

EMERGENCY PERMIT

11EMP-00000-00006

**Coastal Zone:**

Subject to the requirements of Section 35-171.2 of the Article II Coastal Zoning Ordinance and the policies of the Coastal Land Use Plan.

Case Name: More Mesa Stairway Repair and Slope Repair
Case Number: 11EMP-00000-00006
Site Address: 5235 and 5227 Austin Road
APN: 065-310-016, 065-310-017, 065-310-018
Applicant/Agent Name: Douglas Keep for the More Mesa HOA
Owner Name: More Mesa HOA

South County Office
123 E. Anapamu Street
Santa Barbara, CA 93101
(805) 568-2000

Energy Division
123 E. Anapamu Street
Santa Barbara, CA 93101
(805) 568-2040

North County Office
624 W. Foster Road
Santa Maria, CA 93454
(805) 934-6250

PERMIT APPROVAL:

This is to inform you that an Emergency Permit has been approved for:

The More Mesa Shores Homeowners Association proposes to repair an existing stairway that provides private access from the Beguhl Tract to the beach. The stairway repair includes the replacement of rotted/corroded stair stringers, treads, decking, guardrails, handrails, cross bracing, structural connectors and anchors. Existing support piers will remain. All new construction will comply with current Building Code requirements. In addition, a new drainage system will replace the existing damaged drainage system. Damaged drain piping will be removed and will be replaced with larger pipes. Drainage components will also include a 3 foot tall retaining wall and rock-lined swale located along an existing trail inland from the repaired stairway. All existing irrigation lines along the stairway and adjacent bluff face will be removed. Existing nonnative pittosporum and ice plant vegetation will be replaced with native, drought tolerant vegetation typical of native coastal bluff habitats. Temporary drip irrigation will be placed on-site for one growing season in order to establish restoration plantings. Drip irrigation shall not be used in the winter months and shall comply with approved irrigation plans. Drip emitters used in very steep areas will be ½ gallon per hour flow emitters and other areas will use 1 gallon per hour flow emitters. Emitters will run approximately 3-5 minutes at a time at different points throughout the day in order to avoid oversaturation and erosion danger. The duration and frequency of irrigation will be dependent upon temperature, cloud cover and moisture levels on a given day.

At the end of one growing season, all irrigation components shall be removed. No development would occur on the beach. Construction materials, staging and storage will occur at the north end of the access easement, north of the bluff face. Reconstruction of the stairway will occur in sections and will be completed by hand, avoiding the need for equipment on the beach or bluff. Construction staging shall in no way conflict with public vertical or horizontal beach access during both high and low tides. The stairway proposed for repair has been and would continue to be a private stairway serving the members of the More Mesa Shores Homeowners Association. The stairway is not known to have been used by the public. Public access would continue to be available at Arroyo Burro Beach ~~Hepe Ranch Beach~~, located approximately 3.5 -9 miles southeast of the project site and at Goleta Beach Park, located 1.33 miles northwest of the project site.

As discussed in detail in finding 2a below, an emergency exists and requires action more quickly than provided for by the procedures for permit processing. There is danger of slope failure and risk to individuals due to the disrepair of the stairway including slope instability, drainage deficiencies, and wood rot and corrosion of metal components making use of the stairway potentially unsafe. Therefore, this situation constitutes an emergency in accordance with the applicable zoning ordinance indicated above and immediate action is warranted. As the required findings (listed below) can be made, the emergency work is hereby approved, subject to compliance with the attached conditions of approval. This permit is not valid until signed by the owner/applicant and subsequently issued by the Planning and Development Department upon verification that all conditions of approval requiring action prior to permit issuance are satisfied.

Sincerely,

ALICE MCCURDY, Deputy Director, Planning and Development
for
GLENN RUSSELL, Ph.D.
Director, Planning and Development

APPROVAL DATE: October 10, 2011

The undersigned permittee acknowledges receipt of this permit and agrees to abide by all terms and conditions of approval incorporated herein. The undersigned also acknowledges and agrees that:

- This Emergency Permit provides only temporary authorization for the proposed action and other applicable permits (such as a Conditional Use Permit, Coastal Development Permit, Land Use Permit, Building Permit) are required by law to validate the emergency work as permanent.
- Any evidence or findings contained herein, or upon which this permit relies, shall not constitute any limitation on the authority of the County of Santa Barbara to issue, grant, deny, rescind, or revoke this permit or any future permit(s) required for the activities described herein, or on the authority of the County of Santa Barbara to analyze, mitigate, or condition any future permit(s) required for the activities described herein.
- This permit does not authorize any work or construction activities outside of the scope of the project as indicated in the project description, conditions of approval and approved plans.
- This permit shall not be construed to authorize any violation of County ordinance or policy, or the violation of any State or Federal regulation.

Print Name _____

Signature _____

Date _____

.....

Print Name _____

Signature _____

Date _____

BACKGROUND:

The subject properties are located at 5235 and 5257 Austin Road, in the Goleta area and are located on a coastal bluff. A private access stairway to serve members of the More Mesa Shores Homeowners Association was originally constructed on-site in the 1960's, prior to the need for permits and was considered nonconforming. A Special Use Permit (84-SUP-005) and a Negative Declaration (84-ND-45) were approved in 1984 to permit repairs to the stairway. The Coastal Development Permit required to effectuate the Special Use Permit was never approved due to lack of submittal of engineered plans. Regardless, the stairway was repaired. As a result, the stairway lost its nonconforming status. The Homeowners Association (HOA) now seeks to legalize the existing stairway, repair the stairway and correct slope and drainage issues on-site. The proposed work (along with additional work on the stair landing) was approved on September 12, 2011 under Case No. 10CDH-00000-00032 by the County Zoning Administrator. However, a condition requirement of that permit (dedication of lateral beach easements and [as required] receipt of a lease from the California State Lands Commission) is anticipated to take up to 9 months. Therefore, the HOA applied for an emergency permit on September 13, 2011 to allow completion of work to avoid slope failure or failure of stairway components. The proposed emergency work does not include the portion of the stairway that is potentially within State jurisdiction. As discussed in the staff report for Case No. 10CDH-00000-00032 (included as Attachment-C), and incorporated herein by reference, the proposed work would not be in violation of applicable regulations, including the Coastal Zoning Ordinance, Coastal Land Use Plan, Coastal Act and Goleta Community Plan.

