



CEARNAL ANDRULAITIS ARCHITECTURE INTERIOR DESIGN
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LATORRE / BONILLO RESIDENCE

Proposed project for:
849 Cheltenham Road
Santa Barbara, CA 93105

ABBREVIATIONS	GENERAL NOTES	PROJECT STATISTICS	PROFESSIONALS	DRAWING INDEX																																																																																																																																																																																																																																																																																																																																																								
<table border="0"> <tr><td>@</td><td>AT</td><td>LT</td><td>LIGHT</td></tr> <tr><td>d</td><td>FENNY</td><td>MAS</td><td>MASONRY</td></tr> <tr><td>Ø</td><td>ROUND</td><td>MATL</td><td>MATERIAL</td></tr> <tr><td>AB</td><td>ANCHOR BOLT</td><td>MAX</td><td>MAXIMUM</td></tr> <tr><td>AC</td><td>ASPHALTIC CONCRETE</td><td>MB</td><td>MACHINE BOLT</td></tr> <tr><td>A/C</td><td>AIR CONDITIONING</td><td>MECH</td><td>MECHANICAL</td></tr> <tr><td>AL</td><td>ALUMINUM</td><td>MEMB</td><td>MEMBRANE</td></tr> <tr><td>AD</td><td>ANODIZED</td><td>MET</td><td>METAL</td></tr> <tr><td>AW</td><td>AWNING</td><td>MFR</td><td>MANUFACTURER</td></tr> <tr><td>BD</td><td>BOARD</td><td>MIN</td><td>MINIMUM</td></tr> <tr><td>BF</td><td>BIFOLD</td><td>MISC</td><td>MISCELLANEOUS</td></tr> <tr><td>BLDG</td><td>BUILDING</td><td>N</td><td>NORTH</td></tr> <tr><td>BK(G)</td><td>BLOCKING(S)</td><td>NJ</td><td>NEW</td></tr> <tr><td>BM</td><td>BEAM</td><td>NIC</td><td>NOT IN CONTRACT</td></tr> <tr><td>BN</td><td>BOUNDARY NAILING</td><td>NO OR</td><td>NUMBER</td></tr> <tr><td>BOT</td><td>BOTTOM</td><td>#</td><td></td></tr> <tr><td>CB</td><td>CATCH BASIN</td><td>NTS</td><td>NOT TO SCALE</td></tr> <tr><td>CI</td><td>CAST IRON</td><td>OC</td><td>ON CENTER</td></tr> <tr><td>CJ</td><td>CEILING JOIST</td><td>OH</td><td>OVAL HEAD OR OVER HEAD</td></tr> <tr><td>CLG</td><td>CEILING</td><td></td><td></td></tr> <tr><td>CL</td><td>CLOSET</td><td>OPNG</td><td>OPENING</td></tr> <tr><td>CLR</td><td>CLEAR</td><td>PERF</td><td>PERFORATED</td></tr> <tr><td>CMU</td><td>CONCRETE MASONRY UNIT</td><td>PF</td><td>PRE FINISHED</td></tr> <tr><td></td><td></td><td>PL</td><td>PLATE OR PROPERTY LINE</td></tr> <tr><td>CO</td><td>CLEAN OUT</td><td></td><td></td></tr> <tr><td>COL</td><td>COLUMN</td><td>PLAM</td><td>PLASTIC LAMINATE</td></tr> <tr><td>CONN</td><td>CONNECTION</td><td>PLAS</td><td>PLASTER</td></tr> <tr><td>CONT</td><td>CONTINUOUS</td><td>PLYWD</td><td>PLYWOOD</td></tr> <tr><td>CS</td><td>CASEMENT</td><td>PVTR</td><td>PERIMETER</td></tr> <tr><td>CSK</td><td>COUNTERSINK</td><td>PT</td><td>PAINT</td></tr> <tr><td>DF</td><td>DOUGLAS FIR</td><td>PR</td><td>PAIR</td></tr> <tr><td>DH</td><td>DOUBLE HUNG</td><td>PTDF</td><td>PRESSURE TREATED</td></tr> <tr><td>DIA</td><td>DIAMETER</td><td></td><td></td></tr> <tr><td>DN</td><td>DOWN</td><td>RD</td><td>ROOF DRAIN</td></tr> <tr><td>DS</td><td>DOWNSPOUT</td><td>RH</td><td>ROUND HEAD</td></tr> <tr><td>DWG</td><td>DRAWING</td><td>RM</td><td>ROOM</td></tr> <tr><td>E</td><td>EAST</td><td>RO</td><td>ROUGH OPENING</td></tr> <tr><td>(E)</td><td>EXISTING</td><td>RWD</td><td>REDWOOD</td></tr> <tr><td>EA</td><td>EACH</td><td>SCHED</td><td>SCHEDULED</td></tr> <tr><td>EJ</td><td>EXPANSION JOINT</td><td>SCW</td><td>SOLID CORE WOOD</td></tr> <tr><td>ELEV</td><td>ELEVATION</td><td>S</td><td>SOUTH</td></tr> <tr><td>EN</td><td>EDGE NAIL</td><td>SF</td><td>SQUARE FEET</td></tr> <tr><td>EQ</td><td>EQUAL</td><td>SH</td><td>SINGLE HUNG</td></tr> <tr><td>EQUIP</td><td>EQUIPMENT</td><td>SHT</td><td>SHEET</td></tr> <tr><td>FAU</td><td>FORCED AIR UNIT</td><td>SHT'G</td><td>SHEATHING</td></tr> <tr><td>FBO</td><td>FURNISHED BY OWNER OR OTHERS, TO BE INSTALLED BY CONTRACTOR</td><td>SIM</td><td>SIMILAR</td></tr> <tr><td></td><td></td><td>RE:</td><td>RE: THE ARCH SHEET</td></tr> <tr><td>FD</td><td>FLOOR DRAIN</td><td>STRUC</td><td>STRUCTURAL</td></tr> <tr><td>FE(C)</td><td>FIRE EXTINGUISHER (& CABINET)</td><td>SPEC</td><td>SPECIFICATION</td></tr> <tr><td></td><td></td><td>SQ</td><td>SQUARE</td></tr> <tr><td></td><td></td><td>S/S</td><td>STAINLESS STEEL</td></tr> <tr><td></td><td></td><td>ST</td><td>STAIN</td></tr> <tr><td>FF</td><td>FINISHED FLOOR</td><td>STD</td><td>STANDARD</td></tr> <tr><td>FG</td><td>FINISHED GRADE</td><td>STL</td><td>STEEL</td></tr> <tr><td>FH</td><td>FLAT HEAD</td><td>TC</td><td>TOP OF CURB OR TOP OF CONCRETE</td></tr> <tr><td>FIN</td><td>FINISH</td><td></td><td></td></tr> <tr><td>FL</td><td>FLOOR LEVEL</td><td>TCB</td><td>TOP OF CATCH BASIN</td></tr> <tr><td>FLG</td><td>FLASHING</td><td>T&G</td><td>TONGUE AND GROOVE</td></tr> <tr><td>FR</td><td>FLOOR</td><td></td><td></td></tr> <tr><td>FN</td><td>FIELD NAILING</td><td>THRU</td><td>THROUGH</td></tr> <tr><td>FOC</td><td>FACE OF CONCRETE</td><td>TMP</td><td>TEMPERED</td></tr> <tr><td>FOF</td><td>FACE OF FINISH</td><td>TP</td><td>TOP OF PAVING</td></tr> <tr><td>FOM</td><td>FACE OF MASONRY</td><td>TW</td><td>TOP OF WALL</td></tr> <tr><td>FOP</td><td>FACE OF PLYWOOD</td><td>TYP</td><td>TYPICAL ITEMS</td></tr> <tr><td>FOS</td><td>FACE OF STUD</td><td></td><td></td></tr> <tr><td>FR</td><td>FRENCH DOOR</td><td></td><td></td></tr> <tr><td>FT</td><td>FOOT OR FEET</td><td></td><td></td></tr> <tr><td>FX</td><td>FIXED</td><td>LINO</td><td>LINOLEUM</td></tr> <tr><td>GA</td><td>GAUGE</td><td></td><td></td></tr> <tr><td>GALV</td><td>GAUVANIZED</td><td>UV</td><td>ULTRAVIOLET BLOCKING GLASS</td></tr> <tr><td>GYP</td><td>GYPNUM</td><td>VCT</td><td>VINYL COMPOSITION TILE</td></tr> <tr><td>HB</td><td>HOSE BIBB</td><td></td><td></td></tr> <tr><td>HCV</td><td>HOLLOW CORE