-disturbing activities avoided, within 200 feet to protect adults and nursing young. Buffers may be modified by the qualified biologist, provided the badgers are protected, and shall not be removed until the qualified biologist has determined that the den is no longer in use. Once all badger dens are determined inactive and have been excavated, site preparation activities on the site may resume.

Orange Coast Farms, 2225 Foothill Road, Cuyama Habitat Protection Plan

delayed as necessary to avoid direct impacts of the identified nests, eggs, and/or young. Potential project modifications may include establishing appropriate "no activity" buffers around the nest site. "No activity" buffers shall be at a minimum of 250 feet for non-listed bird species unless the qualified biologist determines that smaller buffers would be sufficient to avoid impacts to nesting birds. Factors to be considered for determining buffer size will include: the presence of natural buffers provided by vegetation or topography; nest height; locations of foraging territory; and baseline levels of noise and human activity. Buffers will be maintained until young have fledged or the nests become inactive.

3) If construction occurs between February 1 and September 15, the qualified biologist will conduct surveys for nesting raptors in accordance with established CDFW raptor survey protocols. Surveys will cover a minimum of a 0.5-mile radius around the construction area (may be limited by property boundaries). If nesting raptors are detected, the qualified biologist will establish buffers around nests that are sufficient to ensure that nesting activities are not likely to be disrupted or adversely impacted by construction activities. Buffers around active raptor nests will be a minimum of 500 feet for non-listed raptors, unless a qualified biologist determines that smaller buffers would be sufficient to avoid impacts to nesting raptors. Factors to be considered for determining buffer size will include: the presence of natural buffers provided by vegetation or topography; nest height; locations of foraging territory; and baseline levels of noise and human activity. Buffers will be maintained until a qualified California Department of Fish and Wildlife (CDFW) biologist has determined that young have fledged and are no longer reliant upon the nest or parental care for survival.

**WESTERN BURROWING OWL**

Western burrowing owl was determined to have the potential to occur within the project area, due to presence of non-native annual grassland habitat and ground squirrel burrows. Potential direct and indirect impacts to western burrowing owl would only be anticipated to occur during initial construction activities, and are not expected to be significant with the incorporation of the following mitigation measures.

- 1) A qualified biologist shall conduct pre-activity surveys for the presence of western burrowing owl and/or active burrows within the proposed work area and within 250 feet of the work area (may be limited by property boundaries) no less than fourteen (14) days and no more than thirty (30) days prior to ground disturbing activities. Surveys will be conducted by qualified biologists by walking straight-line transects spaced 20 feet to 60 feet, adjusting for vegetation height and density.
- 2) Exclusion zones, or no-disturbance buffers, shall be established around all active burrows, if observed. No project-related disturbances should occur within 160 feet of occupied burrows during the nonbreeding season of September 1 through

Orange Coast Farms, 2225 Foothill Road, Cuyama Habitat Protection Plan

- 5) For occupied dens observed during the nonbreeding season (July 1 through February 14), badgers should be passively discouraged from using currently active dens prior to ground disturbance activities by partially blocking the entrance of the den with sticks, debris and soil for 3 to 5 days. Access to the den should be incrementally blocked to a greater degree over this period. This should cause the badger to abandon the den and move elsewhere. After badgers have stopped using any den(s) within the ground disturbance footprint, the den(s) should be hand-excavated with a shovel or carefully with an excavator to prevent re-use. Any passive relocation of American badgers shall occur only under the direction of a qualified biologist.

**CONCLUSION**

Implementation of the above pre-construction surveys, special-status species protection and avoidance measures, and monitoring during ground disturbing activities included in this project Habitat Protection Plan will reduce species and habitat impacts to a less than significant (Class II) level.