FINDINGS OF APPROVAL:

1. **The approval of this project shall not be held to permit or to be an approval of a violation of any provision of any County Ordinance or State Law.**

A private access stairway to serve members of the More Mesa Shores Homeowners Association was originally constructed in the 1960's, prior to the need for permits and was considered nonconforming. A Special Use Permit (84-SUP-005) and a Negative Declaration (84-ND-45) were approved in 1984 to permit repairs to the stairway. Regardless, the stairway was repaired. The Coastal Development Permit required to effectuate the Special Use Permit was never approved due to lack of submittal of engineered plans. As a result, the stairway lost its nonconforming status. The Homeowners Association (HOA) now seeks to legalize the existing stairway, repair the stairway and correct slope and drainage issues on-site. The proposed work (along with additional work on the stair landing) was approved on September 12, 2011 under Case No. 10CDH-00000-00032 by the County Zoning Administrator. However, a condition requirement of that permit (dedication of lateral beach easements and [as required] receipt of a lease from the California State Lands Commission) is anticipated to take up to 9 months. Therefore, the HOA has applied for an emergency permit to allow completion of work to avoid slope failure or failure of stairway component. As discussed in the staff report for Case No. 10CDH-00000-00032 (included as Attachment-C), and incorporated herein by reference, the proposed work would not be in violation of applicable regulations, including the Coastal Zoning Ordinance, Coastal Land Use Plan, Coastal Act and Goleta Community Plan. Specifically, according to Coastal Plan Policy 3-7, engineered staircases are permitted to be constructed on the

bluff face. Plans for the proposed repair have been engineered. These repairs have been reviewed and approved by the County Building and Safety Division and are pending sign-off from the Development Review Division. Because the proposed project has been found in compliance with applicable requirements and regulations by both the Zoning Administrator and Building and Safety staff and because engineered stairs are permitted in the location proposed, the approval of the project would not be held to permit or to be an approval of a violation of any provision of any County Ordinance or State Law. Therefore this finding can be made.

2. Pursuant to Section 35-171.5 of Article II, an Emergency Permit may be granted if the Director of the Planning and Development Department makes the following findings:

- a. An emergency exists and requires action more quickly than provided for by the procedures for permit processing, and the action will be completed within 30 days unless otherwise specified by the terms of the permit.*

The applicant submitted three documents from technical experts supporting the need for an emergency permit from the proposed work. A letter prepared by civil engineering firm Flowers and Associates (included as Attachment-D) describes deficiencies in an existing drainage system serving the property and states *"In our opinion it is imperative that the existing system be upgraded as proposed prior to another winter season to minimize the potential for destabilization of the slope and loss of the stairway."* A geologic evaluation of the coastal bluff and beach stairs prepared by Campbell Geology (included as Attachment-E) describes shallow slope failures, soil creep and spring sapping (groundwater outflow undermining slopes) that have contributed to the instability of the bluff in the project area. The evaluation further describes that repairs to the stairway may be successfully completed without placement of new support structures and that proposed repairs will not contribute to bluff instability. The report further states, *"Surficial stability could be improved with a phased landscaping program to establish native coastal brush species that require no irrigation."* The proposed project incorporates this recommendation and proposes phased landscaping in order to stabilize areas adjacent to the stairway. Lastly, a letter prepared by D&Z Structural Engineering (included as Attachment-F) describes deterioration of the stairway due to wood rot of wooden structures and corrosion of steel hardware. Additionally, the letter states that the existing structure is *"potentially unsafe to support foot traffic."* As described in Finding 1, above, compliance with condition requirements for permit issuance will take upwards of 9 months. With winter rains approaching in less than 3 months and a stairway that is already potentially unsafe to support foot traffic, sufficient time does not exist to complete permit processing for the proposed work. Therefore this finding can be made.

- b. The action proposed is consistent with the policies of the Coastal Land Use Plan and the requirements of the Article II Coastal Zoning Ordinance.*

As discussed in finding 1 above and as discussed in the staff report (included as Attachment-C) prepared for the Coastal Development Permit (including repairs to a stair landing that are not proposed under the Emergency Permit) and incorporated herein by reference, the action proposed is consistent with the policies of the Coastal Land Use Plan and the requirements of the Article II Coastal Zoning Ordinance. Therefore this finding can be made.

c. Public comment on the proposed emergency action has been reviewed if time allows.

The proposed work (along with additional work on the stair landing) was approved at hearing on September 12, 2011 under Case No. 10CDH-00000-00032 by the County Zoning Administrator. The Zoning Administrator's decision occurred at a noticed public hearing open to public comment. No public comments were received or have been received since. However, due to the time sensitive nature of slope and stair repairs as discussed in finding 2a, above, time does not allow for public comment on the Emergency Permit itself since immediate action is warranted to prevent damage to the affected structures. Notice of this Emergency Permit will be mailed to surrounding property owners. Therefore this finding can be made.

3. This action is not subject to the provisions of the California Environmental Quality Act, pursuant to State CEQA Guidelines Section 15269, statutory exemption for emergency projects.

EMERGENCY PERMIT CONDITIONS OF APPROVAL

1. This Emergency Permit is based upon and limited to compliance with the project description, and the conditions of approval set forth below. Any deviations from the project description or conditions must be reviewed and approved by the County for conformity with this approval. Deviations without the above-described approval will constitute a violation of permit approval. If it is determined that project activity is occurring in violation of any or all of the following conditions, the Director of Planning and Development may revoke this permit and all authorization for development. The decision of the Director to revoke the Emergency Permit may be appealed to the Planning Commission.

