

MONTECITO PLANNING COMMISSION

Staff Report for Babbit et al. Appeals of Scibird Exterior Alterations (Case Nos. 21LUP-00000-00292 & 22BAR-00000-00187)

Hearing Date: January 17, 2024
Staff Report Date: January 2, 2024
Case No.: 23APL-00031 & 23APL-00033
Environmental Document: Exempt per
Section 15301(a) of the State CEQA
Guidelines [Existing Facilities]

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1.0 REQUEST

Hearing on the request of Babbit et al. (Appellants), to consider the following two appeals in compliance with Chapter 35.492 (Appeals) of the Montecito Land Use and Development Code (MLUDC):

- Case No. 23APL-00031, an appeal of the Planning & Development Director's decision to approve Land Use Permit Case No. 21LUP-00000-00292, which permitted exterior alterations consisting of removal and replacement of windows and doors, unpermitted exterior paint changes, and raising the roof in one portion of the existing Moody Cottage structure; and
- Case No. 23APL-00033, an appeal of the Montecito Board of Architectural Review's (MBAR's) preliminary design review approval of Case No. 22BAR-00000-00187.

The application involves Assessor Parcel No. (APN) 011-220-003, located at 539 Periwinkle Lane in the Montecito area, First Supervisorial District.

2.0 RECOMMENDATION AND PROCEDURES

Your Commission's motion should include the following:

1. Deny the appeal, Case No. 23APL-00031, thereby affirming the Director's decision to approve Case No. 21LUP-00000-00292;
2. Deny the appeal, Case No. 23APL-00033, thereby affirming the Montecito Board of Architectural Review's decision to grant preliminary approval of Case No. 22BAR-00000-00187;
3. Make the required findings for approval of Case No. 21LUP-00000-00292 and design review approval of Case No. 22BAR-00000-00187, as specified in Attachment A of this staff report, including CEQA findings;
4. Determine the project is exempt from CEQA pursuant to State CEQA Guidelines Section 15301(a), as set forth in the Notice of Exemption included as Attachment C; and
5. Grant *de novo* approval of Case Nos. 22BAR-00000-00187 and 21LUP-00000-00292, subject to the conditions of approval included as Attachment B of this staff report.

Refer back to staff if the Montecito Planning Commission takes other than the recommended action for appropriate findings and conditions.

3.0 JURISDICTION

This project requires a Land Use Permit pursuant to Section 35.472.110 of the Montecito Land Use & Development Code, for exterior work within the 20-R-1 Zone District. This project is being considered by the Montecito Planning Commission based on Section 35.492.040.A of the Montecito Land Use and Development Code, which states “any decision of the Director to approve, conditionally approve or deny an application for a Land Use Permit, and any decision by the Board of Architectural Review and Director to grant or deny preliminary approval may be appealed to the Montecito Planning Commission.”

4.0 ISSUE SUMMARY

In 2020, following approval of a building permit to replace the roofing material on a Moody Sisters cottage, the applicant made additional unpermitted changes to the residence, including removal and replacement of windows and doors, unpermitted exterior paint changes, and raising the roof height. In 2021, a Land Use Permit, Case No. 21LUP-00000-00292, was submitted to permit the changes and was approved in August 2023 concurrently with the design review Case No. 22BAR-00000-00187. The four appellants appealed both cases.

The subject property is a Moody Sisters-designed house, which according to a historic resources analysis is eligible for listing as a County of Santa Barbara Place of Historic Merit. A Phase 1-2 Historic Resources Management Report, prepared by Post/Hazeltine Associates and dated May 28, 2021, (Attachment F) was prepared for the subject property to evaluate its potential value as an historic resource. The report concluded “the residence is a significant historic resource for the purposes of environmental review as a potential County of Santa Barbara Place of Historic Merit.” The report also concluded that “the proposed project meets the Secretary of the Interior’s Standards for Rehabilitation provided the measures outlined in Section 6.4 for this report are implemented.” Therefore, implementation of the project with the recommended design requirements outlined in the Historic Resources Management Report would not materially impair the house’s integrity of design, materials, and workmanship. The project and historic report were reviewed by the Historic Landmarks Commission on September 13, 2021. HLAC found the project to be adequate with implementation of the four recommendations identified below (Historic Report Section 6.6). The HLAC minutes are provided in Attachment H. The additional design requirements included in the report are:

- Replacement board and batten siding shall match the original in material and appearance;
- Replacement windows shall match the appearance of the house’s historic window types in regard to the type and appearance of glazing bars; and
- An original window at the north end of the west elevation proposed for replacement shall be retained in place; and

- Revise the water heater door to incorporate some board and batten siding.

Replacement of the existing composite roof with a standing seam metal roof was completed without design review prior to the proposed project under Building Permit No. 20CNP-00000-00784. There was some discomfort amongst members of the MBAR and HLAC during their respective reviews regarding the acceptability of the new roofing material. During the June 15, 2023, MBAR meeting one member stated “(The) Permitted metal roof and previous alterations to the structure are unfortunate”. Separately, while acknowledging it was permitted and helped to preserve the structure, the HLAC did not support the change in roofing to standing seam metal, and one commissioner did not support the project because of that previously permitted roof replacement.

The Land Use Permit, Case No. 21LUP-00000-00292, was approved by County staff because the project conforms to all applicable policies of the Comprehensive Plan, including the Montecito Community Plan and is consistent with the purpose and intent of the 20-R-1 Zone. Additionally, the exterior alterations do not negatively impact the historical significance of the property according to the Historic Report and as confirmed by the HLAC. Finally, the Montecito Board of Architectural Review approved the design plans.

5.0 PROJECT INFORMATION

5.1 Site Information

Site Information	
Comprehensive Plan Designation	SRR-1.8 Urban (minimum parcel size 20,000 square feet net)
Ordinance, Zone	Montecito Land Use Development Code, 20-R-1 (One-Family Residential Zone, 0.5-acre minimum parcel size)
Site Size	0.17-acres
Present Use & Development	Residential, Single Family Residence
Surrounding Uses/Zone(s)	North: 20-R-1, Single Family Residence South: 20-R-1, Single Family Residence East: 20-R-1, Single Family Residence West: 20-R-1, Single Family Residence
Access	Periwinkle Lane
Public Services	Water Supply: Montecito Water District Sewage: Montecito Sanitary District Fire: Montecito Fire Protection District Police Services: County Sheriff

5.2 Project Description

The project is a request for a Land Use Permit (Case No. 21LUP-0000-00292) to abate a zoning violation (Case No 21ZEV-00000-00007) for unpermitted exterior changes to an 831-square-foot Moody Sister's Cottage, including raising the northeastern portion of the roof by 3.5-inches, raising a portion of the eastern roof by 1-foot 5-inches, and installing new doors, windows and siding. Replacement windows match the appearance of the house's historic window types with regard to the type and appearance of glazing bars. Replacement board and batten siding will be installed to match the original material and appearance throughout the exterior, including the water heater door. The existing 532-square-foot carport/utility room includes as-built exterior paint and material changes as well. No grading or tree removal is proposed. The maximum height of the residence is 13-feet. The parcel is served by the Montecito Water District, the Montecito Sanitary District, and the Montecito Fire Protection District. Access is provided from Periwinkle Lane. The property is a 0.17-acre parcel zoned 20-R-1 and shown as Assessor's Parcel Number 011-220-003, located at 539 Periwinkle Lane in the Montecito Community Plan Area, first Supervisorial District.

5.3 Background

The property was originally developed with a 564-square-foot one-story single-family residence and 180-square-foot detached carport, permitted by Land Use Permit, No. 1335, dated August 11, 1949. On November 5, 1973, County of Santa Barbara Land Use Rider #59415 permitted the addition of 220 square-feet to the 564-square-foot building. Land Use Rider, Permit #66664, dated June 4, 1976, allowed for the demolition of a Moody-designed carport and construction of a new carport attached to an existing shed. The site plan from the Land Use Rider, Permit #66664 confirms that existing development at the site is permitted. The approved carport fits one car with one uncovered parking space on the asphalt paved driveway.

On July 29, 2020, the owner was issued a building permit to re-roof the house and carport with a "metal roof of flat panels, no striations, color to match existing black asphalt shingles" (County of Santa Barbara Minor Building Permit, Case No. 20CNP-00000-00784, July 29, 2020). During building inspections of the construction work, building staff identified unpermitted alterations to the existing residence in violation of Montecito Land Use Development Code Section 35.400.040 and the Santa Barbara County Building Code, Chapter 10, Section 10-1.13, for illegal exterior alterations to an existing structure without permits. A Notice of Violation (Case Nos. 21ZEV-00000-00007 & 21BDV-00000-00002), dated January 11, 2021, was sent to the owners, requiring correction of the violations. The subject application was submitted on June 4, 2021, in an effort to abate these violations.

6.0 PROJECT ANALYSIS

6.1 Appeal Issues

Appeal Issue #1: *Alterations to a historic Moody Cottage, amid an enclave of Moody Cottages, were completed without appropriate permits and do harm to a) this historic home, b) our neighborhood, and c) Montecito's architectural heritage of Moody Cottages.*

Response: Staff agrees that unpermitted alterations were made to the subject property. The purpose of the requested LUP is to abate that zoning violation and permit the work. The scope of the project, including the alterations to the structure, has been reviewed by a County-approved architectural historian and approved by staff, the Montecito Board of Architectural Review and the Historic Landmarks Advisory Committee. With the implementation of the design recommendations included in the Historic Resources Management Report, the proposed project will not materially impair the historic nature of the home, the neighborhood, or the architectural heritage of Montecito. A Phase 1-2 Historic Resources Management Report, prepared by Post/Hazeltine Associates and dated May 28, 2021, (Attachment F) was prepared for the subject property to evaluate the potential for the house to be an historic resource. When reviewing the County of Santa Barbara's Significance Criteria for Historic resources (A-I), the report found that the house is eligible as a County of Santa Barbara place of historic merit because it retains many features of the original design characteristic motifs of Moody Sister's cottage style aesthetic, including a small-scaled footprint, board-and-batten siding, wood-framed multi-paned windows, and a steeply-pitched roof.

The house was originally designed as an artist's studio, and is considered a more reductive interpretation of Harriet Moody's cottage aesthetic. Even after it was recently altered, the house typifies Moody's characteristic architectural motif inspired by the folk architecture of rural England. It is also one of several Moody-designed houses on Periwinkle Lane, which when viewed together, convey a strong sense of time and place. The house forms part of a streetscape, which contributes to this thematically related grouping of houses sharing similar development history and design theme.

The roof change (Building Permit No. 20CNP-00000-00784) is not characteristic of Moody's cottage style architecture, however, because the street façade retains most of its original features, the change has not irretrievably impaired the house's ability to convey its original architecture. The Post/Hazeltine report concludes the proposed project meets the Secretary of the Interior's Standards for Rehabilitation provided the following four measures are implemented:

- Replacement board and batten siding shall match the original in material and appearance;
- Replacement windows shall match the appearance of the house's historic window types in regard to the type and appearance of glazing bars; and
- An original window at the north end of the west elevation proposed for replacement shall be retained in place; and

- Revise the water heater door to incorporate some board and batten siding.

According to the Report, implementation of the project with the guidance enumerated above, will not materially impair the house's integrity of design, materials, and workmanship. The Report concludes that the alterations to the residence do not harm the historic nature of the structure, the neighborhood, or Montecito's architectural heritage of Moody Sisters' Cottages.

The project was reviewed by the Historic Landmarks Advisory Commission (HLAC) on September 14, 2021. After consideration of the Phase 1-2 Historic Resources Report (Post/Hazeltine Associates, dated May 28, 2021), the project plans dated May 18, 2021, HLAC supported the four recommendations from the Historic Report and directed that they be incorporated into the project to ensure it is carried out consistent with the Secretary of the Interior's Standards for Rehabilitation. However, HLAC did not support the change in roofing to standing seam metal, and while acknowledging it was permitted and helped to preserve the structure, one commissioner did not support the project because of it. The change in roofing material is not part of the project description for this Land Use Permit, which is meant to permit the additional structural alterations that were not included in that Building Permit.

Appeal Issue #2: *MBAR made an error in their discretion by not mandating the replacement of the installed modern black roof with a roof consistent with Moody Sister character.*

Response: The project was reviewed and approved by staff and the MBAR in compliance with their review guidelines and bylaws. Replacement of the existing roof with a standing seam metal roof was carried out under approved Building Permit Case No. 20CNP-00000-00784, and it is not part of the project description for this LUP, which is meant to permit the additional structural alterations that were not included in that Building Permit. MBAR has the discretion to approve or deny a project's design based on the full scope of the proposal, including as-built features. However, because the roof replacement was completed under an issued Building Permit, and design review or approval of a Land Use Permit was not required for that work, the new roof material was considered an existing condition rather than an as-built alteration for the purposes of the MBAR's review. During the June 15, 2023, MBAR meeting there was some disagreement amongst members regarding the roofing material with one member stating "(The) Permitted metal roof and previous alterations to the structure are unfortunate". However, the MBAR granted preliminary approval of the proposed project on August 8, 2023, stating "Roofing material permitted, not part of the project under MBAR review".

Appeal Issue #3: *MBAR made an error in their discretion, approving architectural drawings which continued to include vague and inaccurate information. This information was provided by the neighbors concerned for safety risks, especially given the history of the project and the fact that the majority of the work is already done and was done without appropriate and real time oversight.*

Response: The project was reviewed and approved by staff and the MBAR in compliance with their review guidelines and bylaws. The appellant provided multiple notes and questions relating to the project plans to MBAR members and planning staff throughout the project review period. Most were addressed by planning staff or through changes made to the plans by the applicant. The MBAR preliminarily approved plan set is consistent with what is documented in Photos posted on the website, Redfin, which were taken prior to commencement of the as-built work. The site plan from the County's Land Use Rider, Permit #66664 matches the existing site plan, however, no approved elevations are on record. Therefore, there is no evidence that the approved plans are inaccurate. Regardless, the Montecito Planning Commission considers the subject appeals *de novo*, and staff recommends the Commission approve the proposed findings for approval of Design Review for the project.

Separately, the appellants expressed concerns associated with the safety of the as-built modifications to the structure without approval of building plans, which adhere to current safety regulations. Structural safety is reviewed by the Building Department under a building permit and not included in this Land Use Permit's analysis. Building Violation Case No. 21BDV-00000-00002 requires the applicant submit an application for a building permit for the unpermitted interior remodel work and raised roof by submitting a full plan set and undergoing onsite inspections. Therefore, structural safety concerns will be addressed during the building permit review phase of the project.

Conclusion:

As stated herein, P&D believes the appellant issues are without merit. Staff approved the requested Land Use Permit because the project complies with MLUDC ordinance requirements pertaining to residential structures within the R-1 Zone District. Additionally, the project description complies with recommendations from the Historic Report, which was supported by the HLAC and states the project would not have a significant impact on the historic nature of the structure and neighborhood. Finally, the MBAR made the required design review findings for approval (Attachment A) and approved the project preliminarily. Regardless, the Montecito Planning Commission considers the subject appeals *de novo*, and may approve the proposed findings for approval of Design Review for the project.

6.2 Environmental Review

The Project was evaluated for compliance with the California Environmental Quality Act (CEQA) and determined to be exempt from environmental review pursuant to CEQA Guidelines Section 15301(a) [Existing Facilities], which exempts the maintenance, permitting, or minor alteration of existing private structures, involving negligible or no expansion of existing or former use. The proposed project involves the exterior changes of an 831-square-foot residence including raising northeastern portion of the roof by 3.5-inches, raising a portion of the eastern roof by 1-foot 5-inches, and installing new doors and windows. The project also includes window, door, and siding changes. The existing 532-square-foot carport/utility room includes as-built exterior paint and

material changes as well. Implementation of design requirements from the recommendations included in the Historic Resources Management Report will ensure that the project will not cause a substantial adverse change to an historic resource. Please see Attachment C, Notice of Exemption, for further detail.

6.3 Comprehensive Plan Consistency

REQUIREMENT	DISCUSSION
ADEQUATE SERVICES	
<p>Land Use Element Development Policy 4: <i>Prior to issuance of a development permit, the County shall make the finding, based on information provided by environmental documents, staff analysis, and the applicant, that adequate public or private services and resources (i.e., water, sewer, roads, etc.) are available to serve the proposed development. The applicant shall assume full responsibility for costs incurred in service extensions or improvements that are required as a result of the proposed project. Lack of available public or private services or resources shall be grounds for denial of the project or reduction in the density otherwise indicated in the land use plan.</i></p>	<p>Consistent. The project is consistent with this policy because adequate public or private services are available to serve the project. A service availability letter dated April 19, 2023, was provided by the Montecito Water District. The project does not generate new vehicle road trips aside from temporary construction-related trips. The project site is served by the Montecito Sanitary District, the Montecito Fire Department and the County Sheriff, and the scope of the project, which is minor alterations to an existing structure, do not require new or additional services.</p>
AESTHETICS/VISUAL RESOURCES	
<p>Land Use Element Visual Resource Policy 1: <i>In areas designated as rural on the land use plan maps, the height, scale, and design of structures shall be compatible with the character of the surrounding natural environment, except where technical requirements dictate otherwise. Structures shall be subordinate in appearance to natural landforms; shall be designed to follow the natural contours of the landscape; and shall be sited so as not to intrude into the skyline as seen from public viewing places.</i></p> <p>Land Use Element Visual Resource Policy 2: <i>In areas designated as urban on the land use plan</i></p>	<p>Consistent. The proposed project is consistent with all applicable visual resources/aesthetics policies. The project site is located within the urban area of the Montecito Community Plan. The structure complies with MLUDC standards for height, setbacks, etc.</p> <p>The existing building footprint will not be altered and the massing and scale of the building will not be appreciably altered as a result of the project. Consequently, the building’s spatial relationship with its setting will not change. The new work is compatible with the materials, features, size, scale, and proportion, and massing to protect the</p>

<p><i>maps and in designated rural neighborhoods, new structures shall be in conformance with the scale and character of the existing community. Clustered development, varied circulation patterns, and diverse housing types shall be encouraged.</i></p>	<p>integrity of the property and its environment. Additionally, raising the roof height by 1-foot 5-inches on a portion of the east elevation will not be visually prominent from the street as the new roofline has a very low pitch and remains within the height requirements.</p> <p>The MBAR reviewed the project on February 23, 2023, and June 15, 2023, and conducted a site visit on June 1, 2023. The project received preliminary approval on August 10, 2023, stating that the roof was previously permitted and therefore not included as part of MBAR’s review and that the exterior paint color of the residence was to be conditioned to be repainted Sherwin-Williams Incredible White (SW #7028) (Condition of Approval No. 3). Condition of Approval No. 4 ensures any exterior night lighting installed on the project site is of low intensity, low glare design, minimum height, and shall be hooded to direct light downward onto the subject lot and prevent spill-over onto adjacent lots.</p>
<p>BIOLOGICAL RESOURCES</p>	
<p><i>MCP Policy BIO-M-1.3:</i> <i>Environmentally Sensitive Habitat (ESH) areas within the Montecito Planning Area shall be protected, and where appropriate, enhanced.</i></p> <p><i>MCP Development Standard BIO-M-1.15.1:</i> <i>All existing specimen trees shall be protected from damage or removal by development to the maximum extent feasible.</i></p> <p><i>MCP Policy BIO-M-1.16:</i> <i>All existing native trees regardless of size that have biological value shall be preserved to the maximum extent feasible.</i></p>	<p>Consistent. The project is consistent with applicable biological resource policies because no native or specimen trees are proposed for removal. In addition, the project site is not located within 100-feet of any ESH areas. The property is informally landscaped with hedging, specimen plants and a few trees including a native oak tree off the northeast corner of the house. Conditions of Approval Nos. 8 and 9 require designated construction equipment storage and washout areas onsite to prevent contamination from discharging to the storm drains, street, drainage ditches, or creeks.</p>

HISTORIC RESOURCES	
<p><i>MCP Policy CR-M-2.1: Significant cultural, archaeological, and historic resources in the Montecito area shall be protected and preserved to the extent feasible.</i></p>	<p>Consistent. The project is consistent with policies that protect historic resources. Although the existing landscaping, fencing, utility room and carport are less than 50 years of age and do not qualify as historically significant aspects of the property, historic evaluation was required for the 1949 art studio, now used as the main residence. A Phase 1-2 Historic Resources Management Report, prepared by Post/Hazeltine Associates and dated May 28, 2021, (Attachment F) was prepared for the subject property to evaluate the existing residence. According to the Historic Report, the Moody Sisters-designed house is eligible for listing as a County of Santa Barbara Place of Historic Merit. The proposed project also meets the Secretary of the Interior’s Standards for Rehabilitation provided the following measures are implemented:</p> <ul style="list-style-type: none">• Replacement board and batten siding shall match the original in material and appearance;• Replacement windows shall match the appearance of the house’s historic window types in regard to the type and appearance of glazing bars; and• An original window at the north end of the west elevation proposed for replacement shall be retained in place; and• Consider revising the water heater door to incorporate some board and batten siding. <p>Implementation of the project with the guidance enumerated above will therefore not materially impair the house’s integrity of design, materials, and workmanship, and the proposed project will be consistent with County of Santa Barbara Historical and Archaeological Policies 1 & 3 and Goal CR-M-1:</p>

	Preserve and Project Properties and Structures with Historic Importance in the Montecito Community to the Maximum Extent Feasible.
NOISE	
<p>Noise Element Policy 1: <i>In the planning of land use, 65dB Day-Night Average Sound Level should be regarded as the maximum exterior noise exposure compatible with noise-sensitive uses unless noise mitigation features are included in the project design.</i></p> <p>MCP Development Standard N-M-1.1.1: <i>All site preparation and associated exterior construction activities related to new residential units including remodeling, demolition, and reconstruction, shall take place between 7:00 a.m. and 4:30 p.m., weekdays only.</i></p>	<p>Consistent. The proposed project is consistent with all applicable noise policies and development standards. The project has the potential to create short-term noise impacts on neighboring residences, and is therefore conditioned to address short-term construction-related noise impacts during construction. Condition of Approval No. 6 included in Attachment B requires that construction activities be limited to the hours between 7:00 a.m. and 4:30 p.m. on weekdays only. The project will not cause any significant long-term noise impacts to the surrounding area because the single family residence is not a use that generates long term noise.</p>

6.4 Zoning: Land Use and Development Code Compliance

6.4.1 Compliance with Montecito Land Use and Development Code Requirements

The project complies with the following applicable ordinance requirements:

Section 35.423.020 – Purpose and Intent *[of the R-1 Single-Family Residential Zone District] states: The purpose of this district is to reserve appropriately located areas for family living at a reasonable range of population densities consistent with sound standards of public health, welfare, and safety. It is the intent of this district to protect the residential characteristics of an area and to promote a suitable environment for family life.*

Consistent: The project is consistent with the purpose and intent of the R-1 Zone because the project is a request for exterior alterations to an existing structure with no increase in habitable space or intensification of uses to an existing residence, and therefore the project will not change the residential use of the parcel.

Section 35.422.050 Residential Zones Development Standards.

Setbacks. *The required setbacks for the R-1 Zones include 50 feet from road centerline and 20 feet from the edge of the right-of-way (whichever is greater) for the front setback and 25 feet for the rear setback. The side setback is 10% of lot width with 5 feet minimum and 10 feet maximum. The subject lot’s width is 60 feet, therefore the side setback shall be 6 feet.*

Section 35.430.150d – Rear setback variations in R-1/ E-1 and R-2 zones. The required rear setback for portions of a structure may be varied subject to all of the following limitations.

1. *No portion of a structure used for dwelling purposes shall be closer than 15 feet to the rear line of the lot.*
2. *A portion of a structure may be located within the required rear setback provided that the footprint area of the portion of the structure that intrudes into the required rear setback shall be compensated by an equal or greater area that is not covered by any footprint area located outside of and adjacent to the rear setback and the rear setback line. The compensating area used to vary a rear setback shall not be located farther from the rear lot line than one-half of the lot depth.*
3. *The compensating area used to vary a rear setback shall not be used to vary a side setback on the same lot.*

Consistent: The existing residence was built prior to 1954 and is legally non-conforming due to its location in the front and rear setback. The residence has a front setback of 40-feet from centerline and 20-feet from the right-of-way, but the residence is located 40 feet from the road centerline and 27-feet 6-inches from the right of way. The residence is located at least 10 feet from the side property lines. The previously permitted utility room and carport are located within the rear setback, with the carport's southeast corner touching the property line. The residence, carport and utility room were previously approved through Land Use Rider, Permit #66664, dated June 4, 1976, and are therefore considered legal non-conforming as to location, per Section 35.491 of the MLUDC, discussed below. The proposed project does not include increasing the structural non-conformance of the structure and therefore complies with the setback standards.

Section 35.422.050 Residential Zones Development Standards.

Height. *No building or structure shall exceed a height of 35 feet and two stories.*

Consistent: The zoning violation abatement includes an increase of height to the north and east elevation by 3.5-inches and 1-foot 5-inches, respectively. However, the maximum height of the residence is 13-feet above existing grade. The existing carport is 9-feet 5-inches above existing grade and is not proposed to change as a result of the project.

Section 35.436.050 - Required Number of Spaces: Residential Uses. *Single family and two family dwellings are required to provide two (2) spaces per dwelling unit.*

Consistent: Onsite parking consisting of one covered and one uncovered spaces would remain per Land Use Rider, Permit #66664, dated June 4, 1976. The site can also provide at least one outdoor parking space on the paved driveway within the rear setback. One-family and two-family dwellings legally existing prior to May 16, 1995, shall not be considered nonconforming solely because the parking required by this section is not provided. This is consistent with Section 35.491.020.G, Nonconforming Parking, discussed below. Therefore, the site complies with this section.

Section 35.491.020.G - Nonconforming Parking. *If a use is nonconforming solely with respect to existing parking standards, the structure devoted to the use may be altered but the use may not*

be expanded, extended, or intensified in a manner that would increase the required number of off-street parking spaces in compliance with Chapter 35.436 (Parking and Loading Standards).

Consistent: The property was originally permitted with a one-car carport. The proposed project will not intensify the existing residential use in a manner requiring additional parking onsite and therefore, the project is in compliance with this standard and the Parking Standards.

Section 35.491 – Nonconforming Buildings and Structures. *A structure that is conforming as to use but nonconforming as to height, lot coverage, setbacks, or other requirements concerning the structure may remain so long as it is otherwise lawful. A nonconforming structure shall not be enlarged, extended, moved, or structurally altered unless the enlargement, extension, etc., complies with the height, lot coverage, setback, and other requirements of this Article.*

Consistent: The existing residence is legal non-conforming because it extends into the front setback and the carport extends into the rear setback. The proposed interior and exterior alterations do not increase the non-conformance of the project's front setback.

6.5 Design Review

The project was conceptually reviewed by the Montecito Board of Architectural Review (MBAR) on February 23, 2023. The MBAR required a site visit, which took place on June 1, 2023. MBAR reviewed the project again on June 15, 2023, before granting preliminary approval of the project on August 10, 2023, stating that the roof was previously permitted (Case No. 20CNP-00000-00784) and therefore was not included as part of MBAR's review, and that the exterior paint color of the residence was to be conditioned to be repainted Sherwin-Williams Incredible White (SW #7028). The project was directed to return for final approval after the permit was approved. MBAR minutes are included as Attachment D. The Montecito Planning Commission considers appeals *de novo*, and may approve the proposed findings for approval of Design Review for the project.

6.6 Historic Landmarks Advisory Commission

This project was heard by the Historic Landmarks Advisory Commission (HLAC) on September 14, 2021. After consideration of the Phase 1-2 Historic Resources Report (Post/Hazeltine Associates, dated May 28, 2021), the project plans dated May 18, 2021, and the applicant's presentation, HLAC was disappointed the applicant replaced the shingle roof with a metal standing seam roof without HLAC's or MBAR's prior review and strongly supported the recommendations for the project contained in Section 6.3 Application of the Standards (Phase 1-2 Historic Resources Report, pages 40-43), which ensures the project is carried out consistent with the Secretary of the Interior's Standards for Rehabilitation. The recommendations from Section 6.3 of the Historic Report are incorporated into the project description. HLAC's minutes are included as Attachment H.

7.0 APPEALS PROCEDURE

The action of the Montecito Planning Commission may be appealed to the Board of Supervisors within 10 calendar days of said action. The appeal fee to the Board of Supervisors is \$628.00.

8.0 ATTACHMENTS

- A. Findings
- B. Conditions of Approval
- C. CEQA Notice of Exemption
- D. MBAR Minutes
- E. Approved Project Plans
- F. Post Hazeltine Phase 1-2 Historic Report
- G. Post/Hazeltine Associates Historic Resources Memo dated June 8, 2023
- H. HLAC Minutes dated September 13, 2021

ATTACHMENT A: FINDINGS

1.0 CEQA FINDINGS

1.1 CEQA EXEMPTION

The Montecito Planning Commission finds that the proposed project is exempt from environmental review under the California Environmental Quality Act (CEQA) pursuant to State CEQA Guidelines Section 15301(a). Please see Attachment C, Notice of Exemption.

2.0 ADMINISTRATIVE FINDINGS

2.1 LAND USE PERMIT FINDINGS

Finding required for all Land Use Permits. In compliance with Section 35.30.100.A of the County Land Use and Development Code, prior to the approval or conditional approval of an application for a Land Use Permit the review authority shall first find, based on information provided by environmental documents, staff analysis, and the applicant, that adequate public or private services and resources (e.g., water, sewer, roads) are available to serve the proposed development.

2.1.1 Findings required for all Land Use Permits. In compliance with Subsection 35.82.110.E.1 of the County Land Use and Development Code, prior to the approval or conditional approval of an application for a Land Use Permit the review authority shall first make all of the following findings:

1. The proposed development conforms:

- a. To the applicable provisions of the Comprehensive Plan, including any applicable community or area plan.**
- b. With the applicable provisions of this Development Code or falls within the limited exception allowed in compliance with Chapter 35.491 (Nonconforming Uses, Structures, and Lots).**

The Montecito Planning Commission finds that, as discussed in Section 6.3 of the Staff Report, dated January 2, 2024, and incorporated herein by reference, the proposed development conforms to all applicable policies of the Comprehensive Plan, including the Montecito Community Plan. There are adequate services on the subject parcel, the development is in conformance with the existing community, the development complies with the noise policies in the Comprehensive Plan, and the project is consistent with the purpose and intent of the R-1 Zone.

As discussed in Section 6.4 of the Staff Report, dated January 2, 2024, and incorporated herein by reference, the proposed development also falls within the limited exceptions allowed in compliance with Chapter 35.491 (Nonconforming Structures) with respect to front and rear setbacks, and parking standards. The residence and carport are

considered legal non-conforming to the setback requirements for the zone. The proposed exterior alterations will not increase the non-conformance. Onsite parking consisting of one covered and one uncovered space will remain per Land Use Rider, Permit #66664, dated June 4, 1976. The property was permitted with the one car carport, therefore the site is legally non-conforming as to the requirement for covered parking (two covered spaces), and will not increase the intensity of the existing residential use.

2. The proposed development is located on a legally created lot.

The Montecito Planning Commission finds that the development is located on a legally created lot. The lot was subdivided in 1940 with the portion encompassing the studio and carport becoming a 0.17-acre, 7,405 square-foot lot with a street address of 539 Periwinkle Lane. County of Santa Barbara Land Use Rider #59415 and #66664 have also been issued onsite in 1973 and 1976, respectively.

3. The subject property is in compliance with all laws, regulations, and rules pertaining to uses, subdivisions, setbacks and any other applicable provisions of this Development Code, and any applicable zoning violation enforcement fees and processing fees have been paid. This Subsection shall not be interpreted to impose new requirements on legal nonconforming uses and structures in compliance with Chapter 35.491 (Nonconforming Uses, Structures, and Lots).

The Montecito Planning Commission finds that the subject property and development is in compliance with all applicable provisions of the MLUDC because, as discussed in Sections 6.3 and 6.4 of the Staff Report dated January 2, 2024, and incorporated herein for reference, the proposed project is consistent with the purpose and intent of the 20-R-1 Zone and is considered legal non-conforming to the setback requirements for the zone. The proposed exterior alterations will not increase the non-conformance. The project is proposed to abate the zoning violations on the parcel, and all processing fees are paid to date.

2.1.2 Findings required for all Design Review applications. In compliance with Subsection 35.472.070.F.1 of the Montecito Land Use and Development Code, prior to the approval or conditional approval of an application for Design Review the review authority shall first make all of the following findings:

1. Overall structure shapes, as well as parts of any structure (buildings, fences, screens, signs, towers, or walls) are in proportion to and in scale with other existing or permitted structures on the same site and in the area surrounding the property.

The Montecito Planning Commission finds the existing building footprint will not be altered and the massing and scale of the building will not be appreciably altered. Consequently, the building's spatial relationship with its setting will not change. The house retains many features of its original design characteristic motifs of Moody's cottage style aesthetic, including a small-scaled footprint.

2. Electrical and mechanical equipment will be well integrated into the total design concept.

The Montecito Planning Commission finds the electrical and mechanical equipment is well integrated into the total design concept. The project does not include the addition of electrical or mechanical equipment onsite beyond what exists.

3. There will be a harmony of color, composition, and material on all sides of a structure.

The Montecito Planning Commission finds that, as discussed in the Section 6.3 of the Staff Report, dated January 2, 2024, implementation of the project with the recommended design requirements from the Historic Resources Management Report will not materially impair the house's integrity of design, materials, and workmanship and that there will be harmony of color, composition, and materials. The house has retained most of the original exterior style, including much of its board-and-batten walls, three of its original windows, and portions of its roof assembly. As part of the approval, any replacement board and batten siding shall match the original in material and appearance and all replacement windows shall match the appearance of the house's historic window types in regard to the type and appearance of glazing bars. Per the direction of the Montecito Board of Architectural Review, the project is conditioned to paint the exterior Sherwin-Williams Incredible White (SW #7028) (Condition of Approval No. 3 in Attachment B).

4. There will be a limited number of materials on the exterior face of the structure.

The Montecito Planning Commission finds that there is a limited number of materials on the exterior face of the structure because the materials include the board-and-batten walls, three of its original windows, and standing seam metal roof. Additionally, the structure will be painted Sherwin-Williams Incredible White.