WOOD</td><td>VERT</td><td>VERTICAL</td></tr> <tr><td>HM</td><td>HOLLOW METAL</td><td>VGDF</td><td>VERTICAL GRAIN</td></tr> <tr><td>HP</td><td>HORSE POWER</td><td></td><td></td></tr> <tr><td>HR</td><td>HOUR</td><td>VTR</td><td>VENT THRU ROOF</td></tr> <tr><td>HTR</td><td>HEATER</td><td>W</td><td>WEST</td></tr> <tr><td>HWAC</td><td>HEATING/VENTILATION/AIR CONDITIONING</td><td>WC</td><td>WATER CLOSET</td></tr> <tr><td></td><td></td><td>WD</td><td>WOOD</td></tr> <tr><td></td><td></td><td>WH</td><td>WATER HEATER</td></tr> <tr><td></td><td></td><td>WP</td><td>WATERPROOF</td></tr> <tr><td>HWIRI</td><td>HOT WATER RETURN</td><td>WS</td><td>WOOD SCREW</td></tr> <tr><td>INV</td><td>INVERT</td><td>WV</td><td>WELDED WIRE FABRIC</td></tr> <tr><td>LAG</td><td>LAMINATED GLASS</td><td>WV</td><td>WITH</td></tr> <tr><td>LAM</td><td>LAMINATE</td><td>W/O</td><td>WITHOUT</td></tr> <tr><td>LB</td><td>LAG BOLT</td><td></td><td></td></tr> </table>	@	AT	LT	LIGHT	d	FENNY	MAS	MASONRY	Ø	ROUND	MATL	MATERIAL	AB	ANCHOR BOLT	MAX	MAXIMUM	AC	ASPHALTIC CONCRETE	MB	MACHINE BOLT	A/C	AIR CONDITIONING	MECH	MECHANICAL	AL	ALUMINUM	MEMB	MEMBRANE	AD	ANODIZED	MET	METAL	AW	AWNING	MFR	MANUFACTURER	BD	BOARD	MIN	MINIMUM	BF	BIFOLD	MISC	MISCELLANEOUS	BLDG	BUILDING	N	NORTH	BK(G)	BLOCKING(S)	NJ	NEW	BM	BEAM	NIC	NOT IN CONTRACT	BN	BOUNDARY NAILING	NO OR	NUMBER	BOT	BOTTOM	#		CB	CATCH BASIN	NTS	NOT TO SCALE	CI	CAST IRON	OC	ON CENTER	CJ	CEILING JOIST	OH	OVAL HEAD OR OVER HEAD	CLG	CEILING			CL	CLOSET	OPNG	OPENING	CLR	CLEAR	PERF	PERFORATED	CMU	CONCRETE MASONRY UNIT	PF	PRE FINISHED			PL	PLATE OR PROPERTY LINE	CO	CLEAN OUT			COL	COLUMN	PLAM	PLASTIC LAMINATE	CONN	CONNECTION	PLAS	PLASTER	CONT	CONTINUOUS	PLYWD	PLYWOOD	CS	CASEMENT	PVTR	PERIMETER	CSK	COUNTERSINK	PT	PAINT	DF	DOUGLAS FIR	PR	PAIR	DH	DOUBLE HUNG	PTDF	PRESSURE TREATED	DIA	DIAMETER			DN	DOWN	RD	ROOF DRAIN	DS	DOWNSPOUT	RH	ROUND HEAD	DWG	DRAWING	RM	ROOM	E	EAST	RO	ROUGH OPENING	(E)	EXISTING	RWD	REDWOOD	EA	EACH	SCHED	SCHEDULED	EJ	EXPANSION JOINT	SCW	SOLID CORE WOOD	ELEV	ELEVATION	S	SOUTH	EN	EDGE NAIL	SF	SQUARE FEET	EQ	EQUAL	SH	SINGLE HUNG	EQUIP	EQUIPMENT	SHT	SHEET	FAU	FORCED AIR UNIT	SHT'G	SHEATHING	FBO	FURNISHED BY OWNER OR OTHERS, TO BE INSTALLED BY CONTRACTOR	SIM	SIMILAR			RE:	RE: THE ARCH SHEET	FD	FLOOR DRAIN	STRUC	STRUCTURAL	FE(C)	FIRE EXTINGUISHER (& CABINET)	SPEC	SPECIFICATION			SQ	SQUARE			S/S	STAINLESS STEEL			ST	STAIN	FF	FINISHED FLOOR	STD	STANDARD	FG	FINISHED GRADE	STL	STEEL	FH	FLAT HEAD	TC	TOP OF CURB OR TOP OF CONCRETE	FIN	FINISH			FL	FLOOR LEVEL	TCB	TOP OF CATCH BASIN	FLG	FLASHING	T&G	TONGUE AND GROOVE	FR	FLOOR			FN	FIELD NAILING	THRU	THROUGH	FOC	FACE OF CONCRETE	TMP	TEMPERED	FOF	FACE OF FINISH	TP	TOP OF PAVING	FOM	FACE OF MASONRY	TW	TOP OF WALL	FOP	FACE OF PLYWOOD	TYP	TYPICAL ITEMS	FOS	FACE OF STUD			FR	FRENCH DOOR			FT	FOOT OR 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ALL WORK, MATERIAL, METHODS, ETC. SHALL CONFORM TO ALL GOVERNING BUILDING CODES AND REGULATIONS CURRENTLY IN EFFECT.</p> <p>2. THE "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION" AIA DOCUMENT A201, LATEST VERSION, SHALL BE PART OF THESE PLANS AND SPECIFICATIONS.</p> <p>3. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE THAT ALL SAFETY LAWS ARE STRICTLY ENFORCED AND TO MAINTAIN A SAFE CONSTRUCTION PROJECT. INSTALL TEMPORARY BRACING AND SHORING AS REQUIRED TO GUARANTEE THE SAFETY OF THE WORK UNTIL IT IS IN ITS COMPLETED FORM.</p> <p>4. THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES OR INCONSISTENCIES DISCOVERED IN THE DRAWINGS AND/OR SPECIFICATIONS. IN THE EVENT OF DISCREPANCIES BETWEEN ANY DRAWINGS AND/OR SPECIFICATIONS, THE COSTIER OR MORE RESTRICTIVE CONDITION SHALL BE DEEMED THE CONTRACT REQUIREMENT, UNLESS OTHERWISE APPROVED IN WRITING BY THE ARCHITECT.</p> <p>5. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION BETWEEN ALL SUB-CONTRACTORS.</p> <p>6. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL UNDERGROUND UTILITIES.</p> <p>7. THE CONTRACTOR AND SUBCONTRACTORS SHALL VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH ALL EXISTING CONDITIONS PRIOR TO BID. ON SITE VERIFICATION OF ALL (E) DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND/OR SUB-CONTRACTOR.</p> <p>8. GENERAL NOTES AND TYPICAL DETAILS SHALL APPLY TO ALL PARTS OF THE JOB, EXCEPT WHERE THEY MAY CONFLICT WITH SPECIFIC DETAILS AND NOTES. WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED AND TYPICAL DETAILS DO NOT APPLY, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY.</p> <p>9. ALL DIMENSIONS TYPICALLY TO FACE TO STUD (F.O.S.) UNLESS NOTED OTHERWISE. ALL OPENINGS DIMENSIONED TO CENTERLINE OF OPENING. PLYWOOD AT EXTERIOR WALLS SHALL ALIGN WITH FACE OF CONCRETE FOOTING. "FINISHED FLOOR" INDICATES TOP OF STRUCTURAL CONCRETE SLAB OR PLYWOOD DECK.</p> <p>10. NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALE. LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER SCALE.</p> <p>11. CARPENTRY SHALL BE IN ACCORDANCE WITH CHAPTER 23, U.B.C.</p> <p>12. ALL COVER PLATES, GRILLS, AND EXPOSED ELECTRICAL FITTINGS TO BE WHITE, UNLESS NOTED OTHERWISE.</p> <p>13. ALL PENETRATIONS OF 1-HOUR FIRE RESISTIVE CONSTRUCTION SHALL BE PROTECTED WITH APPROVED FIRE ASSEMBLIES.</p> <p>14. THE GENERAL CONTRACTOR SHALL PROVIDE ALL NECESSARY CEILING, BASEMENT, UNDERFLOOR OR WALL ACCESS PANELS AS REQUIRED BY GOVERNING AGENCIES FOR VENTILATION, CRAWLSPACE AND ATTIC ACCESS, AIR CONDITIONING, PLUMBING, FIRE SPRINKLER AND ELECTRICAL SYSTEMS. PROVIDE RATED ASSEMBLIES WHERE REQUIRED.</p> <p>15. ARCHITECT IS NOT RESPONSIBLE FOR MOLD ENCOUNTERED DURING OR AFTER CONSTRUCTION. MOLD & MILDEW OCCURS NATURALLY IN THE ENVIRONMENT. CONTRACTOR TO PROVIDE PROPER VENTILATION, PROPERLY DRIED WOOD, VAPOR BARRIERS, AS WELL AS MATERIALS THAT "BREATHE" TO AVOID MOLD FROM OCCURRING. NOTIFY ARCHITECT OF ANY DISCREPANCIES OR CONDITIONS IN PLANS THAT COULD LEAD TO MOLD OCCURANCE PRIOR TO CONSTRUCTION.