The project description is as follows:

The More Mesa Shores Homeowners Association proposes to repair an existing stairway that provides private access from the Beguhl Tract to the beach. The stairway repair includes the replacement of rotted/corroded stair stringers, treads, decking, guardrails, handrails, cross bracing, structural connectors and anchors. Existing support piers will remain. All new construction will comply with current Building Code requirements. In addition, a new drainage system will replace the existing damaged drainage system. Damaged drain piping will be removed and will be replaced with larger pipes. Drainage components will also include a 3 foot tall retaining wall and rock-lined swale located along an existing trail inland from the repaired stairway. All existing irrigation lines along the stairway and adjacent bluff face will be removed. Existing nonnative pittosporum and ice plant vegetation will be replaced with native, drought tolerant vegetation typical of native coastal bluff habitats. Temporary drip irrigation will be placed on-site for one growing season in order to establish restoration plantings. Drip irrigation shall not be used in the winter months and shall comply with approved irrigation plans. Drip emitters used in very steep areas will be ½ gallon per hour flow emitters and other areas will use 1 gallon per hour flow emitters. Emitters will run approximately 3-5 minutes at a time at different points throughout the day in order to avoid oversaturation and erosion danger. The

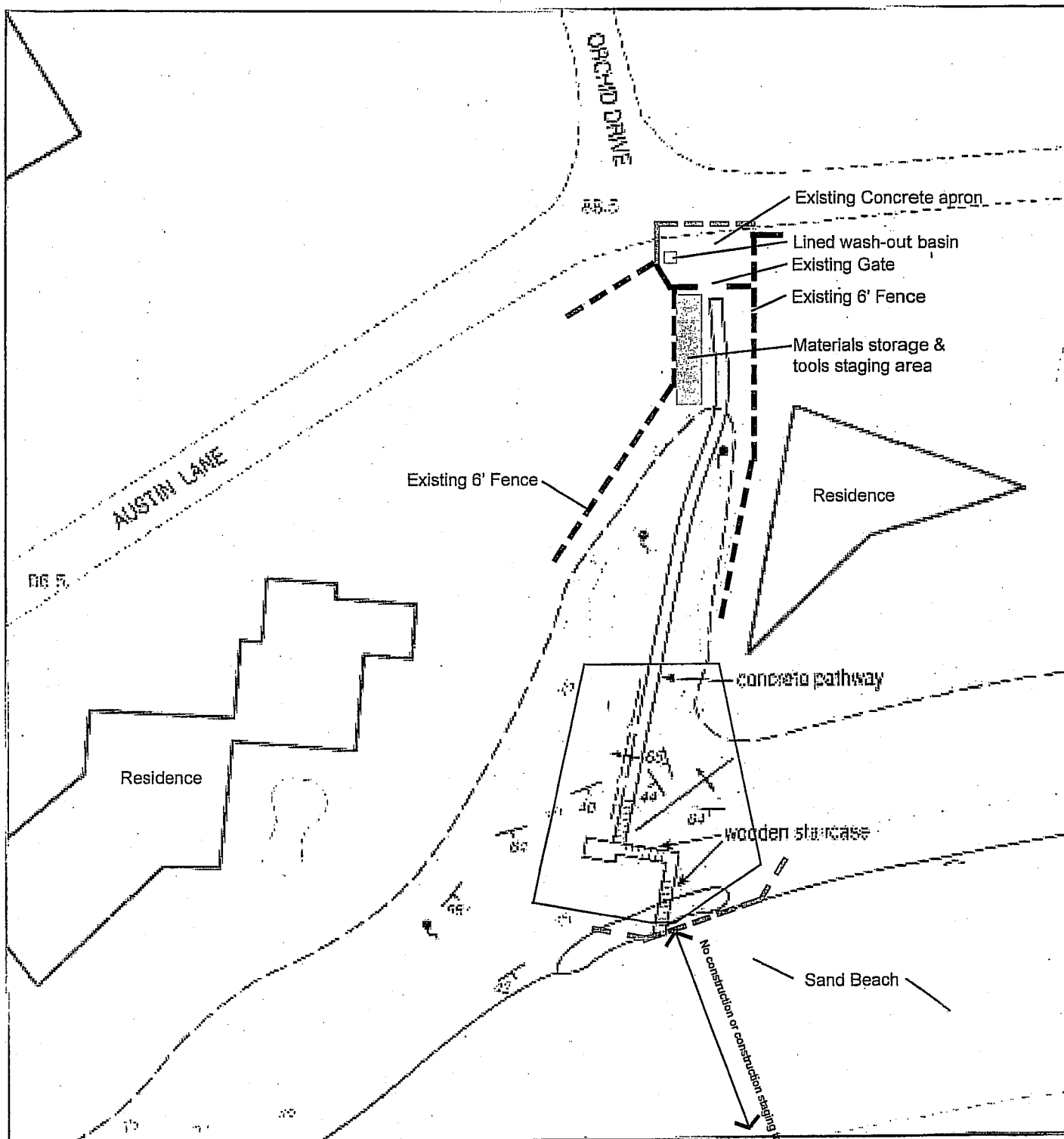
duration and frequency of irrigation will be dependent upon temperature, cloud cover and moisture levels on a given day. At the end of one growing season, all irrigation components shall be removed. No development would occur on the beach. Construction materials, staging and storage will occur at the north end of the access easement, north of the bluff face and would occur pursuant to the Construction Staging Plan submitted with the emergency Permit application. Reconstruction of the stairway will occur in sections and will be completed by hand, avoiding the need for equipment on the beach or bluff. Construction staging shall in no way conflict with public vertical or horizontal beach access during both high and low tides. The stairway proposed for repair has been and would continue to be a private stairway serving the members of the More Mesa Shores Homeowners Association. The stairway is not known to have been used by the public. Public access would continue to be available at Arroyo Burro Beach ~~Hope Ranch Beach~~, located approximately 3.5 ~~9~~ miles southeast of the project site and at Goleta Beach Park, located 1.33 miles northwest of the project site.