**HABITAT PROTECTION PLAN**

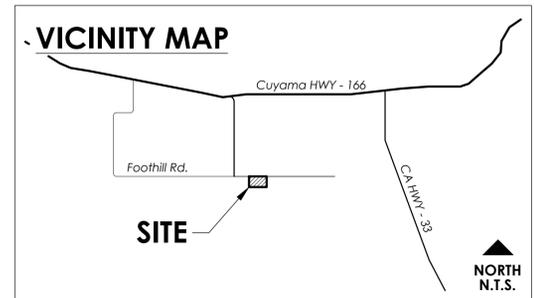
**ORANGE COAST FARMS**

2225 FOOTHILL ROAD // NEW CUYAMA, CALIFORNIA 93254

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2021.06.02



**PROJECT INFORMATION**

APN: 149-160-033  
 ADDRESS: 2225 FOOTHILL ROAD  
 NEW CUYAMA, CALIFORNIA 93254  
 CLIENT INFO: CUYAMA FARMS, LLC.  
 TEL: 714-497-6057  
 REP: MOE ESSA  
 PARCEL SIZE: 78.27 AC  
 AVERAGE SLOPE: 2.6%  
 FLOOD ZONE: X AND A  
 ZONING:  
 AG PRESERVE: N/A

**BASIS OF BEARINGS:**

THE "BASIS OF BEARINGS" FOR THIS SURVEY IS THE LIEN BETWEEN TWO SET MAG NAILS, IN THE PAVEMENT OF FOOTHILL ROAD, SHOWN HEREON AS POINTS 2 AND 3, HAVING A BEARING OF NORTH 88 DEGREES 42 MINUTES 11 SECONDS WEST.

**BENCHMARK:**

THE LOCAL BENCHMARK FOR THIS SURVEY IS THE TOP OF A MAG NAIL SET IN THE PAVEMENT OF FOOTHILL ROAD, SHOWN HEREON AS POINT 3, HAVING AN ASSUMED ELEVATION OF 2481.00 FEET.

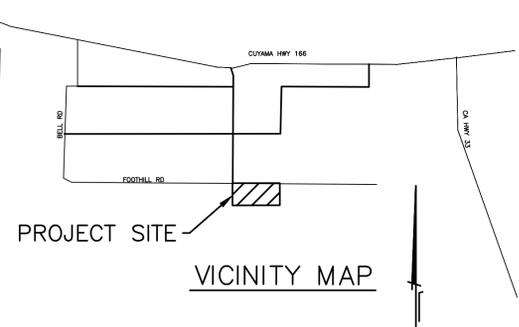
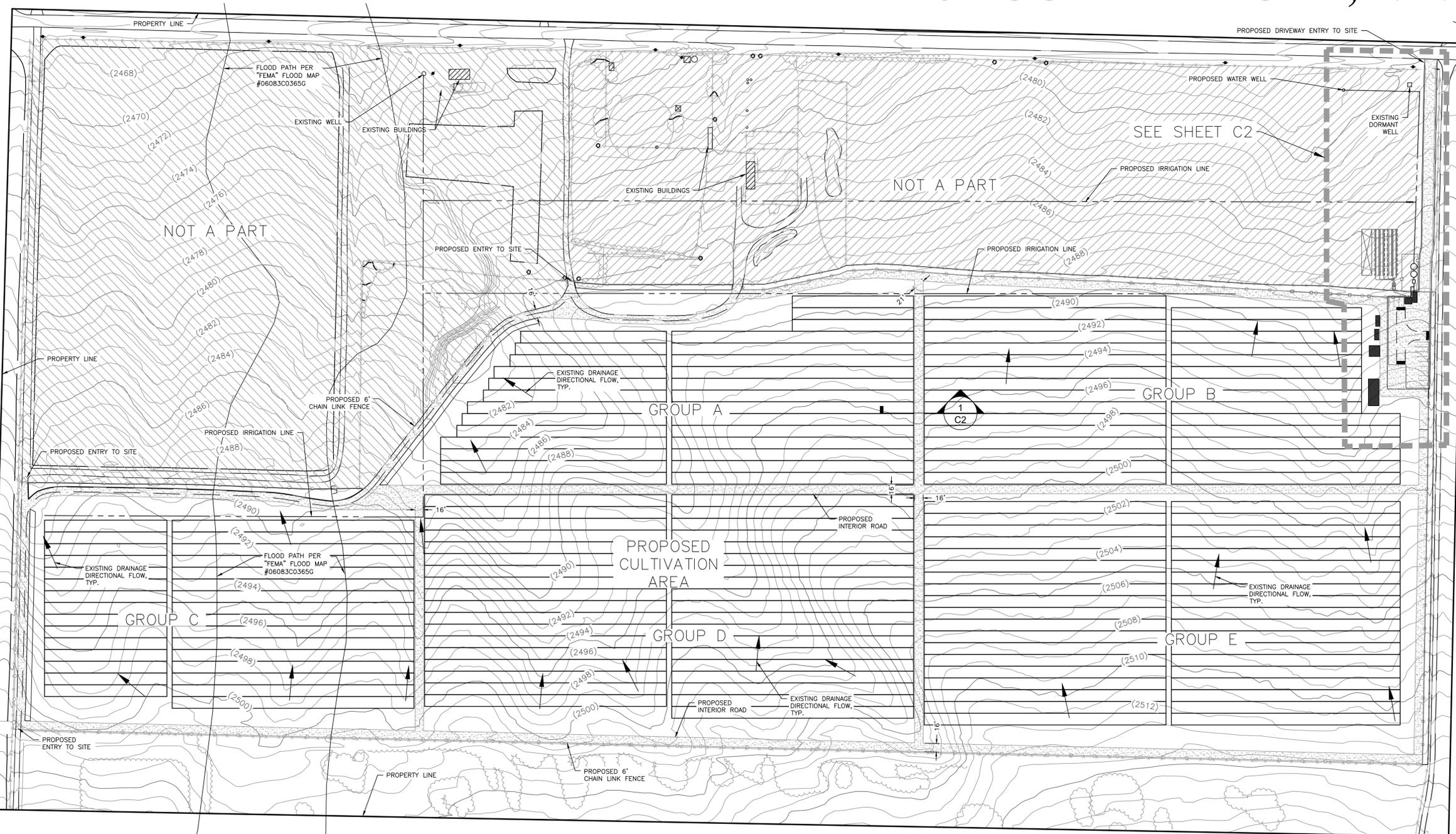
**EARTHWORK QUANTITIES**