</p> <p>COMMERCIAL JOBS ONLY:</p> <p>16. HANDICAPPED ACCESSIBILITY: THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE THE STANDARD USED TO IDENTIFY FACILITIES THAT ARE ACCESSIBLE TO AND USABLE BY PHYSICALLY DISABLED PERSONS AS SET FORTH IN TITLE 24 CAC AND ADA TITLE III STANDARDS. THE SYMBOL SPECIFIED SHALL CONSIST OF A WHITE FIGURE ON A BLUE BACKGROUND. THE BLUE SHALL BE EQUAL TO COLOR NO. 15090 IN FED. STANDARD 595A.</p> <p>THE CENTER OF RECEPTACLE OUTLETS SHALL BE NOT LESS THAN 15" ABOVE THE FLOOR OR WORKING PLATFORMS. ALL LIGHT SWITCHES AND THERMOSTATS SHALL BE MOUNTED NO MORE THAN 48" ABOVE FINISHED FLOOR ELEVATION.</p> <p>ALL RAMPS SHALL HAVE A MEDIUM BROOM FINISH UNLESS NOTED OTHERWISE ON PLANS.</p> <p>17. REFER TO FORM MF-1 ON SHEET A9.1 FOR ALL REQUIREMENTS RELATED TO ENERGY COMPLIANCE.</p> <p>CITY OF SANTA BARBARA WITH PLANNING COMMISSION APPROVAL ONLY:</p> <p>18. PLANNING CONDITIONS: CONTRACTOR SHALL COMPLY WITH THE PLANNING DEPARTMENT CONDITIONS OF APPROVAL DATED XX/XX/XX, ON SHEET A9.2. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FAMILIARIZE HIMSELF WITH THESE CONDITIONS AND TO FULLY COMPLY WITH ALL REQUIREMENTS.</p> <p>REMODELS:</p> <p>19. ALL NEW CONSTRUCTION DETAILS SHALL MATCH EXISTING CONDITIONS TO THE GREATEST EXTENT POSSIBLE.</p> <p>SANTA BARBARA COUNTY:</p> <p>20. TOILETS SHALL HAVE A MAXIMUM OF 1.6 GALLONS PER FLUSH. SHOWER HEAD FLOW SHALL NOT EXCEED 2.5 GALLONS PER MINUTE.</p> <p>21. FIRESTOPPING SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS:</p> <p>A. CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING/FLOOR LEVELS AND AT 10 FOOT INTERVALS ALONG THE LENGTH OF THE WALL.</p> <p>B. INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS.</p> <p>C. CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN AND BETWEEN STUDS ALONG AND IN LINE WITH THE RUN OF THE STAIRS. U.B.C. SEC. 708.2.1 (3)</p> <p>22. ALL EXTERIOR OPENINGS TO BE FLASHED IN A MANNER TO MAKE THEM WEATHERPROOF. U.B.C. SEC. 1402</p>	<p>PROPERTY OWNERS: CHRISTIAN BONILLO & ANA LA TORRE</p> <p>PROJECT ADDRESS: 849 CHELTENHAM ROAD SANTA BARBARA, CA 93105</p> <p>A.P.N.: 023-172-001</p> <p>HIGH FIRE ZONE? YES FLOOD ZONE? NO AVG. SLOPE %</p> <p>LAND USE ZONE: 7R-1 (MISSION CANYON SPECIFIC PLAN) SETBACKS: FRONT/REAR/INTERIOR: 35'0"</p> <p>HEIGHT LIMIT: GENERAL PLAN DESIGNATION:</p> <p>LOT AREA: GROSS: 7,928 SF 0.18 ACRES NET: 7,928 SF 0.18 ACRES</p> <p>PROPOSED RESIDENCE: GROSS: NET: MAIN FLOOR 1,374 SF 1,369 SF LOWER FLOOR 1,166 SF 969 SF PATIO/LANAI 367 SF 0 SF TOTAL: 2,907 SF 2,338 SF</p> <p>PARKING: ATTACHED 2-CAR GARAGE 539 SF 500 SF</p> <p>SITE STATISTICS: BUILDING FOOTPRINT 1,933 SF 24.4 % TRELLIS 211 SF 2.7 % LANDSCAPING 3,706 SF 46.7 % PAVED AREAS 2,028 SF 26.2 % TOTAL: 7,928 SF 100.0 %</p> <p>PROPOSED GRADING CUT: SEE SHEET GP1 FOR DEMO AND GRADING</p> <p>FIRE DEPARTMENT FIRE SPRINKLERS REQUIRED</p>	<p>ARCHITECT: CEARNAL ANDRULAITIS, LP 521 1/2 STATE STREET SANTA BARBARA, CA 93101 (805) 963-8077 FAX 963-0684</p> <p>CIVIL ENGINEER: MICHAEL J. GERENSER 5255 CALLE CRISTOBAL SANTA BARBARA, CA 93101 (805) 618-9500 FAX 618-9500</p> <p>LANDSCAPE ARCHITECT: COURTNEY JANE MILLER 300 EAST CANON PERDIDO STREET, SUITE C-2 SANTA BARBARA, CA 93101 (805) 698-2120</p>	<p>ARCHITECTURAL</p> <p>G-000 TITLE SHEET/TABULATIONS A-001 AERIAL PHOTO A-002 ENLARGED AERIAL PHOTO A-101 SITE PLAN/FIRST FLOOR & LOWER LEVEL PLAN A-201 EXTERIOR ELEVATIONS A-202 EXTERIOR ELEVATIONS/ SECTION</p> <p>CIVIL</p> <p>GP1 PRELIMINARY GRADING & DRAINAGE PLAN GP2 SITE SECTION & NOTES</p> <p>LANDSCAPE</p> <p>LO PRELIMINARY LANDSCAPE PLAN</p>
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<p>PROJECT DESCRIPTION</p> <p>CONSTRUCT A TWO STORY SINGLE FAMILY HOME WITH A 2-CAR ATTACHED GARAGE, 3-BEDROOMS AND 3 BATHROOMS.</p>																																																																																																																																																																																																																																																																																																																																																												
<p>JOB NUMBER: 14-042</p> <p>CONTENTS: TITLE SHEET/ TABULATIONS</p> <p>DRAWN BY: MM</p> <p>CHECKED BY:</p> <p>CEARNAL ANDRULAITIS LP expressly reserves their common law copyright and other property rights in these plans. These plans are not to be reproduced, changed, or copied in any form or manner whatsoever, nor are they to be assigned to a third party without first obtaining the written permission and consent of Cearnal Andrulaitis LP. In the event of unauthorized reuse of these plans by a third party, the third party shall hold Cearnal Andrulaitis LP harmless.</p> <p>SUBMITTALS</p> <table border="1"> <tr><th>DATE</th><th>TYPE</th></tr> <tr><td>02.13.15</td><td>SBAR</td></tr> <tr><td>09.02.15</td><td>PC</td></tr> </table> <p>ISSUE DATE: 08.20.15</p> <p>REVISIONS</p> <table border="1"> <tr><th>NO.</th><th>DATE</th><th>TYPE</th></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </table> <p>G-000</p> <p>SHEET OF</p>					DATE	TYPE	02.13.15	SBAR	09.02.15	PC	NO.	DATE	TYPE																																																																																																																																																																																																																																																																																																																																															
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CEARNAL
ANDRULAITIS
ARCHITECTURE
INTERIOR DESIGN