As shown on a construction schedule provided by the applicant, due to the need to complete the proposed work in stages, total construction will take 60 days from the granting of this permit (unless, based upon good cause, an extension is granted by the Director). Work would take place under building Permit Case No. 11BDP-00000-00658.

2. The applicant shall comply with and satisfy all conditions required for issuance of approved Case No. 10CDH-00000-00032 and shall comply with all requirements of Case No. 11BDP-00000-00658. Issuance of Case No. 10CDH-00000-00032 and compliance with 11BDP-00000-00658 necessary to validate the emergency work.
3. Any materials required for a completed application, as identified in the initial review of the original application required pursuant to Condition #2 above, shall be submitted within 90 days after written notification of the application deficiencies is provided to the applicant. This time period may be extended by the Director of Planning and Development.
4. Only that emergency work specifically requested and deemed an emergency for the specific property mentioned is authorized. Any additional emergency work requires separate authorization from the Director of Planning and Development. The work authorized by this permit must be commenced within 15 days of the date of issuance of the permit and completed within 60 days after the beginning of construction (unless, based upon good cause, an extension is granted by the director). If construction activities are proposed by the applicant to commence after 15 days, separate authorization by the Director of P&D is required.
5. This permit does not preclude the necessity to obtain authorization and/or permits from other County Departments or other agencies.
6. The Director of Planning and Development may order the work authorized under this emergency permit to stop immediately if it is determined that unanticipated and substantial adverse environmental effects may occur with continued construction.

Attachments:

- A. Site Plan and Construction Staging Plan
 - B. More Mesa Shores HOA letter, dated September 6, 2011
 - C. Staff Report for 11CDH-00000-00032, dated August 16, 2011
 - D. Flowers and Associates, dated September 9, 2011
 - E. Campbell Geology, dated February 17, 2011
 - F. D&Z Engineering, dated September 6, 2011
- cc: Janet Wolf, Supervisor, Second District
Glen Russell, P&D Director
Dianne Black, P&D Director of Development Services
Alice McCurdy, P&D Deputy Director
Anne Almy, Supervising Planner, P&D
Nicole Lieu, P&D Planner
Coastal Program Analyst, Calif. Coastal Comm., 89 S. California Street, Ventura CA 93001



More Mesa Shores Construction Staging Plan

- Limits of work including revegetation
- - - Temporary Construction Fencing with Signage (*Stair Closed for construction*)

B



PO Box 61731, Santa Barbara, CA 93160

Tuesday, September 6, 2011

Nicole Lieu, Planner
Development Review Division
Santa Barbara County Planning & Development
132 E. Anapamu St.
Santa Barbara, CA 93101

RE: More Mesa Stair Repair - Case No. 10CDH-00000-00032

Dear Ms. Lieu:

Based on the last hearing held on August 29, 2011, several new issues have surfaced that will need resolution. Unfortunately, the time to resolve these issues will extend well into 2012 and, as you know, we submitted this application in December 2010 with the anticipation of it taking six months to receive approval.

The More Mesa Shores Board of Directors' goal was to repair the stair and drainage system prior to the next rainy season, as recommended by the consultants. Steve Campbell, the Geologist who prepared a report for this project, also recommended revegetation of the bluff to resolve the erosion concern. The Soils and Structural Engineers also recommend immediate repairs to the drainage system and stairs so as to minimize further damage that could occur to the bluff and stair.

The repairs for stair and drainage system for the purposes of continued access to the beach is a secondary concern for the neighborhood. The primary concern is that it is the only means of an escape from the neighborhood should Shoreline Drive or Orchid Drive become blocked, such as in the event of a major fire. This stair serves as the only emergency exit for our neighborhood of over 300 occupants.

In addition, the Sheriff and Fire / Rescue Departments frequently use the stair for emergency purposes. There have been numerous occasions where the Sheriff and Fire Departments have rescued members of the public (not neighborhood residents) by using the stairway. This stair repair project should not be viewed as luxury; it should be viewed as maintaining a vital component of the neighborhood, not only for our immediate neighbors, but for the entire community.

In light of the anticipated delays for a final CDPH approval, and for the reasons stated, the More Mesa Shores HOA is requesting planning approval of an emergency permit so we can make the necessary repairs to the drainage system and stairs prior to the upcoming rainy season.

The Architect, Doug Keep, has contacted Kevin Green, the Senior Building Official. Mr. Green said the Construction Permit has been reviewed and is ready to issue, pending the Planning Department's approval.

The More Mesa Shores HOA Board of Directors is committed to working with Planning and Development to resolve the outstanding issues as soon as possible.

Sincerely,

More Mesa Shores Homeowners Association Board of Directors



SANTA BARBARA COUNTY ZONING ADMINISTRATOR STAFF REPORT

August 16, 2011

1

PROJECT: More Mesa Shores Homeowners Association Repair of Beach Stairway
HEARING DATE: August 29, 2011
STAFF/PHONE: Nicole Lieu, 884-8068

GENERAL INFORMATION

Case No.