CUT: 280 C.Y. (NATIVE SOIL TO BE REMOVED AND DISTRIBUTE IN SITE)  
 FILL: 280 C.Y. OF CLASS II BASE COMPACTED FOR ALL-WEATHER DRIVEWAY AND PARKING LOT  
 NET: 0 C.Y.  
 \*NO SHRINKAGE OR SUBSIDENCE INCLUDED

# PRELIMINARY GRADING PLAN

## ORANGE COAST FARMS

### 2225 FOOTHILL ROAD, NEW CUYAMA, CA

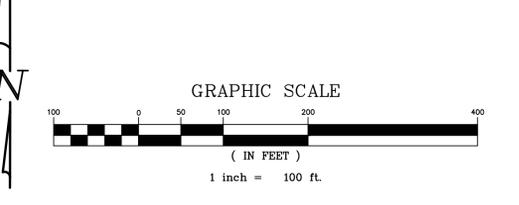


**LEGEND**

PROJECT BOUNDARY	---
CENTERLINE	---
PROPERTY LINE	---
CURB LINE	---
EXIST. CURB LINE	---
ROW/EASEMENT LINE	---
STORM DRAIN	---
EXIST. STORM DRAIN	---
SEWER MAIN	---
EXIST. SEWER MAIN	---
WATER MAIN	---
EXIST. WATER MAIN	---
STREET LIGHT CONDUIT	---
EXIST. ST. LT. CONDUIT	---
E.P./LIP OF GUTTER	---
WOOD FENCE	---
WROUGHT IRON FENCE	---
EXIST. CONTOURS	---