5. There will be a harmonious relationship with existing and proposed adjoining developments, avoiding excessive variety and monotonous repetition, but allowing similarity of style, if warranted.

The Montecito Planning Commission finds that the project is a modest example of the Moody Sister's characteristic cottage aesthetic that contributes to a larger grouping of Moody-designed houses on Periwinkle Lane, and the house retains the integrity of design with the proposed project and conditions. The residence is located close to the street frontage and the house forms part of a streetscape composed of several Moody-designed houses. The surrounding neighborhood is characterized by smaller residential development of large estates, winding streets, extensive oak groves and sycamore trees and lack of street improvements such as sidewalks and streetlamps, characterize its semirural setting.

6. Site layout, orientation and location of structures and signs will be in an appropriate and well designed relationship to one another, and to the environmental qualities, open spaces, and topography of the site with

consideration for public views of the hillsides and the ocean and the semi-rural character of the community as viewed from scenic view corridors as shown on Figure 37, Visual Resources Map in the Montecito Community Plan EIR (92-EIR-03).

The Montecito Planning Commission finds that the site layout, orientation, and location of structures and signs is in an appropriate and well-designed relationship to one another, and to the environmental qualities, open spaces, and topography of the site because the project allows for exterior and interior alterations to the existing residence. The floor plan is not proposed to change. The northeastern section of the residence will increase in height, while still remaining below the existing height of the residence, 13-feet. The maximum allowable height is 35-feet for residential structures in the 20-R-1 zone. The residence and accessory structures will not impact the semi-rural character of the neighborhood including the visibility of scenic corridors or views of the hillsides.

- 7. Adequate landscaping will be provided in proportion to the project and the site with due regard to preservation of specimen and landmark trees, existing vegetation, selection of plantings that are appropriate to the project and that adequate provisions have been made for the maintenance of all landscaping.**

The Montecito Planning Commission finds the project will provide adequate landscaping in proportion to the project site because the project is alterations to a residence with existing landscaping, and no trees or existing vegetation is impacted by the project.

- 8. Grading and development is designed to avoid visible scarring and will be in an appropriate and well designed relationship to the natural topography with regard to maintaining the natural appearance of the ridgelines and hillsides.**

The Montecito Planning Commission finds the project will not create visible scarring to the topography of the site because no grading is proposed. The project is the interior and exterior alterations of an existing residence and will not change the footprint of the structures.

- 9. Signs including their lighting are well designed and will be appropriate in size and location.**

The Montecito Planning Commission finds that the project complies with this finding because no signs are proposed as part of the project.

- 10. The proposed development will be consistent with any additional design standards expressly adopted by the Board for a specific local community, area or district in compliance with Subsection 35.472.070.G. (Local design standards).**

The Planning Commission finds that there are no additional design standards for residential structures and this finding does not apply to the proposed project. The project complies with development standards for the R-1 Zone within Article II, as described in Section 6.4 of the staff report dated January 2, 2024.

ATTACHMENT B: CONDITIONS OF APPROVAL

1. **Proj Des-01 Project Description.** This Land Use Permit is based upon and limited to compliance with the project description and all conditions of approval set forth below, including conditions and specified plans and agreements included by reference, as well as all applicable County rules and regulations. The project description is as follows:

The project is a request for a Land Use Permit (Case No. 21LUP-0000-00292) to abate a zoning violation (Case No 21ZEV-00000-00007) for unpermitted exterior changes to an 831-square-foot Moody Sister's Cottage, including raising the northeastern portion of the roof by 3.5-inches, raising a portion of the eastern roof by 1-foot 5-inches, and installing new doors, windows and siding. Replacement windows match the appearance of the house's historic window types with regard to the type and appearance of glazing bars. Replacement board and batten siding will be installed to match the original material and appearance throughout the exterior, including the water heater door. The existing 532-square-foot carport/utility room includes as-built exterior paint and material changes as well. No grading or tree removal is proposed. The maximum height of the residence is 13-feet. The parcel is served by the Montecito Water District, the Montecito Sanitary District, and the Montecito Fire Protection District. Access is provided from Periwinkle Lane. The property is a 0.17-acre parcel zoned 20-R-1 and shown as Assessor's Parcel Number 011-220-003, located at 539 Periwinkle Lane in the Montecito Community Plan Area, first Supervisorial District.

Any deviations from the project description, exhibits or conditions must be reviewed and approved by the County for conformity with this approval. Deviations may require approved changes to the permit and/or further environmental review. Deviations without the above described approval will constitute a violation of permit approval.

2. **Proj Des-02 Project Conformity.** The grading, development, use, and maintenance of the property, the size, shape, arrangement, and location of the structures, parking areas and landscape areas, and the protection and preservation of resources shall conform to the project description above and the hearing exhibits and conditions of approval below. The property and any portions thereof shall be sold, leased or financed in compliance with this project description and the approved hearing exhibits and conditions of approval thereto. All plans (such as Landscape and Tree Protection Plans) must be submitted for review and approval and shall be implemented as approved by the County.

Conditions by Issue Area

3. **Aest-04 BAR Required:** The Owner/Applicant shall obtain Montecito Board of Architectural Review (BAR) final approval for project design. All project elements (e.g., design, scale, character, colors, materials and landscaping shall be compatible with vicinity development and shall conform in all respects to MBAR approval (22BAR-00000-00187). As required by the MBAR, the exterior paint color of the residence was to be

conditioned to be repainted Sherwin-Williams Incredible White (SW #7028). **TIMING:** The Owner/Applicant shall submit architectural drawings of the project for review and shall obtain final MBAR approval prior to issuance of the Land Use Permit. Grading plans, if required, shall be submitted to P&D concurrent with or prior to MBAR plan filing. **MONITORING:** The Owner/Applicant shall demonstrate to Building and Safety inspection staff that the project has been built consistent with approved BAR design and landscape plans prior to Final Building Inspection Clearance.

4. **Aest-10c Lighting:** The Owner/Applicant shall ensure any exterior night lighting installed on the project site is of low intensity, low glare design, minimum height, and shall be hooded to direct light downward onto the subject lot and prevent spill-over onto adjacent lots. No unobstructed beam of exterior light shall be directed toward any area zoned or developed residential. The Owner/Applicant shall install timers or otherwise ensure lights are dimmed after 10 p.m. **PLAN REQUIREMENTS:** The Owner/Applicant shall develop a Lighting Plan for P&D and MBAR approval incorporating these requirements and showing locations and height of all exterior lighting fixtures. **TIMING:** P&D & MBAR shall review a Lighting Plan for compliance with this measure prior to issuance of a Land Use Permit for structures. **MONITORING:** Building and Safety inspection staff shall inspect structures upon completion to ensure that exterior lighting fixtures have been installed consistent with their depiction on the final Lighting Plan prior to Final Building Inspection Clearance.
5. **Air-01 Dust Control.** The Owner/Applicant shall comply with the following dust control components at all times including weekends and holidays:
 - a. Dust generated by the development activities shall be kept to a minimum with a goal of retaining dust on the site.
 - b. During clearing, grading, earth moving, excavation, or transportation of cut or fill materials, use water trucks or sprinkler systems to prevent dust from leaving the site and to create a crust after each day's activities cease.
 - c. During construction, use water trucks or sprinkler systems to keep all areas of vehicle movement damp enough to prevent dust from leaving the site.
 - d. Wet down the construction area after work is completed for the day and whenever wind exceeds 15 mph.
 - e. When wind exceeds 15 mph, have site watered at least once each day including weekends and/or holidays.
 - f. Order increased watering as necessary to prevent transport of dust off-site.
 - g. Cover soil stockpiled for more than two days or treat with soil binders to prevent dust generation. Reapply as needed.
 - h. If the site is graded and left undeveloped for over four weeks, the Owner/Applicant shall immediately: (i) Seed and water to re-vegetate graded

areas; and/or (ii) Spread soil binders; and/or; (iii) Employ any other method(s) deemed appropriate by P&D or APCD.

PLAN REQUIREMENTS: These dust control requirements shall be noted on all grading and building plans. **PRE-CONSTRUCTION REQUIREMENTS:** The contractor or builder shall provide P&D monitoring staff and APCD with the name and contact information for an assigned onsite dust control monitor(s) who has the responsibility to:

- a. Assure all dust control requirements are complied with including those covering weekends and holidays.
- b. Order increased watering as necessary to prevent transport of dust offsite.
- c. Attend the pre-construction meeting.

TIMING: The dust monitor shall be designated prior to building permit issuance. The dust control components apply from the beginning of any grading or construction throughout all development activities until Final Building Inspection Clearance is issued.

MONITORING: P&D processing planner shall ensure measures are on plans. P&D grading and building inspectors shall spot check; Grading and Building shall ensure compliance onsite. APCD inspectors shall respond to nuisance complaints.

6. **Noise-02 Construction Hours.** The Owner /Applicant, including all contractors and subcontractors shall limit construction activity, including equipment maintenance and site preparation, to the hours between 7:00 a.m. and 4:30 p.m. Monday through Friday. No construction shall occur on weekends or State holidays. Non-noise generating interior construction activities such as plumbing, electrical, drywall and painting (which does not include the use of compressors, tile saws, or other noise-generating equipment) are not subject to these restrictions. Any subsequent amendment to the Comprehensive General Plan, applicable Community or Specific Plan, or Zoning Code noise standard upon which these construction hours are based shall supersede the hours stated herein. **PLAN REQUIREMENTS:** The Owner/Applicant shall provide and post a sign stating these restrictions at all construction site entries. **TIMING:** Signs shall be posted prior to commencement of construction and maintained throughout construction. **MONITORING:** The Owner/Applicant shall demonstrate that required signs are posted prior to grading/building permit issuance and pre-construction meeting. Building inspectors shall spot check and respond to complaints.
7. **Parking-02 Onsite Construction Parking.** All construction-related vehicles, equipment staging and storage areas shall be located onsite and outside of the road right of way. The Owner/Applicant shall provide all construction personnel with a written notice of this requirement and a description of approved parking, staging and storage areas. The notice shall also include the name and phone number of the Owner/Applicant's designee responsible for enforcement of this restriction. **PLAN REQUIREMENTS:** Designated construction personnel parking, equipment staging and storage areas shall be depicted on project plans submitted for Land Use Permit issuance. **TIMING:** A copy of the written notice shall be submitted to P&D permit processing staff prior to issuance of the Land

Use Permit. This restriction shall be maintained throughout construction. **MONITORING:** Building and Safety shall confirm the availability of designated onsite areas during construction, and as required, shall require re-distribution of updated notices and/or refer complaints regarding offsite parking to appropriate agencies.

8. **WatConv-04 Equipment Storage-Construction.** The Owner/Applicant shall designate a construction equipment filling and storage area(s) to contain spills, facilitate clean-up and proper disposal and prevent contamination from discharging to the storm drains, street, drainage ditches, creeks, or wetlands. The areas shall be no larger than 50 x 50 foot unless otherwise approved by P&D and shall be located at least 100 feet from any storm drain, waterbody or sensitive biological resources. **PLAN REQUIREMENTS:** The Owner/Applicant shall designate the P&D approved location on all Land Use and Building permits. **TIMING:** The Owner/Applicant shall install the area prior to commencement of construction. **MONITORING:** Building and Safety inspection staff shall ensure compliance prior to and throughout construction.
9. **WatConv-05 Equipment Washout-Construction.** The Owner/Applicant shall designate a washout area(s) for the washing of concrete trucks, paint, equipment, or similar activities to prevent wash water from discharging to the storm drains, street, drainage ditches, creeks, or wetlands. Note that polluted water and materials shall be contained in this area and removed from the site daily. The area shall be located at least 100 feet from any storm drain, waterbody or sensitive biological resources. **PLAN REQUIREMENTS:** The Owner/Applicant shall designate the P&D approved location on all Land Use and Building permits. **TIMING:** The Owner/Applicant shall install the area prior to commencement of construction. **MONITORING:** Building and Safety inspection staff shall ensure compliance prior to and throughout construction.

County Rules and Regulations

10. **Rules-05 Acceptance of Conditions.** The Owner/Applicant's acceptance of this permit and/or commencement of use, construction and/or operations under this permit shall be deemed acceptance of all conditions of this permit by the Owner/Applicant.
11. **Rules-23 Processing Fees Required:** Prior to issuance of the Land Use Permit, the Owner/Applicant shall pay all applicable P&D permit processing fees in full as required by County ordinances and resolutions.
12. **Rules-30 Plans Requirements:** The Owner/Applicant shall ensure all applicable final conditions of approval are printed in their entirety on applicable pages of grading/construction or building plans submitted to P&D or Building and Safety Division. These shall be graphically illustrated where feasible.
13. **Rules-33 Indemnity and Separation:** The Owner/Applicant shall defend, indemnify and hold harmless the County or its agents or officers and employees from any claim, action or proceeding against the County or its agents, officers or employees, to attack, set aside, void, or annul, in whole or in part, the County's approval of this project.

14. **Rules-37 Time Extensions-All Projects:** The Owner / Applicant may request a time extension prior to the expiration of the permit or entitlement for development. The review authority with jurisdiction over the project may, upon good cause shown, grant a time extension in compliance with County rules and regulations, which include reflecting changed circumstances and ensuring compliance with CEQA. If the Owner / Applicant requests a time extension for this permit, the permit may be revised to include updated language to standard conditions and/or mitigation measures and additional conditions and/or mitigation measures which reflect changed circumstances or additional identified project impacts.

ATTACHMENT C: CEQA NOTICE OF EXEMPTION

TO: Santa Barbara County Clerk of the Board of Supervisors

FROM: Katie Nall, Planning & Development Department

The project or activity identified below is determined to be exempt from further environmental review requirements of the California Environmental Quality Act (CEQA) of 1970, as defined in the State and County Guidelines for the implementation of CEQA.

APN: 011-220-003 **Case No.(s):** 21LUP-0000-00292

Location: 539 Periwinkle Lane

Project Title: Scibird Exterior Alterations

Project Applicant: Richard & Lisa Scibird, and Mackenzie McGonegle

Project Description: The project is a request for a Land Use Permit (Case No. 21LUP-0000-00292) to abate a zoning violation (Case No 21ZEV-00000-00007) for unpermitted exterior changes to an 831-square-foot Moody Sister’s Cottage, including raising the northeastern portion of the roof by 3.5-inches, raising a portion of the eastern roof by 1-foot 5-inches, and installing new doors, windows and siding. Replacement windows match the appearance of the house’s historic window types with regard to the type and appearance of glazing bars. Replacement board and batten siding will be installed to match the original material and appearance throughout the exterior, including the water heater door. The existing 532-square-foot carport/utility room includes as-built exterior paint and material changes as well. No grading or tree removal is proposed. The maximum height of the residence is 13-feet. The parcel is served by the Montecito Water District, the Montecito Sanitary District, and the Montecito Fire Protection District. Access is provided from Periwinkle Lane. The property is a 0.17-acre parcel zoned 20-R-1 and shown as Assessor's Parcel Number 011-220-003, located at 539 Periwinkle Lane in the Montecito Community Plan Area, first Supervisorial District.

Name of Public Agency Approving Project: Santa Barbara County

Name of Person or Agency Carrying Out Project: Sophie Calvin

Exempt Status: (Check one)

- Ministerial
- Statutory Exemption
- Categorical Exemption
- Emergency Project

_____ Declared Emergency

Cite specific CEQA and/or CEQA Guideline Section: 15301(a) [Existing Structures]

Reasons to support exemption findings:

The project is categorically exempt from environmental review pursuant to Section 15301(a) [Existing Facilities] of the Guidelines for Implementation of the California Environmental Quality Act (CEQA). Section 15301(a) exempts the repair, permitting, or minor interior or exterior alteration of existing structures, involving negligible or no expansion of existing or former use, including additions to existing structures provided that the addition would not result in an increase of more than 50 percent of the floor area of the structures before the addition, or 2,500 square feet, whichever is less. Given that the project is for interior and exterior alterations to an existing private structure, the project is exempt under CEQA Section 15301(a).

The proposed project does not involve unusual circumstances, including future activities, resulting in or which might reasonably result in significant impacts which threaten the environment. The exceptions to the categorical exemptions pursuant to Section 15300.2 of the State CEQA Guidelines are:

- (a) Location. Classes 3, 4, 5, 6, and 11 are qualified by consideration of where the project is to be located -- a project that is ordinarily insignificant in its impact on the environment may in a particularly sensitive environment be significant. Therefore, these classes are considered to apply all instances, except where the project may impact on an environmental resource of hazardous or critical concern where designated, precisely mapped, and officially adopted pursuant to law by federal, state, or local agencies.**

This exception to the categorical exemption does not apply because no significant impacts that threaten the environment would result from the project. The residential structure is considered a significant resource for the purposes of environmental review because it retains many features of the original design characteristic motifs of Harriet Moody's cottage style aesthetic, including a small-scaled footprint, board-and-batten siding, wood-framed multi-paned windows, and a steeply-pitched roof. The residence is also eligible for listing as a County of Santa Barbara Place of Historic Merit. The proposed project also description meets the Secretary of the Interior's Standards for Rehabilitation. Therefore, implementation of the project would not materially impair the house's integrity of design, materials, and workmanship. The alterations to the residence do not harm the historic nature of the structure, the neighborhood, or Montecito's architectural heritage of Moody Cottages. There is no mapped Environmentally Sensitive Habitat on the subject parcel and the interior and exterior remodel would not affect any environmental resources.

- (b) Cumulative Impact. All exemptions for these classes are inapplicable when the cumulative impact of successive projects of the same type in the same place, over time is significant.**

The residence is one of several historically-designed houses on Periwinkle Lane, which convey a strong sense of time and place. The house forms part of a streetscape, which contributes to this thematically related grouping of houses sharing similar development history and design theme. The exterior alterations have not irretrievably impaired the house's ability to convey its original architecture therefore the street façade retains most of its original features. This exception to the categorical exemptions does not apply because there are no significant incremental or measurable cumulative impacts associated with successive projects of this type in the same place over time. Future alteration to the existing single family dwelling or structures on adjacent parcels would not have a significant impact. The subject property is located in the 20-R-1 zone district with similar uses and development density on adjacent properties.

- (c) Significant Effect. A categorical exemption shall not be used for an activity where there is a reasonable possibility that the activity will have a significant effect on the environment due to unusual circumstances.**

This exception to the categorical exemptions does not apply because there is not a reasonable possibility that the activity proposed would have a significant effect on the environment due to unusual circumstances. The project is for interior and exterior alterations to the existing single family dwelling. The project would constitute continued residential use of the parcel. There are no unusual environmental circumstances associated with the site. All services are available and adequate.

- (d) Scenic Highways. A categorical exemption shall not be used for a project which may result in damage to scenic resources, including but not limited to, trees, historic buildings, rock outcroppings, or similar resources, within a highway officially designated as a state scenic highway. This does not apply to improvements which are required as mitigation by an adopted negative declaration or certified EIR.**

The project is not located within or within viewing distance of a Scenic Highway. Therefore, the proposed project would not result in damage to a scenic resource and this exception to the categorical exemption does not apply.

- (e) Hazardous Waste Sites. A categorical exemption shall not be used for a project located on a site which is included on any list compiled pursuant to Section 65962.5 of the Government Code.**

The project site is not included on any list compiled pursuant to Section 65962.5 of the Government Code (hazardous and toxic waste sites). In addition, there is no evidence of historic or current use or disposal of hazardous or toxic materials on the project site. Therefore, this exception to the categorical exemption does not apply.

(f) Historical Resources. A categorical exemption shall not be used for a project which may cause a substantial adverse change in the significance of a historical resource.

A Phase 1-2 Historic Resources Management Report, prepared by Post/Hazeltine Associates and dated May 28, 2021 was prepared for the subject property to evaluate the historic resource. When reviewing the County of Santa Barbara's Significance Criteria for Historic resources (A-I), the report found that the house is potentially considered a significant resource for the purposes of environmental review because it retains many features of its original design characteristic motifs of Moody Sister's cottage style aesthetic, including a small-scaled footprint, board-and-batten siding, wood-framed multi-paned windows, and a steeply-pitched roof. The Historic Report also found that the Moody Sisters-designed house at 539 Periwinkle Lane is eligible for listing as a County of Santa Barbara Place of Historic Merit. According to the Historic Report, the street façade retains most of its original features and the as-built changes have not irretrievably impaired the house's ability to convey its original architecture. The report concludes the proposed project description meets the Secretary of the Interior's Standards for Rehabilitation. Therefore, implementation of the project description would not materially impair the house's integrity of design, materials, and workmanship. The report states that the alterations to the residence do not harm the historic nature of the structure, the neighborhood, or Montecito's architectural heritage of Moody Cottages. Additionally, no archaeological or other cultural sites are known to exist on the property. Therefore, this exception to the categorical exemptions does not apply.

Lead Agency Contact Person: Katie Nall Phone #: (805) 884-8050

Department/Division Representative: _____

Date: _____

Acceptance Date: _____

Distribution: Hearing Support Staff

Date Filed by County Clerk: _____.

**MONTECITO BOARD OF ARCHITECTURAL
REVIEW APPROVED MINUTES**

**Meeting Date: February 23, 2023
1:00 P.M.**

4. **22BAR-00000-00187 Scibird-McGonegle Exterior Alterations 539 Periwinkle Lane**
21LUP-00000-00292 (Katie Nall, Planner nallk@countyofsb.org) Ridgeline: Urban

Request of Sophie Calvin, agent for Richard & Lisa Scibird and Mackezie Mcgonegge, to consider Case No. 22BAR-00000-00187 for Conceptual Review of a main house remodel of approximately 267 square feet and replacement of some exterior doors and windows. The following structures currently exist on the parcel: Single story family residence of approximately 773 square feet. The proposed project will not any require cut OR fill. The property is a 0.17-acre parcel zoned 20-R-1 and shown as Assessor's Parcel Number 011-220-003, located at 539 Periwinkle Lane in the Montecito Area, First Supervisorial District.

Public Comments:

1. **Cotty Chubb**
2. **Geoff Gray, Bill Babbitt, Mitchel Kauffman (email)**
3. **William Babbitt (present)**
4. **Mitchell Kauffmann (present)**

MBAR Comments:

1. **Site visit required.**
2. **Clarify presentation.**
3. **Detail Highlight** recommendations detailed in historic report.

No action taken. Project to return for Conceptual review.

**MONTECITO BOARD OF ARCHITECTURAL
REVIEW UNAPPROVED MINUTES**

**Meeting Date: June 1, 2023
1:00 P.M.**

S-1. 22BAR-00000-00187 Scibird-McGonegle Exterior Alterations 539 Periwinkle Lane

21LUP-00000-00292 (Katie Nall, Planner nallk@countyofsb.org) Ridgeline: Urban

Request of Sophie Calvin, agent for Richard & Lisa Scibird and Mackezie Mgonegge, to consider Case No. 22BAR-00000-00187 for a Site Visit of of a main house remodel of approximately 267 square feet and replacement of some exterior doors and windows. The following structures currently exist on the parcel: Single story family residence of approximately 773 square feet. The proposed project will not any require cut OR fill. The property is a 0.17-acre parcel zoned 20-R-1 and shown as Assessor's Parcel Number 011-220-003, located at 539 Periwinkle Lane in the Montecito Area, First Supervisorial District.

The MBAR conducted a site visit. See Item #5 below for comments on the project.

5. 22BAR-00000-00187 Scibird-McGonegle Exterior Alterations 539 Periwinkle Lane

21LUP-00000-00292 (Katie Nall, Planner nallk@countyofsb.org)

Request of Sophie Calvin, agent for Richard & Lisa Scibird and Mackezie Mgonegge, to consider Case No. 22BAR-00000-00187 for further conceptual review of a main house remodel of approximately 267 square feet and replacement of some exterior doors and windows. The following structures currently exist on the parcel: Single story family residence of approximately 773 square feet. The proposed project will not any require cut OR fill. The property is a 0.17-acre parcel zoned 20-R-1 and shown as Assessor's Parcel Number 011-220-003, located at 539 Periwinkle Lane in the Montecito Area, First Supervisorial District. (Continued from 02/23/23)

Item continued. See Agenda Status Report. Wolf ~~and Aldrich~~ absent.

**MONTECITO BOARD OF ARCHITECTURAL
REVIEW UNAPPROVED MINUTES**

**Meeting Date: June 15, 2023
1:00 P.M.**

8. 22BAR-00000-00187 Scibird-McGonegle Exterior Alterations 539 Periwinkle Lane

21LUP-00000-00292 (Katie Nall, Planner nallk@countyofsb.org)

Request of Sophie Calvin, agent for Richard & Lisa Scibird and Mackezie Mcgonegge, to consider Case No. 22BAR-00000-00187 for further conceptual review of a main house remodel of approximately 267 square feet and replacement of some exterior doors and windows. The following structures currently exist on the parcel: Single story family residence of approximately 773 square feet. The proposed project will not any require cut OR fill. The property is a 0.17-acre parcel zoned 20-R-1 and shown as Assessor's Parcel Number 011-220-003, located at 539 Periwinkle Lane in the Montecito Area, First Supervisorial District. (Continued from 02/23/23 and 06/01/23)

Public Comments:

- 1. Bill Babbitt**
- 2. Sharon Byrne**
- 3. Richard Scibird**

MBAR Comments:

- 1. Permitted metal roof and previous alterations to the structure are unfortunate.**
- 2. One member stated his belief that the spirt and uniqueness of a Moody Cottage has been eliminated, structure no longer retains historic qualities.**
- 3. One member cannot support the project given the unpermitted alterations and white color of the structure.**

No action taken. Project may return for Preliminary action. Aldrich absent.

**MONTECITO BOARD OF ARCHITECTURAL
REVIEW UNAPPROVED MINUTES**

**Meeting Date: August 10, 2023
1:00 P.M.**

1. 22BAR-00000-00187 Scibird-McGonegle Exterior Alterations 539 Periwinkle Lane

21LUP-00000-00292 (Katie Nall, Planner nallk@countyofsb.org)

Request of Sophie Calvin, agent for Richard & Lisa Scibird and Mackezie Mcgonegge, to consider Case No. 22BAR-00000-00187 for preliminary approval of a main house remodel of approximately 267 square feet and replacement of some exterior doors and windows. The following structures currently exist on the parcel: Single story family residence of approximately 773 square feet. The proposed project will not any require cut OR fill. The property is a 0.17-acre parcel zoned 20-R-1 and shown as Assessor's Parcel Number 011-220-003, located at 539 Periwinkle Lane in the Montecito Area, First Supervisorial District.
(Continued from 02/23/23)

Public Comments:

- 1. Bill Babbitt**
- 2. Mitchel Kaufman**

MBAR Comments:

- 1. Roofing material permitted, not part of the project under MBAR review.**
- 2. Current exterior paint color too bright and reflective, majority of the Board cannot support unless exterior color replaced with a color more compatible with surrounding neighborhood, with lower LRV.**
- 3. Item tabled to be reconsidered.**
- 4. Applicant returned with proposal to repaint dwelling in a softer white, with an LRV of 75.**

Action: Cung moved, seconded by Aldrich and carried by a vote of 4 - 1 (Gottsdanker no, Mendro & Wolf absent) to grant Preliminary approval to 22BAR-00187. The exterior paint color of the residence to be repainted Sherwin-Williams Incredible White (SW #7028).

2019 Low-Rise Residential Mandatory Measures Summary

Table with 2 columns: Measure ID and Description. Includes sections for Building Envelope Measures, Energy Efficiency Measures, and Mechanical Equipment Measures.

2019 Low-Rise Residential Mandatory Measures Summary

Table with 2 columns: Measure ID and Description. Includes sections for Mechanical Equipment Measures, Electrical Equipment Measures, and Plumbing Equipment Measures.

2019 Low-Rise Residential Mandatory Measures Summary

Table with 2 columns: Measure ID and Description. Includes sections for Mechanical Equipment Measures, Electrical Equipment Measures, and Plumbing Equipment Measures.

2019 Low-Rise Residential Mandatory Measures Summary

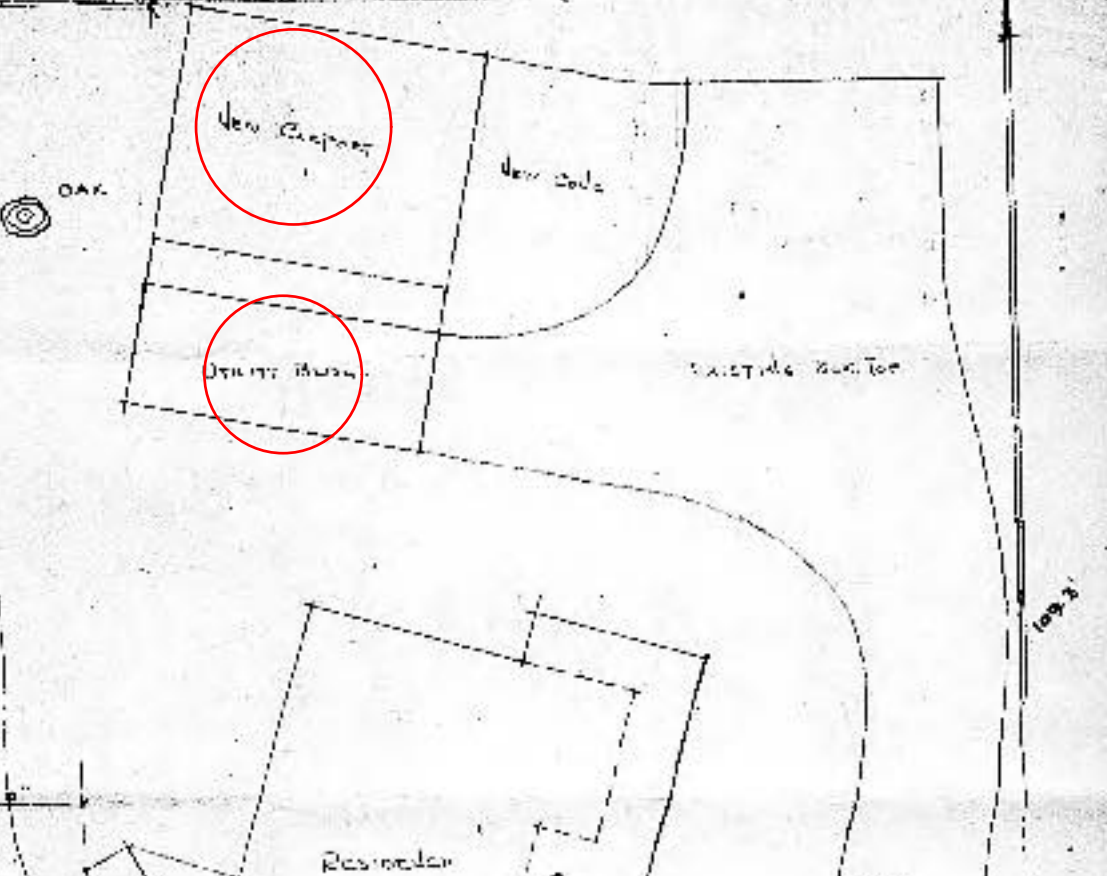
Table with 2 columns: Measure ID and Description. Includes sections for Mechanical Equipment Measures, Electrical Equipment Measures, and Plumbing Equipment Measures.

APPLICATION FOR LAND USE PERMIT

Application form for land use permit. Includes fields for Locality (Montecito), Date (Aug 16, 2019), and Applicant information.

EXISTING BUILDINGS AND PREMISES section. Includes details for existing main building, accessory buildings, and prepared main building.

Diagram of Property and buildings with dimensions. Includes a site plan showing building footprints and dimensions.



PLANNING DEPARTMENT APPROVED stamp. Includes date (Jan 24, 2020), signature, and project details.

Codes in effect for this project include the following:

ALL CONSTRUCTION SHALL COMPLY WITH THE CALIFORNIA RESIDENTIAL CODE: 2022 EDITION, CALIFORNIA PLUMBING CODE, 2022 EDITION, CALIFORNIA ELECTRICAL CODE, 2022 EDITION, CALIFORNIA MECHANICAL CODE, 2022 EDITION, CALIFORNIA FIRE CODE, 2022 EDITION, CALIFORNIA ENERGY CODE, 2022 EDITION, CALIFORNIA GREEN BUILDING STANDARD CODE, 2022 EDITION, SANTA BARBARA COUNTY BUILDING ORDINANCE 4986 AND SANTA BARBARA COUNTY GRADING ORDINANCE 4766. HIGH FIRE REQUIREMENTS 2022 CALIFORNIA RESIDENTIAL CODE AND CALIFORNIA BUILDING CODE.

California Green Building Standards Code apply to new residential buildings, additions or alterations of existing residential buildings where the addition or alteration increases the buildings conditioned area, volume or size. The requirements apply only to and/or within the specific area of the addition or alteration. Please address in plans as applicable. [CGBSC 301.1.1]

County of Santa Barbara Planning and Development logo and contact information for Glenn S. Russell, Ph.D., Director.

Construction Waste Management (CWM) Plan

Project Name: Scibird Applicant: (minimum 65% non-hazardous materials recycled and/or salvaged for re-use). Waste Hauling Company: Marborg industries. The Subcontractor and/or Contractor of record shall comply with the project's CWM Plan and Acknowledgment Sheet.

Notes: 1. Waste stream reduction refers to efforts taken by the builder to reduce the amount of waste generated by the project to below four (4) pounds per square foot of building area. 2. When using waste stream reduction measures, the gross weight of the product is subtracted from a base weight of four (4) pounds per square foot of building area.

Best Management Practices for Construction Activities

- Eroded sediments and other pollutants must be retained on site and may not be transported from the site via sheetflow, swales, area drains, natural drainage courses or wind.
Stockpiles of earth and other construction related materials must be protected from being transported from the site by the forces of wind or water.
Fuels, oils, solvents and other toxic materials must be stored in accordance with their listing and are not to contaminate the soil and surface waters.

Vicinity map:



Abate Violation: Construction performed without a building permit (21BDV-00002 & 21ZEV-00007) = Two roof areas were raised. These changes will abate the two violations.

Scope of work:

Proposed: Remodel existing residence, area of remodel = 260 sq. ft. No grading & no new landscaping. No additions to the main residence. I confirmed with Tim at Carstairs Energy, no energy calcs required, because not additions to the main house.