10CDH-00000-00032

Assessor's Parcel Numbers:

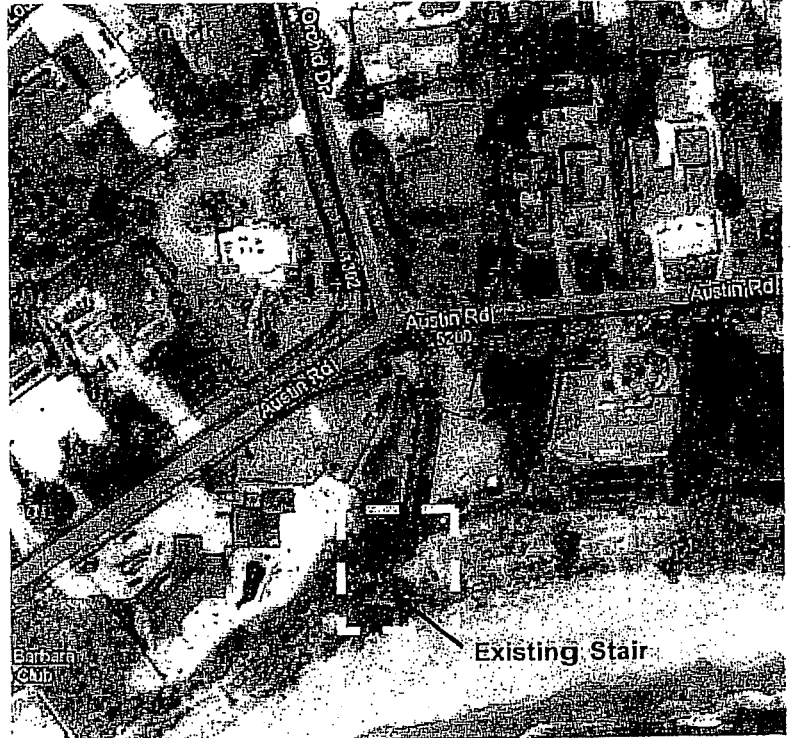
065-310-016, -017, -018

Applicant/Phone:

More Mesa Shores HOA
Gordon Feingold
P.O. Box 61731
Goleta, CA 93116
(805) 448-8292

Agent/Phone:

Douglas Keep, Architect
5240 Austin Road
Santa Barbara, CA 93111
(805) 729-0770



1.0 EXECUTIVE SUMMARY

A private access stairway to serve members of the More Mesa Shores Homeowners Association was originally constructed in the 1960's, prior to the need for permits and was considered nonconforming. A Special Use Permit (84-SUP-005) and a Negative Declaration (84-ND-45) were approved in 1984 to permit repairs to the stairway. Regardless, the stairway was repaired. The Coastal Development Permit required to effectuate the Special Use Permit was never approved due to lack of submittal of engineered plans. As a result, the stairway lost its nonconforming status. The currently proposed project includes engineered plans to repair the existing unpermitted stairway, replace and improve damaged drainage components and replace irrigated non-native vegetation with native drought tolerant vegetation that will be irrigated only until established. Existing piers supporting the stairway and a concrete landing at the base of the stairs would remain in place. No new development would occur on the beach. This project is being reviewed as a new private beach access stairway.

2.0 REQUEST

Hearing on the request of Douglas Keep, agent for the More Mesa Shores Homeowners Association, to consider Case No.10CDH-00000-00032 [application filed on December 7, 2010] for a Coastal Development Permit in

compliance with Section 35-169 of Article II, the Coastal Zoning Ordinance, on property zoned 20-R-1, to allow repair of an existing unpermitted stairway providing private access from properties within the More Mesa Shores Homeowners Association Beghul Tract to the beach. The project would include repair and replacement of stairway components, repair of and the addition of handrails to a concrete stair landing, replacement of an existing drainage system, removal of drip irrigation on the bluff face and replacement of existing non-native pittosporum and ice plant with native coastal bluff vegetation; and to determine the project is exempt pursuant to Section 15302 of the State Guidelines for Implementation of the California Environmental Quality Act. The application involves AP No's 065-310-016, 065-310-017, 065-310-018, located at 5235 and 5257 Austin Road, in the Goleta area, 2nd Supervisorial District.

3.0 RECOMMENDATION

Follow the procedures outlined below and conditionally approve 10CDH-00000-00032 as depicted on the site plans (Attachment-D), based upon the project's consistency with the Comprehensive Plan, including the Coastal Land Use Plan and Goleta Community Plan, and the ability to make the required findings.

The Zoning Administrator's action should include the following:

- Make the required findings for the project as specified in Attachment-A of this staff report, including CEQA findings.
- Determine that the project is exempt from CEQA pursuant to Section 15302 of the State Guidelines for Implementation of the California Environmental Quality Act (Attachment-C).
- Approve the project subject to the Conditions of Approval in Attachment-B.

4.0 PROJECT SPECIFICATIONS

<i>Site Size:</i>	20 foot wide access easement over parcels 065-310-016 (0.7-acres), 065-310-017 (.37-acres), and 065-310-018 (.61-acres)
<i>Comprehensive Plan Designation:</i>	RES-1.8, 1.8 units per acre, Coastal Zone, Goleta Community Plan Area, Urban
<i>Ordinance/Zoning:</i>	20-R-1, Single Family Residential, 20,000 SF minimum parcel size, Coastal Commission Appeals Jurisdiction
<i>Surrounding Use, Zoning:</i>	<i>North:</i> Single Family Residential, 20-R-1 <i>South:</i> Single Family Residential, 20-R-1 <i>East:</i> Single Family Residential, 20-R-1 <i>West:</i> Single Family Residential, 20-R-1
<i>Services/Systems:</i>	<i>Water:</i> Goleta Water District <i>Sewer:</i> Goleta Sanitary District <i>Fire:</i> Santa Barbara County Fire Department
<i>History:</i>	The access stairway was originally constructed sometime around 1960, prior to the need for permits. A Special Use Permit (84-

SUP-005) and a Negative Declaration (84-ND-45) were approved in 1984 for repairs to the stairway that were completed without permits. The Coastal Development Permit (CDP) required to effectuate the SUP was never approved due to lack of submittal of engineered plans. The stairs were repaired without permits and lost their nonconforming status.

Present Use and Development: The subject parcels are developed with single family residences, the area of work is located within a 20-foot wide access easement over the subject parcels and is currently developed with an access stairway that is in disrepair.