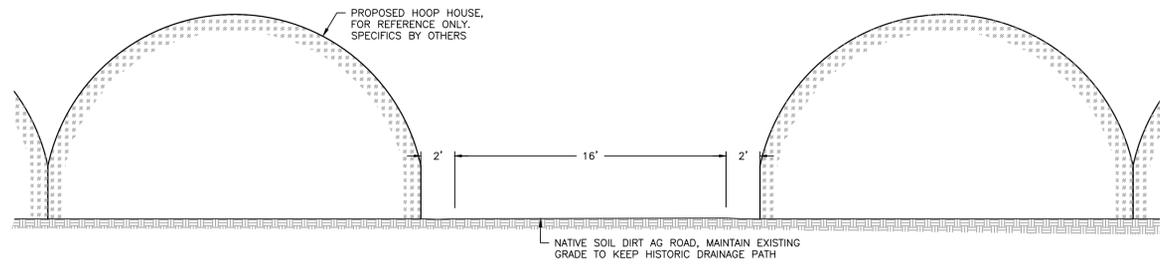
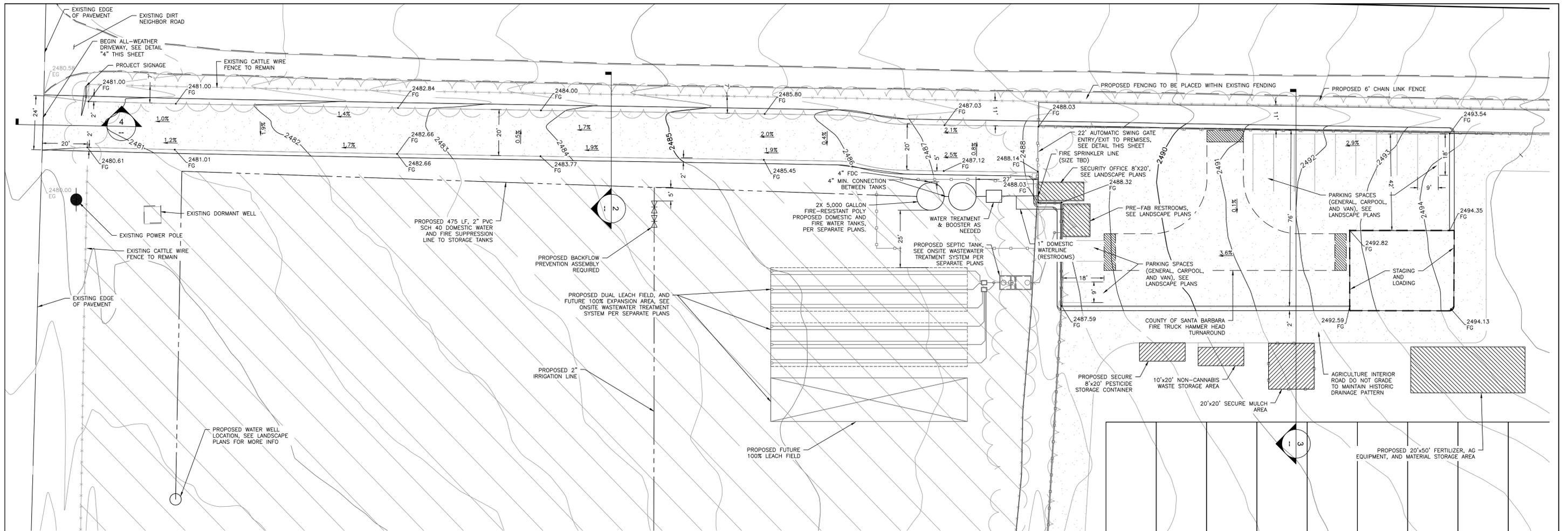
**ABBREVIATIONS**

▲	MONUMENT	T.C.
○	TOP OF CURB	F.L.
⊙	FLOW LINE	E.P.
⊖	EDGE OF PAVEMENT	A.C.
⊕	ASPHALT CONCRETE	H.P.
⊗	HIGH POINT	L.P.
⊘	LOW POINT	F.G.
⊙	FINISHED GRADE	B.W.
⊖	BACK OF WALK	T.O.W.
⊕	TOP OF WALL	T.O.F.
⊗	TOP OF FOOTING	G.B.
⊘	GRADE BREAK	F.S.
⊙	FINISHED SURFACE	F.F.
⊖	FINISHED FLOOR	INV.
⊕	INVERT OF PIPE	RCF
⊗	REINFORCED CONCRETE PIPE	PVC
⊘	PLASTIC PIPE	SW
⊙	SIDEWALK	SDMH
⊖	STORM DRAIN MANHOLE	SSMH
⊕	SANITARY SEWER MANHOLE	T.O.G.
⊗	TOP OF GRATE	TYP.
⊘	TYPICAL	