Square footage:

Table with 3 columns: MAIN HOUSE, GARAGE, and Carport. Rows include Single level house, WH closet, Area of remodel, Utility/Workshop, and Carport.

Site Data:

Table with 2 columns: APN, Lot Size, Land Use Permit needed, Comprehensive Plan, Coastal Zone, Zone, FEMA recovery map area, Property Use, Year Built, Type of construction, Occupancy, Stories, Very High Fire Hazard Severity Zone, Fire Sprinklers, MBAR Jurisdiction, Montecito Water District, Montecito Sanitary District, Structure of merit, Need Montecito Fire approval.

Contacts:

Owners: Richard and Lisa Scibird & Mackenzie McGonegle 539 Periwinkle Lane Santa Barbara, CA 93108 (805) 689-9404 rscibird@gmail.com
Agent / Residential Designer: Calvin Design / Sophie Calvin P.O. Box 50716 Santa Barbara, CA 93150 (805) 969-0559 sophiecalvin@gmail.com
Structural Engineer: Cedar Structural, Inc. / Mounir El-Koussa 1 N Calle Cesar Chavez, Ste. #102 Santa Barbara, CA 93103 (805) 455-6120 mounir@cedarstructural.com / Lic. # C86520

Land Surveyor: Joel Avakian 208 Park Road, Ojai, CA 93023 joelfavakian@gmail.com (805) 252-9385 Lic. #

Calvin Design (805) 969-0559 Sophie Calvin P.O. Box 50716 Santa Barbara, CA 93150 sophiecalvin@cox.net. Project description, contacts, data, codes & sheet index. A1



North elevation / front of the main residence



South elevation & west elevation of the utility room



West elevation / side of the main residence



Utility room north elevation & house east elevation



East side of Carport



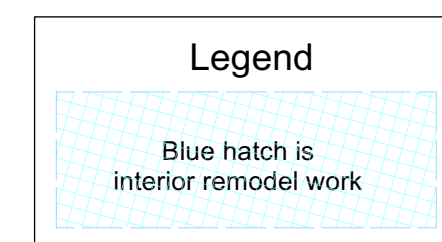
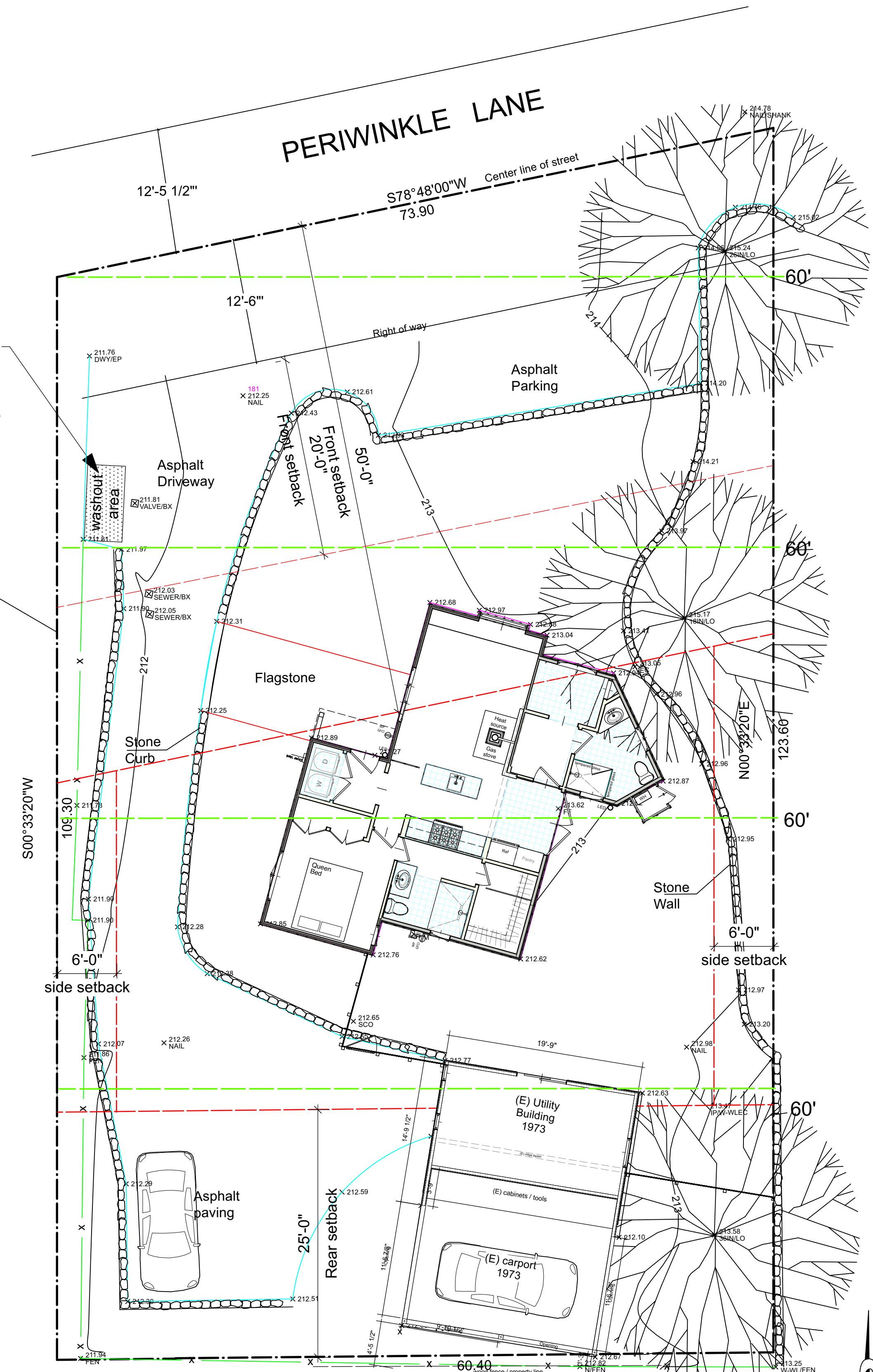
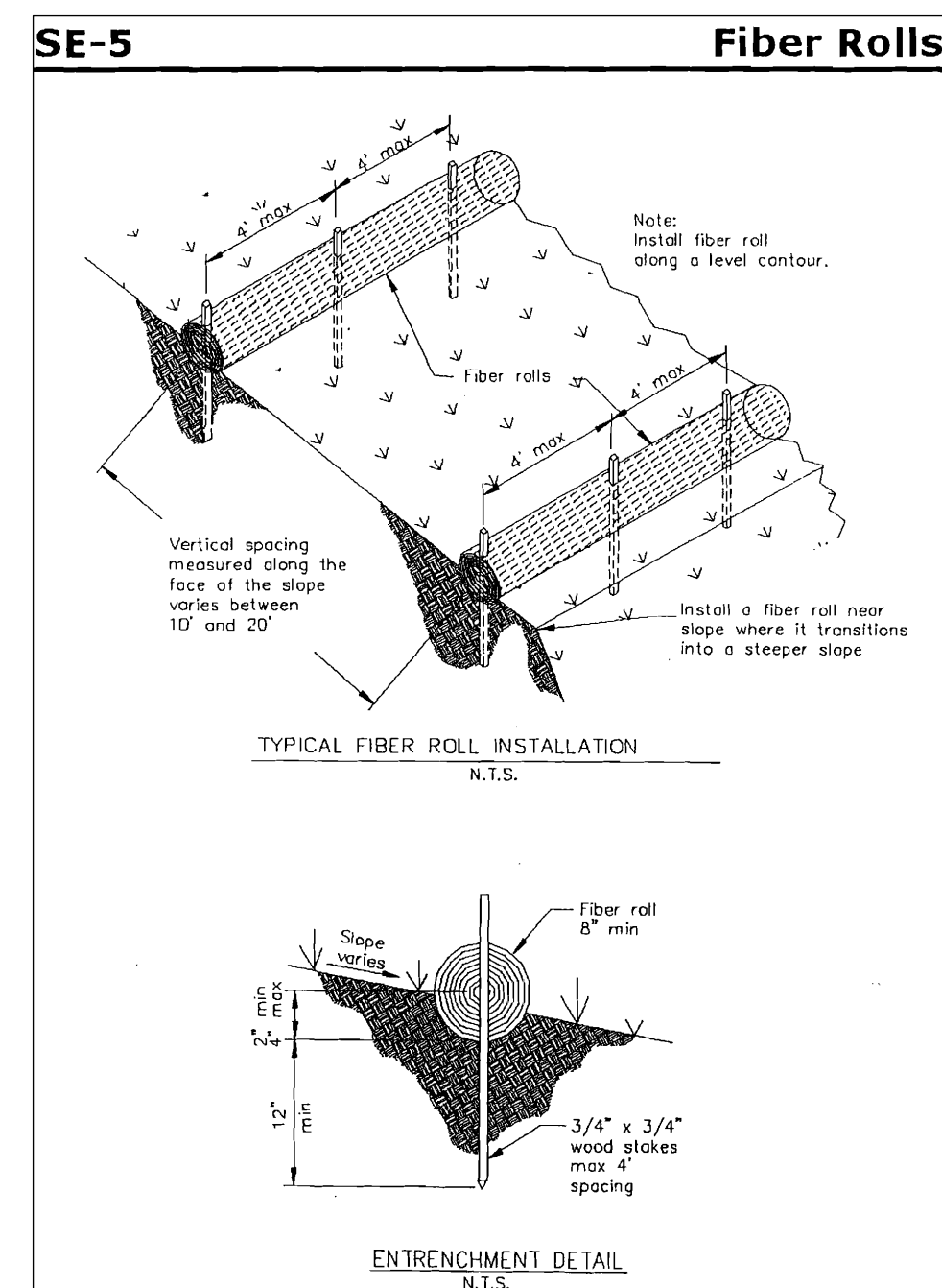
Carport, wall recessed



Utility and carport

Construction wash out area, appropriate to size of project, to be maintained during construction. Provide multiple layers of heavy duty vinyl sheets or tarps, as required to contain all polluted water and materials for safe removal from site. Provide sand bag dam for complete surround to contain wash out area. Remove and clean surrounding area as required upon construction completion.

This Line Not Established Per This Survey



Site Plan
1" = 20'-0"

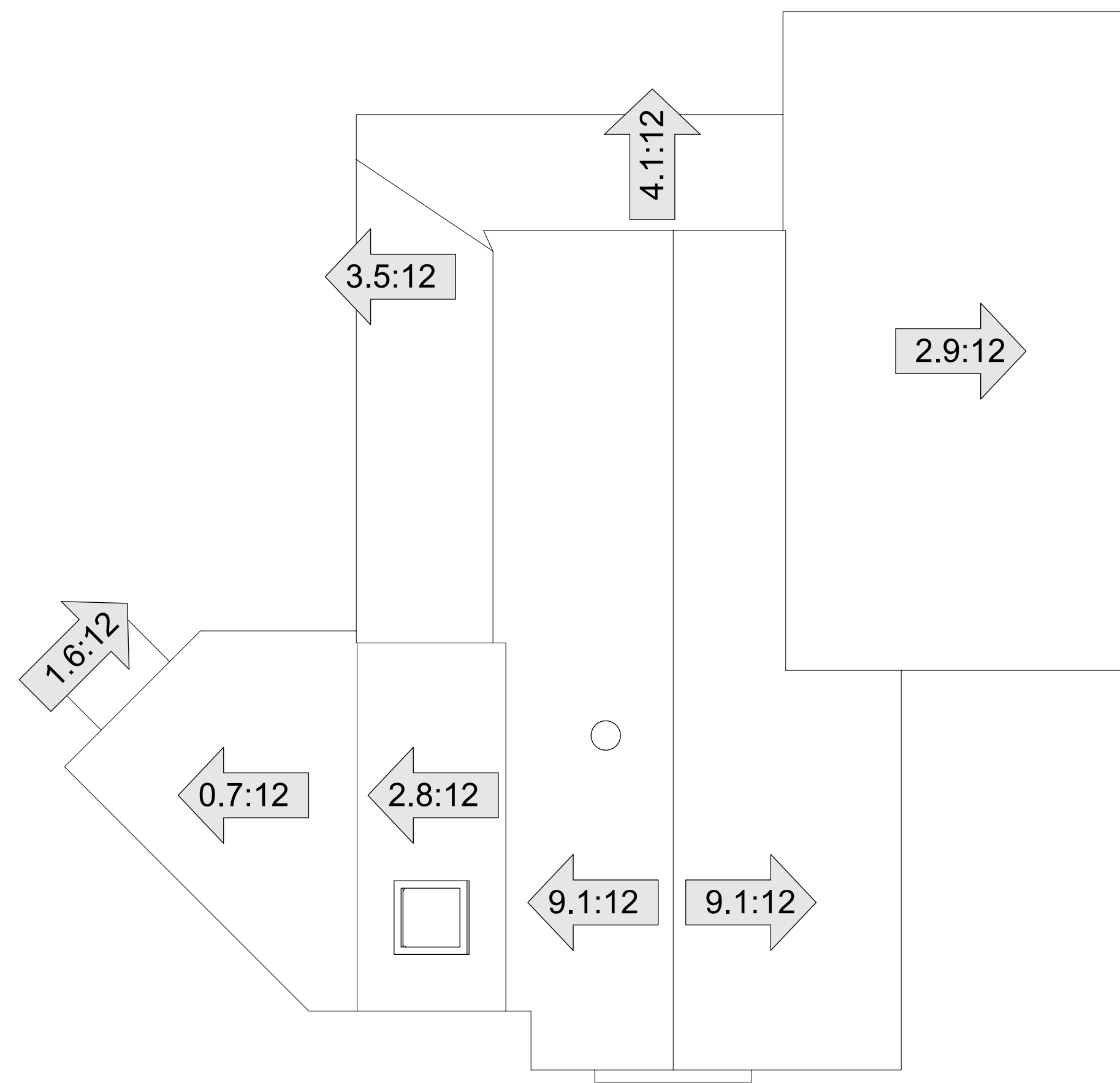
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Architectural Notes

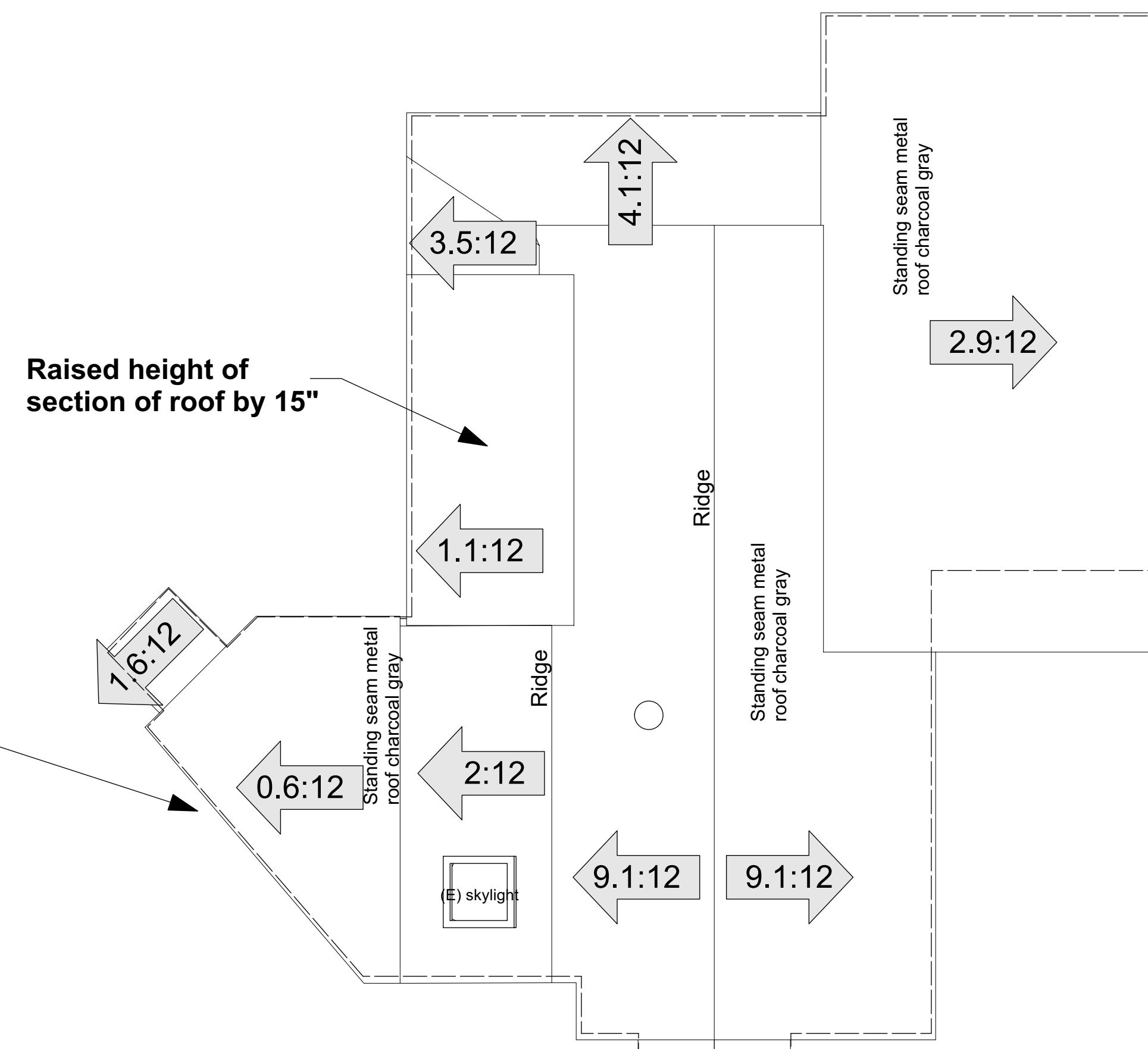
- A01** Exterior walls of dwellings and accessory buildings without an approved fire sprinkler system are to comply with CRC Table R302.1 (1). Exterior walls of dwellings and accessory buildings with an approved fire sprinkler system are to comply with CRC Table R302.1 (2). [CRC R302.1]
- A10** Habitable space, hallways, and portions of basements containing these spaces shall have a ceiling height of not less than 7 feet. Bathrooms, toilet rooms and laundry rooms shall have a ceiling height of not less than 6 feet 8 inches. (Exception: Rooms with sloping ceilings may have a portion of the room below 7 feet when in accordance with the requirements of CRC R305.1, Exception 1). [CRC R305]
- A23** Dwellings shall be provided with at least one egress door. The egress door shall be side-hinged and shall provide a minimum clear width of 32 inches when measured between the face of the door and the stop with the door open 90 degrees. The required egress door shall open directly into a public way or to a yard or court that opens to a public way. [CRC R311]
- A26** Emergency escape and rescue openings with a finished sill height below the adjacent ground level are to be provided with window wells having a horizontal area of not less 9 square feet and a minimum dimension of 36". It must be situated such that the window can be fully opened. Window wells with a vertical depth of more than 44" are to be equipped with an approved permanently affixed ladder or steps. Ladder or rungs are to have an inside width of not less than 12", shall project at least 3" from the wall and shall be spaced not more than 18" on center vertically for the full height of the window well. The ladder or steps shall not encroach into the required dimensions of the window well by more than 6" and shall not be obstructed by the egress window. (Note: Ladders or steps required by this section are exempt from the stairway requirements of R311.7; bulkhead enclosures used for this purpose are to comply with CRC R310.3 and CRC R311.7.9.2) [CRC R310]
- A28** Habitable rooms shall have an aggregate glazing area of not less than 8 percent of the floor area of such rooms. Natural ventilation shall be through windows, skylights, doors, louvers or other approved openings to the outdoor air. Such openings shall be provided with ready access or shall otherwise be readily controllable by the building

- occupants. The minimum openable area to the outdoors shall be 4 percent of the floor area being ventilated. A room may be considered as a portion of an adjoining room for these purposes when at least one-half of the area of the common wall is open and unobstructed and provides an opening of not less than one-tenth of the floor area of the interior room but not less than 25 square feet. (Note: The openable area of a room adjoining a sunroom addition as defined in Section R202 may be not less than one-tenth of the floor area of the interior room but not less than 20 square feet when the minimum openable area to the outdoors for purposes of ventilation is based upon the total floor area being served) [CRC R303.1, CRC R303.2]
- A31** Provide safety glazing in all fixed and operable panels of swinging, sliding and bi-fold doors. [CRC R308.4]
- A35** Provide safety glazing in enclosures for or walls facing hot tubs, spas, whirlpools, saunas, steam rooms, bathtubs and showers where the bottom edge of the glass is less than 60 inches from the floor and within 5 feet of the water's edge measured horizontally and in a straight line from the water's edge of a bathtub, hot tub, spa, whirlpool or swimming pool or from the edge of a shower, sauna or steam room. Show specific locations of safety glazing in door schedule or on floor plans. [CRC R308.4]
- A52** Exterior doors shall comply with one of the following: 1. Exterior surface or cladding shall be of non-combustible or ignition resistant material or, 2 Shall be constructed of solid core wood that comply with the following: stile and rails shall not be less than 1-3/8 inches thick, raised panels shall not be less than 1-1/4 inches thick, except for the exterior perimeter of the raised panel that may taper to a tongue not less than 3/8 inch thick, 3. Shall have a fire-resistance rating of not less than 20 minutes when tested according to NFPA 252, 4. Shall be tested to the performance requirements of SFM Standard 12-7A-1. [CRC R337.8.3]
- A54** Patio covers, carports, gazebos and similar structures which are attached or where any portion of such structure is within 50 feet of a dwelling shall be constructed of non-combustible materials, ignition-resistant materials, or shall comply with the exterior covering requirements of CRC Section R337.7. Awnings and canopies are to comply with Section 3105 of the California Building Code. [CRC R337.10.2]



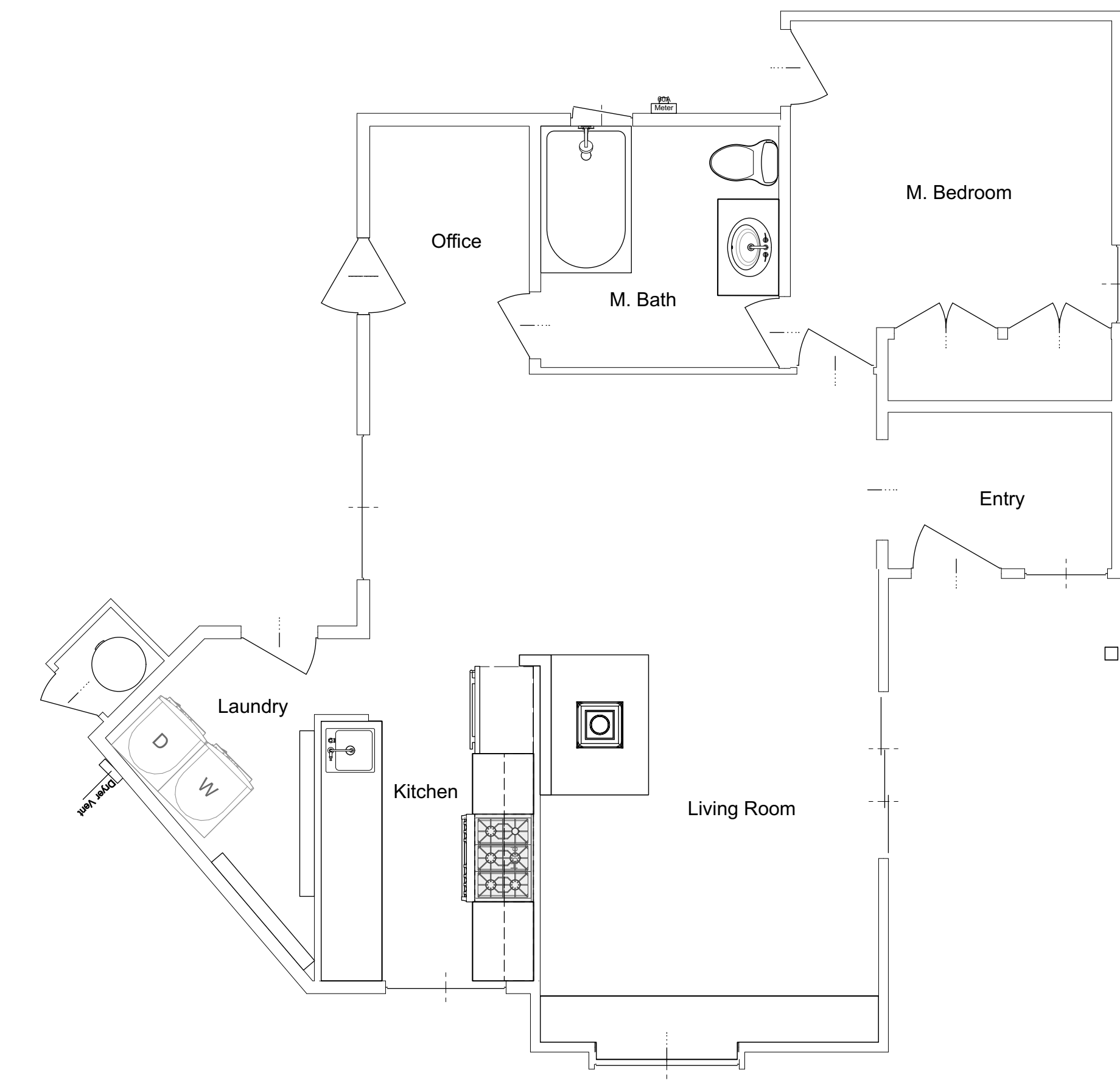
Existing Roof Plan

Scale: 1/4" = 1'-0"



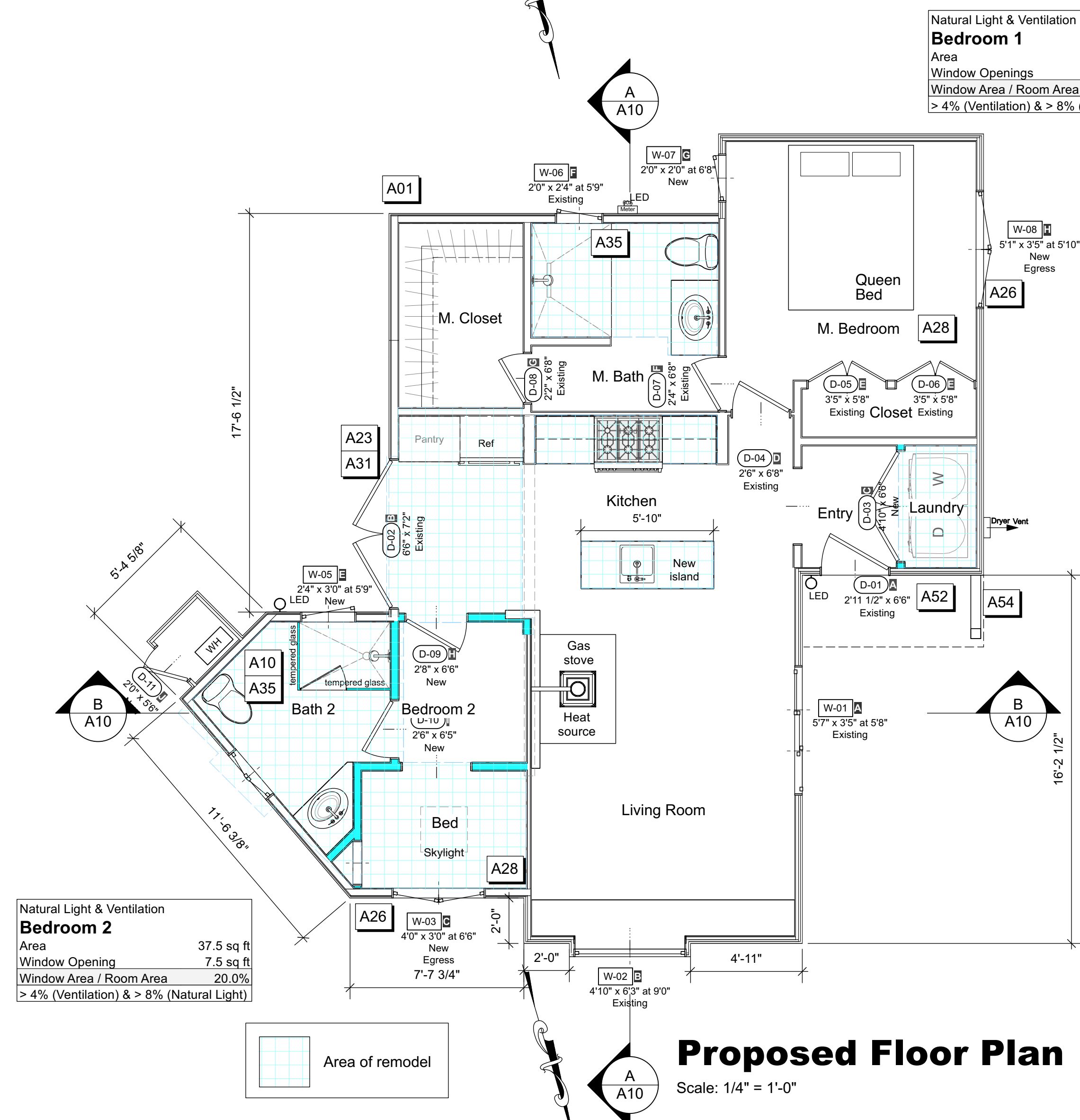
Proposed Roof Plan

Scale: 1/4" = 1'-0"



Existing Floor Plan

Scale: 1/4" = 1'-0"



Natural Light & Ventilation

Bedroom 2	
Area	37.5 sq ft
Window Opening	7.5 sq ft
Window Area / Room Area	20.0%
> 4% (Ventilation) & > 8% (Natural Light)	

Natural Light & Ventilation

Bedroom 1	
Area	130.5 sq ft
Window Openings	15 sq ft
Window Area / Room Area	11.5%
> 4% (Ventilation) & > 8% (Natural Light)	

Area of remodel

Proposed Floor Plan

Scale: 1/4" = 1'-0"

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Abate Planning & Building violations and remodel house, convert garage / workshop into an ADU for:
Scibird / McGonegle
539 Periwinkle Lane, Montecito CA 93108

Residence Existing & Proposed Floor & Roof Plans

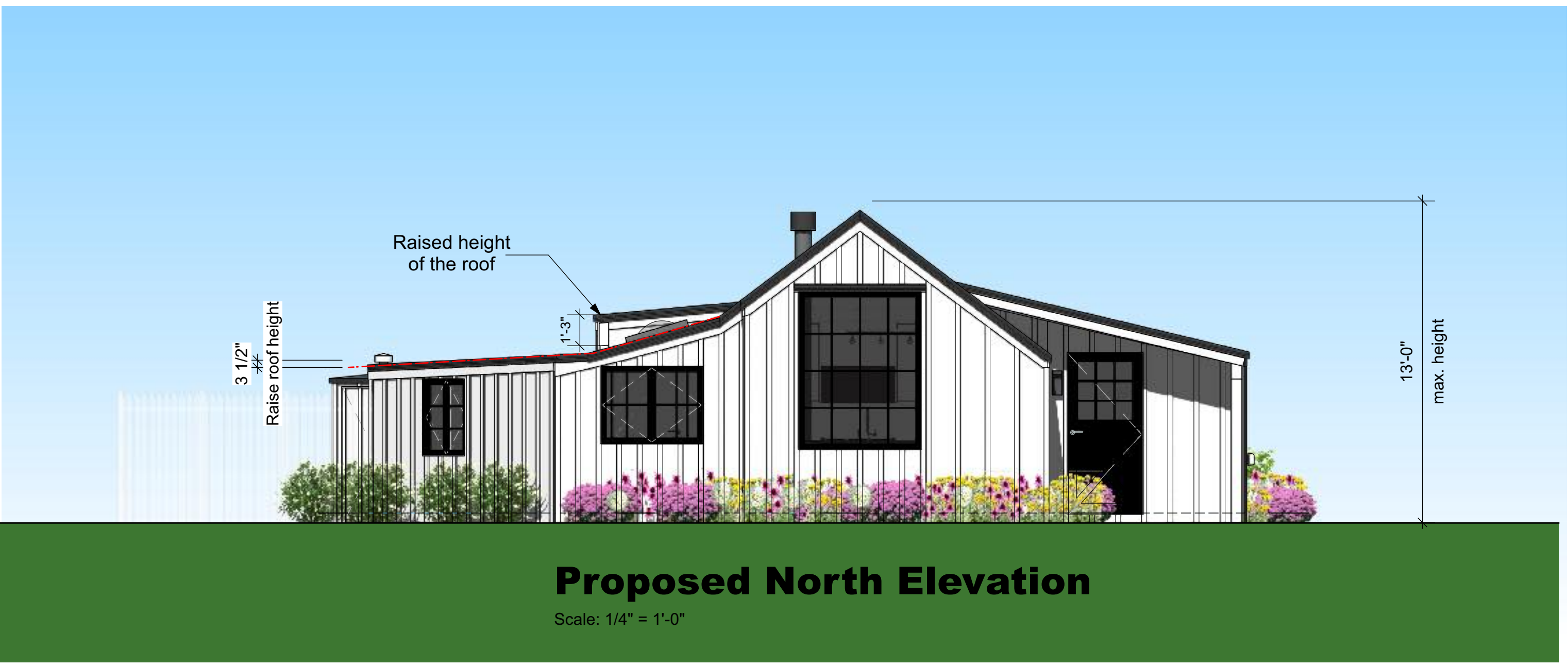
July 4, 2023

A7



Provided the following measures are implemented the proposed project meets the Secretary of the Interior's Standards for Rehabilitation:

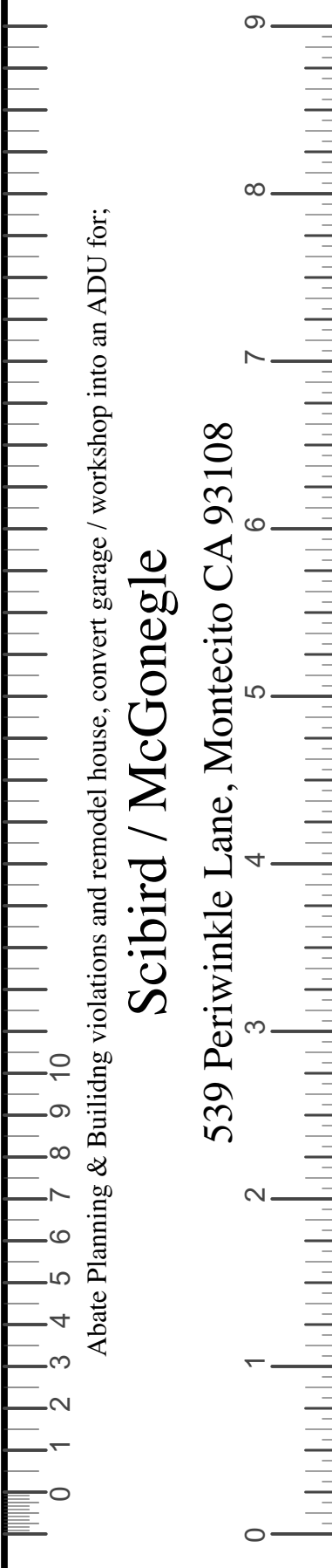
- Replacement board and batten siding shall match the original in material and appearance;
- Replacement windows shall match the appearance of the house's historic window types in regard to the type and appearance of glazing bars;
- An original window at the north end of the west elevation proposed for replacement shall be retained in place; and
- Consider revising the water heater door to incorporate some board and batten siding. **See page A7, water heater door with matching board and battens**



Abate Planning & Building violations and remodel house, convert garage / workshop into an ADU for:

Scibird / McGonegle

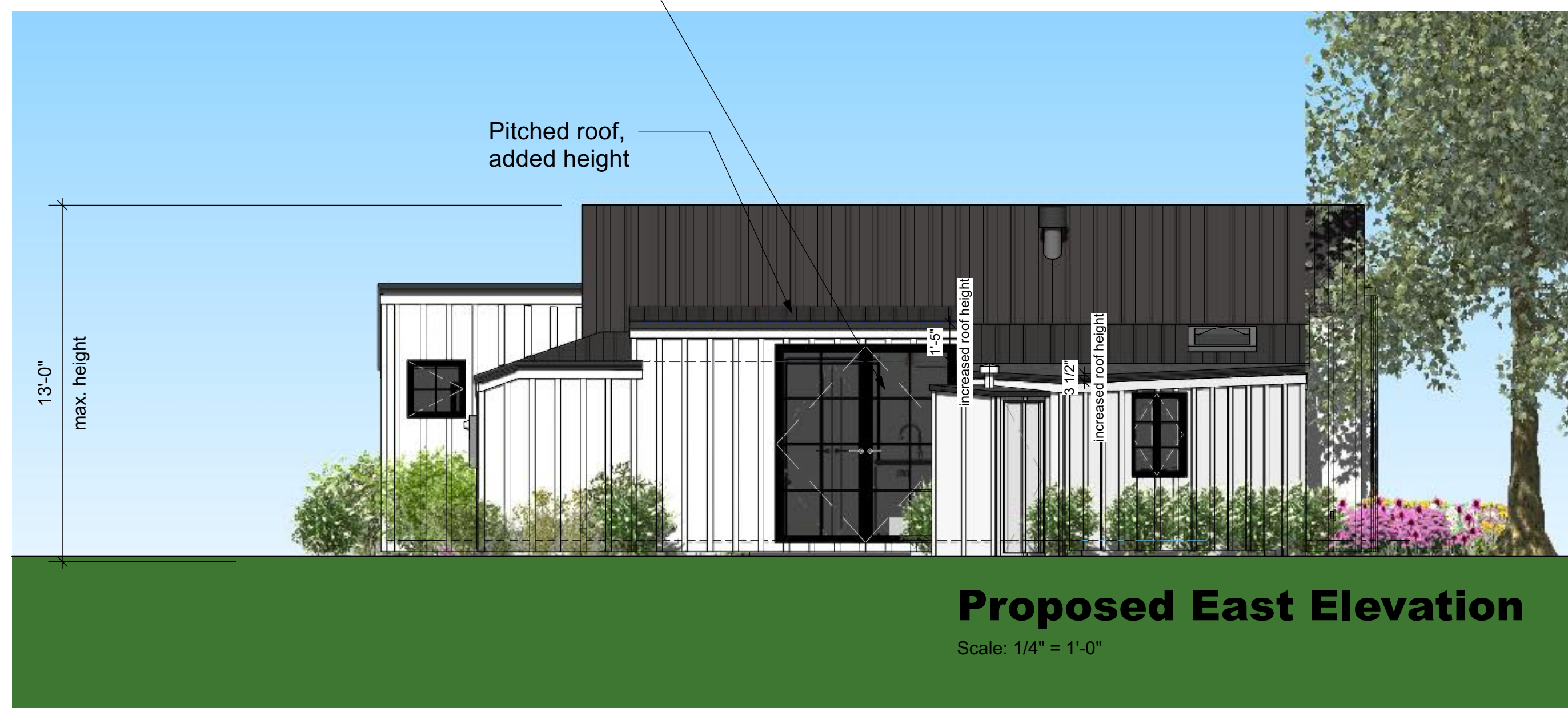
539 Periwinkle Lane, Montecito CA 93108





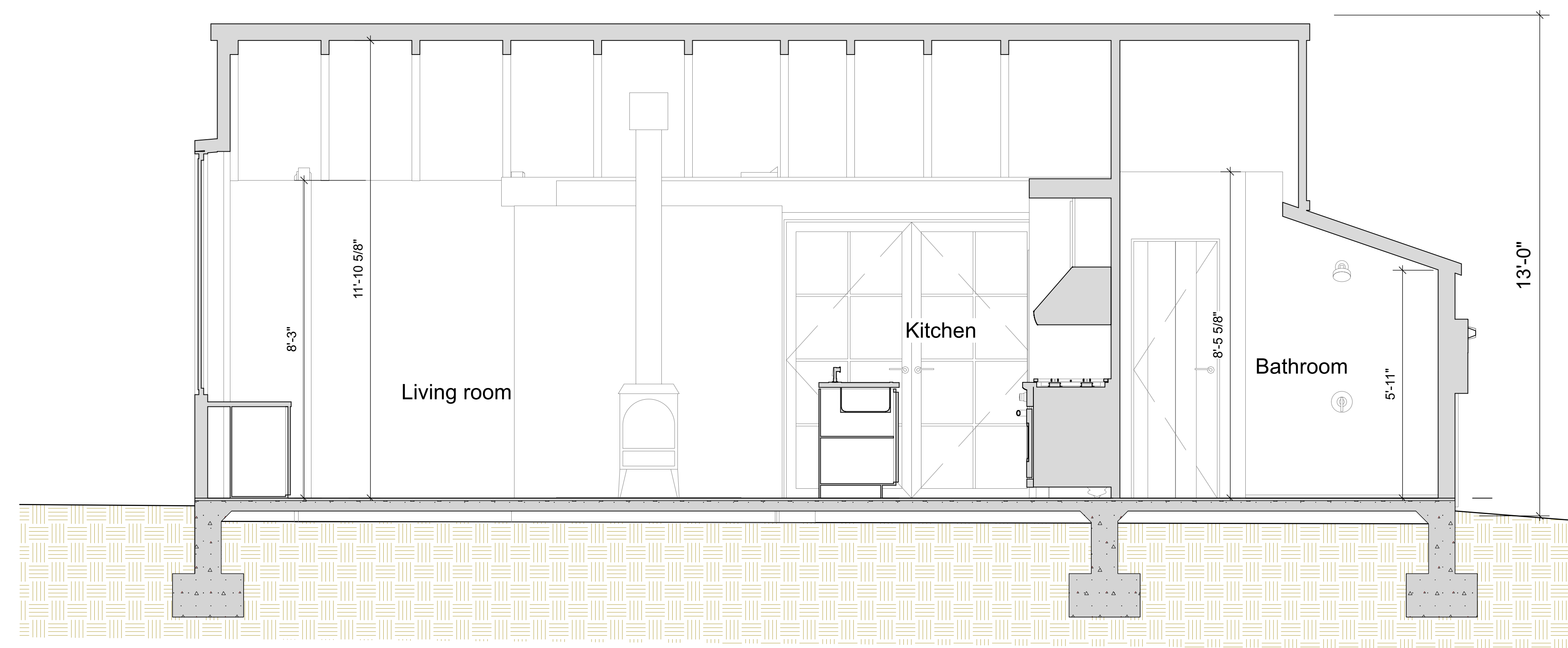
Provided the following measures are implemented the proposed project meets the Secretary of the Interior's Standards for Rehabilitation:

- Replacement board and batten siding shall match the original in material and appearance;
- Replacement windows shall match the appearance of the house's historic window types in regard to the type and appearance of glazing bars; and
- An original window at the north end of the west elevation proposed for replacement shall be retained in place

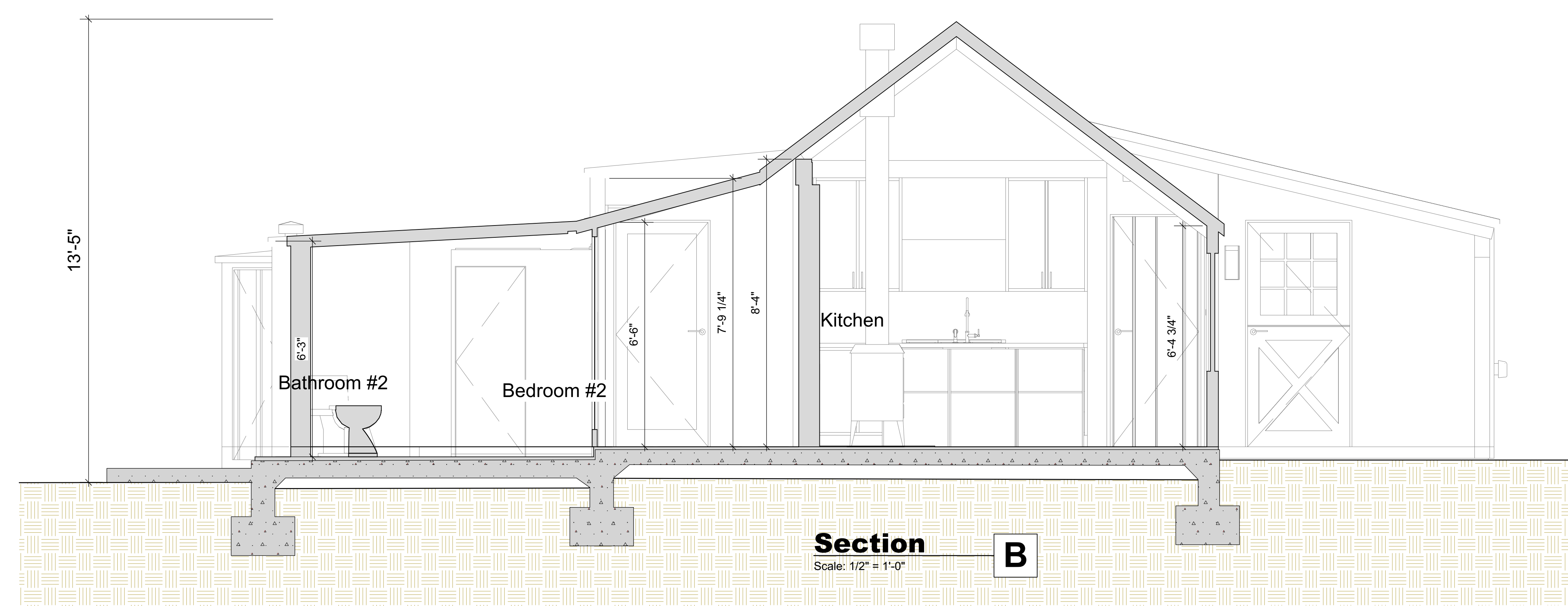


- Consider revising the water heater door to incorporate some board and batten siding.

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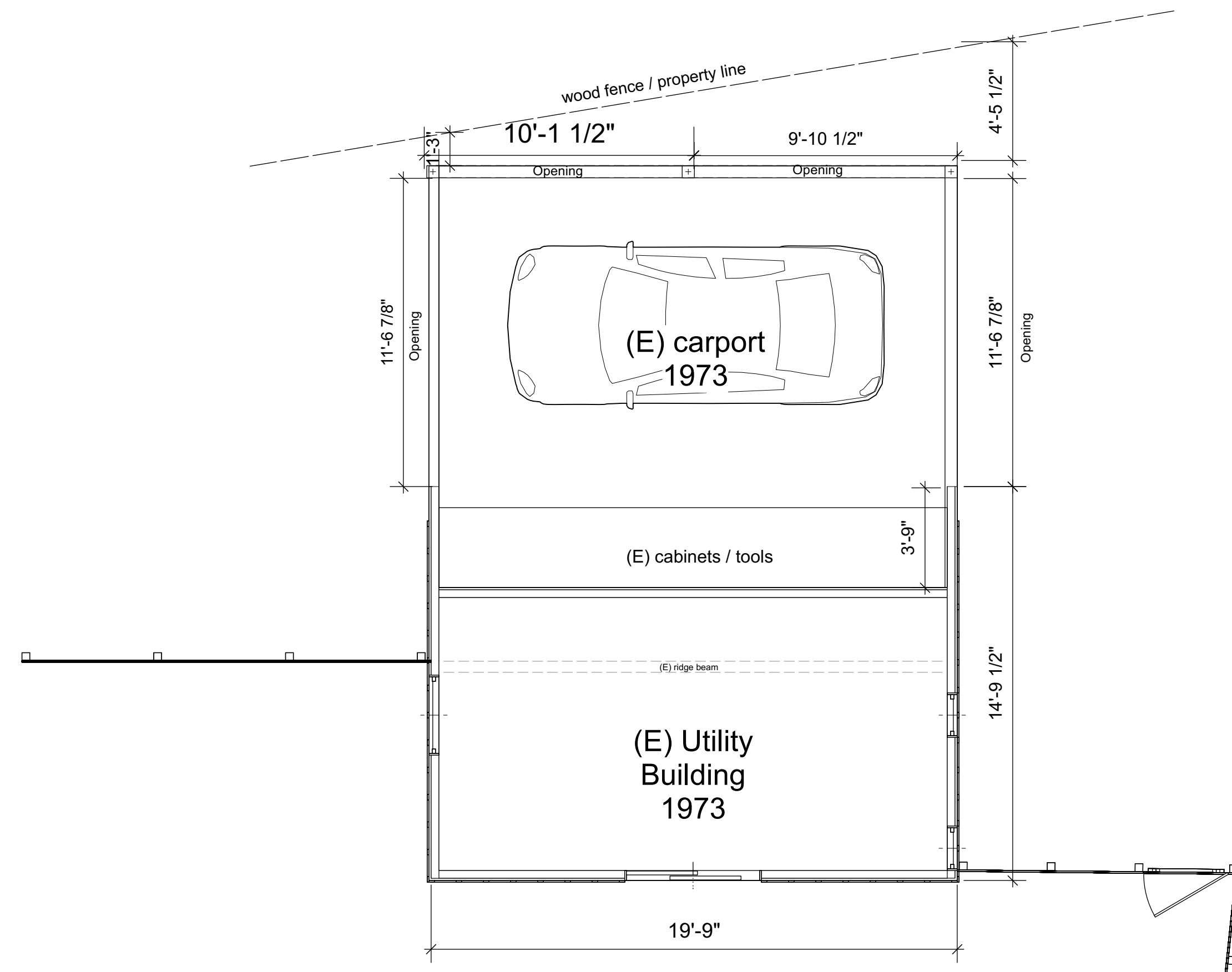


Section A
 Scale: 1/2" = 1'-0"



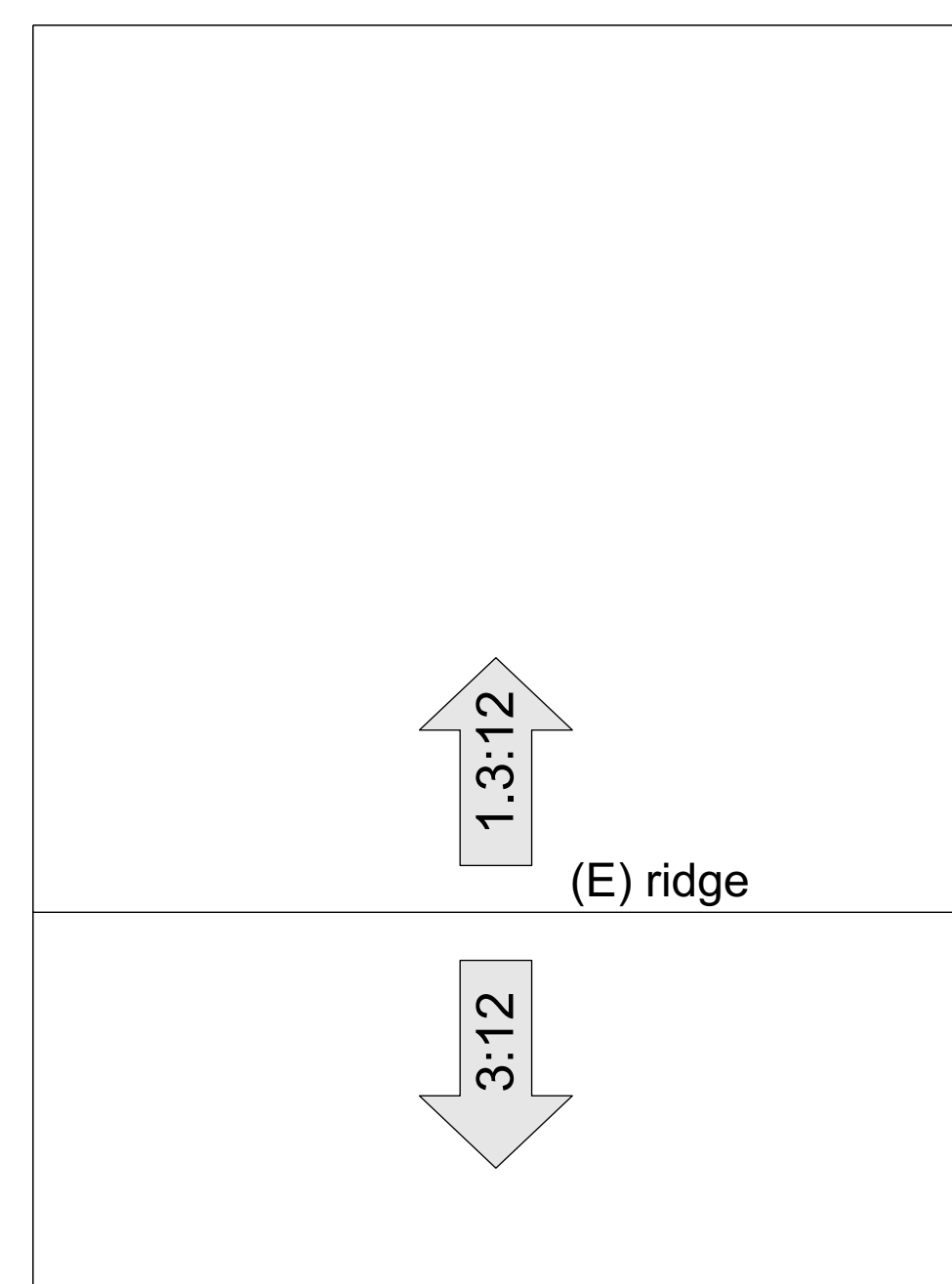
Section B
 Scale: 1/2" = 1'-0"

Abate Planning & Building violations and remodel house, convert garage / workshop into an ADU for:
Scibird / McGonegle
 539 Periwinkle Lane, Montecito CA 93108



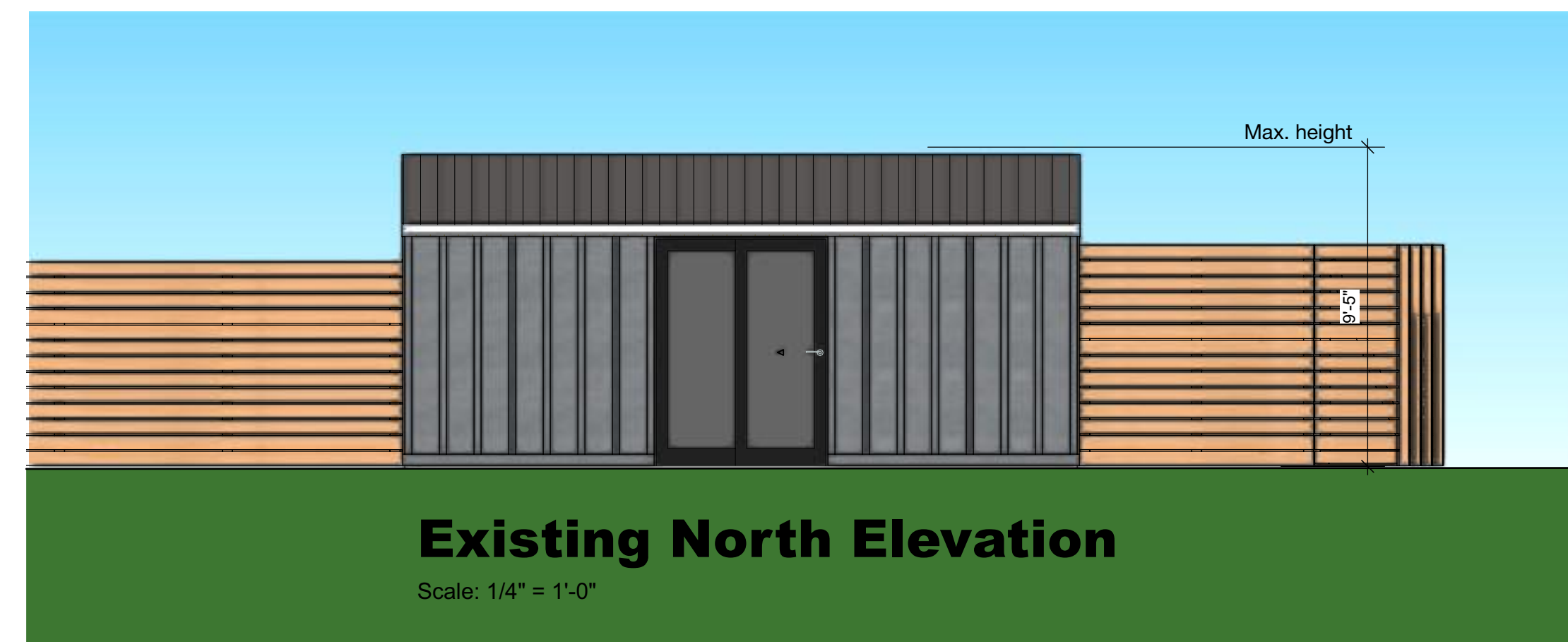
Existing Carport / Utility Floorplan

Scale: 1/4" = 1'-0"



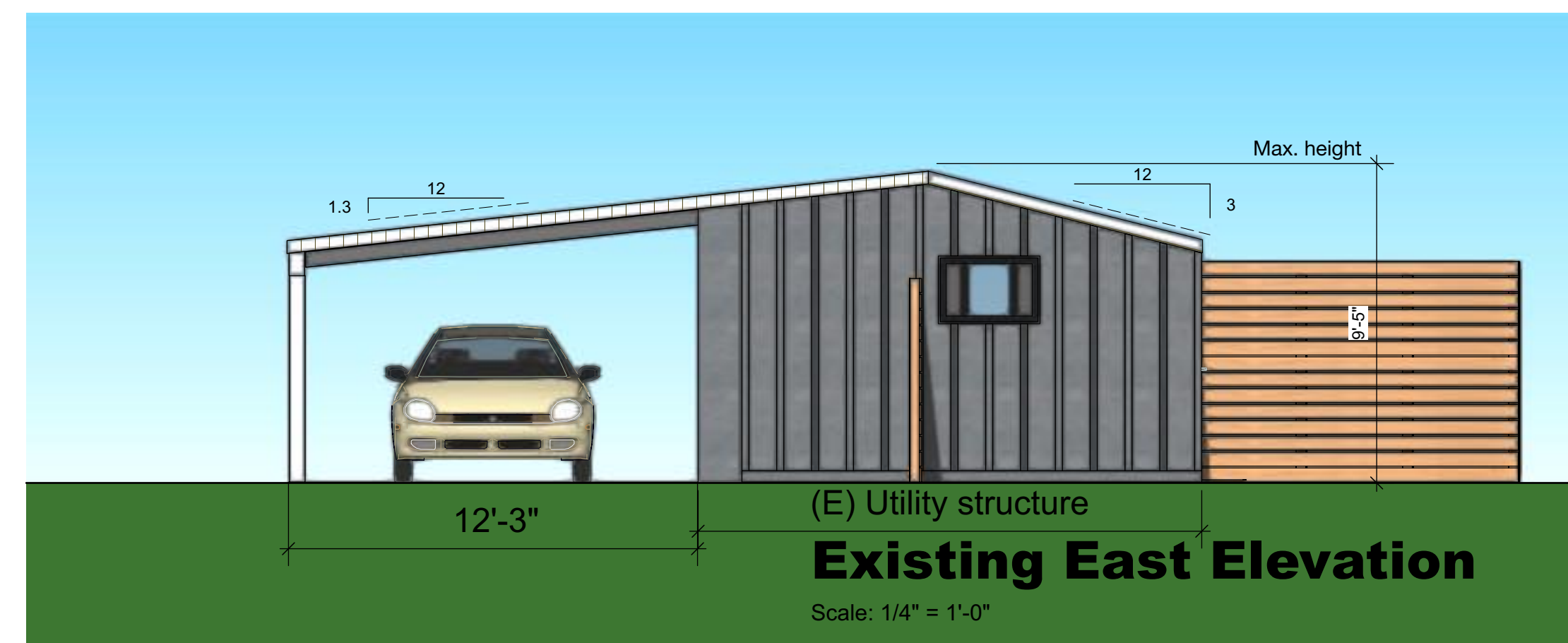
Existing Carport / Utility Roof

Scale: 1/4" = 1'-0"



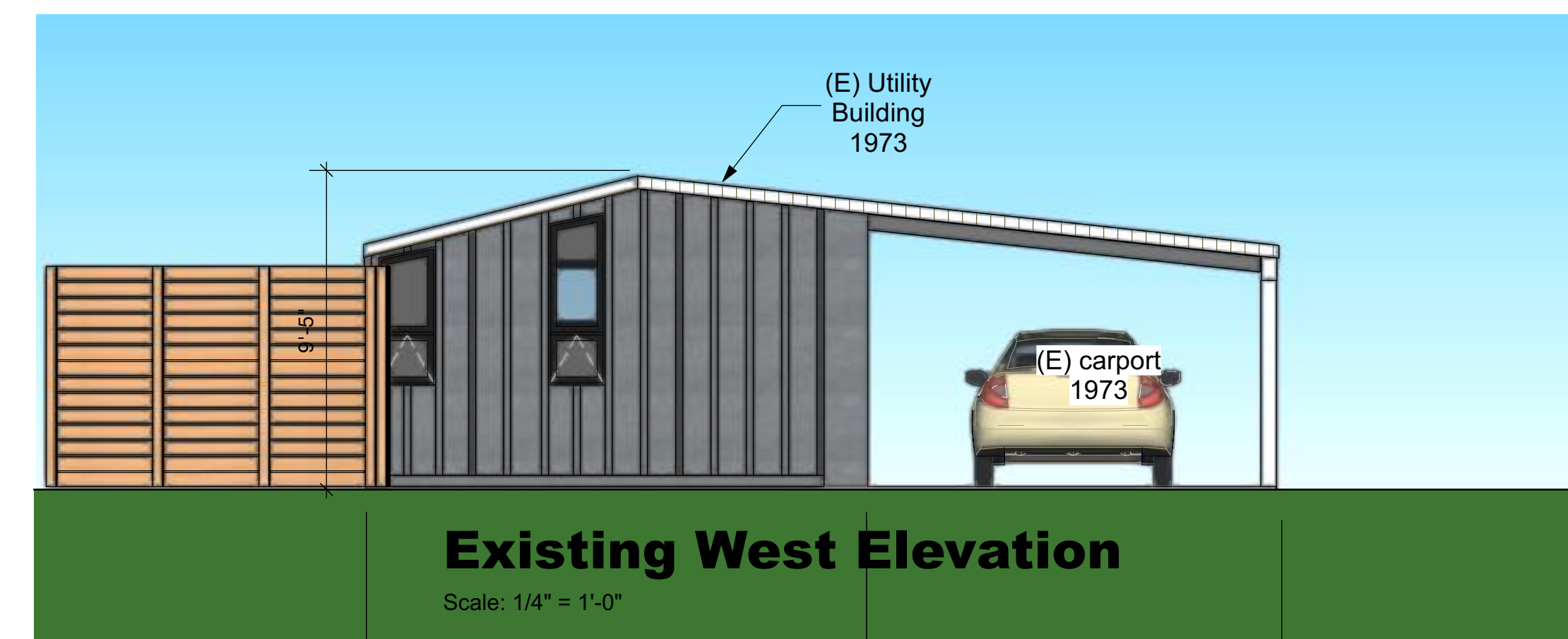
Existing North Elevation

Scale: 1/4" = 1'-0"



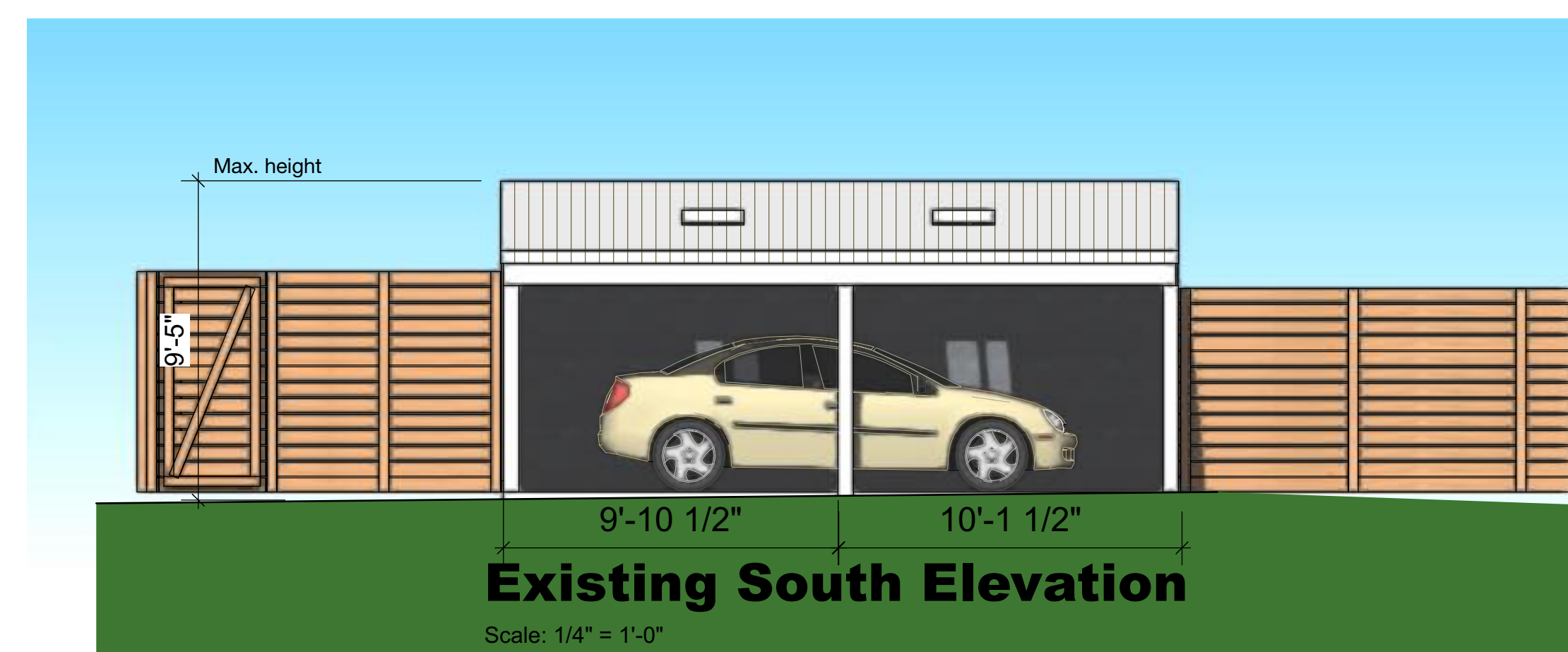
Existing East Elevation

Scale: 1/4" = 1'-0"



Existing West Elevation

Scale: 1/4" = 1'-0"



Existing South Elevation

Scale: 1/4" = 1'-0"



Calvin Design

(805) 969-0559
Sophie Calvin

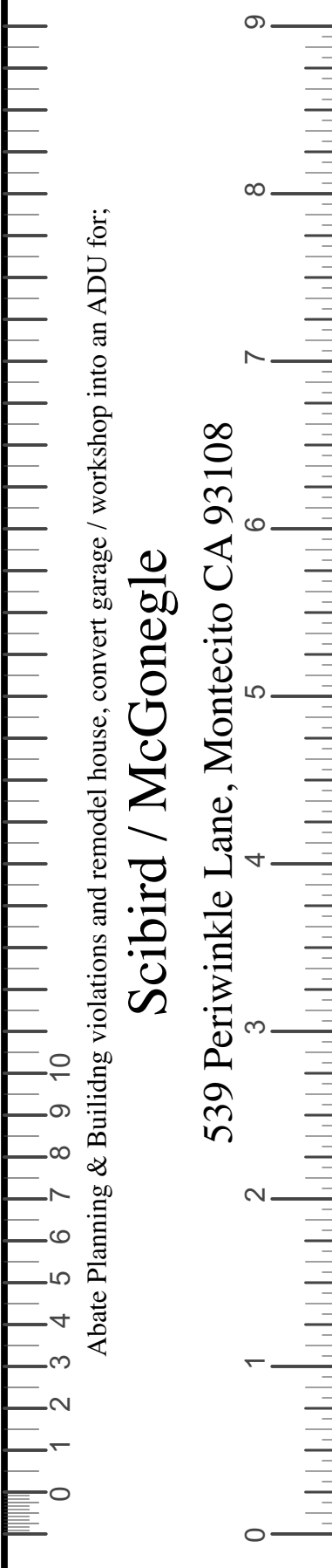
P.O. Box 50716
Santa Barbara, CA 93150
sophiecalvin@cox.net

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Abate Planning & Building violations and remodel house, convert garage / workshop into an ADU for:

Scibird / McGonegle

539 Periwinkle Lane, Montecito CA 93108



(E) Garage / Workshop Elevations

July 4, 2023

A13

PHASE 1-2 HISTORIC RESOURCES MANAGEMENT REPORT

**539 Periwinkle Lane , Montecito,
Santa Barbara Country, California**

APN 011-220-003

For

Richard and Lisa Scibird & Mackenzie McGonelge

By

POST/HAZELTINE ASSOCIATES

2607 Orella Street
Santa Barbara, CA 93105
(805) 682-5751
(posthazeltine@cox.net)

May 28, 2021

1.0 INTRODUCTION

This Phase 1-2 Historic Resources Report for 539 Periwinkle Lane, Montecito, Santa Barbara County, California (APN 011-220-003) was prepared for Richard and Lisa Scibird and Mackenzie McGonegle. The study parcel is a 0.17 -acre parcel (7,405 square feet) (per Assessors Record) (Figures 1 – 2a). The designer of record for the project is Sophie Calvin (Please see Appendix A for architect's plans). This study was prepared by Post/Hazeltine Associates and fulfills the requirements for historic resource evaluations outlined in the *County of Santa Barbara's Appendix B to the Environmental Thresholds and Guidelines Manual*, February 27, 2018; the *Santa Barbara County Comprehensive Plan, Land Use Element*, and the *Montecito General Plan*. This report was written by Pamela Post Ph.D. (senior author) and Timothy Hazeltine.