4.1 Project Description

The More Mesa Shores Homeowners Association proposes to repair an existing unpermitted stairway that provides private access from the Beguhl Tract to the beach. The stairway repair includes the replacement of rotted/corroded stair stringers, treads, decking, guardrails, handrails, cross bracing, structural connectors and anchors. Existing support piers and an existing concrete stair landing will remain. The existing concrete stair landing (terminating at the end of the stairway at the beach) will be refurbished and outfitted with new railings. All new construction will comply with current Building Code requirements. In addition, a new drainage system will replace the existing damaged drainage system. Damaged drain piping will be removed and will be replaced with larger pipes. Drainage components will also include a 3 foot tall retaining wall and rock-lined swale located along an existing trail inland from the repaired stairway. All existing irrigation lines along the stairway and adjacent bluff face will be removed. Existing nonnative pittosporum and ice plant vegetation will be replaced with native, drought tolerant vegetation typical of native coastal bluff habitats. Temporary drip irrigation will be placed on-site for one growing season in order to establish restoration plantings. Drip irrigation shall not be used in the winter months and shall comply with approved irrigation plans. Drip emitters used in very steep areas will be ½ gallon per hour flow emitters and other areas will use 1 gallon per hour flow emitters. Emitters will run approximately 3-5 minutes at a time at different points throughout the day in order to avoid oversaturation and erosion danger. The duration and frequency of irrigation will be dependent upon temperature, cloud cover and moisture levels on a given day. At the end of one growing season, all irrigation components shall be removed.

No development would occur on the beach. Construction materials, staging and storage will occur at the north end of the access easement, north of the bluff face. Reconstruction of the stairway will occur in sections and will be completed by hand, avoiding the need for equipment on the beach or bluff. Minor staging will occur on the beach only during repair of the existing concrete termination of the stairs. This staging will include a temporary construction fence encircling the concrete stair landing at approximately three to four feet away. Repair of the concrete landing will be completed within a three day period and staging materials will be immediately removed.

Construction staging shall in no way conflict with public vertical or horizontal beach access during both high and low tides. Lateral access easements along APN's: 065-310-017 and 065-310-018, including all beach area seaward of the base of the bluff, shall be dedicated and recorded prior to Building and Safety Final Inspection. The stairway proposed for repair has been and would continue to be a private stairway serving the members of the More Mesa Shores Homeowners Association. The stairway is not known to have been used by the public. Established formal public access would continue to be available at Goleta Beach Park, located 1.33 miles northwest of the project site and at Arroyo Burro Beach, located 3.6 miles to the southeast

of the project site. Informal established public access is also available at More Mesa Beach, located approximately .9 miles southeast of the project site. Access to More Mesa Beach may be obtained via an existing stairway located at the end of a trail extending from Mockingbird lane, through More Mesa, and terminating at the stair at More Mesa Beach.

5.0 PROJECT ANALYSIS

5.1 Comprehensive Plan Consistency

REQUIREMENT	DISCUSSION
<p><i>Coastal Act Policy 30253. New development shall: (1) Minimize risks to life and property in areas of high geologic, flood, and fire hazard. (2) Assure stability and structural integrity, and neither create nor contribute significantly to erosion, geologic instability, or destruction of the site or surrounding area or in any way require the construction of protective devices that would substantially alter natural landforms along bluffs and cliffs.</i></p> <p><i>Goleta Community Plan Policy GEO-GV-1: All new development on ocean bluff-top property shall be sited to avoid areas subject to erosion and designed to avoid reliance on future shoreline and/or bluff protection devices.</i></p>	<p>Consistent: The repair of the existing staircase would correct safety hazards posed by the currently dilapidated stairway. Removal of existing irrigation along the bluff and replacement of existing shallow rooted non-native bluff vegetation (i.e. iceplant) with native/drought tolerant species would help to prevent erosion and geologic instability. Replacement plantings would be drip irrigated for one growing season in order to establish plants. Drip emitters used in very steep areas will be ½ gallon per hour flow emitters and other areas will use 1 gallon per hour flow emitters. Emitters will run approximately 3-5 minutes at a time at different points throughout the day in order to avoid oversaturation and erosion danger. The duration and frequency of irrigation will be dependent upon temperature, cloud cover and moisture levels on a given day. Following one growing season, all drip irrigation components will be removed. For erosion control purposes, drip irrigation is considered preferable to hand watering in this instance due to the ability to water directly at the base of the plant and the ability to avoid oversaturation of soils. The project would not require the construction of any type of protective device. The existing concrete stair would be repaired in place with no expansion. Therefore, the project is consistent with these requirements.</p>
<p><i>Coastal Plan Policy 3-3: To avoid the need for future protective devices that could impact sand movement and supply, no permanent above-ground structures shall be permitted on the dry sandy beach except facilities necessary</i></p>	<p>Consistent: At the base of the wooden stairway, there is an existing concrete landing located partly on the sandy beach. The landing was constructed circa 1960. The landing is an existing structure and would not itself result in</p>