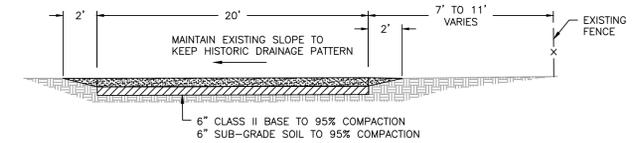


	DESIGNED BY: G.C.	ORANGE COAST FARMS
	CHECKED BY: R.J.G.	CASE NUMBERS: XXX
	REVISIONS	2225 FOOTHILL ROAD
DATE	DESCRIPTION	PRELIMINARY GRADING PLAN
RUSSELL J. GARRISON R.C.E. 59987 DATE _____		SCALE: AS SHOWN
2624 Airpark Dr., Santa Maria, California 93455 (805) 934-5767		<b>SHEET C-1 OF 3</b>

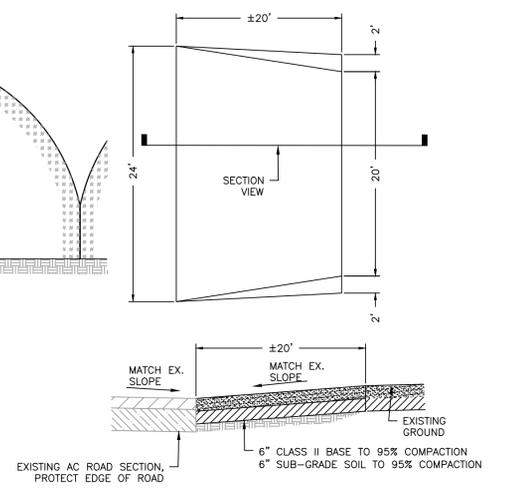
THE UNDERSIGNED CIVIL ENGINEER CERTIFIES THIS GRADING WORK WILL BE SUPERVISED IN ACCORDANCE WITH SANTA BARBARA CO. ORDINANCE NO. 4477.



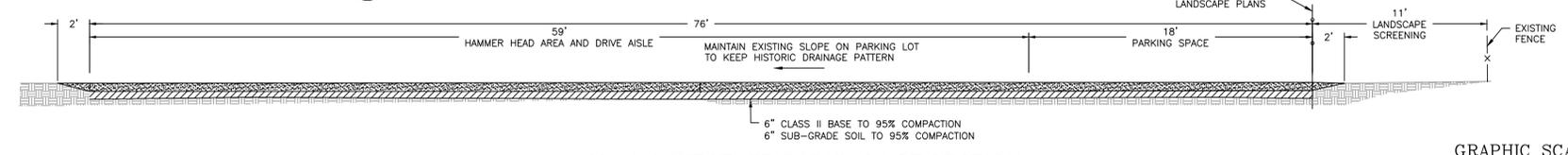
1 TYPICAL INTERIOR AG DIRT ROAD SECTION  
NTS



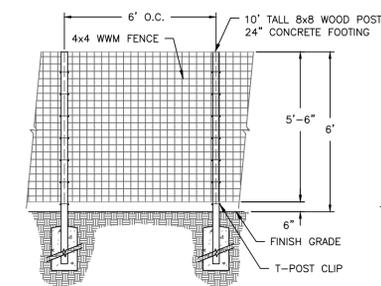
2 ALL-WEATHER DRIVEWAY SECTION  
NTS



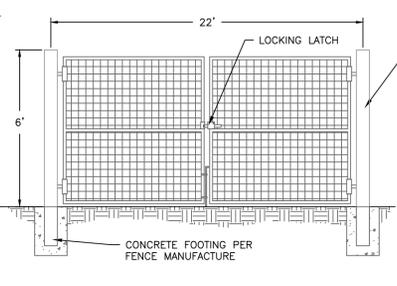
4 ALL-WEATHER DRIVEWAY DETAIL SECTION  
NTS