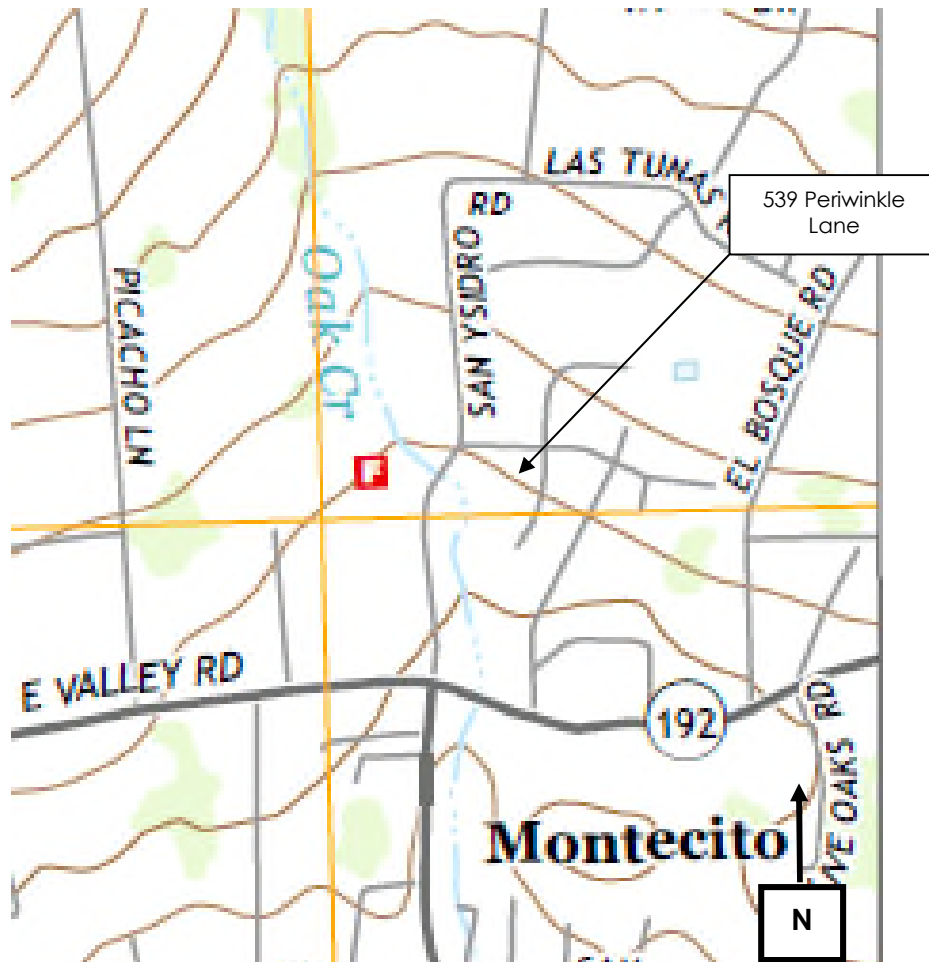


Figure 1, Location Map

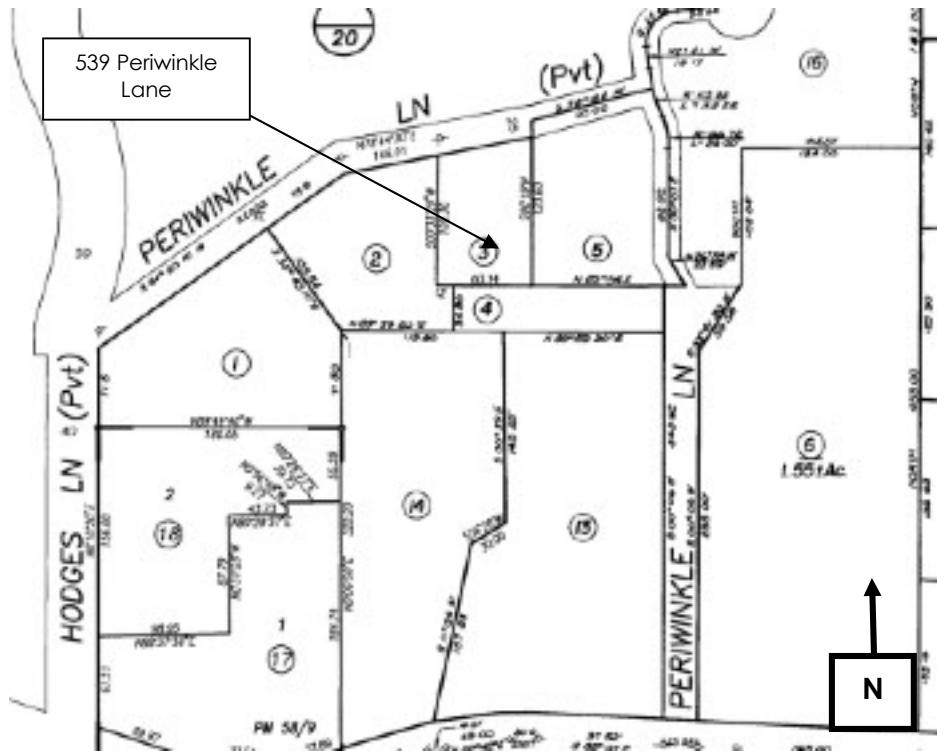


Figure 2, Parcel Map for 539 Periwinkle Lane



Figure 2a, Aerial Photograph of 539 Periwinkle Lane (Google Earth)

1.1 Regulatory Setting

California Environmental Quality Act (CEQA)

Section 21084.1 of the Public Resources Code provides the framework for determining whether a resource is a historic resource for CEQA purposes. Historic resources that are listed in or eligible for listing in the California Register of Historical Resources (California Register), that are, *per se*, significant other resources, that are officially designated on a local register, or that are found to be significant by the State Historic Preservation Officer (SHPO) under Section 5024.1 (j) of the Public Resources Code are presumed to be significant. According to CEQA in determining potential impacts on historical resources under CEQA, projects are reviewed using the Secretary of the Interior's Standards (Standards). A "substantial adverse change" means "demolition, destruction, relocation, or alteration of the resource such that the significance of an historical resource would be materially impaired." The setting of a resource should also be taken into account in that it too may contribute to the significance of the resource, as

impairment of the setting could affect the significance of a resource. Material impairment occurs when a project:

1. *Demolishes or materially alters in an adverse manner those physical characteristics of an historical resource that convey its historical significance and that justify its inclusion in, or eligibility for, inclusion in the California Register of Historical Resources;*
2. *Demolishes or materially alters in an adverse manner those physical characteristics that account for its inclusion in a local register of historical resources pursuant to Section 5020.1(k) of the Public Resources Code or its identification in an historical resources survey meeting the requirements of Section 5024.1(g) of the Public Resources Code, unless the public agency reviewing the effects of the project establishes by a preponderance of evidence that the resource is not historically or culturally significant; or*
3. *Demolishes or materially alters in an adverse manner those physical characteristics of an historical resource that convey its historical significance and that justify its eligibility for inclusion in the California Register of Historical Resources as determined by a lead agency for purposes of CEQA.*

CEQA Section 15064.5 defines historical resources as follows:

- (1) *A resource listed in, or determined to be eligible by the State Historical Resources Commission, for listing in the California Register of Historical Resources Commission (State CEQA Guidelines Section 5024.1, Title 14 CCR, Section 4850 et seq.).*

There are several ways in which a resource can be listed in the California Register, which are codified under Title 14 CCR, Section 4851.

- A resource can be listed in the California Register by the State Historical Resources Commission.
 - If a resource is listed in or determined eligible for listing in the National Register of Historic Places (National Register), it is automatically listed in the California Register.
 - If a resource is a California State Historical Landmark, from No. 770 onward, it is automatically listed in the California Register.
- (2) A resource included in a local register of historical resources, as defined in section 5020.1 (k) of the Public Resources Code or identified as significant in an historical resource survey meeting the requirements section 5024.1(g) of the Public Resources Code, shall be presumed to be historically or culturally significant. Public agencies must treat any such resource as significant unless the preponderance of evidence demonstrates that it is not historically or culturally significant.

The requirements set forth in PRC 5024.1(g) for historical resources surveys are: A resource identified as significant in an historical resource survey may be listed in the California Register if the survey meets all the following criteria:

- The survey has been or will be included in the State Historic Resources Inventory.

- The survey and the survey documentation were prepared in accordance with office [of Historic Preservation] procedures and requirements.
 - The resource is evaluated and determined by the office [of Historic Preservation] to have a significance rating of Category 1 to 5 on DPR Form 523.
 - If the survey is five or more years old at the time of its nomination for inclusion in the California Register, the survey is updated to identify historical resources which have become eligible or ineligible due to changed circumstances or further documentation and those which have been demolished or altered in a manner that substantially diminishes the significance of the resource.
- (3) Any object, building, structure, site, area, place, record, or manuscript which a lead agency determines to be historically significant or significant in the architectural, engineering, scientific, economic, agricultural, educational, social, political, military, or cultural annals of California may be considered to be an historical resource, provided the lead agency's determination is supported by substantial evidence in light of the whole record.

Generally, a resource shall be considered by the lead agency to be "historically significant" if the resource meets the criteria for listing on the California Register of Historical Resources (Pub. Res. Code SS5024.1, Title 14 CCR, Section 4852). The fact that a resource is not listed in, or determined to be eligible for listing in the California Register of Historical Resources, is not included in a local register of historical resources (pursuant to section 5020.1(k) of the Public Resources Code), or is identified in an historical resources survey (meeting the criteria in section 5024.1(g) of the Public Resources Code) does not preclude a lead agency from determining that the resource may be an historical resource as defined in Public Resources Code sections 5020.1(j) or 5024.1.

CEQA regulations identify the Secretary of the Interior's Standards as a measure to be used in determinations of whether or not a project of new development or rehabilitation adversely impacts an "historical resource." Section 15064.5(b)(3) states:

"Generally, a project that follows the Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings or the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings (1995), Weeks and Grimmer, shall be considered as mitigated to a level of less than a significant impact on the historical resource."

Section 15064.5(a)(4) of the CEQA Guidelines states:

"The fact that a resource is not listed in, or determined to be eligible for listing in the California Register of Historical Resources, not included in a local register of historical resources (pursuant to Section 5020.1(k) of the Public Resources Code), or identified in an historical resources survey (meeting the criteria in Section 5024.1(g) of the Public Resources Code) does not preclude a lead agency from determining that the resource may be an historical resource as defined in Public Resources Code Sections 5020.1(j) or 5024.1."

The California Environmental Quality Act (CEQA) requires analysis of impacts that may result from project development. These include impacts to listed or potential historic resources. The California Environmental Quality Act (CEQA) mandates that a proposed project's impacts to historic resources be assessed. Historic resources are defined in Public Resource Code as follows:

§5020.1: "Properties listed in or determined eligible for listing in the California Register of Historical Resources." In order to be eligible for listing a resource must meet one or more of the following criteria to be eligible for listing: A) Is associated with events that have made a significant contribution to the broad patterns of California's History and Cultural Heritage. B) Is associated with the lives of persons important in our past; C) Embodies the distinctive characteristics of type, period, region, or method of construction, or represents the work of an important creative individual, or possesses high artistic values; and D) Has yielded or may be likely to yield information important to history or prehistory."

§5021.1(k): Properties included in "local registers of historic resources." According to Section 5021.k local registers include the following: "a list of properties officially designated or recognized as historically significant by a local government pursuant to a local ordinance or resolution. Generally, local registers can be defined as either properties designated as landmarks per local ordinances (or resolutions), or properties included in a survey of historical resources that meets the standards of the Office of Historic Preservation (SHPO) for such studies.

The register also includes properties that have formally been listed in the National Register of Historic Resources or determined eligible for listing in the National Register of Historic Places. Properties eligible for listing in the National Register must meet one of the following criteria to be eligible for listing:

- A) are associated with events that have made significant contributions to the broad patterns of our history;
- B) are associated with the lives of persons significant in our past;
- C) embody the distinctive characteristics of a type, period, or method of construction, or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguished entity whose components may lack individual distinction;
- D) have yielded or may be likely to yield information important in prehistory or history.

The following policies enacted by the County of Santa Barbara guided the identification of potential significant historic resources and evaluation of potential project impacts to significant historic resources outlined in this report.

1.2 County of Santa Barbara Historical and Archaeological Policies:

1) All available measures, including purchase, tax relief, purchase of development rights, etc. shall be explored to avoid development on significant historic, prehistoric, archaeological, and other classes of cultural sites.

2) When developments are proposed for parcels where archaeological or other cultural sites are located, project redesign shall be required which avoids impacts to such cultural sites if possible.

3) When sufficient planning flexibility does not permit avoiding construction on archeological or other types of cultural sites, adequate mitigation shall be required. Mitigation shall be designed in accord with the State Office of Historic Preservation and the State of California Native Heritage Commission (County of Santa Barbara's Appendix B to the Environmental Thresholds and Guidelines Manual, February 27, 2018).

1.3 Previous Studies and Designations

The property at 539 Periwinkle Lane has not been the focus of a previous historic resources study or historical resources survey. The property is not a designated or potential historic resource at the County of Santa Barbara, State or National level.

1.4 Project

As-built alterations have been made to the house and the applicant proposes additional and interior and exterior alterations detailed in Section 6 and Appendix A of this report, which include exterior alterations to fenestration, a roofline, and siding. The designer of record for the project is Sophia Calvin.

1.5 Summary of Findings

This report has concluded that the property at 539 Periwinkle Lane, a Moody Sisters-designed house, which is eligible for listing as a County of Santa Barbara Place of Historic Merit, is a significant historic resource for the purposes of environmental review. The Phase 2 component of the report conclude the proposed project meets the Secretary of the Interior's Standards for Rehabilitation provided the measures outlined in Section 5.4 for this report are implement. Therefore, implementation of the project with the guidance enumerated above, would not materially impair the house's integrity of design, materials, and workmanship. The proposed project would be consistent with County of Santa Barbara Historical and Archaeological Policies 1- 3) and Section F, Cultural Resources /Archaeology: Goal CR-M-1: *Preserve and Project Properties and Structures with Historic Importance in the Montecito Community to the Maximum Extent Feasible*. Project impacts to a significant historic resource are considered a less than significant impact (Class III) to significant historic resources.

2.0 SETTING

Before the arrival of the Spanish in the late 18th century, Montecito's vegetation was characterized by oak groves and coastal chaparral with riparian plant communities bordering creeks and drainages. Over the 235 years since the arrival of Euro-Americans, human occupation and activity have significantly modified these habitats by introducing agriculture, grazing, and residential development. Today, the neighborhood is characterized by residential development of large estates on multi-acre parcels and smaller homes, sometimes

on lots of less than an acre in size. Commercial development is located nearby at the intersection of East Valley Road and San Ysidro Road where a commercial enclave has existed since the late 19th century.

3.0 HISTORIC CONTEXT

3.1 History of the Property at 539 Periwinkle Lane (Pre-Contact to 1949)

In the pre-contact period, the property that presently encompasses 539 Periwinkle Lane was located within the region inhabited by the Chumash a Native American culture group noted for their extensive trade networks and maritime adaptation. The Spanish established a permanent settlement in Santa Barbara when El Presidio de Santa Barbara was founded in 1782, and four years later Mission Santa Barbara in 1786. The Spanish government set aside a large tract of land between Santa Barbara and Carpinteria for the maintenance of the Presidio and its occupants. During this era almost no development took place in Montecito. In 1821 Mexico won its independence from Spain and California became a Mexican province. During the Mexican era, the government awarded small land grants in Montecito, usually in the vicinity of East Valley Road, to soldiers of in lieu of pay. In 1848, California was acquired by the United States as a result of the Treaty of Guadalupe Hildago. Two years later California became the country's 31st state. By 1871, the project parcel was part of a 52.76-acre tract owned Thomas McKean (1871 W. T. Norway Map of Pueblo Lands of Montecito). By 1899, the project parcel was located within a larger property owned by the Conklin family. At some point the Conklin's developed the property as a lemon ranch (1899 W. W. Burton Map). By the early decades of the 20th century, Dixon Harold MacQuiddy owned a large property encompassing what is now 539 Periwinkle Lane.

3.2 History of the Property at 539 Periwinkle Lane (1949-1982)

On August 16, 1949, Dixon Harold MacQuiddy (born 1887) a prominent local contractor, and his second wife, Elma, were issued a permit to build a studio and detached carport on Lot 85, at 509 C Periwinkle Lane, a 24,300 square-foot lot already developed with a single-family residence built for the MacQuiddys' in 1940 to the design Harriet Moody.

The 564 square-foot one-story detached studio was built at an estimated cost of \$3,800.00, while a 180 square detached carport cost an estimated \$300.00 (County of Santa Barbara Application for Land Use Permit, No. 1335, August 11, 1949). The designer for the project was Harriet Moody, well-known for her whimsical cottage style residential projects, which included an earlier house built on the parcel in 1941 for the MacQuiddy family. The parcel was later subdivided and the house built in 1940, was demolished in 1989 and replaced by another residence.

While Dixon Harold and Elma MacQuiddy owned 509C Periwinkle Lane, they lived in a 1,400 square foot house at 559C Periwinkle Lane. 509c Periwinkle Lane was occupied by their son, Dixon Leroy MacQuiddy and his wife Dorothy. Dixon L. MacQuiddy was principal of Garfield Elementary School. By no later than 1948, Dixon and Dorothy had moved to what was now 559 Periwinkle Lane (1946 and 1948 *City of Santa Barbara, including Montecito, Directories*).

Dixon Leroy MacQuiddy, the son of Dixon Harold MacQuiddy and Amelia Enos MacQuiddy, was born in Concord, California on January 6, 1908. Sometime prior to 1935, Dixon married Dorothy Cook in Santa Barbara. During World War II, Dixon served in the U. S. Navy for three years before being discharged in 1946 (U. S. World War II Draft Cards, Young Men, 1940-1947). After moving to Montecito by at least 1948 Dixon and Dorothy's address was simply listed in the phone directory as Periwinkle Lane. In 1949 the address was listed as 559 Periwinkle Lane (1948 and 1949 City of Santa Barbara, including Montecito, Directories).

Eight years after the Moody-designed studio and carport were built at what is now 539 Periwinkle Lane, the lot was subdivided with the portion encompassing the studio and carport becoming a 0.17-acre, 7,405 square-foot lot with a street address of 539 Periwinkle Lane (Assessor's Records for 539 Periwinkle Lane; 1957 City of Santa Barbara, including Montecito Directory). The house built in 1940 was assigned a street address of 559 Periwinkle Lane. Dixon L. MacQuiddy and his wife, continued to reside at 559 Periwinkle Lane. After retirement, Dixon L. MacQuiddy joined the executive board of the Santa Barbara Museum of Natural History and in the early 1980s, became director of the Channel City Club (1973, 1982 City of Santa Barbara, including Montecito, Directories). Dixon Leroy MacQuiddy lived at 559 Periwinkle Lane until his death in Santa Barbara on October 7, 1982 (California, U. S., Death Index, 1940-1987).

3.3 Later History of the Property at 539 Periwinkle Lane (1982-2021)

As noted above, in 1957, the study parcel's address of 539 Periwinkle Lane first appears in the phone directory. That year, Amanda Jennings is listed as the occupant suggesting the studio was converted to residential use around this year. In 1960, the directory lists the property as vacant. In succeeding years, occupants included Gordon Knapp (1961), Michael Rogers (1965), Bonnie Stewart (1972), and Robert G. Edwards and his wife Ruth in 1973. It was under the ownership of Robert Edwards, an architect, that the first documented changes were made to the Moody-designed building. On November 5, 1973, Edwards received County of Santa Barbara Land Use Rider #59415 to add a 220 square-foot addition to an existing 564 square-foot building. The addition was designed to wrap around the southwest corner of the house. The addition included a front porch, expanded new and metal frame asymmetrical window units on the addition (County of Santa Barbara Land Use Rider, Permit #59415, November 5, 1973) (Figure 3).

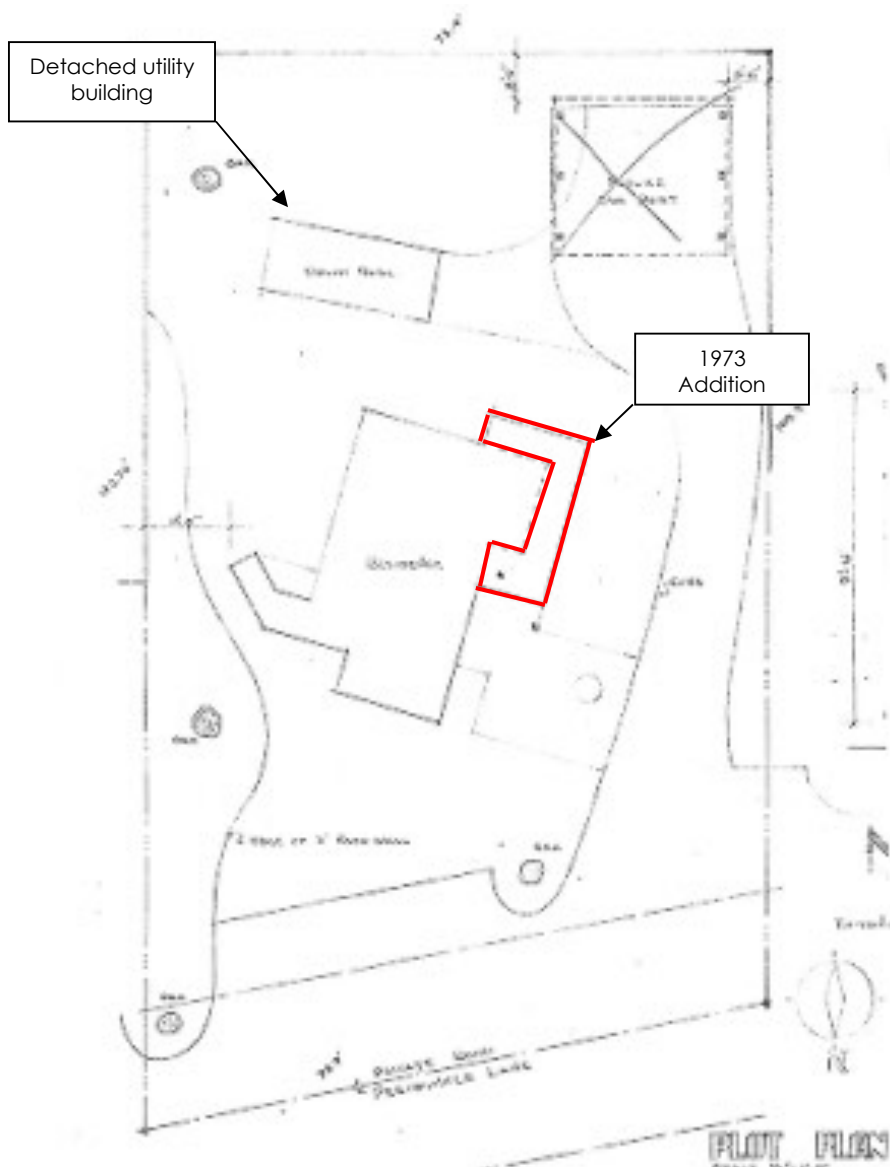


Figure 3, 1973 Site plan showing new addition to former studio (now house)

Three years later, Edwards received County of Santa Barbara Land Use Rider, Permit #66664, dated June 4, 1976, to demolish a Moody-designed carport and build in its place a new carport attached to an existing shed at an estimated cost of \$1,500.00 (Figure 4). A utility building, added sometime after 1949, but before 1973, depicted on a 1976 sketch plan, was later demolished. The construction and demolition date for this structure could not be determined (See Figure 3). The Roberts owned the property until at least 1976. Subsequent owners include Albert A. Marin (1988). By July of 2020, the property was owned by the Mary Jane Barber Trust. On July 29, 2020, the owner was issued a permit to re-roof the house with a "metal roof of flat panels, no striations, color to match existing black asphalt shingles" (County of Santa Barbara Minor Building Permit, #20CNP-00000-00784, July 29, 2020). Currently the property at 539 Periwinkle Lane is owned by Richard and Lisa Scibird and Mackenzie McGonegle who purchased it from Jennifer Howell and Reid Harper on September 3, 2020.

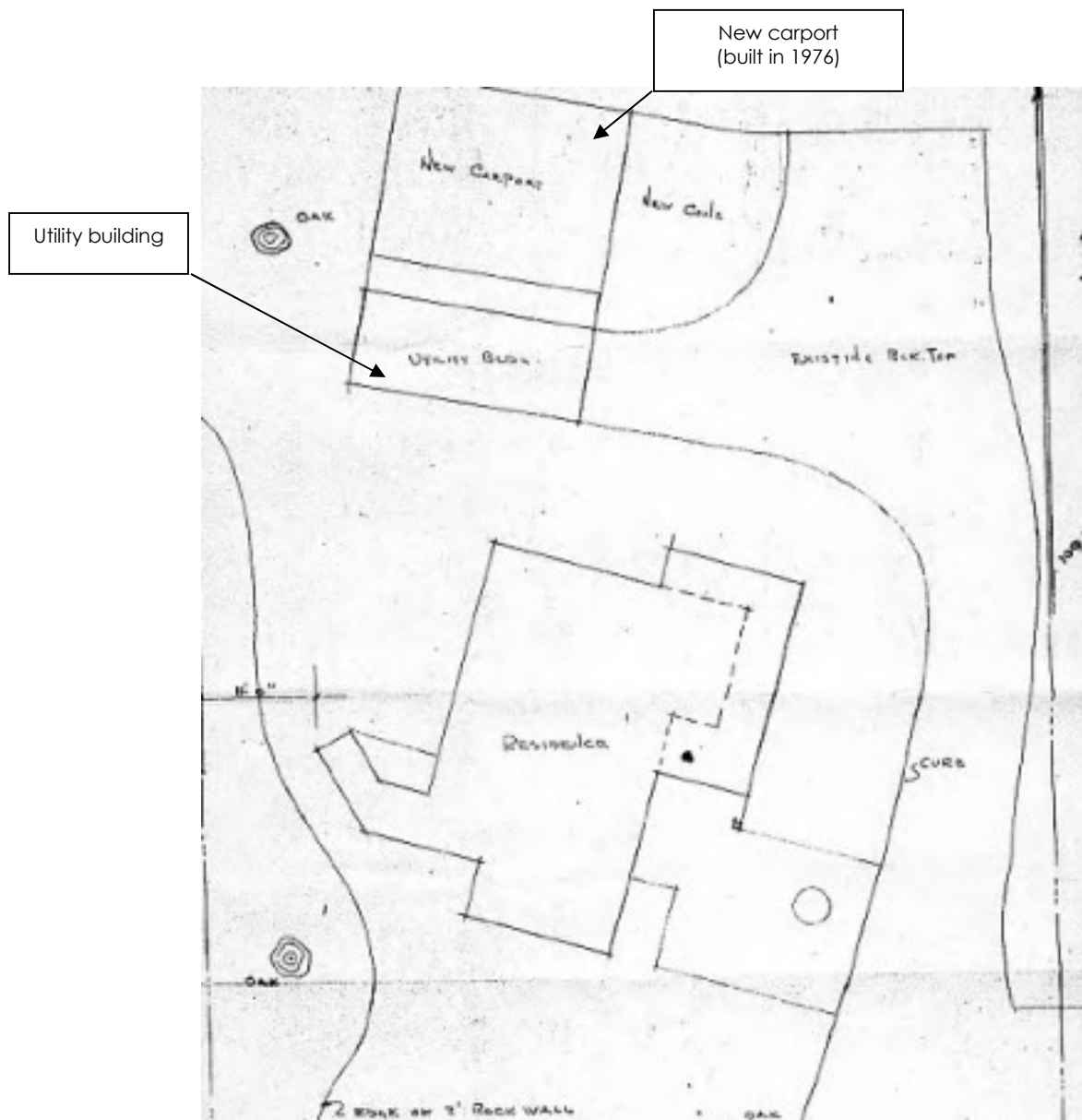


Figure 4, 1976 Site plan of new carport attached to an existing utility building

3.4 Harriet Moody (1891-1966)

It is Harriet Moody, a member of a talented and ambitious family, including an older brother, Bert, and three younger sisters, Brenda, Mildred, and Wilma, that is credited with the design of the so-called “Moody Sisters Cottages” (Figure 5). Harriet was born in Santa Barbara on May 9, 1891, the daughter of Mr. and Mrs. Elmer James Moody who had come to Santa Barbara from East Liverpool, Ohio in 1890. Harriet’s father has been variously identified as a contractor who specialized in the building of California bungalows, as well as a schoolteacher, who subsequently became an insurance agent (*Santa Barbara News Press*, March 19, 1989: D-1 & D-3). Harriet received her formal schooling at Santa Barbara State Teachers College and her architectural training from working with both her father and a Mr. Serferly, who was a local

architect (*Santa Barbara Architecture*, 1975: 178). Between 1912 and 1922 Harriet Moody worked with her father, helping him design houses(https://en.wikipedia.org/wiki/Harriet_Moody).



Figure 5, Harriet Moody (photo circa: 1925)

After her father's retirement in 1922 Harriet took a job that year as Assistant City Engineer, under the supervision of City Engineer George D. Morrison. One of her responsibilities was to oversee subdivisions in Montecito and to assign names to many of its streets (*Santa Barbara Magazine*, Volume 21, No. 3, Summer, 1995: 21). Other responsibilities included the engineering of street grading and paving, and the installation of sidewalks, sewers, and storm drains. One of her largest projects, supervised by George Morrison was the city's installation, in 1923, of a public walkway and pergola leading from the top of the bluff to the beach. Called *Camino al Mar* (Way to the Sea), it was more commonly known as a Thousand Steps (in actuality there were approximately 150 steps). When completed the Thousand Steps project allowed public access to Santa Barbara's West Beach without having to wait for low tide and walk the half mile from West Beach, around the point. In 1925, Harriet and many other members of the city's engineering staff resigned in protest to the city's decision to build a breakwater at the base of Castle Rock. Years later, her sister, Mildred Moody, noted that Harriet predicted that the breakwater "would do exactly what it did---fill the harbor with sand" (*Santa Barbara News Press*, March 19, 1989: D-1).

After leaving her city position, Harriet and her former boss, George Morrison, formed a business partnership devoting much of their time to the development of planned neighborhoods in Goleta and Isla Vista (https://en.wikipedia.org/wiki/Harriet_Moody). The partnership lasted some seven years before Harriet decided, in 1932, to strike out on her own, this time joining in partnership with her sister, Mildred, with Harriet as the designer and Mildred

as the interior designer. The only other of her siblings to attend college and to become involved in the arts, Mildred first studied art at UCLA, and then finished her education at Santa Barbara State Teachers College. Her particular interest was painting in a technique known as *rosemaling*, a European folk art tradition in which furniture and interiors were hand painted using motifs, such as scrolls, flowers, and birds. Unlike Harriet and Mildred, the two other Moody sisters, Brenda, and Wilma, worked in the field of finance, Brenda as an escrow officer with the Security Bank and Title Company and Wilma as an assistant for the First Building and Loan Company (*Santa Barbara News Press*, April 2, 1996: B-1).

The first example of the distinctive "Moody English Cottage" was a studio designed by Harriet for her sister, Mildred. Located on Coast Village Road, it was built in 1932 as a studio space for Mildred's *rosemaling* business (*Santa Barbara News Press*, March 19, 1989: D-3). Harriet's design for the Coast Village Road studio, with its steeply pitched shake roof, picturesque massing, and small, diamond paned leaded windows, was an obvious reference to the small vernacular cottages popular during England's Tudor period. As Mildred noted of herself and her sister, "We were always interested in English things and fairy tales "We read lots of books about houses ... maybe it came from our Scotch and Irish backgrounds" (*Santa Barbara News Press*, March 19, 1989: D-3). With its prominent location on a busy thoroughfare, the Coast Village Road studio received considerable attention and Harriet was soon commissioned to build houses in the same whimsical style. One of the Moody sisters' early commissions was Harriet's repurposing of the old Montecito Country Club clubhouse, located near the Biltmore Hotel (Transcript of oral interview, Mildred Moody, October 1, 1991). After cutting the former clubhouse into three parts and moving them on to separate lots, Harriet transformed the sections into houses. Built primarily between the Depression years and 1950 Harriet's houses often incorporated salvaged materials, such as finished lumber, windows, doors, and decorative elements gathered from older estates that either were being remodeled or demolished. Mildred Moody noted that she and Harriet employed "just about anything we could use in the construction of our houses" (*Santa Barbara News Press*, April 2, 1996: B-1). For almost all of their commissions the Moody sisters used Dixon Harold MacQuiddy as their contractor.