521 1/2 STATE STREET
SANTA BARBARA
CALIFORNIA 93101
P: 805.963.8077
F: 805.963.0884
www.cearnal.com

Proposed project for:
849 Cheltenham Road
Santa Barbara, CA 93105

JOB NUMBER: 14-042

CONTENTS:
AERIAL PHOTO

DRAWN BY: MM

CHECKED BY:

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SUBMITTALS

DATE	TYPE
02.13.15	SBAR
09.02.15	PC

ISSUE DATE: 08.20.15

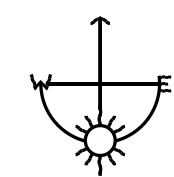
REVISIONS

NO.	DATE	TYPE

A-001

SHEET OF

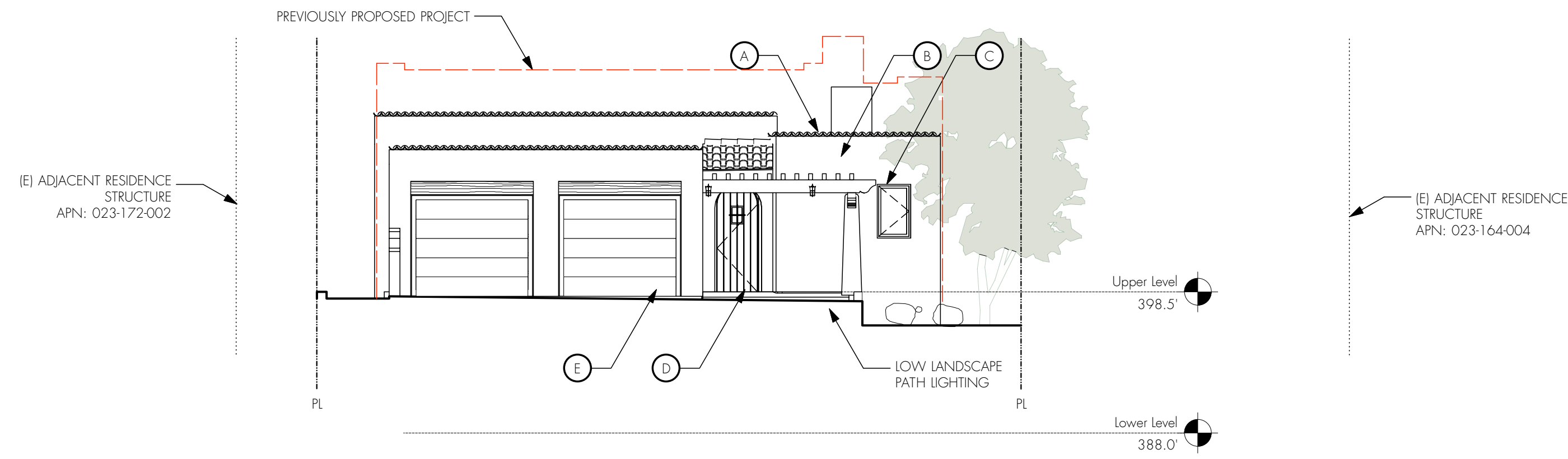
1 AERIAL PHOTO
Scale: 1" = 40 ft





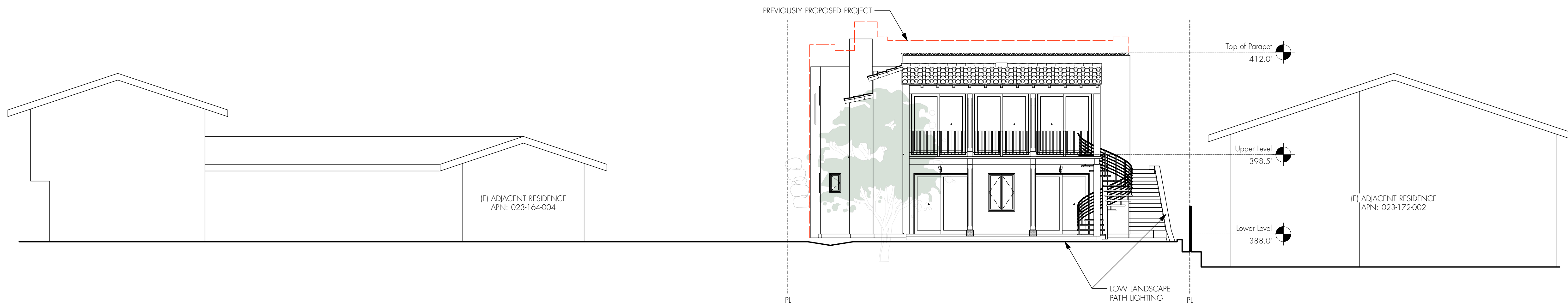
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CALIFORNIA 93101
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www.cearnal.com

Proposed project for:
849 Cheltenham Road
Santa Barbara, CA 93105



North Elevation

Scale: 1/8" = 1'-0"



South Elevation

Scale: 1/8" = 1'-0"

TYPICAL FINISHES & COLORS

- ROOF: (A) Two-Piece Clay Tile: Redlands Tierra Antigua Blend, 4000 Series
- EXT. WALLS: (B) 3-Coat Cement Smooth Trowel Plaster: Frazee-CLC1250M
- WINDOWS: (C) Alum. Clad: Eagle - Sage
- ENTRY DOOR: (D) Wood, Stained: Frazee-M413
- GARAGE DOOR: (E) Wood, Stained: Frazee-M413
- EXTERIOR DOOR: (F) Alum. Clad: Eagle - Sage
- WROUGHT IRON: (G) N/A
- WOOD BRACKETS/RAILINGS: (H) Solid Body Stain
- AWNING: (I) N/A
- LIGHT FIXTURE: (J) TBD

JOB NUMBER: 14-042

CONTENTS:
EXTERIOR ELEVATIONS

DRAWN BY: MM

CHECKED BY:

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09.02.15	PC

ISSUE DATE: 08.20.15

REVISIONS

NO.	DATE	TYPE

A-201

SHEET OF



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INTERIOR DESIGN
521 1/2 STATE STREET
SANTA BARBARA
CALIFORNIA 93101
P: 805.963.8077
F: 805.963.0884
www.cearnal.com

Proposed project for:
849 Cheltenham Road
Santa Barbara, CA 93105

JOB NUMBER: 14-042

CONTENTS:
EXTERIOR ELEVATIONS

DRAWN BY: MM

CHECKED BY:

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SUBMITTALS

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09.02.15	PC

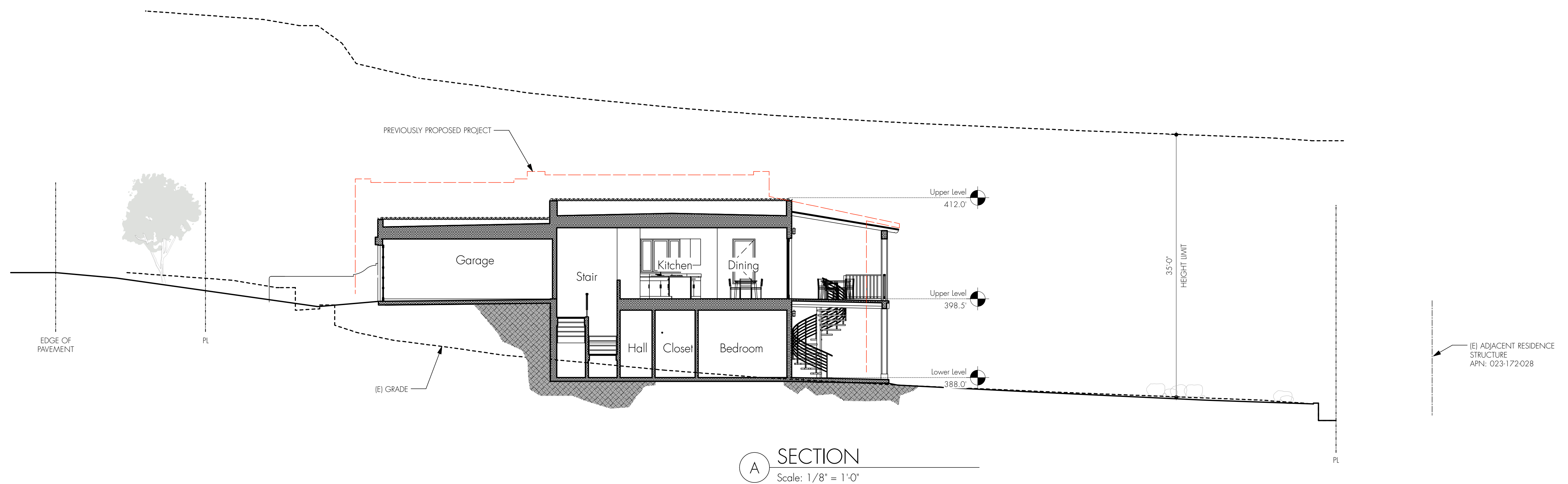
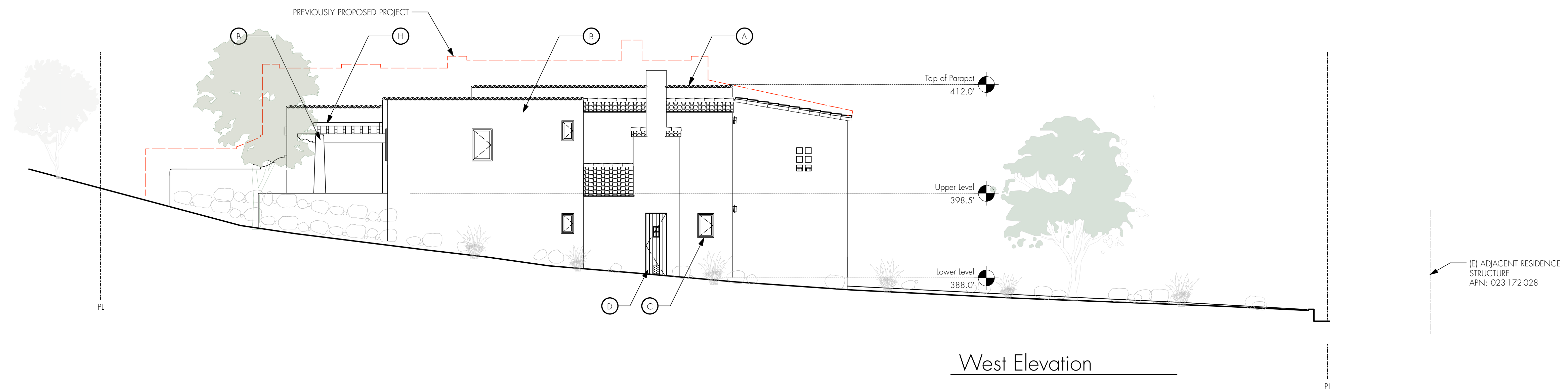
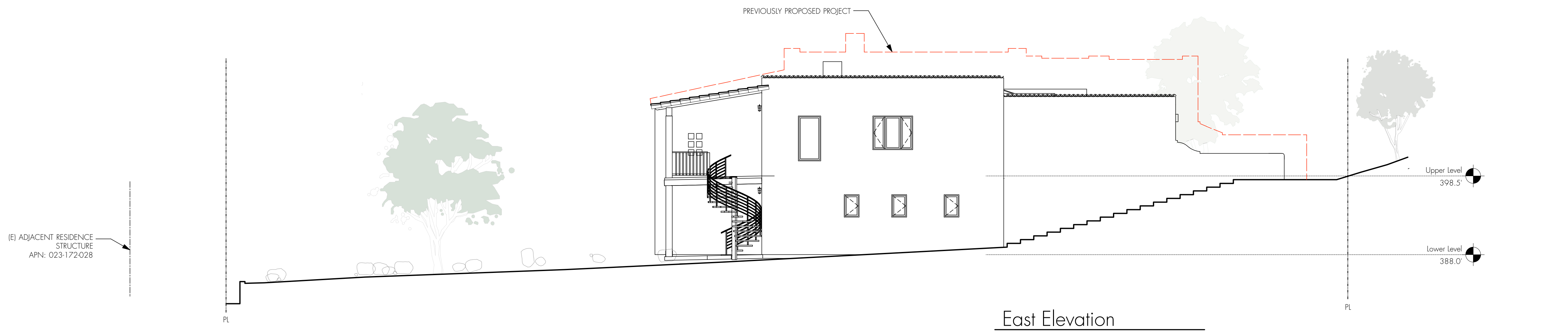
ISSUE DATE: 08.20.15