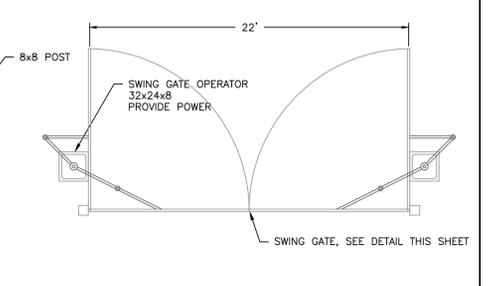
3 ALL-WEATHER PARKING LOT SECTION  
NTS



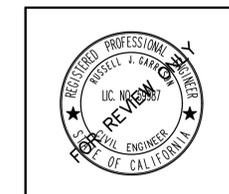
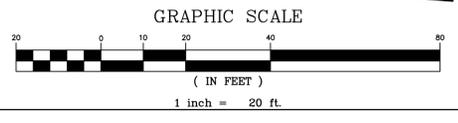
SECURITY DEER FENCING  
NTS



DEER FENCE SECURITY GATE  
NTS



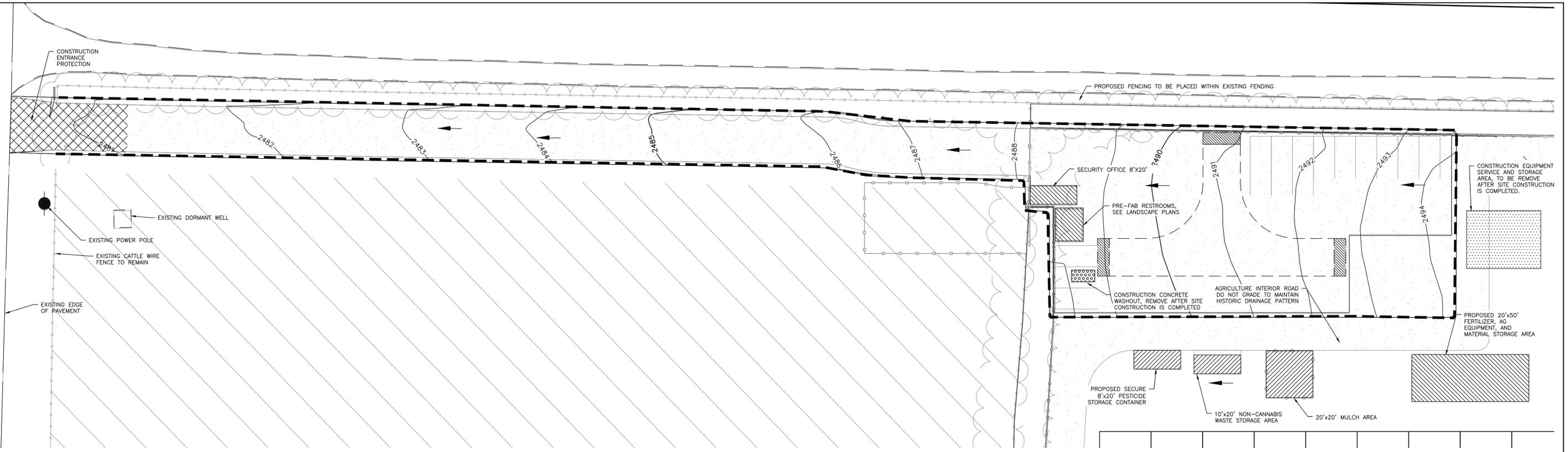
AUTOMATIC SWING MAIN ENTRY GATE  
NTS



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DATE DESCRIPTION		SITE	
		RUSSELL J. GARRISON R.C.E. 59987 DATE	
		SCALE: AS SHOWN	
		BETHEL engineering 2624 Airpark Dr., Santa Maria, California 93455 (805) 934-5767	
		SHEET C-2 OF 3	

THE UNDERSIGNED CIVIL ENGINEER CERTIFIES THIS GRADING WORK WILL BE SUPERVISED IN ACCORDANCE WITH SANTA BARBARA CO. ORDINANCE NO. 4477.

5/18/2021



**EROSION/SEDIMENT CONTROL PRACTICES**

CONSTRUCTION ENTRANCE AREAS SHALL BE CONSTRUCTED PRIOR TO IMPORT AND EXPORT OF SOILS. THE ENTRANCE AREAS SHALL BE 6"-8" AGGREGATE PLACED TO A MINIMUM DEPTH OF 12" OVER A GEOTEXTILE FABRIC SUCH AS MIRAFI 500X. INSPECT FOR DAMAGE REGULARLY AND REPAIR AS REQUIRED.