Harriet Moody's English Cottage tradition continued with a house built on Periwinkle Lane. Called *Pixie Cottage*, it was completed in 1936. In the meantime, the four unmarried Moody sisters moved to a two-story farmhouse on a 13-acre tract of land in Montecito. Known as *The Peppers*, the sisters purchased the property, in 1937, from Robert J. Jenckes, who had owned the property since 1919 (Myrick, second printing, 2001: 230). Other Moody-designed houses soon followed the completion of *Pixie Cottage*. These included, in addition to the project parcel at 539 Periwinkle Lane, four more houses on Periwinkle Lane, as well as a house at 2207 Alameda Padre Serra. In addition to designing new houses Harriet also remodeled existing residences. A row of Montecito cottages, located on Lemon Grove Lane, were remodeled by Harriet at the instigation of the property owner, who purchased the rental properties because the renters were making so much noise "he bought all the houses on the whole street of houses and had Harriet do them" (Transcript of oral interview, Mildred Moody, October 1, 1991: 31-32).

Harriet continued to build throughout the 1930s and 1940s. Mildred noted that she and her sister, in addition to planning the scheme of the house and its interiors, would choose the exterior colors, as well. According to Mildred Moody, "Our favorite was the color of eucalyptus leaves, a muted blue green, with the trim done in the same color, only deeper, or white," while "the roofs were frequently red, a deep red, not a yellow red" (*Santa Barbara News Press*, March, 19, 1989: D-3). One of Harriet's largest and most important commissions was the design of the six houses on Rosemary Lane, built between circa-1943 and 1949. Harriet's last commissions included a house on Green Lane, built for Mrs. Robert Rivers in 1948 and the project parcel at 539 Periwinkle Lane, built in 1949 (Myrick, second printing, 2001: 230). During her career, Harriet garnered several awards, including a national Distinctive Small Houses Award and a Santa Barbara Beautiful Award. Harriet retired in 1950 having built 35 houses during her some two decade career in architecture. She died in March, 1966, at the age of 74 (*Santa Barbara Architecture*, 1975: 178). The surviving Moody sisters, none of whom married, continued to live at *The Peppers* until they sold the house in 1967. Mildred Moody, the last remaining Moody sister, died in 1996, at the age of 99.

4.0 SITE DESCRIPTION

4.1 General Description and Setting

The property is located on the south side of Periwinkle Lane, a private street located east of the intersection of San Ysidro Road and East Valley Road. The surrounding neighborhood, with its winding streets, extensive oak groves and sycamore trees and lack of street improvements such as sidewalks and streetlamps, characterize its semirural setting. Built improvements on the project parcel include a single-family residence, a detached utility structure and a detached enclosed shed/carport.

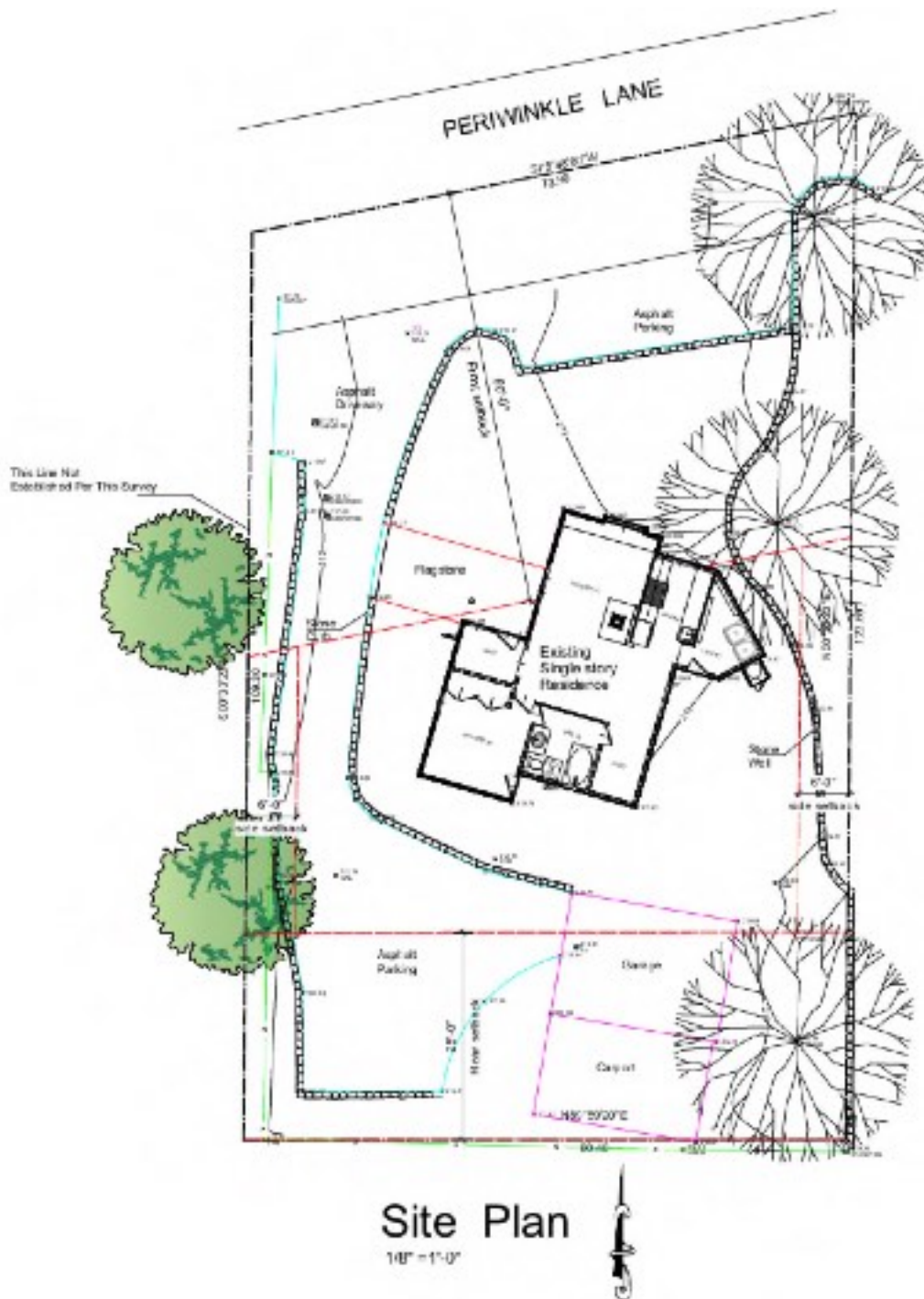


Figure 6, Site Plan

4.2. House

The 784 square-foot single-story building, designed by Harriet Moody in 1949 as an art studio was intended to emulate a picturesque vernacular style cottage (Figure 7). Set on a concrete slab foundation, the house has an irregular footprint with small additions extending off all four elevations. Exterior walls are board-and-batten style. The cottage's, complex, steeply

pitched, roof is composed of gable and shed elements. The roof is covered by standing seam, metal roofing installed in 2020. Fenestration is comprised of operable and fixed wood-framed multi-light and single-light windows.



Figure 7, North and west elevations, looking south

North Elevation

The north elevation has an irregular configuration composed of a main front gable roofed element flanked on either side by shed-roofed extensions (Figures 8 & 9). The main roof is an asymmetrical front gable type with an oriel style window 16-light fixed window. A recessed, shed-roofed wing at the west end of the elevation features a shallow porch sheltering the house's front door, which is flanked by an asymmetrical metal frame window. At the east end of the elevation, a broken-pitch extension of the front gable roof caps an asymmetrical one-light window flanked on its east by an angled extension of the cottage housing a utility room. This element of the elevation, which is in the process of being rebuilt, no longer retains its original siding.

Alterations and Modifications

- The existing entry porch and the window flanking the front door were installed in 1973;

and

- The laundry room with its asymmetrical window at the east end of the elevation was installed sometime before 1973 (see Figure 3). The asymmetrical window was likely added by Edwards as its window type matches those installed by Edwards on a 1973 addition. It is possible the laundry room was installed somewhat earlier, after the building was converted from a studio to residential use.



Figure 8, North and west elevations, looking south



Figure 9, North elevation, looking south

South Elevation

The south elevation has an irregular configuration composed of a main front gable element flanked on its west by a shed-roofed addition and on its east by recessed addition capped by a very low-pitched shed roof (Figures 10 & 11). The recessed addition at the east end of the elevation has been partially reframed as part of the as-built project. Fenestration is composed of a four-light wood window.

Alterations and Modifications

- The shed-roofed element at the west end of the elevation was added in 1973;
- A small extension housing a laundry room is documented by a 1973 site plan. This element was installed sometime before 1973 but a precise construction date is not documented by permits. The laundry room was later altered as its current configuration does not precisely match that depicted on a 1973 site plan (see Figures 3 & 4), which may depict an overhang (porch);
- The recessed wing at the east end of the elevation was partially stripped of its siding as part of the as-built project; and
- As part of the as-built project the board-and-batten style siding in the end gable has been removed. It is proposed for replacement by new board-and-batten siding.



Figure 10, South elevation, looking south



Figure 11, East end of the south elevation, looking north

East Elevation

This elevation has an irregular footprint composed of the original building which has been largely encapsulated by alterations and additions (Figures 12 – 15). As part of the as-built project, the central section of the elevation has been raised approximately 18 inches to provide for taller header height for the house's side door and siding in the front gable element was removed for replacement. Another door set on a recessed shed-roofed addition at the east end of the elevation is a faux four-panel glazed door capped by a stain glass style transom.

Alterations and Modifications

- A recessed, shed-roofed element at the south end of the elevation was built in 1973;
- Because fenestration were removed as part of the as-built project modifications on part of this elevation could not be assessed;
- The plate height along part of the elevation was raised as part of the as-built project; and
- A door, window, siding and some of the wall framing, were removed as a part of the as-built project.



Figure 12, East end of the south elevation, looking north



Figure 13, East elevation, looking west



Figure 14, South end of the east elevation, looking northwest



Figure 15, Partial south elevation depicting door on east elevation, looking north

West Elevation

This elevation has an L-shaped footprint composed of a recessed element capped by a side gable roof and a slightly projecting shed-roofed element sheltering the house's shallow front porch (Figure 15). Fenestration is composed of a three-part, multi-light casement window at the north end of the elevation and a two-light fixed window near the south end of the elevation.

Alterations and Modifications

- An addition was constructed at the south end of the elevation in 1973. Alterations included the installation of a covered porch and a metal frame window unit near the south end of the elevation.



Figure 16, West elevation, looking southeast

Carport/Storeroom

A detached carport garage is located on the property (Figures 17 & 18). Built under County of Santa Barbara Land Use Rider, Permit #66664, dated June 4, 1976, the building is set on a concrete slab foundation. The storeroom is capped by a low-pitched side gable roof which

extends over the carport. Exterior walls are board-and-batten style with fenestration composed of asymmetrical fixed windows, a stain glass window and metal glazed sliding doors.

Alterations and Modifications

- This building appears to have originally been built as a storeroom sometime before 1973. In 1976, a permit was granted to add a carport to the building.



Figure 17, West elevation, looking southeast



Figure 18, North and east elevations, looking southwest

Landscaping and Hardscape

The property is informally landscaped with hedging, specimen plants and a few trees including a native oak tree off the northeast corner of the house. Hardscape includes a driveway leading to a carport, and a low sandstone retaining wall that extends along the east property line from the street frontage to the southeast corner of the property (see Figures 6 – 18).

5.0 SIGNIFICANCE ASSESSMENT

One potential resource, a house built in 1949 as an art studio requires evaluation. The existing landscaping, fencing, storeroom /carport are less than 50 years of age and do not require further evaluation.

5.1 County of Santa Barbara Significance Criteria

The County of Santa Barbara uses the following criteria to evaluated significance:

Any structure 50 years or older is considered potentially significant and shall be subjected to the following criteria (County of Santa Barbara's Appendix B to the Environmental Thresholds and Guidelines Manual, February 27, 2018). A significant_resource: a) possesses integrity of location, design, workmanship, material, and/or setting; b) is at least fifty years old; and c) demonstrates one or more of the following:

- A. *It exemplifies or reflects special elements of the County's cultural, social, economic political, archaeological, aesthetic, engineering, architectural, or natural history;*
- B. *It is identified with persons or events significant in local, state, or national history;*
- C. *It embodies distinctive characteristics of a style, type, period, or method of construction or is a valuable example of the use of indigenous materials or craftsmanship;*
- D. *It is representative of the work of a notable builder, designer, or architect;*
- E. *It contributes to the significance of a historic area, being a geographically definable area possessing a concentration of historic, prehistoric, archaeological, or scenic properties, or thematically related grouping of properties, which contribute to each other and are unified aesthetically by plan or physical development;*
- F. *It has a location with unique physical characteristics or is a view or vista representing an established and familiar visual feature of a neighborhood, community, or the County of Santa Barbara;*
- G. *It embodies elements of architectural design, detail, materials, or craftsmanship that represent a significant structural or architectural achievement or innovation;*
- H. *It reflects significant geographical patterns, including those associated with different eras of settlement and growth, particularly transportation modes or distinctive examples of park or community planning;*
- I. *It is one of the few remaining examples in the County, region, state, or nation possessing distinguishing characteristics of an architectural or historical type or specimen.*

5.2 Previous Designations and Age

The house has not been the focus of a previous historic resources study or survey. The property is not a designate historic resource at County, State, or National levels. Built in 1949, the house meets 50-years-of-age criterion usually required for further evaluation. The detached storeroom/carport (built 1976) is less than 50 years of age and does not require evaluation. Please note the baseline for integrity is the condition of the house before the unpermitted, as-built alterations.

5.3 Application of the Integrity Criteria

1) Integrity of Location

Location is the place where the historic property was constructed or the place where the historic event occurred.

The building remains at its original location. Therefore, it retains integrity of location.

2) Integrity of Design

Design is the combination of elements that create the form, plan, space, structure, and style of a property.

A 220-square foot addition at the southwest corner of the building was added in 1973. The addition featured shed roofs, metal frame windows and a new porch. Sometime between 1973 and 1976 a metal frame window was installed at the east end of the north elevation. Further alterations were made in 2020 when a permitted was issued for the installation of a standing seam metal roof. In late 2020-early 2021 several as-built alterations were made including raising the plate height of a portion of the east elevation, removing board-and-batten siding from the east elevation, the west end of the north elevation and a front gable on the south elevation, and removing windows and a door from the east end of the south elevation and the center portion of the east elevation. A permitted metal roof was installed in 2020. The roof is not characteristic of Moody's cottage style architecture. However, because the street façade retains most of its original features, this change has not irretrievably impaired the house's ability to convey its original architecture.

Despite these alterations the house retains many features of its original design characteristic motifs of Moody's cottage style aesthetic, including a small-scaled footprint, board-and-batten siding, wood-framed multi-paned windows, and a steeply-pitched roof. Because the building was designed as a studio,, it lacks decorative details characteristic of a Moody-designed cottage, such as wood shutters and more detailed rafter tails. As a modest example of Moody's characteristic cottage aesthetic, that contributes to a larger grouping of Moody-designed houses on Periwinkle Lane the house retains integrity of design.

3) Integrity of Setting

Setting is the physical environment of a historic property.

While the setting of the house and adjacent Periwinkle Lane retains an informal semi-rural character defined by cottage style architecture, native oaks, lush plantings, and lack of streetside improvements, the demolition of one of the houses designed by Harriet Moody have somewhat affected the lane's ability to convey its historic appearance. However, because the street retains many of its pre-1960 era houses, including several designed by Harriet Moody, it conveys many of the qualities that have characterized the property since the 1940s. Therefore, the study property retains integrity of setting.

4) Integrity of Materials

Materials are the physical elements that were combined or deposited during a particular period of time and in a particular pattern or configuration to form a historic property.

The house has retained much but not all of its original exterior fabric, including much of its board-and-batten walls, three of its original windows, and portions of its roof assembly. Loss of historic building fabric includes siding at the south end of the west elevation, the east and west ends of the south elevation and portions of the east elevation, at least one original door and likely several original windows. While diminished the house retains sufficient of its original materials to convey the character of its original construction materials. Therefore, the house retains integrity of materials.

5) Integrity of Workmanship

Workmanship is the physical evidence of the crafts of a particular culture or people during any given period in history or prehistory.

The house retains sufficient of its original building materials to convey the character of its original construction methods. Therefore, the house retains integrity of workmanship.

6 Integrity of Feeling

Feeling is a property's expression of the aesthetic or historic sense of a particular period of time.

The house and streetscape on Periwinkle Lane retain sufficient integrity to convey their appearance between the early to mid-1940s, the period when Harriet Moody designed several houses in her signature cottage style aesthetic. Therefore, the property retains integrity of feeling.

Integrity of Association

Association is the direct link between an important historic event or person and a historic property.

Dixon H. MacQuiddy, a noted local contractor was responsible for construction of the house and several other residences on Periwinkle Lane which he developed as an enclave of modest cottage style houses in the 1940s and 1950s.

Summary Statement of Integrity

The house retains integrity of location, design, setting, materials, workmanship, feeling and association.

5.4 Application of the County of Santa Barbara Significance Criteria

The property at 539 Periwinkle Lane must also meet one or more of the following Significance Criteria to be considered a significant resource:

- A. *It exemplifies or reflects special elements of the County's cultural, social, economic political, archaeological, aesthetic, engineering, architectural, or natural history;*
- B. *It is identified with persons or events significant in local, state, or national history;*
- C. *It embodies distinctive characteristics of a style, type, period, or method of construction or is a valuable example of the use of indigenous materials or craftsmanship;*
- D. *It is representative of the work of a notable builder, designer, or architect;*
- E. *It contributes to the significance of a historic area, being a geographically definable area possessing a concentration of historic, prehistoric, archaeological, or scenic properties, or thematically related grouping of properties, which contribute to each other and are unified aesthetically by plan or physical development;*

- F. *It has a location with unique physical characteristics or is a view or vista representing an established and familiar visual feature of a neighborhood, community, or the County of Santa Barbara;*
- G. *It embodies elements of architectural design, detail, materials, or craftsmanship that represent a significant structural or architectural achievement or innovation;*
- H. *It reflects significant geographical patterns, including those associated with different eras of settlement and growth, particularly transportation modes or distinctive examples of park or community planning;*
- I. *It is one of the few remaining examples in the County, region, state, or nation possessing distinguishing characteristics of an architectural or historical type or specimen.*

Criterion A: It exemplifies or reflects special elements of the County's cultural, social, economic political, archaeological, aesthetic, engineering, architectural, or natural history;

Designed by Harriet Moody in her characteristic cottage aesthetic, the house employs many features of her signature style including steeply-pitched gabled roofs, picturesque massing, and multi-paned fixed, casement or sash windows. The house at 539 Periwinkle Lane is a locally significant expression of this postwar cottage style, which tended to be less ornate and more schematized than its prewar iterations. While modest in scale and reductive in design, the cottage is a good exemplar of her aesthetic that contributes to a larger grouping of cottage style houses designed by Moody. Therefore, the house at 539 Periwinkle Lane, which embodies many features of her signature style, meets Criterion A.

Criterion B: It is identified with persons or events significant in local, state, or national history;

The house was built by and for Dixon Harald MacQuiddy, a locally prominent professional contractor who built almost all of the houses designed by Harriet Moody, including a cluster of houses on Periwinkle Lane and six houses on Rosemary Lane. In addition to his collaboration with Harriett Moody, MacQuiddy was responsible for the construction of many houses and commercial buildings in Santa Barbara County between the 1920s and the 1950s. Because MacQuiddy made substantial contributions to Santa Barbara architecture through his contracting business, the study property meets Criterion B.

Criterion C: It embodies distinctive characteristics of a style, type, period, or method of construction or is a valuable example of the use of indigenous materials or craftsmanship;

The house is a modest example of the Moody signature style characterized by an aesthetic which emphasized picturesque motifs recalling folk architecture of 16th and 17th century England. Because the house embodies the distinctive features of her style, albeit in a very reductive manner, the house meets Criterion C.

Criterion D: It is representative of the work of a notable builder, designer, or architect;

Designed by Harriet Moody, a locally significant designer, and built by and for Dixon H> MacQuiddy, a historically significant contractor, the house meets Criterion D.

Criterion E: It contributes to the significance of a historic area, being a geographically definable area possessing a concentration of historic, prehistoric, archaeological, or scenic properties, or thematically related grouping of properties, which contribute to each other and are unified aesthetically by plan or physical development;

The house on the study parcel is one of several Harriet Moody-designed houses on Periwinkle Lane, which convey a strong sense of time and place. The house, which contributes to this thematically related grouping of houses sharing similar development history and design theme, meets Criterion E.

Criterion F: It has a location with unique physical characteristics or is a view or vista representing an established and familiar visual feature of a neighborhood, community, or the County of Santa Barbara;

Located close to the street frontage, the house forms part of a streetscape composed of several Moody-designed houses. Therefore, the house meets Criterion F.

Criterion G. It embodies elements of architectural design, detail, materials, or craftsmanship that represent a significant structural or architectural achievement or innovation;

The house, designed as an artist's studio, is a more reductive interpretation of Moody's cottage aesthetic. While modest in design, and altered the house typifies Moody's characteristic architectural motif inspired by the folk architecture of rural England. Therefore, the house meets Criterion G.

Criterion H: It reflects significant geographical patterns, including those associated with different eras of settlement and growth, particularly transportation modes or distinctive examples of park or community planning;

The development history of Periwinkle Lane does not have a strong association with post-World War II residential development patterns, whose signature form was housing tracts. Therefore, the study property does not meet Criterion H.

Criterion I: It is one of the few remaining examples in the County, region, state, or nation possessing distinguishing characteristics of an architectural or historical type or specimen. Substantial numbers of Moody-designed houses survive in Montecito and the City of Santa Barbara. Consequently, the house does not represent a rare surviving example of its type. Therefore, the house at does not meet Criterion I.

5.4.1 Summary Statement of Eligibility for listing as County of Santa Barbara Landmark or Place of Historic Merit

The house at 539 Periwinkle Lane meets Criteria A, B, C, D, E, F, and G. It does not meet Criteria H or I. While the house meets multiple criteria, alterations made in the 1970s including an addition and the insertion of several window that do not emulate Moody's original window types, have somewhat

eroded its ability to convey its original plan and design. Therefore, the house is eligible for listing as a County of Santa Barbara Place of Historic Merit rather than at the landmark level.

5.5 Eligibility for Listing in the California Register of Historical Resources

(a) For purposes of this section, the term "historical resources" shall include the following:

- 1.) A resource listed in or determined to be eligible by the State Historical Resources Commission, for listing in the California Register of Historical Resources (Pub. Res. Code SS5024.1, Title 14 CCR, Section 4850 et seq.).*
- 2.) A resource included in a local register of historical resources, as defined in section 5020.1(k) of the Public Resources Code, or identified as significant in an historical resource survey meeting the requirements section 5024.1(g) of the Public Resources Code, shall be presumed to be historically or culturally significant. Public agencies must treat any such resource as significant unless the preponderance of evidence demonstrates that it is not historically or culturally significant.*
- 3.) Any object, building, structure, site, area, place, record, or manuscript which a lead agency determines to be historically significant or significant in the architecturally, engineering, scientific, economic, agricultural, educational, social, political, military, or cultural annals of California may be considered to be an historical resource, provided the lead agency's determination is supported by substantial evidence in light of the whole record. Generally, a resource shall be considered by the lead agency to be "historically significant" if the resource meets the criteria for listing on the California Register of Historical Resources (Pub. Res. Code SS5024.1, Title 14 CCR, Section 4852) including the following:*
 - a) Is associated with events that have made a significant contribution to the broad patterns of California's history and cultural heritage;*
 - b) Is associated with the lives of persons important in our past;*
 - c) Embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of an important creative individual, or possesses high artistic values; or*
 - d) Has yielded, or may be likely to yield, information important in prehistory or history.*

The property will be evaluated under Criterion 3c, which is only the relevant criterion identified for the study parcel (*Embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of an important creative individual, or possesses high artistic values*).

The house is a modest example of Harriet Moody's signature Cottage style architecture. However, it has under several alterations, which have altered its original design. Therefore, while the property is eligible for listing at the local level, it is not eligible for listing in the California Register of Historical Resources.

5.6 Evaluation of Eligibility for Listing in the National Register of Historic Places

The quality of significance in American history, architecture, archaeology, and culture is present in districts, sites, buildings, structures, and objects of State and local importance that possess integrity of location, design, setting, materials, workmanship, feeling and association, and:

(a) That are associated with events that have made a significant contribution to the broad patterns of our history; or

(b) That are associated with the lives of persons significant in our past, or

(c) That embody the distinctive characteristics of a type, period, or method of construction, or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction, or

(d) That has yielded, or may be likely to yield, information important in prehistory or history.

The house is a modest example of Harriet Moody's signature Cottage style architecture which is eligible for listing at the local level. Because it underwent several alterations, including replacement of its roofing material and insertion of metal frame windows units, it does not embody sufficient architectural or historical significance to be eligible for listing in the National Register of Historic Places.

5.7 Summary Statement of Historic Significance

The property at 539 Periwinkle Lane is eligible for listing as a County of Santa Barbara Place of Historic Merit. The property is not eligible for listing in the California Register of Historical Resources or the National Register of Historic Places. Because the property is eligible for listing at the local level, it is a significant historic resource for the purposes of environmental review.

PHASE 2 SECTION

6.0 EVALUATION OF PROJECT IMPACTS

The following section of the report will evaluate the impact of the proposed project on the significant resources identified in this report. Potential adverse impacts include alterations or changes that result in changes to a resource or its setting that diminish those qualities that justify its potential listing as a significant historic resource at the County of Santa Barbara, state and national levels. Please see Appendix A for project plans.

State CEQA Guidelines #15064.5(a) for determining the significance of impacts to historic resources:

Historical resources are broadly defined as those cultural resources that are considered significant under CEQA and may include sites, objects, structures, buildings, etc. Historical resources may be prehistoric or historic in age and may be archaeological resources, part of the existing built environment, other important historic resource, or a tribal cultural resource, such as a sacred space. The CEQA Guidelines contain specific direction as to what qualifies as a significant historical resource. CEQA Guidelines Section 15064.5(a) of the State CEQA Guideline provides a definition of "historical resource." Resources that meet this definition are significant. Public Resources Code Sections 5020-5029.5 also contain many important definitions of terms used in the code section below, including historical resources, the California Register of Historical Resources, the State Historical Resources Commission, the State

Office of Historical Preservation, and others.

CEQA defines material impairment of a historic resource as follows:

- (A)** Demolishes or materially alters in an adverse manner those physical characteristics of a historical resource that convey its historical significance and that justify its inclusion in, or eligibility for, inclusion in the California Register of Historical Resources;
- (B)** Demolishes or materially alters in an adverse manner those physical characteristics that account for its inclusion in a local register of historical resources pursuant to section 5020.1(k) of the Public Resources Code or its identification in an historical resources survey meeting the requirements of section 5024.1(g) of the Public Resources Code, unless the public agency reviewing the effects of the project establishes by a preponderance of evidence that the resource is not historically or culturally significant; or
- (C)** Demolishes or materially alters in an adverse manner those physical characteristics of a historical resource that convey its historical significance and that justify its eligibility for inclusion in the California Register of Historical Resources as determined by a lead agency for purposes of CEQA. (Public Resources Code 15064.5 (b2).
- (D)** Generally, a project that follows the Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings or the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings (1995) shall be considered as mitigated to a level of less than significant.
- (E)** A lead agency shall identify potentially feasible measures to mitigate significant adverse changes in the significance of an historical resource. The lead agency shall ensure that any adopted measures to mitigate or avoid significant adverse changes are fully enforceable through permit conditions, agreements, or other measures.

6.1 Secretary of the Interior's Standards

Under the Standards a future project encompassing alterations to east elevation of the main residence would be defined as rehabilitation. The Standards define rehabilitation as follows:

Rehabilitation is defined as the act or process of making possible a compatible use for property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural, or architectural values (<http://nps.ov/history/hps/tps/standards/rehabilitation.htm>).

The following standards developed by the National Park Service to evaluate rehabilitation projects will guide the evaluation of the proposed project:

Secretary of the Interior's Standards for Rehabilitation

- 1) *A property will be used as it was historically or given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.*
- 2) *The historic character of a property will be retained and preserved. The removal of distinctive materials or alterations of features, spaces, and spatial relationships that characterize a property will be avoided.*
- 3) *Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.*
- 4) *Changes to a property that have acquired historic significance in their own right will be retained and preserved.*
- 5) *Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize a property will be preserved.*
- 6) *Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.*
- 7) *Chemical and physical treatments, if appropriate, will be undertaken by the gentlest means possible. Treatments that cause damage to historic materials will not be used.*
- 8) *Archaeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.*
- 9) *New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale, and proportion, and massing to protect the integrity of the property and its environment.*
- 10) *New additions and adjacent or related new construction will be undertaken in such a manner that if removed, in the future, the essential form and integrity of the historic property will be unimpaired (36 CFR Part 68, 1995 Federal Register, Vol. 60, No. 133).*

6.2 Project Description

Recent Permitted Alterations

- The existing standing-seam metal roof was installed in 2020 under County of Santa Barbara Minor Building Permit, #20CNP-00000-00784, July 29, 2020).

As-Built Alterations (Figures 19– 28)

- A section of the east elevation's exterior wall was dismantled and partially rebuilt with a taller plate height capped by a shed roof. Removal of construction materials included board-and-batten style siding, a door and window;
- Cladding on an end gable located on the south elevation was removed to allow insertion of a vapor barrier; and

- Board and batten cladding at the east end of the north elevation was removed to allow insertion of plywood sheathing and a vapor barrier.

Proposed Alterations

North Elevation (see Figures 19 - 22):

- Replace a non-historic asymmetrical window at the east end of the elevation with a divided light window emulating the house's original window type which featured divided lights;
- Replace a non-historic asymmetrical window, in a non-historic addition at the east end of the elevation with board-and-batten siding; and
- Add a four-light window to the east end of the elevation. The design of the window which would feature divided lights emulating the house's original window type.

South Elevation (see Figures 19, 20 and Figures 23 & 24):

- Add a four-light window to the end gable and install board-and-batten siding;
- Replace a non-historic one-light window with a four-light window designed to emulate the house's historic window type, which featured divided lights; and
- Replace a glazed wood door with a four light window in the recessed laundry room addition at the east end of the elevation.

East Elevation (see Figures 19, 20 and Figures 25 & 26):

- Reside the raised portion of the elevation with board and batten siding;
- Replace the board and batten siding on a utility door with louvers to provide ventilation for a water heater;
- Install as set of divided light French doors in place of a multi-light fixed window which was removed as part of the as-built project;
- Install board-and-batten siding over a door that was removed as part of the as-built project; and
- Remove a door and transom from a non-historic addition at the south end of the elevation and replace them with a four-light window.

West Elevation (see Figures 19, 20 and Figures 27 & 28):

- Replace a window in a 1973 addition with a pair of four-light windows whose design emulates the house's historic window type; and

- Replace an original set of three multi-light windows with a pair of four-light windows.