REVISIONS

NO.	DATE	TYPE

A-202

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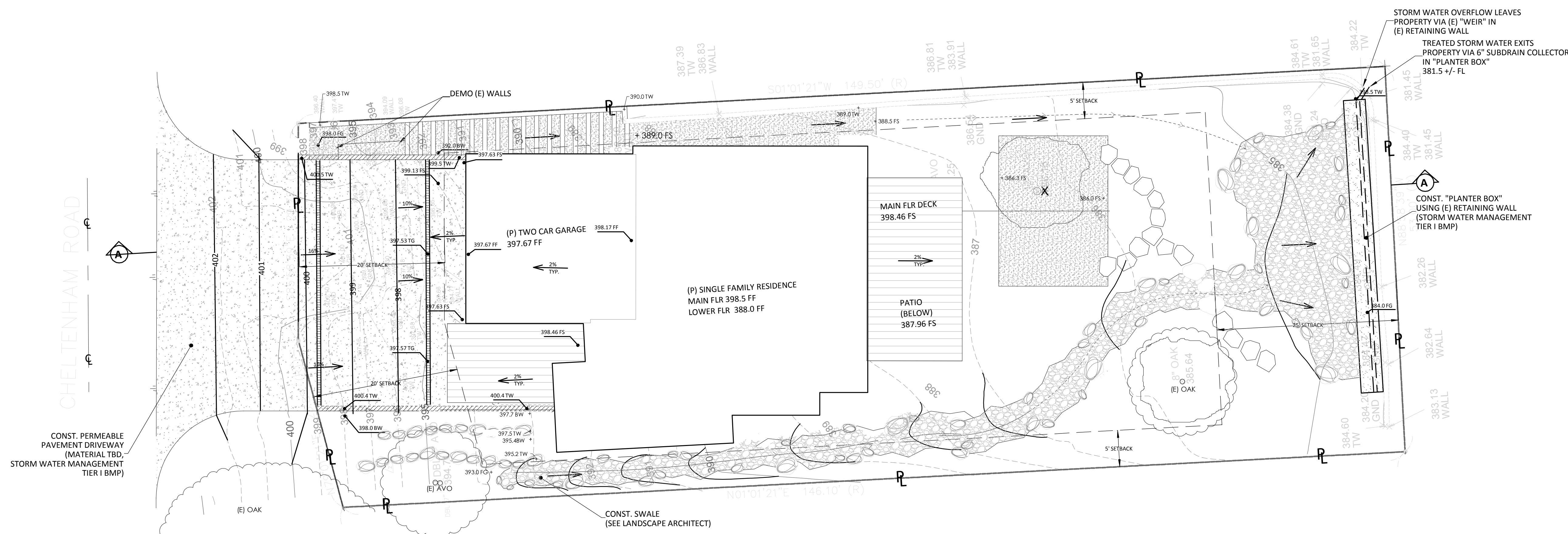




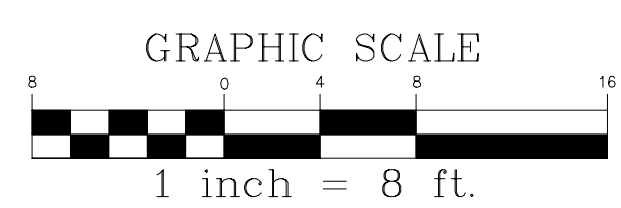
VICINITY MAP
NOT TO SCALE

LEGEND	
CMP	CORRUGATED METAL PIPE
DI	DROP INLET
INV	INVERT
AVO	AVOCADO
CIT	CITRUS
DBL	DOUBLE
TRPL	TRIPLE
RCP	REINFORCED CONCRETE PIPE
CHLF	CHAIN LINK FENCE
GND	GROUND
TW	TOP OF WALL
FL	FLOW LINE
●	FOUND MONUMENT
○	NO FOUND MONUMENT
ⓐ	BORING LOCATION

CONTOUR LEGEND:	
	= (E) MAJOR CONTOUR, 5' INTERVALS
	= (E) MINOR CONTOUR, 1' INTERVALS
	= (P) FINISH CONTOUR



PRELIMINARY PLANS
NOT FOR CONSTRUCTION



NOTE: IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT UNDERGROUND SERVICES ALERT (1-800-227-2600) TO LOCATE ALL UTILITIES PRIOR TO ANY EXCAVATION.

NOTE: TOPOGRAPHIC AND/OR BOUNDARY SURVEYS BY OTHERS. NO RESPONSIBILITY IS ASSUMED BY ENGINEER FOR ACCURACY, PRECISION, OR COMPLETENESS OF SURVEY(S).