EQUIPMENT STORAGE AND SERVICE AREA TO BE PREPARED PRIOR TO BEGINNING OF GRADING ACTIVITIES.

TEMPORARY CONTROL MEASURES TO REMAIN IN PLACE UNTIL INTERIOR IS COMPLETED AND PERMANENT LANDSCAPING IS ESTABLISHED. EQUIPMENT STORAGE AREA HYDROSEEDED, AND EQUIPMENT SERVICE CLEANED AND HYDROSEEDED.

REASONABLE EFFORTS SHOULD BE MADE TO PRESERVE EXISTING VEGETATION BEFORE SITE DISTURBANCE BEGINS.

DENUDED PERMANENT OPEN SPACE AREAS TO BE COVERED WITH STRAW BLANKET IN CONJUNCTION WITH HYDROSEEDING/HYDROMULCHING.

**DUST CONTROL MEASURES**

DURING CLEARING, GRADING, EARTH MOVING, EXCAVATION, OR TRANSPORTATION OF CUT OR FILL MATERIALS, WATER TRUCKS OR SPRINKLER SYSTEMS ARE TO BE USED TO PREVENT DUST FROM LEAVING THE SITE AND TO CREATE A CRUST AFTER EACH DAY'S ACTIVITIES CEASE.

AFTER CLEARING, GRADING, EARTHMOVING OR EXCAVATION IS COMPLETED, THE ENTIRE AREA OF DISTURBED SOIL SHALL BE TREATED IMMEDIATELY BY WATERING OR REVEGETATING OR SPREADING SOIL BINDERS TO PREVENT WIND PICKUP OF THE SOIL UNTIL THE AREA IS PAVED OR OTHERWISE DEVELOPED SO THAT DUST GENERATION WILL NOT OCCUR.

DURING CONSTRUCTION, WATER TRUCKS OR SPRINKLER SYSTEMS SHALL BE USED TO KEEP ALL AREAS OF VEHICLE MOVEMENT DAMP ENOUGH TO PREVENT DUST FROM LEAVING THE SITE. AT A MINIMUM, THIS WOULD INCLUDE WETTING DOWN SUCH AREA IN THE LATER MORNING AND AFTER WORK IS COMPLETED FOR THE DAY AND WHENEVER WIND EXCEEDS 15 MILES PER HOUR.

ALL AREAS NOT PROPOSED FOR IMMEDIATE DEVELOPMENT ( E.G. WITHIN TWO WEEKS) SHALL BE SEEDDED OR TREATED WITH SOIL BINDERS TO PREVENT SOIL EROSION OR DUST GENERATION.

SOIL STOCKPILED FOR MORE THAN TWO DAYS SHALL BE COVERED, KEPT MOIST, OR TREATED WITH SOIL BINDERS TO PREVENT DUST GENERATION.

TRUCKS TRANSPORTING SOIL, SAND, CUT OR FILL MATERIALS TO OR FROM THE SITE SHALL BE TARPED FROM THE POINT OF ORIGIN.

THE CONTRACTOR OR BUILDER SHALL DESIGNATE A PERSON OR PERSONS TO MONITOR THE DUST CONTROL PROGRAM AND TO ORDER INCREASED WATERING AS NECESSARY, TO PREVENT TRANSPORT OF DUST OFF-SITE. THEIR DUTIES SHALL INCLUDE HOLIDAY AND WEEKEND PERIODS WHEN WORK MAY NOT BE IN PROGRESS.