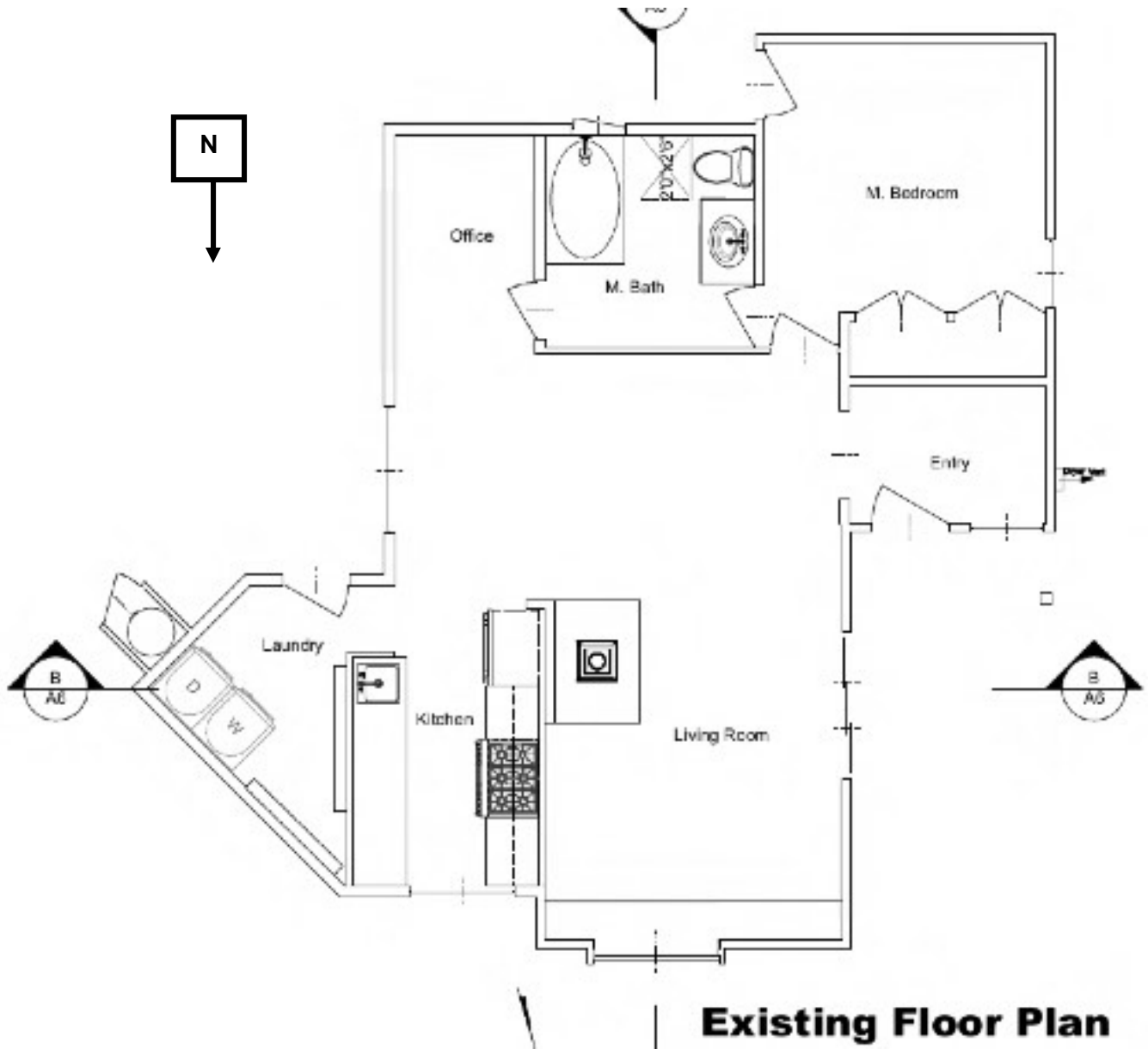


Figure 19, Existing floor plan

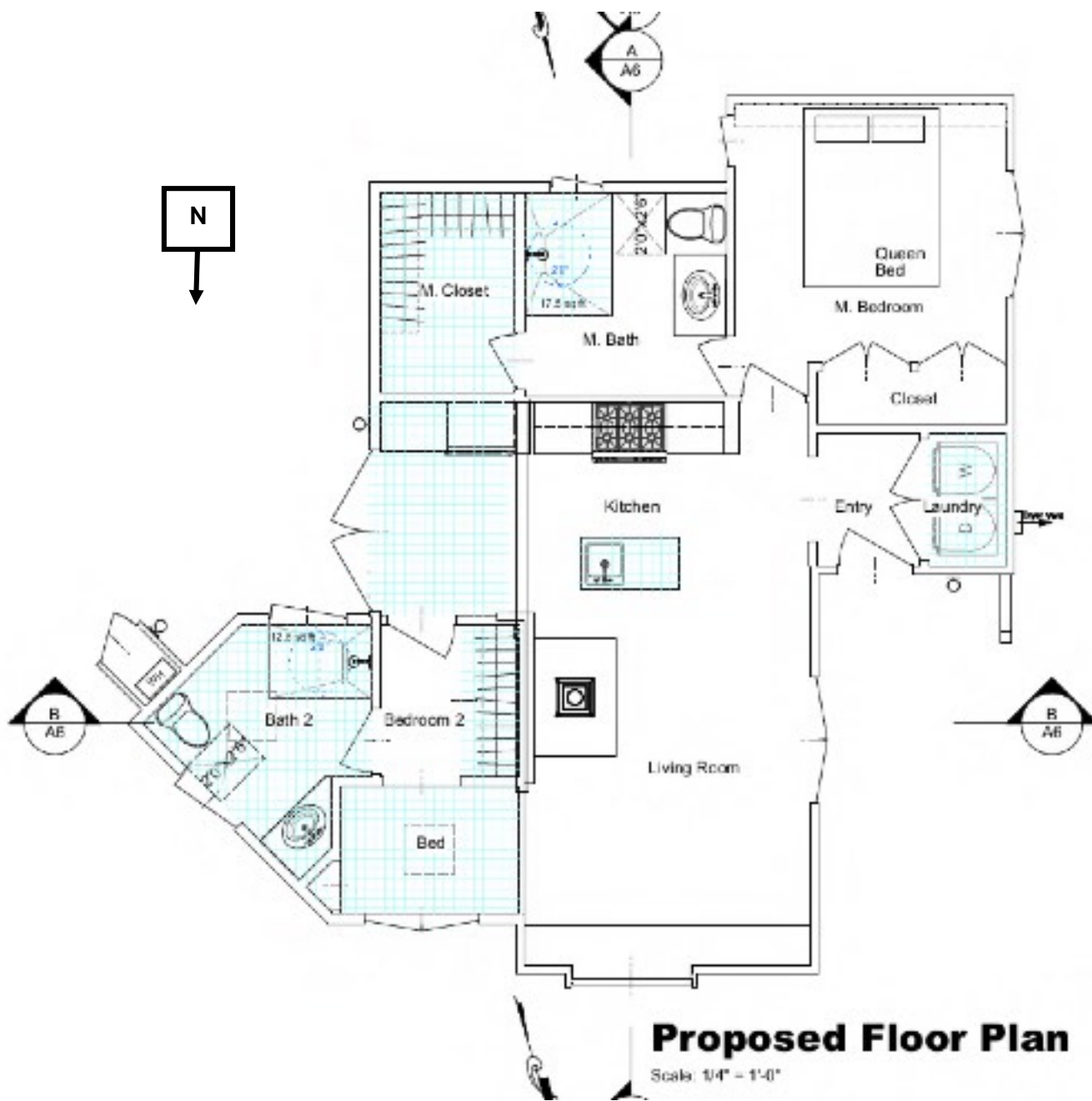


Figure 20, Proposed floor plan



Figure 21, Existing north elevation



Figure 22, Proposed north elevation



Figure 23, Existing south elevation



Figure 24, Proposed south elevation



Figure 25, Existing East Elevation

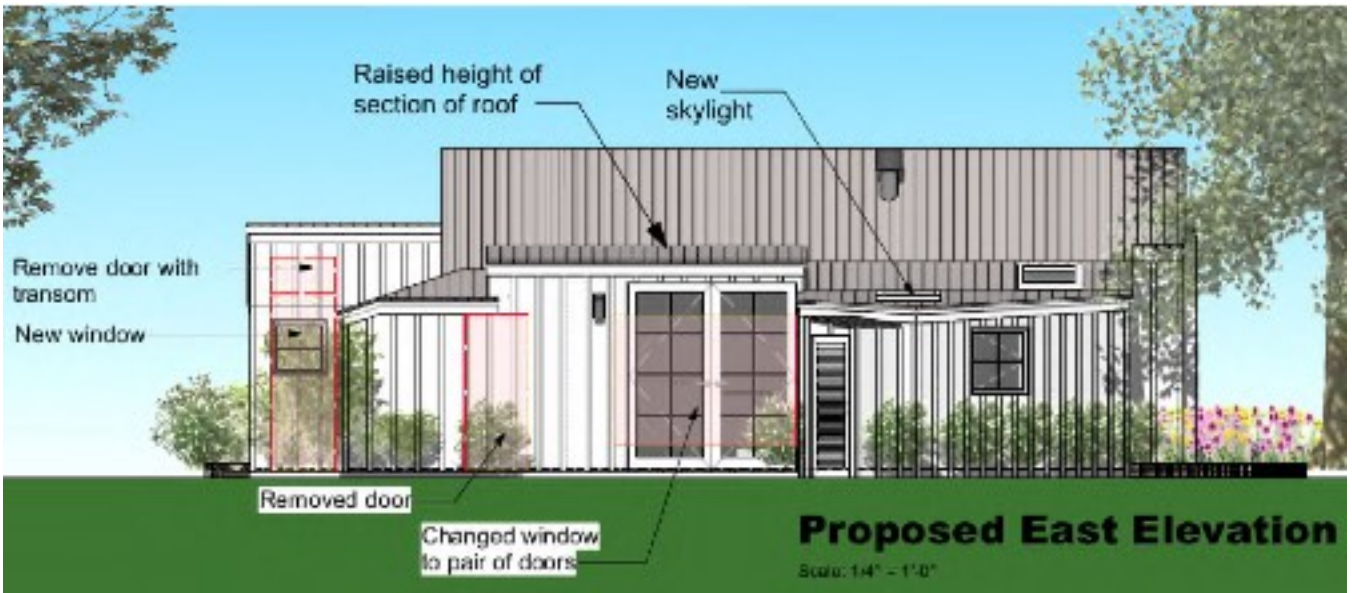


Figure 26, Proposed East Elevation



Figure 27, Existing West Elevation

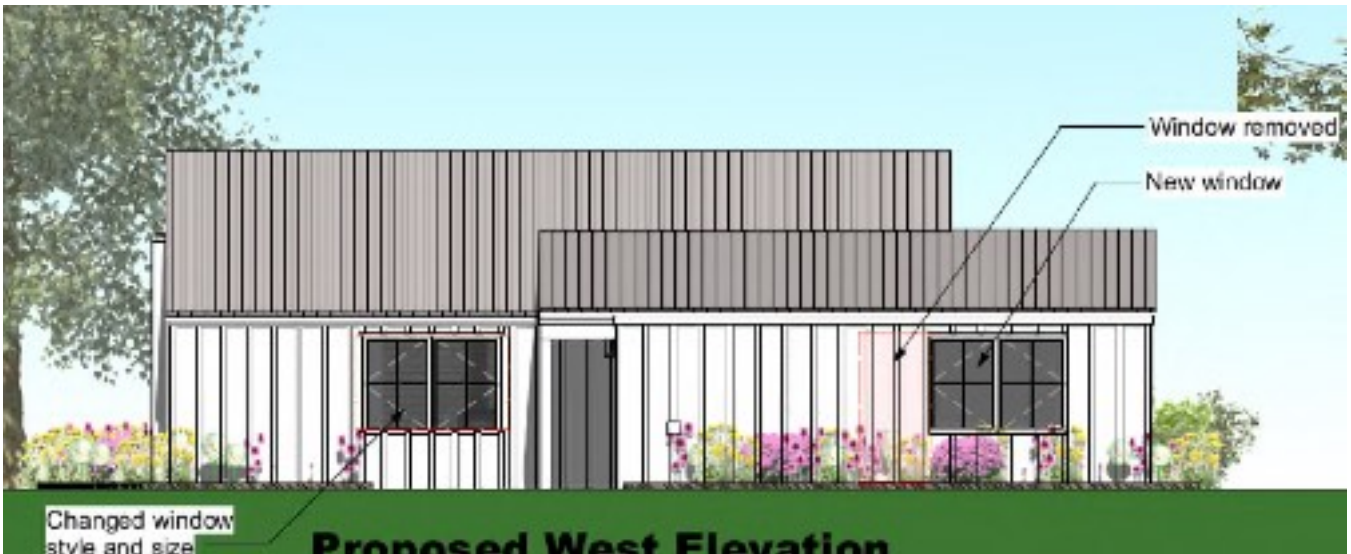


Figure 28, Proposed West Elevation

6.3 Application of the Standards

The following Standards apply to the restoration aspect of the project:

Standard 1: *A property will be used as it was historically or given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.*

Originally built as an art studio, the building was converted to residential use by the late 1950s. The as-built and proposed project would maintain a use existing for at least the last 62 years. Replacement of non-historic fenestration on the north, south, east, and west elevations with

period appropriate windows emulating the house's historic window types would enhance the building's visual cohesiveness by removing single-light windows that are out of character with the house's cottage style architecture. Raising the plate height on a portion of the east elevation is supportable as this change will not be visually prominent from the street as the new roof line as a very low pitch. One aspect of the proposed alterations, confined to the replacement of an original window at the north end of the west elevation is not supportable as it would remove one of the cottage's remaining original windows, which a characteristic feature of the house's cottage style architecture. Therefore, the following revision to the proposed plans is required:

- Retain the original window at the north end of the elevation depicted on Figure 28.

Standard 2: *The historic character of a property will be retained and preserved. The removal of distinctive materials or alterations of features, spaces, and spatial relationships that characterize a property will be avoided.*

Replacement of existing roofing with a standing seam metal roof was carried out with a permit, therefore it is considered an existing condition rather than an as-built alteration that requires evaluation under the Standards.

Loss of historic fabric from the as-built project includes sections of board and batten siding on the north and east elevations and a door, window on the south elevation of the washroom wing and a door and window on the east elevation. To ensure the project meets Standard 2, the following measures shall be implemented:

- Replacement board and batten siding shall match the original in material and appearance;
- Replacement windows shall match the appearance of the house's historic window types in regard to the type and appearance of glazing bars; and
- An original window at the north end of the west elevation shall be retained in place;
- Consider revising the water heater door to incorporate some board and batten siding.

Provided these measures are implemented the proposed project meets Standard 2.

Standard 3: *Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.*

The project does not propose the insertion of building materials from other historic properties. Therefore, Standard 3 does not apply to the project.

Standard 4: *Changes to a property that have acquired historic significance in their own right will be retained and preserved*

Additions and modifications made by Robert E. Edwards have not achieved historic or architectural significance in their own right. Consequently, removal or alteration of these

features would not impair the historic resource.

Standard 5: *Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize a property will be preserved.*

As noted above, under Standard 2, loss of historic fabric from the as-built project includes sections of board and batten siding on the north and east elevations, a door and window on the south elevation of the washroom wing and a door and window on the east elevation. To ensure the project meets Standard 5, the following measures shall be implemented:

- Replacement board and batten siding shall match the original in material and appearance;
- Replacement windows shall match the appearance of the house's historic window types in regard to the type and appearance of glazing bars; and
- An original window at the north end of the west elevation shall be retained in place; and
- Consider revising the water heater door to incorporate some board and batten siding.

Provided these measures are implemented the proposed project meets Standard 5.

Standard 6: *Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.*

The project does not propose replacement of historic building material because of deterioration. Therefore Standard 6 does not apply to the project.

Standard 7: *Chemical and physical treatments, if appropriate, will be undertaken by the gentlest means possible. Treatments that cause damage to historic materials will not be used.*

Cleaning or treatment of specific elements of the building's historic fabric, if necessary, will be undertaken under the guidance of a County-approved historian. Provided this guidance is followed, the proposed project meets Standard 7.

Standard 8: *Archaeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.*

The application of this criterion to archaeological deposits is beyond the purview of this report.

Standard 9: *New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale, and proportion, and massing to protect the integrity of the property and its environment.*

The existing building footprint will not be altered and the massing and scale of the building would not be appreciably altered. Consequently, the building's spatial relationship with its setting would not change.

New fenestration emulates but does not copy historic building features allowing for a subtle differentiation between historic fabric and alterations.

As noted above, under Standards 2 and 6, loss of historic fabric from the as-built project includes sections of board and batten siding on the north and east elevations, a door and window on the south elevation of the washroom wing, and a door and window on the east elevation. The window on the east elevation is not visible for the street and the loss of this feature is partially offset by the use of divided light fenestration for a proposed set of French doors at the same location. To ensure the project meets the Standards the following measures shall be implemented:

- Replacement board and batten siding shall match the original in material and appearance;
- Replacement windows shall match the appearance of the house's historic window types in regard to the type and appearance of glazing bars; and
- An original window at the north end of the west elevation proposed for replacement shall be retained in place; and
- Consider revising the water heater door to incorporate some board and batten siding.

Provided these measures are implemented the proposed project meets Standard 9.

Standard 10: *New additions and adjacent or related new construction will be undertaken in such a manner that if removed, in the future, the essential form and integrity of the historic property will be unimpaired.*

After completion of the as-built and proposed changes the project would meet Standard 10 provided the guidance listed under Standards 2, 5 & 9 including retention of a window at the north end of the west elevation is implemented.

6.4 Summary Statement of Project Impacts

Provided the following measures are implemented the proposed project meets the Secretary of the Interior's Standards for Rehabilitation:

- Replacement board and batten siding shall match the original in material and appearance;
- Replacement windows shall match the appearance of the house's historic window types in regard to the type and appearance of glazing bars; and
- An original window at the north end of the west elevation proposed for replacement shall be retained in place; and
- Consider revising the water heater door to incorporate some board and batten siding.

7.0 SUMMARY AND CONCLUSIONS

- The Phase 1 component of the report re-evaluated the property at 539 Periwinkle Road for the presence of significant or potentially significant historic resources and found that the house is a significant historic resource for the purposes of environmental review as a potential County of Santa Barbara Place of Historic Merit.
- The Phase 2 component of the report conclude the proposed project meets the Secretary of the Interior's Standards for Rehabilitation provided the measures outlined in Section 6.4 for this report are implement. Therefore, implementation of the project with the guidance enumerated above, would not materially impair the house's integrity of design, materials, and workmanship. The proposed project would be consistent with County of Santa Barbara Historical and Archaeological Policies 1- 3) and Section F, Cultural Resources /Archaeology: Goal CR-M-1: *Preserve and Project Properties and Structures with Historic Importance in the Montecito Community to the Maximum Extent Feasible*. Project impacts to a significant historic resource are considered a less than significant impact (Class III) to significant historic resources.

8.0 BIBLIOGRAPHY, REFERENCES AND RECORDS CONSULTED DURING THE PREPARATION OF THIS REPORT

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Maps

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United States Census 1930; 1940.

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APPENDIX A

20CNP-00000-00784

BARBER PERMITS 20-0000-1800

539 PERIWINKLE LN

78000

SANTA BARBARA COUNTY
PLANNING & DEVELOPMENT
BUILDING & SAFETY

Permit

SANTA BARBARA

011-229-885

Minor Building Permit FAX/EMAIL Application/Permit

24 hours advance notice required for inspection

Santa Barbara Office (805) 568-3830

Fax 4558-3100

Inspections 4568-3118

Santa Maria Office (805) 934-6230

Fax 4 934-6238

Inspections 4934-6232



Owner's Name: Mary Jane Barber Trust Phone # 530-503-817

Job Address: 539 Periwinkle Santa Barbara CA 93104 Area # 011-229-603

Mailbox Address: same as above City: SB State: CA Zip: 93104

Contractor's Name: GBT Sheet Metal License # 976310 Class C39.C43

Address: PO Box 10877 Phone 805 770 3372 Fax #

City: Santa Barbara State: CA Zip: 93100 EMAIL: gibbs@sheetmetal.com

TYPE OF PERMIT DESIRED: (Tick application is desired in the event of permits listed below)

Residential Commercial Agricultural

BUILDING PERMIT:

Reroof Permit (replacing existing roof system) (Note: Verify High Fire Design Requirements for your work area)

Type of Material: Asph/Flt # of squares 12-11 # of existing roof layers 1

Weight (lb per sq ft) for existing: 3.9

PERMITS TRAPS REQUIRED FOR APPLIANCE CHANGEOUTS**

PLUMBING PERMIT:

Water Heater Gas or Elect Capacity: (state BTU rating) Model #
 Gas Line IF Sewer Line IF Backwater valve Vent system Urine trap

MECHANICAL PERMIT

Forced Air Furnace Gas LPG BTU Rating Model #
 Wall Furnace Gas LPG BTU Rating Return Air Filter Size (per manufacturer's specs)

ELECTRICAL PERMIT

Electrical Service Amps Overhead Underground Upgrade Temp. Power
 Subpanel Installation Amps # of circuits
 Motor Installation: HP HP HP Single Line Diag. Included

Comments/Scope of Work:

Asph/Flt for installation of flat roofs on structures color to match existing dark asphalt shingle.

Estimated Work Value \$ 20,400 Smoke Detector/Carbon Monoxide Self-Test attached (Required at \$100/yr)

THIS PERMIT BECOMES NULL AND VOID IF THE WORK AUTHORIZED UNDER THIS PERMIT IS NOT COMPLETED WITHIN 180 DAYS OF THE ISSUANCE OF THIS PERMIT OR IF THE WORK IS SUSPENDED OR ABANDONED FOR A PERIOD EXCEEDING 180 DAYS FROM THE DATE THE WORK WAS COMMENCED.

I certify that I am licensed under the State Contractor's License Law and my license is in full force and effect.

Workers Compensation Declaration: I hereby affirm under penalty of perjury, one of the following conditions:

I have and will maintain a Certificate of Consent to Self-Insure for Workers Compensation, pursuant to Sec. 5700 of the Labor Code, for the performance of work for which this permit is issued; OR

I have and will maintain Workers Compensation Insurance as required by Sec. 5700 of the Labor Code, for the performance of the work for which this permit is issued. My Workers Compensation Insurance Carrier and policy # are:

Carrier: Barber Insurance Policy # WCL13815 Expires 10-11-2021

I certify that in the performance of the work for which this permit is issued, I shall not employ any person in a manner as set forth herein subject to the Workers Compensation Laws of the State of California, and agree that if I shall become subject to the Workers Compensation provisions of Sec. 5700 of the Labor Code, that I shall comply with those provisions.

Contractor Signature: [Signature] Date: July 29, 2020

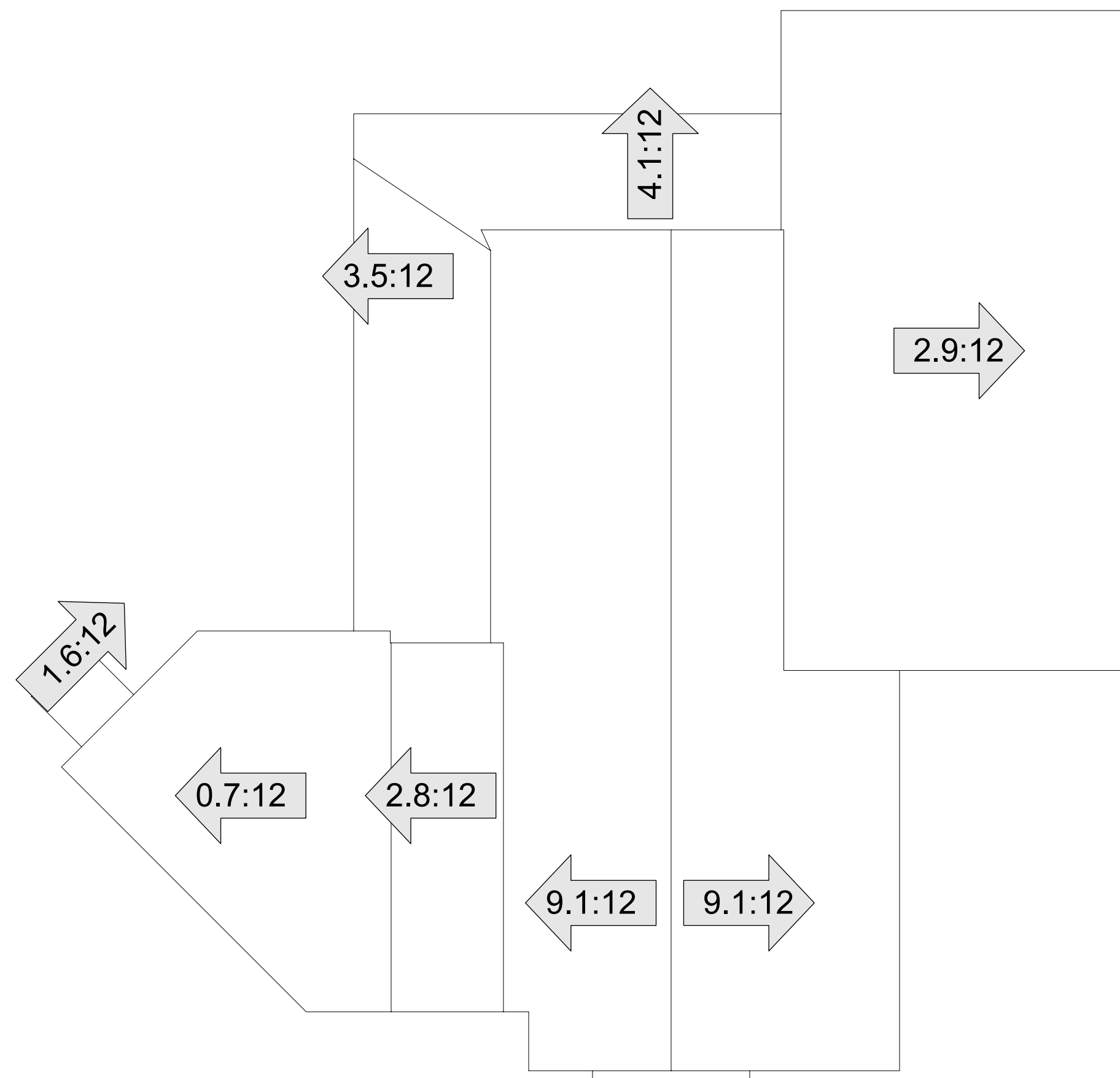
Permit Approved by: [Signature] Date: 7-30-2020 Fee \$ 274.00

Work Inspected and Approved by: Date:

County of Santa Barbara Roofing permit (July 29, 2020)

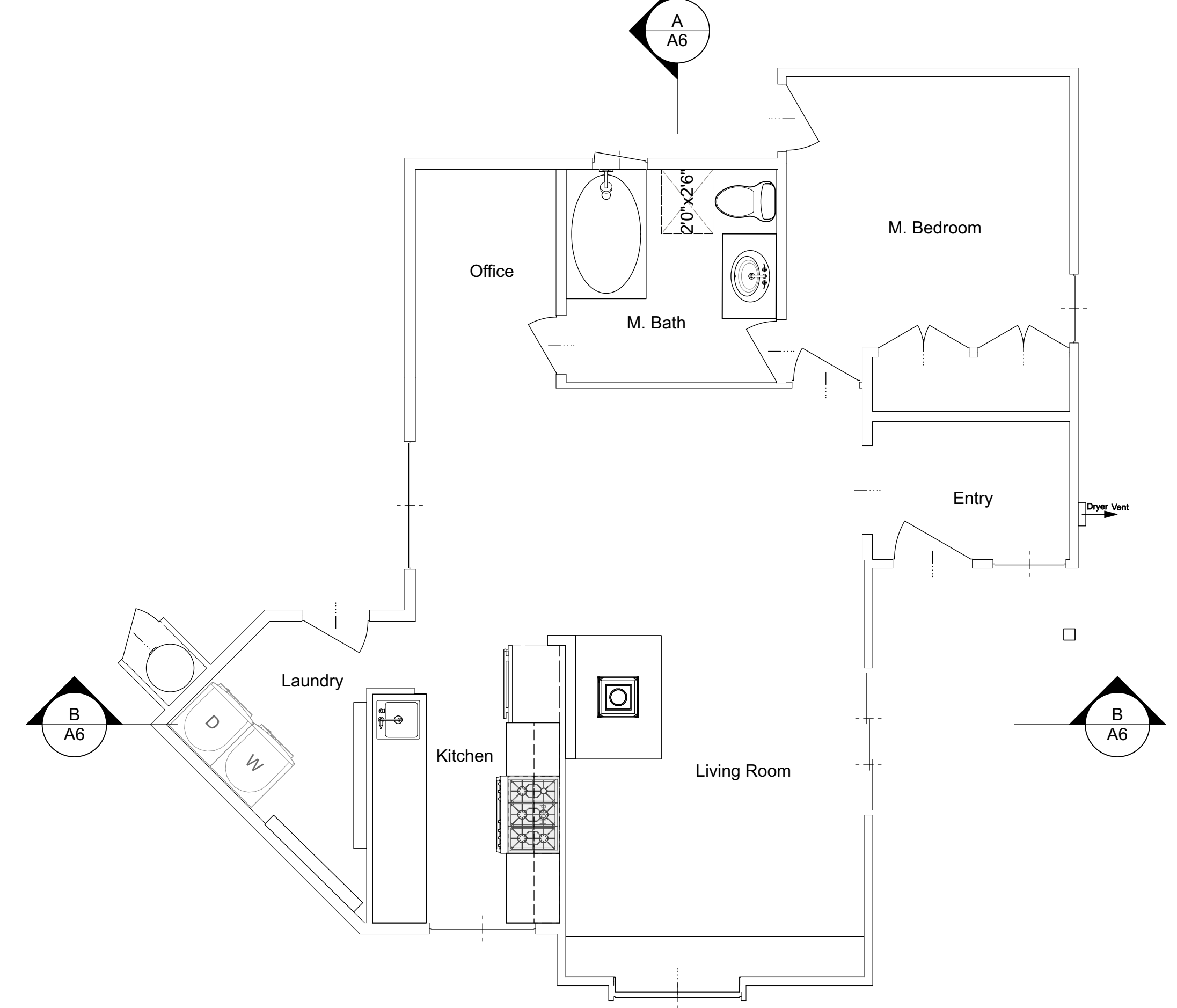
APPENDIX A

PROJECT PLANS



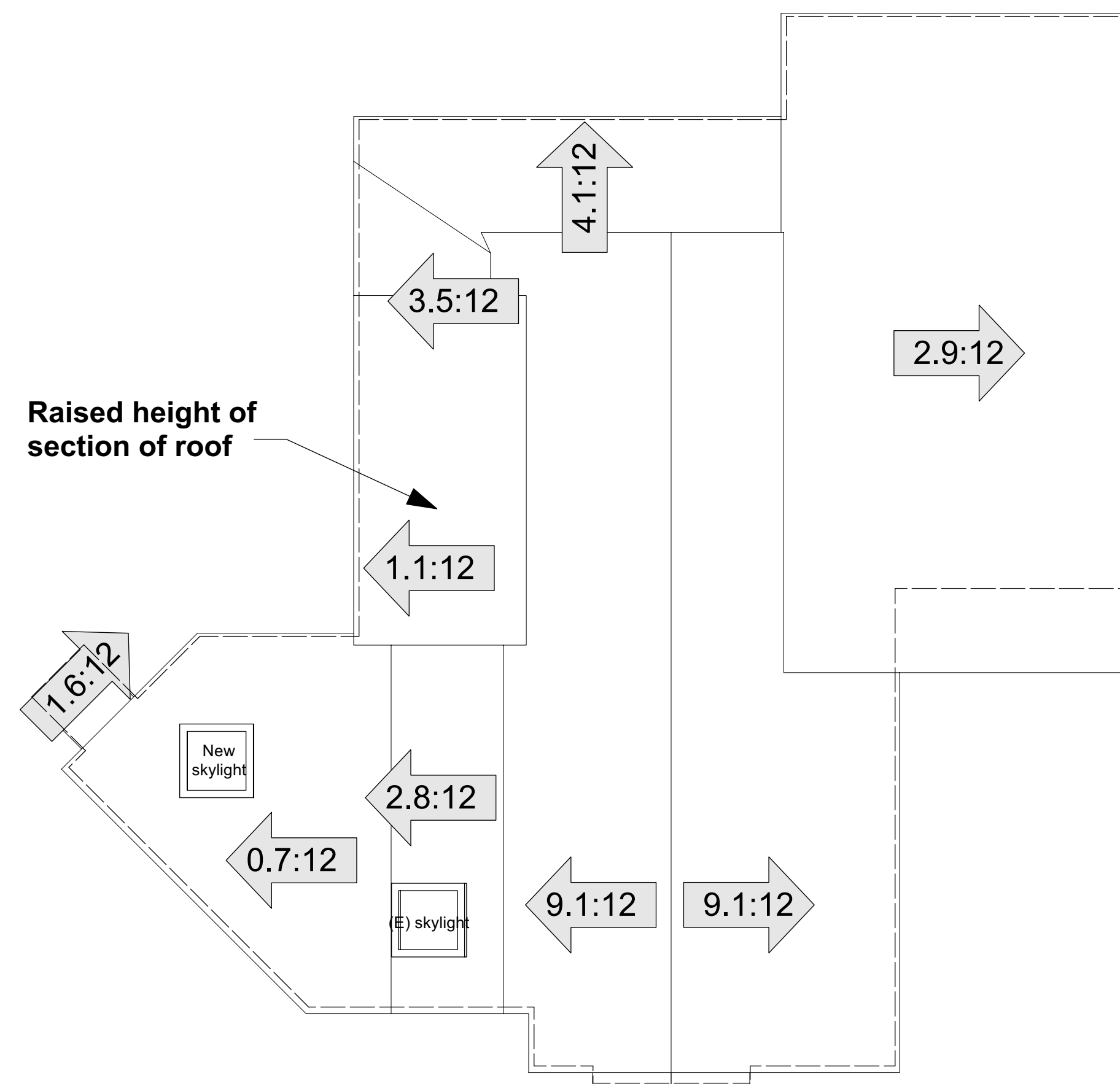
Existing Roof Plan

Scale: 1/4" = 1'-0"



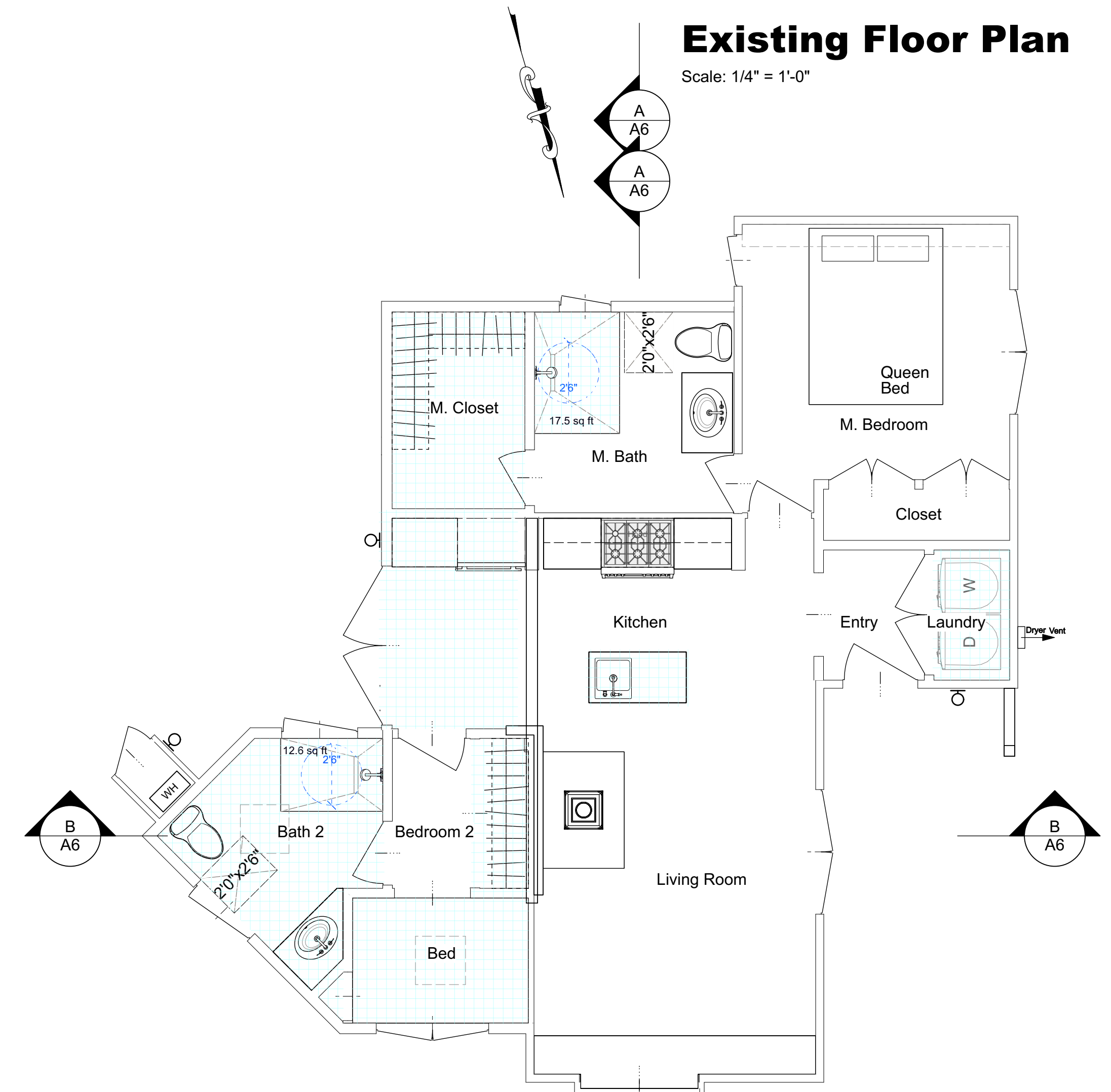
Existing Floor Plan

Scale: 1/4" = 1'-0"