PRELIMINARY GRADING & DRAINAGE PLAN

SCALE: 1/8" = 1'-0"



PRELIMINARY GRADING AND DRAINAGE PLAN	
FOR: 849 CHELTENHAM SANTA BARBARA, CALIFORNIA	
SCALE: AS SHOWN	DRAWN BY: MJG
DATE: 10/17/14	REVISED: 1/29/15, 2/13/15, 8/16/15
MICHAEL J. GERENSER CIVIL ENGINEER 5255 Calle Cristobal, Santa Barbara, CA 93111 (805) 681-9500 office/fax	
SHEET 1 OF 2 SHEETS	DRAWING NUMBER: GP1

GENERAL REQUIREMENTS OF CONTRACTOR

1. Contractor shall maintain a complete and accurate record of all changes of construction from that shown on these plans and specifications for the purpose of providing a basis for construction record drawings. No change shall be made without prior approval by the engineer and the agency having jurisdiction.
2. Upon completion of the project, contractor shall deliver this record of all construction changes to the engineer along with a letter which declares that other than these noted changes "the project was constructed in conformance with the approved plans and specifications."
3. Contractor shall promptly notify the engineer upon discovery of, and before disturbing, any physical conditions differing from those represented by approved plans and specifications.
4. Contractor agrees that, in accordance with generally accepted construction practices, contractor will be required to assume sole and complete responsibility for job site conditions during the course of construction of this project including safety of all persons and property, that this requirement shall be made to apply continuously and not be limited to normal working hours. And contractor further agrees to defend, indemnify and hold design professionals harmless from all liability and claims, real or alleged, in connection with the performance of work on this project, excepting liability arising from the sole negligence of design professionals.
5. Grading or other construction work offsite is not permitted without prior written permission of the affected offsite property owner.
6. Contractor agrees to assume sole and complete responsibility for protection of public and private property in the vicinity of the job site and further agrees to, at contractor's expense, repair or replace to original condition all existing improvements within or in the vicinity of the job site which are not designated for removal and which are damaged or removed as a result of contractor's operations which may affect or be affected by his operations.
7. An effort has been made to define the location of existing underground facilities within the job site. However, all existing utility and other underground structures may not be shown on these plans and their location, where shown, is approximate. It shall be contractor's responsibility to determine the location and depth of all existing underground facilities including service connections which may affect or be affected by his operations. Upon learning of the existence and location of any underground facilities not shown or shown inaccurately on these plans or not properly marked by the utility owner, contractor shall immediately notify the utility owner and the engineer.

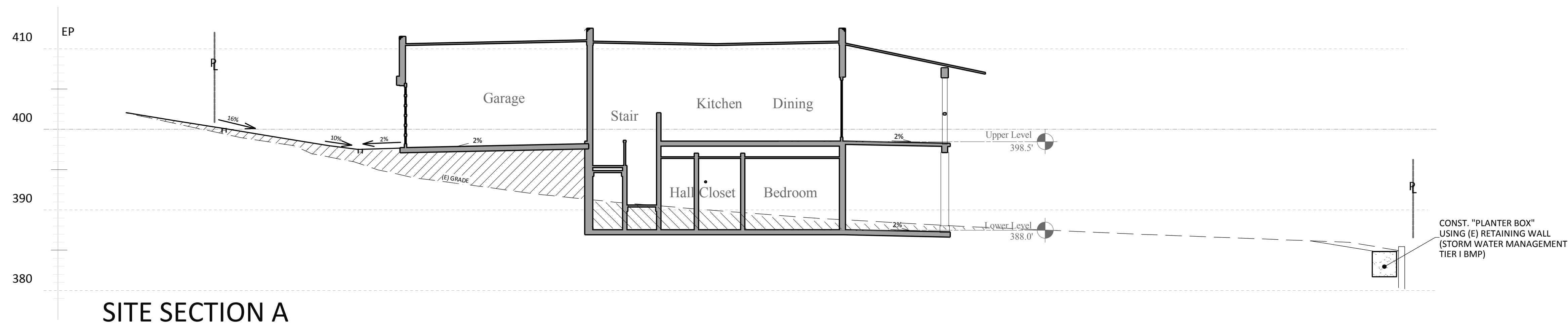
**SANTA BARBARA COUNTY BUILDING & SAFETY DIVISION
GRADING NOTES**

1. All grading shall conform with Santa Barbara County Code Chapter 14 Grading Ordinance #4477 and standards and requirements pertaining thereto, these construction drawings and the recommendations of the soils engineer and engineering geologist.
2. Contractor to notify the county grading inspector and soils laboratory at least 48 hours before start of grading work or any pre-construction meeting.
3. Contractor shall employ all labor, equipment and methods required to prevent his operations from producing dust in amounts damaging to adjacent property, cultivated vegetation and domestic animals or causing a nuisance to persons occupying buildings in the vicinity of the job site. Contractor shall be responsible for damage caused by dust from his grading operation.
4. Before beginning work requiring exporting or importing of materials, the contractor shall obtain approval from Public Works Road Division for haul routes used and methods provided to minimize the deposit of soils on county roads. Grading/road inspectors shall monitor this requirement with the contractor.
5. The geotechnical engineer shall provide observation and testing during grading operations in the field and shall submit a final report stating that all earth work was properly completed and is in substantial conformance with the requirements of the grading ordinance.
6. Areas to be graded shall be cleared of all vegetation including roots and other unsuitable material for a structural fill, then scarified to a depth of 6" prior to placing of any fill. Call grading inspector for initial inspection.
7. A thorough search shall be made for all abandoned man-made facilities such as septic tank systems, fuel or water storage tanks, and pipelines or conduits. Any such facilities encountered shall be removed and the depression properly filled and compacted under observation of the geotechnical engineer.
8. Areas with existing slopes which are to receive fill material shall be keyed and benched. The design and installation of the keyway shall be per the geotechnical engineer's recommendation or per County Standard Detail No. G-13.
9. Fill material shall be spread in lifts not exceeding 6" in compacted thickness, moistened or dried as necessary to near optimum moisture content and compacted by an approved method. Fill material shall be compacted to a minimum of 90% maximum density as determined by 1957 ASTM D - 1557 - 91 modified proctor (AASHTO) test or similar approved methods. Some fill areas may require compaction to a greater density if called for in the construction documents. Soil tests shall be conducted at not less than one test for each 18" of fill and/or for each 500 cubic yards of fill placed.
10. Cut slopes shall not exceed a grade of 1 1/2 horizontal to 1 vertical. Fill and combination fill and cut slopes shall not exceed 2 horizontal to 1 vertical. Slopes over three feet in vertical height shall be planted with approved perennial or treated with equally approved erosion control measures prior to final inspection.
11. Surface drainage shall be provided at a minimum of 5% for 10 feet away from the foundation line or any structure.
12. All trees that are to remain on site shall be temporarily fenced and protected around the dripline during grading operation.
13. An erosion and sediment control plan shall be required as part of the grading plan and permit requirements.

Earthwork estimates

Excavation: **130** cubic yards
 Import: **120** cubic yards
 Export: **130** cubic yards
 Fill: **120** cubic yards

NOTE: PER SOILS REPORT, SOILS EXCAVATED ON-SITE ARE UNLIKELY TO SUITABLE FOR RE-USE AS STRUCTURAL FILL.



SITE SECTION A

SCALE: 1/8" = 1'-0" HORIZ. & VERT.

LEGEND:

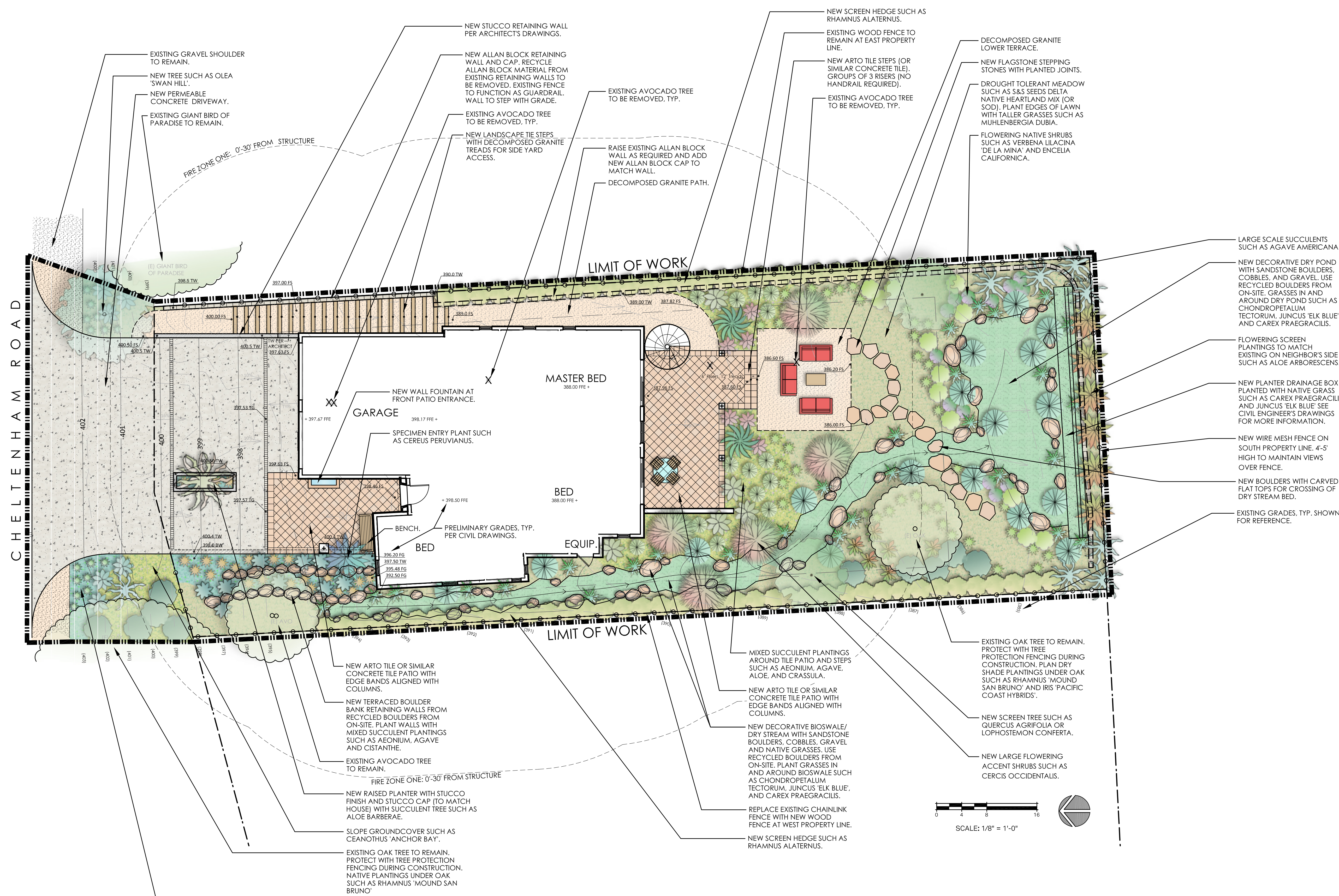
- FILL
- CUT

SITE SECTION & NOTES

PRELIMINARY PLANS
NOT FOR CONSTRUCTION



PRELIMINARY GRADING AND DRAINAGE PLAN	
FOR: 849 CHELTENHAM SANTA BARBARA, CALIFORNIA	
SCALE: AS SHOWN	DRAWN BY: MJG
DATE: 10/17/14	REVISED: 1/29/15, 2/13/15, 4/16/15
MICHAEL J. GERENSER, CIVIL ENGINEER 5255 Calle Cristobal, Santa Barbara, CA 93111 (805) 681-9500 office/fax	
SHEET 2 OF 2 SHEETS	DRAWING NUMBER: GP2



PRELIMINARY PLAN - PLANT LIST

BOTANICAL NAME	COMMON NAME	SIZE	REMARKS	WUCOLS
TREES:				
ALOE BARBERAE	TREE ALOE	15 GAL	MULTI	L
CITRUS SPECIES (DWARF SPECIES)		15 GAL		M
DRACAENA DRACO	DRAGON TREE	15 GAL	MULTI	L
LOPHOSTEMON CONFERTA	BRISBANE BOX	15 GAL		M
QUERCUS AGRIFOLIA	COAST LIVE OAK	15 GAL	MULTI	L
OLEA EUROPAEA 'SWAN HILL'	FRUITLESS OLIVE	15 GAL	MULTI	L
SHRUBS, PERENNIALS AND GROUNDCOVER:				
ACHILLEA 'MOONSHINE'	MOONSHINE YARROW	1 GAL		L
AEONIUM SPECIES	SAUCER PLANT	1 GAL		L
AGAVE SPECIES	CENTURY PLANT	1 GAL, 5 GAL		L
ALOE SPECIES	ALOE	1 GAL		L
ARCTOSTAPHYLOS 'JOHN DOURLEY'	MANZANITA	1 GAL		L
ASTERISCUS MARTIMUS	GOLD COIN DAISY	1 GAL		L
CAREX SPECIES	SEDGE	4" POT		M
CARISSA 'TUTTLE'	NATAL PLUM	5 GAL		L
CEANOETHUS 'ANCHOR BAY'	BAY CEANOETHUS	1 GAL		L
CEREUS SPECIES	CEREUS CACTUS	15 GAL		L
CHONDROPETALUM TECTORUM	SMALL CAPE RUSH	1 GAL		L
CERCIS OCCIDENTALIS	WESTERN REDBUD	15 GAL		L
CISTANTHE 'JAZZ TIME'	ROCK PURSLANE	1 GAL		L
CRASSULA 'BLUE BIRD'	BLUE JADE	1 GAL		L
CYCAS REVOLUTA	SAGO PALM	5 GAL		M
DIANELLA SPECIES	TASMAN FLAX LILY	1 GAL		M
DYMONDIA MARGARETAE	SILVER CARPET	FLATS		L
ECHEVERIA SPECIES	HEN AND CHICKS	1 GAL		L
ENCELLA CALIFORNICA	COAST SUNFLOWER	1 GAL		L
ERIOGONUM G.V. RUBESCENS	ISLAND BUCKWHEAT	1 GAL		L
IRIS 'PACIFIC COAST HYBRIDS'	PCH HYBRID IRIS	1 GAL		L
OLEA 'LITTLE OLLIE'	DWARF OLIVE	5 GAL		L
JUNCUS 'ELK BLUE'	BLUE RUSH	1 GAL		L
KNIPHOFIA SPECIES	TORCH LILY	1 GAL		L
LAMPFRANTHUS AUREUS	ORANGE ICEPLANT	4" POT		L
LAVANDULA ANGSTIFOLIA	ENGLISH LAVENDER	1 GAL		L
LOTUS MACULATA	GOLD FLASH	4" POT		M
OSMANTHUS FRAGRANS	SWEET OSMANTHUS	5 GAL		M
MUHLENBERGIA DUBIA	PINE MUHLY	1 GAL		L
MYOPORUM P. 'PUTAH CREEK'	CREeping MYOPORUM	1 GAL		L
PITOSPORUM 'GOLF BALL'	GOLF BALL KOHUIHU	5 GAL		M
RHAMNUS ALATERNUS	ITALIAN BUCKTHORN	5 GAL		L
RHAMNUS 'MOUND SAN BRUNO'	DWARF COFFEEBERRY	5 GAL		L
ROSMARINUS SPECIES	ROSEMARY	5 GAL		L
SEDUM SPECIES	STONECROP	4" POT		L
SENECIO SPECIES	BLUE CHALK STICKS	4" POT		L
TRICHOSTEMA LANATUM	WOOLLY BLUE CURLS	1 GAL		L
VERBENA LILACINA 'DE LA MINA'	ISLAND VERBENA	1 GAL		L
WOODWARDIA FIMBRIATA	GIANT CHAIN FERN	1 GAL		M

CLIENT SHALL RETAIN COPIES OF THE WORK PERFORMED BY LANDSCAPE ARCHITECT IN CAD FORM ONLY FOR INFORMATION AND USE BY CLIENT FOR THE SPECIFIC PURPOSE FOR WHICH LANDSCAPE ARCHITECT WAS ENGAGED. SHAD MATERIALS SHALL NOT BE USED BY CLIENT OR TRANSFERRED TO ANY OTHER PARTY FOR USE IN OTHER PROJECTS. ADDITIONS TO THE CURRENT PROJECT OR ANY OTHER PURPOSE FOR WHICH THE MATERIAL WAS NOT STRICTLY INTENDED BY LANDSCAPE ARCHITECT WITHOUT LANDSCAPE ARCHITECT'S EXPRESS WRITTEN PERMISSION. ANY UNAUTHORIZED MODIFICATION OR REUSE OF THE MATERIALS SHALL BE AT CLIENT'S SOLE RISK AND CLIENT AGREES TO DEFEND, INDEMNIFY AND HOLD LANDSCAPE ARCHITECT HARMLESS FROM ALL CLAIMS, INJURIES, DAMAGES, LOSSES, EXPENSES, AND ATTORNEY'S FEES ARISING OUT OF THE UNAUTHORIZED MODIFICATION OR USE OF THESE MATERIALS.

THE LANDSCAPE ARCHITECTURAL DOCUMENTS ARE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF THE LANDSCAPE ARCHITECT. THE DOCUMENTS ARE AVAILABLE TO THE CLIENT FOR USE ONLY ON THIS PROJECT DURING THE EXISTENCE OF THE CONTRACT. REUSE OF THE DOCUMENTS FOR PROJECTS NOT A PART OF THE CONTRACT REQUIRE THE EXPRESS AUTHORIZATION OF THE LANDSCAPE ARCHITECT.

PRELIMINARY PLAN - PLANTING AND DESIGN

CJM::LA STRIVES TO UPHOLD THE ARCHITECTURAL AND CULTURAL HERITAGE OF THE SANTA BARBARA COMMUNITY THROUGH THE DEVELOPMENT OF ENGAGING SPACES. OUR APPROACH RESPONDS TO CONTEXT, HISTORY AND OUTLOOK IN ORDER TO PROVIDE OUTDOOR SPACES WHICH QUIET THE MIND AND ACTIVATE THE SENSES. THE BUILT ENVIRONMENT IS PARAMOUNT IN REPRESENTING THE IDENTITY OF A COMMUNITY, AND WE SEEK TO PROVIDE RESPONSIBLE DESIGN THAT RESPECTS THE BALANCE OF PAST AND FUTURE. WE PRIDE OURSELVES IN DESIGN THAT IS UNIQUE AND SPECIFIC, ENDURING AND AUTHENTIC.