**EROSION CONTROL CERTIFICATE**

EROSION CONTROL CERTIFICATION [SIGN TO GUARANTEE THAT EROSION CONTROL MEASURES WILL BE INSTALLED]

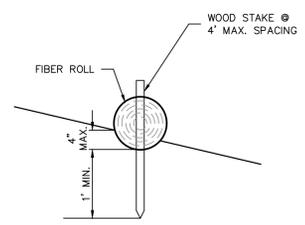
I HEREBY CERTIFY THAT ALL EROSION AND SILTATION CONTROL MEASURES WILL BE INSTALLED PER PLANS AND ALSO TO MY SATISFACTION TO PREVENT THE ILLEGAL DISCHARGE OF STORM WATER POLLUTANTS FROM THE PROJECT SITE. THE UNDERSIGNED SHALL BE THE DESIGNATED RESPONSIBLE PERSON FOR THE SUCCESSFUL IMPLEMENTATION OF THESE METHODS. THE UNDERSIGNED SHALL ALSO ENSURE THAT DAMAGES TO THE EROSION AND SILTATION CONTROL MEASURES DUE TO CONSTRUCTION PROCESSES OR SEVERE STORMS AND SHALL BE REPAIRED IMMEDIATELY TO FULLY FUNCTIONING CONDITION.

RESPONSIBLE PERSON \_\_\_\_\_ DATE \_\_\_\_\_

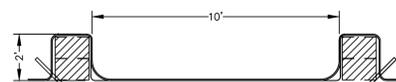
24-HOUR CONTACT TELEPHONE NUMBER \_\_\_\_\_

**EROSION/SEDIMENT CONTROL SCHEDULE**

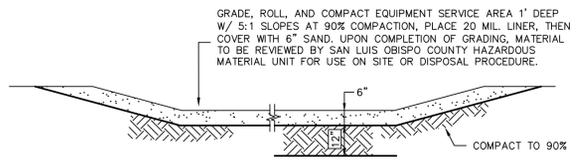
CONSTRUCTION ACTIVITY	EROSION/SEDIMENT CONTROL PRACTICES
PHASE I - CLEARING & GRUBBING OF SITE	DUST CONTROL MEASURES AS DESCRIBED UNDER DUST CONTROL MEASURES. (SEE ABOVE)-PERIMETER SOURCE CONTROL BMPs
PHASE II - ROUGH GRADING OF DRIVEWAYS	FIBER ROLL PLACEMENT AT TOP OF BANK AND TOE OF SLOPE. LOCATIONS WHERE VERTICAL HEIGHT OF SLOPE EXCEEDS TWO FEET.
PHASE III - CLEAN UP & TERMINATION OF GRADING ACTIVITIES.	TEMPORARY CONTROL MEASURES TO REMAIN IN PLACE UNTIL INTERIOR WORK IS COMPLETED & PERMANENT LANDSCAPING IS ESTABLISHED.



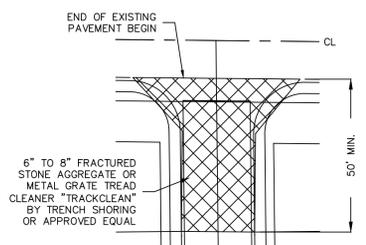
**FIBER ROLL INSTALLATION**  
N.T.S.



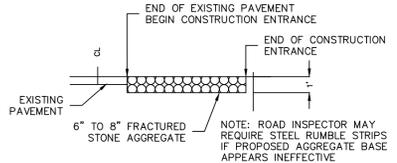
**CONCRETE WASHOUT-SECTION**  
N.T.S.



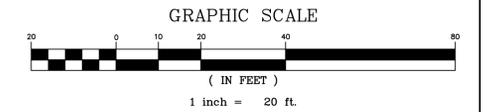
**EQUIPMENT SERVICE, STORAGE, & WASH AREA SECTION**  
N.T.S.



**CONSTRUCTION ENTRANCE PLAN VIEW**  
N.T.S.



**CONSTRUCTION ENTRANCE SECTION**  
N.T.S.



**LEGEND:**

- DIRECTION OF FLOW:
- CONSTRUCTION ENTRANCE AREA:
- EQUIPMENT SERVICE AND STORAGE AREAS:
- CONCRETE WASHOUT AREA:
- FIBER ROLL:



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CHECKED BY: R.J.G.	
REVISIONS	DATE DESCRIPTION
<p><b>SITE</b> RUSSELL J. GARRISON R.C.E. 59987 DATE _____</p> <p><b>BETHEL engineering</b> 2624 Airpark Dr., Santa Maria, California 93455 (805) 934-5767</p>	
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DATE \_\_\_\_\_