REQUIREMENT	DISCUSSION
<p><i>for public health and safety, such as lifeguard towers, or where such restriction would cause the inverse condemnation of the parcel by the County.</i></p>	<p>the need for the construction of a protective device. Therefore, the project is consistent with this requirement.</p>
<p><i>Coastal Plan Policy 3-5: Within the required bluff top setback, drought-tolerant vegetation shall be maintained. Grading, as may be required to establish proper drainage or to install landscaping, and minor improvements, i.e., patios and fences that do not impact bluff stability, may be permitted. Surface water shall be directed away from the top of the bluff or be handled in a manner satisfactory to prevent damage to the bluff by surface and percolating water.</i></p> <p><i>Goleta Community Plan Policy WAT-GV-6: In order to minimize water use to the maximum extent possible all new development shall utilize water conserving landscaping and low-flow irrigation.</i></p> <p><i>Coastal Plan Policy 3-6: Development and activity of any kind beyond the required bluff-top setback shall be constructed to insure that all surface and subsurface drainage shall not contribute to the erosion of the bluff face or the stability of the bluff itself.</i></p>	<p><u>Consistent:</u> <u>The project site is currently vegetated with ice plant, pittosporum and other non-native species. The proposed project would include phased removal of non-natives and restoration using native, drought tolerant plants such as coyote bush (<i>Baccharis pilularis</i>) and lemonade berry (<i>Rhus integrifolia</i>).</u> The project includes replacement of existing nonnative pittosporum and ice plant with native, drought-tolerant vegetation. As discussed above, specifically timed drip-emitters will be used to irrigate replacement plantings for one growing season and will then be removed. Due to the topography of the site, drainage cannot be directed away from the bluff face. However, the proposed project includes drainage improvements including a retention box at the start of the stairway to dissipate runoff, and new drain pipes that would prevent sheet runoff over the bluff. Therefore, the project is consistent with these requirements.</p>
<p><u>Coastal Act Policy 30231. The biological productivity and the quality of coastal waters, streams, wetlands, estuaries, and lakes appropriate to maintain optimum populations of marine organisms and for the protection of human health shall be maintained and, where feasible, restored through, among other means, minimizing adverse effects of waste water discharges and entrainment, controlling runoff, preventing depletion of ground water supplies and substantial interference with surface waterflow, encouraging wastewater reclamation, maintaining natural vegetation buffer areas that protect riparian habitats, and minimizing alteration of natural streams.</u></p>	<p><u>Consistent:</u> <u>Consistent with Coastal Act Policy 30231 requirements that runoff be controlled, the proposed project includes drainage improvements such as a retention box at the start of the stairway to dissipate runoff and new drain pipes that would prevent sheet runoff over the bluff. The project site is currently vegetated with ice plant, pittosporum and other non-native species. The proposed project would include phased removal of non-natives and restoration using native, drought tolerant plants such as coyote bush (<i>Baccharis pilularis</i>) and lemonade berry (<i>Rhus integrifolia</i>). Runoff control and restoration using native and drought tolerant plant species would protect the biological productivity and</u></p>

REQUIREMENT	DISCUSSION
<p><i>Coastal Plan Policy 3-7: No development shall be permitted on the bluff face, except for engineered staircases or accessways to provide beach access, and pipelines for scientific research or coastal dependent industry. Drainpipes shall be allowed only where no other less environmentally damaging drain system is feasible and the drainpipes are designed and placed to minimize impacts to the bluff face, toe, and beach. Drainage devices extending over the bluff face shall not be permitted if the property can be drained away from the bluff face.</i></p>	<p><u>the quality of coastal waters.</u></p> <p>Consistent: The proposed project includes engineered repairs to an existing stairway that was originally constructed in the 1960's and renovated without permits in the 1980's. <u>As noted in Coastal Plan Policy 3-7, engineered staircases are permitted to be constructed on the bluff face.</u> The stairway is a private stairway used by the members of the More Mesa Shores Homeowners Association. Due to the topography of the site, drainage cannot be directed away from the bluff face. However, the proposed project includes drainage improvements including a retention box to dissipate runoff and new drain pipes that would prevent sheet runoff over the bluff. Therefore, the project is consistent with this requirement.</p>
<p><i>Coastal Plan Policy 7-12: New opportunities for beach access and coastal recreation shall be provided in the Goleta planning area.</i></p> <p>Implementing Actions:</p> <p>a. <u>Provision of a public moderate use recreation area including parking, restrooms, bluff top hiking and biking trails, picnic tables, and stairway access to the beach shall be required as a condition of development on the More Mesa property. (Refer to Goleta Community Plan, Appendix H.) (amended by 92-GP-25)</u>¹</p> <p>b. <u>Provision of a vertical easement to allow for beach access, parking area, and dedication of public open space adjacent to the beach shall be required as a condition of development on the University Exchange Property. (Refer to Goleta Community Plan, Appendix H.) (amended by 92-GP-25)</u></p> <p>c. <u>Provision of a public moderate use recreation area including parking, restrooms, bluff top hiking and biking trails, picnic tables, and appropriate access to the sandy beach shall be required as a condition of any future development on the Santa Barbara Shores property. In</u></p>	<p>Consistent: Coastal Plan Policy 7-12 states that new opportunities for beach access and coastal recreation shall be provided in the Goleta planning area. Implementing actions "a" through "c" and "e" through "f" do not pertain to the More Mesa Shores area. Implementing action "d" applies to the More Mesa Shores area and states, <u>"The County shall encourage the adjacent property owners to provide beach access at the end of Orchid Lane for use by educational and scientific groups."</u> Because the implementing action states that the County shall "encourage" the provision of beach access for use by educational and scientific groups and does not state that the County shall <u>require</u> beach access for use by educational and scientific groups, the policy nexus does not appear to exist to specifically <u>require</u> provisions for access for educational and scientific groups. The implementing action also does not state that beach access at the end of Orchid Lane should be opened to the public as a whole. Given that Orchid Lane is a private road and that no public parking area exists near the More Mesa Shores stairway, the limited language of the implementing action appears appropriate to the area. In compliance with the language of Coastal Plan Policy 7-12 implementing action</p>