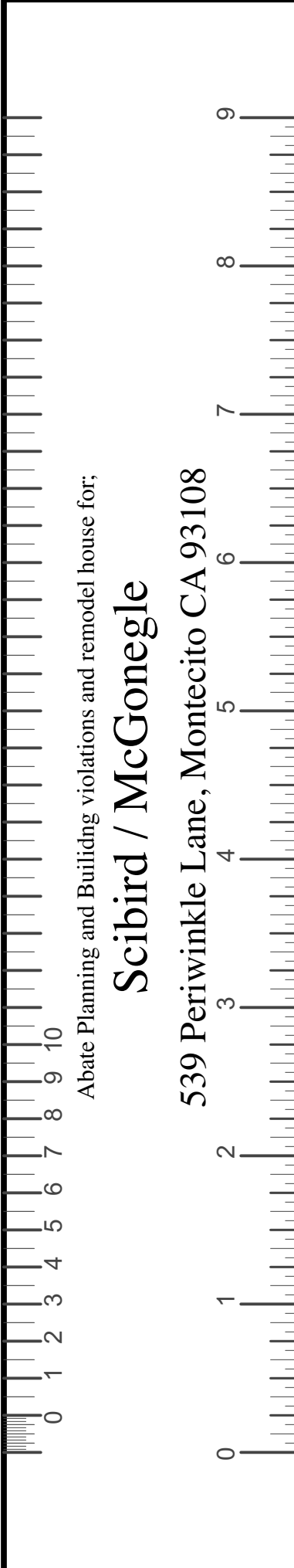
Proposed Roof Plan

Scale: 1/4" = 1'-0"



Proposed Floor Plan

Scale: 1/4" = 1'-0"



Abate Planning and Building violations and remodel house for:
Scibird / McGonegle
 539 Periwinkle Lane, Montecito CA 93108

Existing Elevations

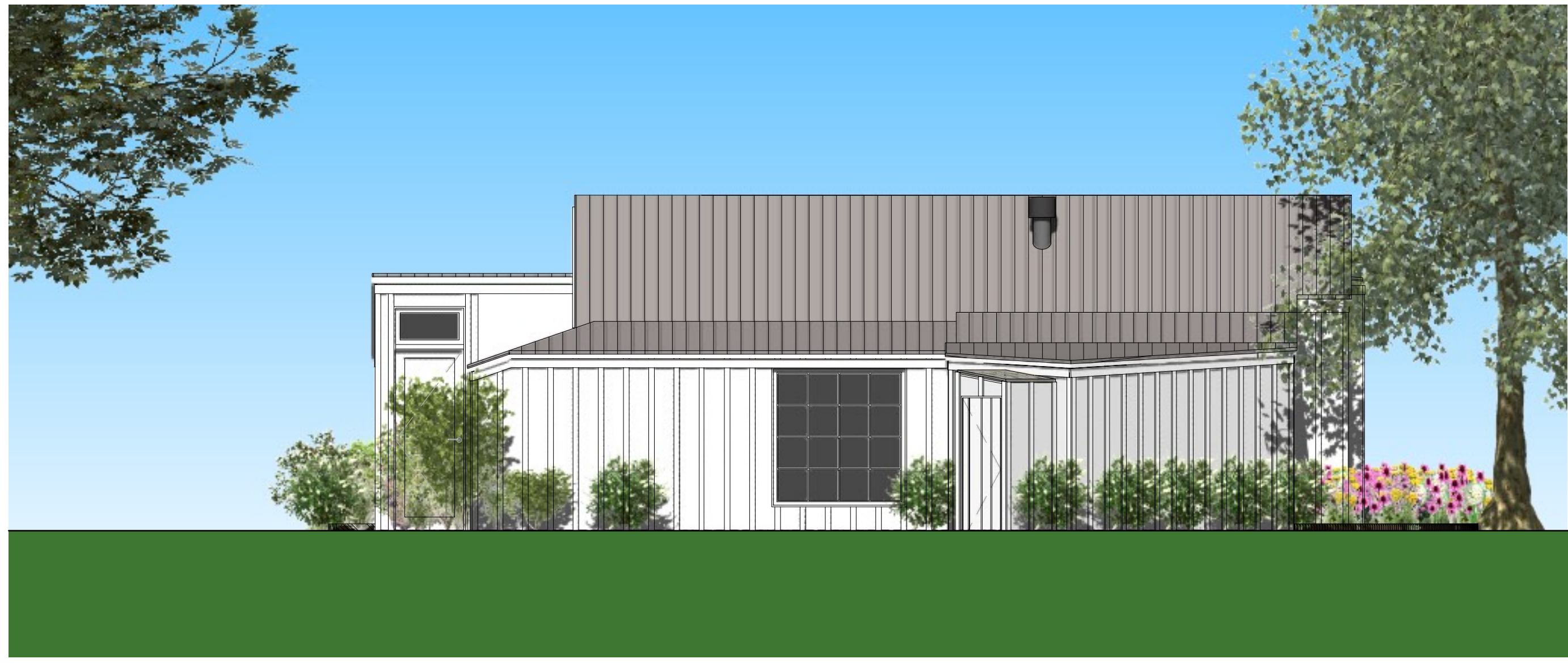
April 20, 2021

A4



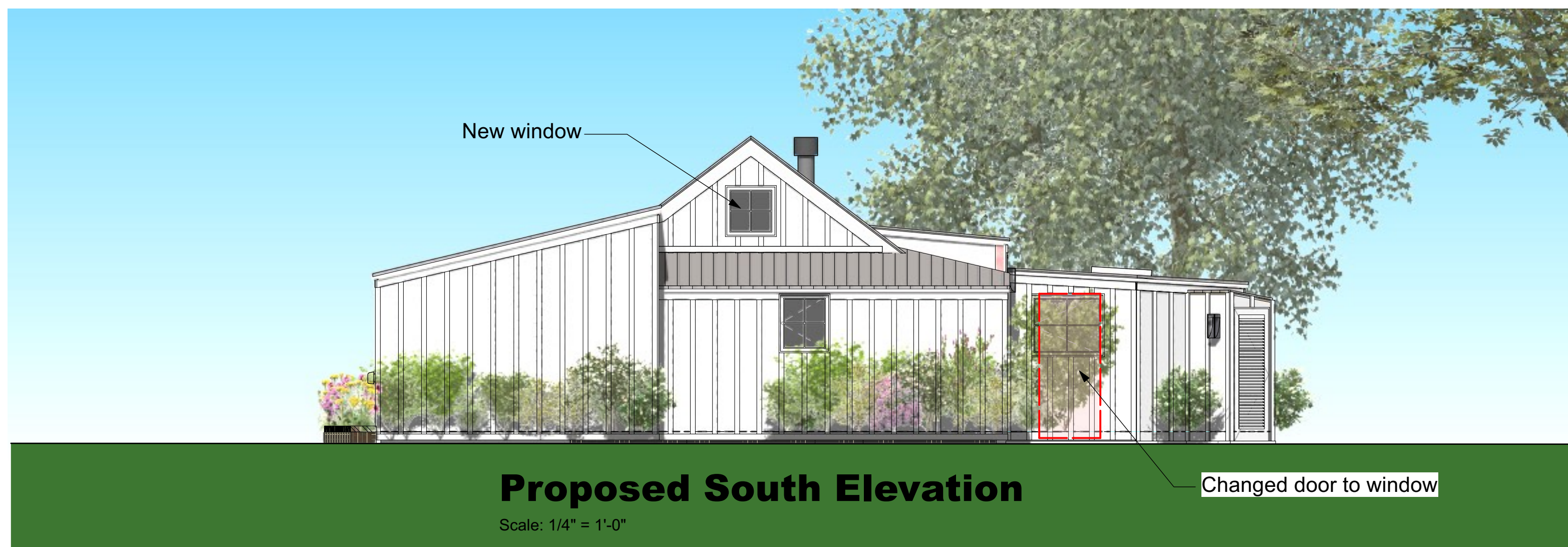
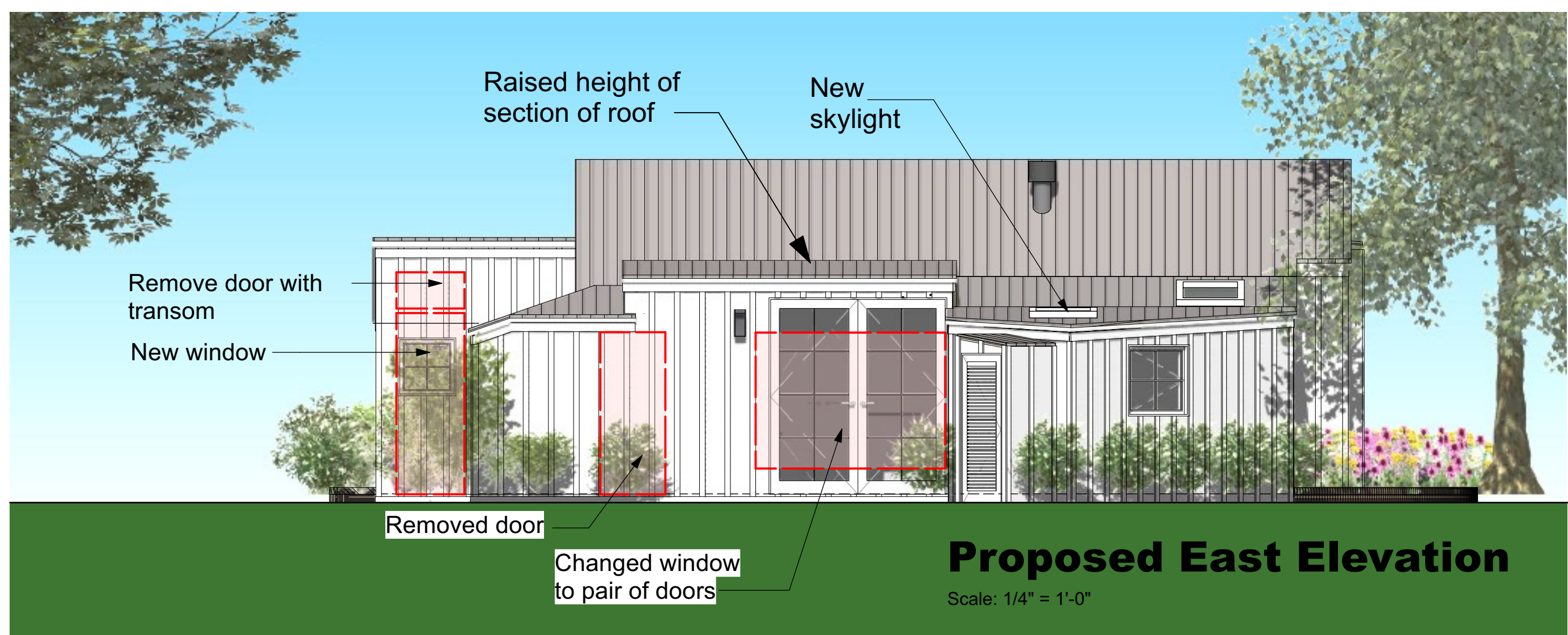
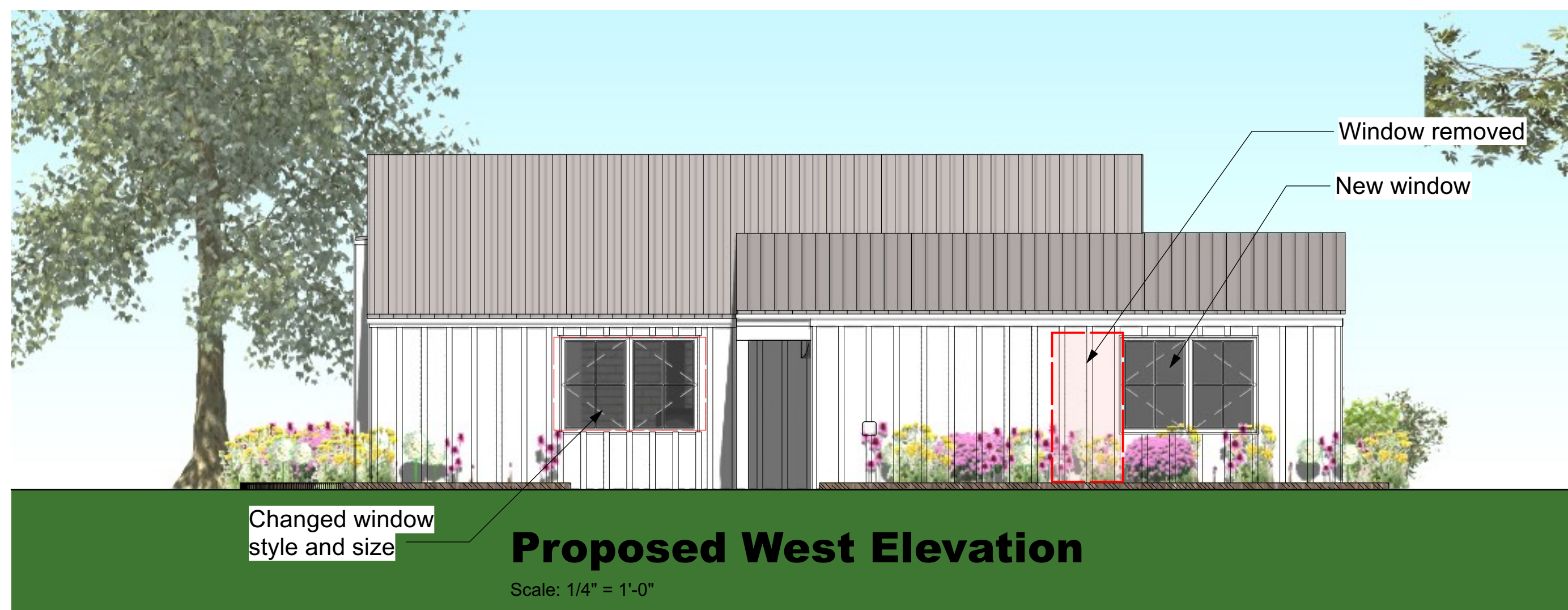
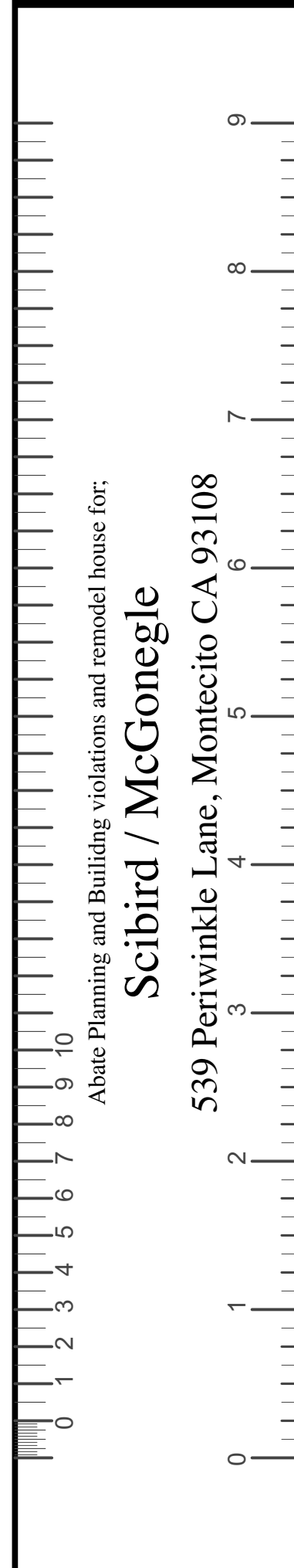
Existing North Elevation

Scale: 1/4" = 1'-0"

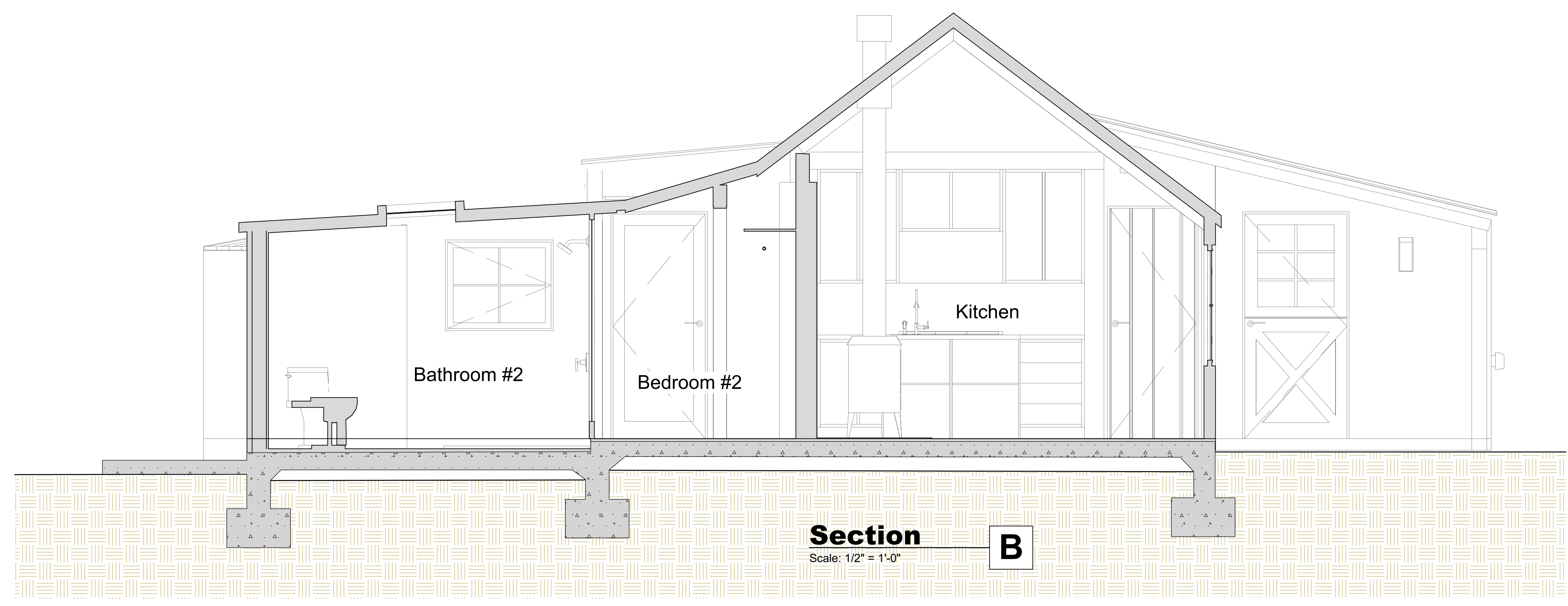
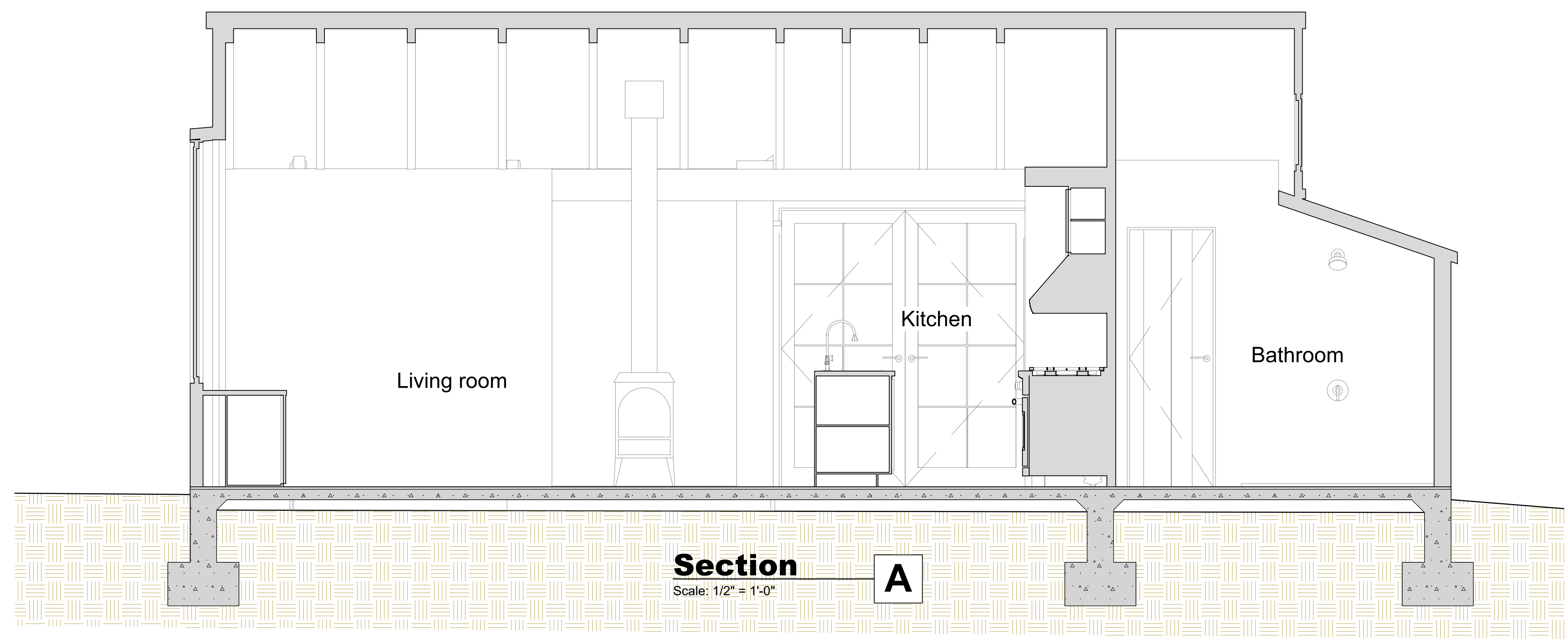


Existing South Elevation

Scale: 1/4" = 1'-0"



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Post/Hazeltine Associates

Architectural Historians

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805 682-5751
posthazeltine@cox.net

HISTORIC RESOURCES MEMO

539 Periwinkle Lane (APN 011-220-003), Montecito, Santa Barbara County, California

This Historic Resources Memo provides a preliminary evaluation of revised plans for as-built and proposed alterations to a house at 539 Periwinkle Lane (Assessor's Parcel Number 011-220-003), Montecito, Santa Barbara County, California. In 2021 a Phase 1-2 Historic Resources Technical Report concluded the property was eligible for listing as a County of Santa Barbara Place of Historic Merit (Post/Hazeltine Associates 2021: 8). The 2021 report evaluation of an as built/in progress project concluded the project would meet the Secretary of the Interior's Standards for Rehabilitation provided the following measures were implemented:

To ensure the project meets Standard 5, the following measures shall be implemented:

- *Replacement board and batten siding shall match the original in material and appearance;*
- *Replacement windows shall match the appearance of the house's historic window types in regard to the type and appearance of glazing bars; and*
- *Consider revising the water heater door to incorporate some board and batten siding.*

Provided these measures are implemented the proposed project meets Standard 5 (Post/Hazeltine Associates 2021: 22).

A subsequent letter report dated May 8, 2023, prepared by Post/Hazeltine Associates evaluated a revised plan set. After a site visit by the Montecito Board of Architectural Review (MBAR), the plan set was revised to address comments by MBAR. After reviewing the revised plan set, Post/Hazeltine Associates has reached the following preliminary conclusions:

- The proposal to replace a window in a non-historic addition at the west end of the north elevation (street façade) with a divided light window emulating the appearance of the house's original divided light windows meets the Secretary of the Interior's Standards for Rehabilitation;

- The replacement of a window in the non-historic addition at the west end of the south elevation with a door emulating the appearance of a traditional wood door, meets the Secretary of the Interior's Standards for Rehabilitation;
- The replacement of a window on the east elevation (the existing window is not original) by a set of French doors was evaluated in the 2021 Phase 1-2 Report. The report concluded the substitution was supportable. This finding has not changed;
- The placement of the non-historic utility closet's door is supportable;
- Raising the plate height several inches on portions of the south elevation to provide sufficient height for exit doors meets the Secretary of the Interior's Standards for Rehabilitation and is supportable as noted in the 2021 report;
- The replacement of a single light window on the non-historic bedroom wing (west elevation) with a divided light window emulating the appearance of the house's original fenestration meets the Secretary of the Interior's Standards for Rehabilitation; and
- The replacement of a non-historic window near the east end of the street façade (north elevation) with a with a divided light window emulating the appearance of the house's original fenestration meets the Secretary of the Interior's Standards for Rehabilitation.

This memo provides a summary of our preliminary review of the plan set and will be followed by a Phase 2 Historic Resources Technical Report Addendum.

References

Post/Hazeltine Associates

2021 Revised Phase 1 -2 Historic Resources Technical Report for 539 Periwinkle Lane, May 28, 2021.

2023 Phase 2 Historic Resources Technical Letter for 539 Periwinkle Lane, May 8 2023.

COUNTY OF SANTA BARBARA

HISTORIC LANDMARKS ADVISORY COMMISSION APPROVED MINUTES

Hearing of September 13, 2021

Meeting Time: 10:00 a.m.



The regular hearing of the Santa Barbara County Historic Landmarks Advisory Commission was called to order by Chair Ronald Nye at 10:03 a.m., via Zoom

COMMISSIONERS PRESENT:

RONALD NYE	MEMBER AT LARGE, CHAIR
SHEILA SNOW	1 ST DISTRICT, VICE-CHAIR
KEITH COFFMAN-GREY	2 ND DISTRICT
RANDY MELCOMBE	5 TH DISTRICT
HOWARD WITTAUSCH	5 TH DISTRICT
LANSING DUNCAN	3 RD DISTRICT

COMMISSIONERS ABSENT:

ROB KNIGHT	4 TH DISTRICT
DARIAN BLEECHER	2 ND DISTRICT
JESSICA TADE	3 RD DISTRICT

STAFF MEMBERS PRESENT:

Anne Rierson, Deputy County Counsel
Sean Stewart, Planner
Lia Graham, HLAC Secretary

I. ADMINISTRATIVE AGENDA:

1. ROLL CALL

2. ELECTION OF HLAC CHAIR AND HLAC VICE-CHAIR –

Action: Commissioner Snow moved, seconded by Commissioner Duncan, to elect Commissioner Coffman-Grey as Chair and Commissioner Nye as Vice-Chair (7-0).

3. PUBLIC COMMENT: *Public Comment time is set aside in order to allow public testimony on items within the subject matter jurisdiction of the Historic Landmarks Advisory Commission that are not being heard on today's agenda. Time allocated for each speaker is determined by the Chair. Total time allocated for comments is 15 minutes.*

4. MINUTES: The Minutes of June 12, 2021 were considered.

Action: Commissioner Snow moved, seconded by Commissioner Wittausch, to adopt the minutes of June 12, 2021 as amended (6-0-1) (Commissioner Duncan abstained).

5. STAFF UPDATE: The Planning and Development HLAC Planner will provide a brief oral report on items of general interest to the Commission and members of the public, such as ordinance amendments

in process or recently approved that may impact agenda items, updates on Board procedures, and the status of appeal hearings of projects that the Commission has reviewed or designated.

No action taken.

6. Project Discussion

The County Historic Landmarks Advisory Commission (HLAC) will discuss funding potential historic projects and supplemental letters/ information received.

No action taken.

8. HLAC Budget

The County Historic Landmarks Advisory Commission (HLAC) will discuss budget.

No action taken.

8. District Reports

Individual Commissioners may present brief reports that would be of interest to the public and/or Commission as a whole. No official action shall be taken on any individual matter. (Estimated Time: 10 min.)

The Commission gave an update on the Alamo Pintado Bridge and alerted the members of a virtual meeting being held later in the day.

II. STANDARD AGENDA:

1. Abulafia New SFD Carpinteria
21CDP-00000-00088 (Veronica King, Planner)

The County Historic Landmarks Advisory Commission (HLAC) will review and provide comments on changes to the existing residence which were designed in coordination with Post/Hazeltine Associates and result in 1,200 sq ft of the existing residence preserved as a single-family residence, 800 sq ft of the western wing preserved as a Cabana, converting portions of the south elevation to a covered porch, and leaving additional portions of the northern portion as accessory storage space. The parcel will be served by the Carpinteria Valley Water District, a private septic system, and the Carpinteria/ Summerland Fire Protection District. Access is provided off of Monte Alegre Road. The property is a 24.39-acre parcel zoned AG-I-40 and shown as Assessor's Parcel Number 155-170-060, located at 2000 Monte Alegre Road in the Carpinteria area, First Supervisorial District (Last heard 4-12-21).

Brian Banks – Agent – presented the project information to the commission.

Tim Haseltine – Historian – gave a brief description on what is to remain and what it to be modified.

HLAC Comments –

HLAC expressed appreciation for the creative work of the team in response to the previous comments. HLAC views this as a rescue plan for a remarkable resource. If the residence is not

used there is little reason to maintain it. In a perfect world this structure would be open to the public. It would be viewed, appreciated and maintained by many.

HLAC specifically appreciates keeping intact the Library Wing and the south façade of the balancing western wing that frames the entry. HLAC is interested in seeing how the covered porch created will be detailed.

Requested to reevaluate the roof to the west elevation. The main roof incorporates a stone chimney, the proposed does not. There should be more effect in the doors and windows. The porch on west end does not serve the overall feel of the historic house.

The North elevation where the additions have been removed needs articulation.

2. Scibird McGonegle Exterior Alterations Montecito

21LUP-00000-00292 (Cassidy Walsh, Planner)

The County Historic Landmarks Advisory Commission (HLAC) will review and provide comments on the proposed residential remodel consisting of removal and replacement of windows and doors and the installation of a new skylight. Additionally, the project also includes the unpermitted exterior paint changes, raised roof in one portion of the structure and two windows that have already been installed. No grading or tree removal is proposed. The parcel will be served by the Montecito Water District, the Montecito Sanitary District, and the Montecito Fire Protection District. Access will continue to be provided off of Periwinkle Lane. The property is a 0.17-acre parcel zoned 20-R-1 and shown as Assessor's Parcel Number 011-220-003, located at 539 Periwinkle Lane in the Montecito Community Plan Area, first Supervisorial District.

Public Comment – Bill Babbit

Richard Scibird – Owner

Tim Haseltine – Historian – gave an overview of the project

HLAC Comments –

HLAC expressed the desire that changes to all Moody Sisters structures should come before the commission and that a memo be sent to the Building Department regarding the issuance of a permit to change the roofing without HLAC review.

HLAC understands the need for certain modifications, in character with the original studio, in order to facilitate its use as a residence. The commission supports the changes but only with the inclusion of the recommended measures to ensure consistency with the Secretary of the Interior's Standards.

The HLAC did not support the change in roofing and one commissioner did not support the project because of it, while acknowledging it was permitted and helped to preserve the structure.

3. Verano del Mar Change of Use Summerland

21CDP-00000-00081 (Christopher Schmuckal, Planner)

The County Historic Landmarks Advisory Commission (HLAC) will review and provide comments on the proposed project. The project is eligible for listing as a place of historic merit and is proposing to change the use of the second floor from a commercial to residential use and install a new entryway to one of the proposed residences. The property is shown as Assessor's Parcel Numbers 005-173-001 located at 108 Pierpont Ave in the Summerland Area, First Supervisorial District. (Estimated Time: 30 min.)

HLAC Comments –

HLAC supported the as-built alterations to the non-contributing rear elevation and does not oppose the modified paint color chosen. HLAC noted the beige and green color scheme of the historic residence prior to the use of yellow to identify the restaurant.

4. Tree Trimming at 148 Hermosillo Road Santa Barbara

The County Historic Landmarks Advisory Commission (HLAC) will review and provide comments on the proposed tree trimming for the Monterey Cypress hedge that has grown into the public right of way in the front of the Place of Historic Merit at 148 Hermosillo Road. The County has asked that it be trimmed back from ground level to a height of 14 feet. It will need to be trimmed back about 2 feet. Since the hedge is Monterey Cypress it will not regrow and trimming it will result in brown branches and dead foliage in this trimmed space. It is possible that the County will only need the north end of the hedge to be trimmed; discussions regarding the matter are ongoing. The property is a 0.40 acre parcel zoned 20-R-1 and shown as Assessor's Parcel Number 009-212-017, located at 148 Hermosillo Road in the Santa Barbara area, First Supervisorial District.

John Handloser - Owner – gave an overview on current conditions

HLAC Comments –

HLAC acknowledged the need to prune the Monterey Cypress hedge for safety reasons due to its encroachment on the roadway. The commission understands that the trees have a limited lifetime and cannot be infinitely maintained as a hedge. The commission appreciated the information documenting the residence as a James Osborne Craig design.

5. Rancho El Alamo Pintado Adobe – Solar Project Solvang

The County Landmarks Advisory Commission (HLAC) will review and provide comments regarding the potential for a solar panel project that would impact the public's view of the existing historic structure which is a County Historic Landmark. The property is a 21.69 acre parcel, zoned AG-I-20, shown as Assessor's Parcel Number 137-650-002 known as 1562 Alamo Pintado Road in the Solvang area, Third Supervisorial District.

Steve Russell – presented the project including location and visual concerns.

HLAC Comments –

HLAC supported the carefully placed installation of low profile solar panels on the non-historic part of the structures, and appreciates the care taken to hide the panels from public view.

NEXT MEETING of the Historic Landmarks Advisory Commission:

Date: October 11, 2021 (Later Cancelled)
Time 10:00 a.m.
Location: Zoom

*For additional information about this agenda or any
Historic Landmarks Advisory Commission business,
Call (805) 884-6833*

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