THIS PLAN ENGAGES BOTH SUSTAINABLE BUILDING PRACTICES AS WELL AS AESTHETIC AND FORWARD-THINKING DESIGN SOLUTIONS TO CREATE A UNIQUE ADDITION TO THE BUILT ENVIRONMENT.

- PEDESTRIAN, BICYCLE AND VEHICULAR CIRCULATION HAS BEEN STUDIED IN ORDER TO MAINTAIN APPROPRIATE CONNECTIVITY WITH THE SURROUNDING COMMUNITY, AS WELL AS WITHIN THE DEVELOPMENT.
- STORMWATER QUALITY WILL BE ADDRESSED WITH THE MOST APPROPRIATE BEST MANAGEMENT PRACTICES FOR THIS DEVELOPMENT.
- GREEN SCREENS WILL BE INCLUDED WHERE FEASIBLE.

EXISTING TREES ON SITE WILL BE PROTECTED TO THE MAXIMUM EXTENT FEASIBLE WITHIN THE PROJECT REQUIREMENTS.

THE PLANT PALETTE WILL BE MEDITERRANEAN IN CHARACTER AND SUITABLE TO THE SANTA BARBARA REGIONAL CLIMATE. PLANT MATERIAL WILL BE LOW-WATER AND LOW-MAINTENANCE. ONLY ORGANIC FERTILIZERS AND SOIL AMENDMENTS WILL BE USED.

COMMON AREA IRRIGATION WILL INCLUDE A COMBINATION OF LOW-VOLUME SPRAY HEADS, BUBBLERS AND DRIP SYSTEMS AS APPLICABLE. ALL IRRIGATION WILL BE CONTROLLED BY AN AUTOMATIC TIMER WITH A SEASONAL ADJUSTMENT CAPACITY TO APPLY LESS WATER DURING THE RAINY SEASON. POTS WILL BE HAND-WATERED OR WILL INCLUDE SELF-WATERING SYSTEMS.

PRELIMINARY PLAN - EXISTING TREE NOTES

CJM::LA STRIVES TO PROTECT EXISTING TREES ON SITE TO THE MAXIMUM EXTENT FEASIBLE WITHIN THE PROJECT REQUIREMENTS.

MANY FACTORS ARE REVIEWED IN EVALUATING THE APPROPRIATENESS OF PROTECTING-IN-PLACE, RELOCATING, OR REMOVING EXISTING TREES AT EACH PROJECT SITE. IN GENERAL, THE FOLLOWING PARAMETERS ARE CONSIDERED:

- HEALTH AND LONG-TERM VIABILITY OF EXISTING TREES IS ASSESSED EITHER BY A REPRESENTATIVE OF CJM::LA OR BY THE PROJECT ARBORIST.
- LOCATION OF EXISTING TREES IN RELATIONSHIP TO PROPOSED PROJECT ELEMENTS SUCH AS BUILDINGS, HARDSCAPE AND LANDSCAPE AMENITIES IS REVIEWED IN DEPTH.
- APPROPRIATENESS OF EXISTING TREE SPECIES IN RELATIONSHIP TO PROJECT DESIGN AND ARCHITECTURAL STYLES IS CONSIDERED.
- VALUE OF EXISTING TREES RELATED TO BIOLOGICAL HABITAT IS REVIEWED.
- VISUAL AND AESTHETIC VALUE IS ASSESSED IN RELATIONSHIP TO NEIGHBORHOOD OR SITE CONTEXT.
- HISTORIC VALUE IS REVIEWED, AND SPECIMEN TREES ARE NOTED.

THE FOLLOWING TREES REQUIRE SPECIFIC REVIEW AND ADDITIONAL REQUIREMENTS PER THE CITY OF SANTA BARBARA:

STREET TREES
TREES ON CITY OR PUBLIC PROPERTY
SETBACK TREES
PARKING LOT TREES
HISTORIC OR SPECIMEN TREES
TREES WITHIN THE EL PUEBLO VIEJO LANDMARK DISTRICT

EXISTING TREE INVENTORY (ON SITE TREES ONLY):

BOTANICAL NAME	COMMON NAME	QTY.	STATUS
PERSEA SPECIES	AVOCADO	1	REMAIN IN PLACE.
PERSEA SPECIES	AVOCADO	5	TO BE REMOVED.
QUERCUS AGRIFOLIA	COAST LIVE OAK	1	REMAIN IN PLACE.

PRELIMINARY PLAN - IRRIGATION NOTES

IRRIGATION SYSTEM SHALL COMPLY WITH ALL REQUIREMENTS OF CALIFORNIA ASSEMBLY BILL 1881.

ALL NEW PLANTINGS WILL BE IRRIGATED. CONFIRM ALL ZONES (STATIONS) WITH LANDSCAPE ARCHITECT AND TOTAL NUMBER OF VALVES PRIOR TO INSTALLATION OF IRRIGATION SYSTEM.

ALL VALVES SHALL BE SEPARATED BY SUN/ SHADE REQUIREMENTS, PLANT TYPE, AND WATER NEEDS.

ALL NEW SHRUBS AND GROUNDCOVER SHALL BE IRRIGATED WITH DRIP IRRIGATION OR MICROSPRAY. DRIPLINE MAY BE INLINE EMITTER TYPE OR PUNCHED EMITTERS.

NEW TREES WILL BE IRRIGATED WITH BUBBLERS, PROVIDE SEPARATE VALVES AND LATERAL LINE FOR ALL TREE BUBBLERS.

INSTALL ALL VALVES IN PLASTIC VALVE BOXES WHERE THEY CAN BE SCREENED BY PLANTS.

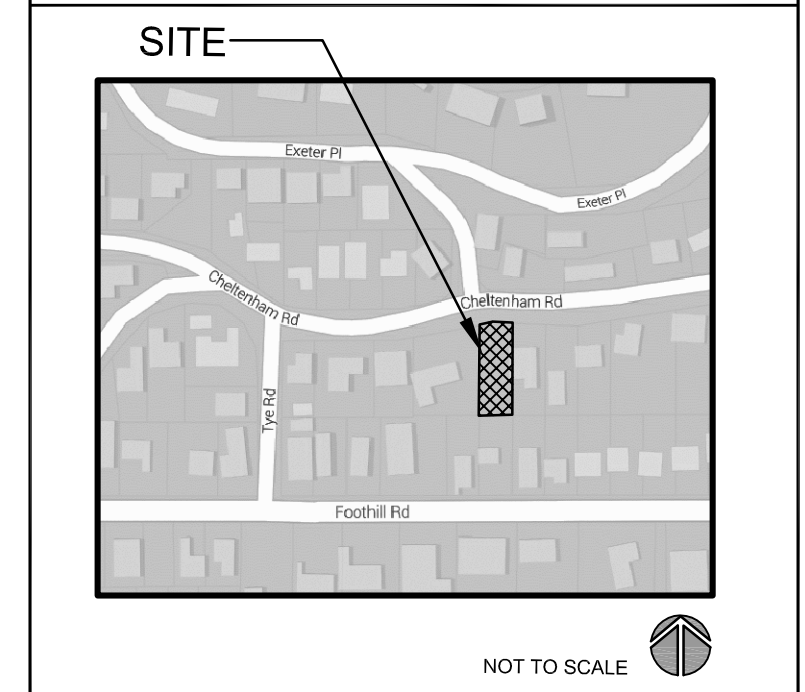
INSTALL IRRIGATION SYSTEM IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND LOCAL CODES.

ALL PIPE INSTALLED UNDER PAVING, THROUGH WALLS OR FOOTINGS MUST BE PLACED INSIDE SCHEDULE 40 PVC SLEEVES.

IRRIGATION CONTROLLER RUN TIMES SHALL BE ADJUSTED TO NOT ALLOW ANY IRRIGATION WATER OVERSPRAY ONTO PAVED SURFACES.

UNDER CANOPIES OF EXISTING TREES, EXCAVATE TRENCHES BY HAND OR PER THE ARBORIST REPORT.

VICINITY MAP



NOT FOR CONSTRUCTION
LATORRE RESIDENCE
 849 Cheltenham Rd.
 SANTA BARBARA, CA 93105



REVISIONS

02/13/15 SBAR
09/02/15 PC

PROJECT NUMBER
1502

DRAWN BY
AC

DATE DRAWN
08/18/15

SCALE
1/8"=1'-0"

PRINT DATE
08/16/15

SHEET NUMBER
L-1 of 1