REQUIREMENT	DISCUSSION
<p><u>the interim, the County shall obtain a vertical easement across the eastern portion of the property to provide for public beach access. (Refer to Goleta Community Plan, Appendix H.) (amended by 92-GP-25)</u></p> <p>d. <u>The County shall encourage the adjacent property owners to provide beach access at the end of Orchid Lane for use by educational and scientific groups.</u></p> <p>e. <u>The County shall accept the lateral easements offered in connection with development on Hope Ranch (APN 63-150-10, 11).</u></p> <p>f. <u>The County should encourage the University to continue to provide public access to the beach through the University and use of beaches adjacent to the University property, particularly the west campus. The County should also pursue an agreement with U.C.S.B. to use campus parking lots to accommodate the overflow from Goleta Beach Park during peak-use periods.</u></p> <p><u>Coastal Plan Policy 7-12(d): The County shall encourage the adjacent property owners to provide beach access at the end of Orchid Lane for use by educational and scientific groups.</u></p>	<p><u>"d," a condition has been applied to the proposed project encouraging the members of the More Mesa Shores Homeowners Association to provide beach access at the end of Orchid Lane for use by educational and scientific groups. In addition, the agent for More Mesa Shores Homeowners Association (HOA) has indicated that the HOA is willing to provide access for educational and scientific groups and individual professionals in the areas of biological and coastal resources provided that the groups or individuals requesting use of the stairway carry their own liability insurance. Therefore, the project is consistent with this requirement.</u></p>
<p><u>Coastal Act Policy 7-3: For all new developmentⁱⁱ between the first public road and the ocean, granting of lateral easements to allow for public access along the shoreline shall be mandatory. In coastal areas, where the bluffs exceed five feet in height, all beach seaward of the base of the bluff shall be dedicated. In coastal areas where the bluffs are less than five feet, the area to be dedicated shall be determined by the County, based on findings reflecting historic use, existing and future public recreational needs, and coastal resource protection. At a minimum, the dedicated easement shall be adequate to allow for lateral access during periods of high tide.</u></p>	<p><u>Consistent: The applicant has offered dedication of a lateral access easement along the base of the bluff of the two properties over which the existing stairway extends. The lateral easements would be effectuated by a condition of approval requiring dedication of a lateral access easement along APN's: 065-310-017 and 065-310-018. The dedicated area would include all beach seaward of the base of the bluff and would be recorded prior to final inspection of the stairway repairs. The timing of the recordation is based upon the need to repair the stairway and drainage elements prior to winter rains.</u></p>

REQUIREMENT	DISCUSSION
<p><u>In no case shall the dedicated easement be required to be closer than 10 feet to a residential structure. In addition, all fences, no trespassing signs, and other obstructions that may limit public lateral access shall be removed as a condition of development approval.</u></p>	
<p><u>Coastal Act Policy 30211. Development shall not interfere with the public's right of access to the sea where acquired through use, custom, or legislative authorization, including, but not limited to, the use of dry sand and rocky coastal beaches to the first line of terrestrial vegetation.</u></p>	<p>Consistent: The stairway proposed for repair has been and would continue to be a private stairway serving the members of the More Mesa Shores Homeowners Association. The stairway is not known to have been used by the public. Established formal public access would continue to be available at Goleta Beach Park, located 1.33 miles northwest of the project site and at Arroyo Burro Beach, located 3.6 miles to the southeast of the project site. <u>Informal established public access is also available at More Mesa Beach, located approximately .9 miles southeast of the project site. Access to More Mesa Beach may be obtained via an existing stairway located at the end of a trail extending from Mockingbird lane, through More Mesa, and terminating at the stair at More Mesa Beach.</u> Vertical access along the beach would not be obstructed by any of the proposed work. Therefore, the proposed project would in no way interfere with the public's right of access to the sea where acquired through use, custom, or legislative authorization.</p>
<p><u>Coastal Act Policy 30251. The scenic and visual qualities of coastal areas shall be considered and protected as a resource of public importance. Permitted development shall be sited and designed to protect views to and along the ocean and scenic coastal areas, to minimize the alteration of natural land forms, to be visually compatible with the character of surrounding areas, and, where feasible, to restore and enhance visual quality in visually degraded areas</u></p>	<p>Consistent: The proposed project includes repairs to an existing unpermitted stairway extending down a bluff face. The stairway has been a part of the visual landscape of the area since the 1960's and the proposed repairs would not expand the structure. Based upon geologic evaluation (Campbell Geo, February 2011), structural assessment (D&Z Structural Engineering, March 2011) and soils analysis (Pacific Materials Lab, March 2011), the existing support piers would continue to provide adequate support for the proposed stairway. Therefore, no alteration of the bluff face would be required as a result of the</p>

REQUIREMENT	DISCUSSION
	<u>repairs. The stairway would not be visible from the public road and would not block views along the coast due to the location and small size of the structure. Additionally, non-native landscape would be removed and restored with native landscape appropriate to coastal bluff area. The project would result in no alteration of landforms, would not change the visual landscape of the area (which has included the stairway for over 50 years) and would include landscape restoration. Therefore, the project is consistent with the requirements of Coastal Act Policy 30251.</u>

5.2 Zoning: Article II

The subject property is zoned 20-R-1. Pursuant to Article II, Section 35-71.1 the purpose of the R-1/E-1 zone district is to reserve appropriately located areas for family living at a reasonable range of population densities consistent with sound standards of public health, welfare, and safety. It is the intent of the district to protect the residential characteristics of an area and to promote a suitable environment for family life. The proposed project would be consistent with the purpose and intent of the R-1 zone district because it would allow repair of an existing stairway serving residential properties within the More Mesa Shores Homeowners Association and would allow removal of a drip irrigation system and replacement non-native ice plant and pittosporum with deep-rooted native plants. This proposed work would improve the safety of the stairway and help to prevent erosion of the bluff face, consistent with sound standards of public health, welfare, and safety.

6.0 APPEALS PROCEDURE

- The action of the Zoning Administrator may be appealed to the Planning Commission within the 10 calendar days following the date of the Zoning Administrator's decision by the applicant or an aggrieved person. There is no appeal fee as the project is appealable to the Coastal Commission.
- The action of the Planning Commission may be appealed to the Board of Supervisors within the 10 calendar days following the date of the Planning commission's decision by the applicant or an aggrieved person. There is no appeal fee as the project is appealable to the Coastal Commission.
- The action of the Board of Supervisors may be appealed to the Coastal Commission within ten (10) working days of receipt by the Coastal Commission of the County's notice of final action.

6.0 ATTACHMENTS

- A. Findings
- B. Conditions of Approval
- C. Exemption
- D. Site Plan

ATTACHMENT A: FINDINGS OF APPROVAL

1.0 CEQA FINDINGS

The Zoning Administrator finds that the proposed project is exempt from environmental review under the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15302. Please see Attachment-C, Notice of Exemption.

2.0 COASTAL DEVELOPMENT PERMIT FINDINGS

Findings required for Coastal Development Permit applications subject to Section 35-169.4.2. In compliance with Section 35-169.5.2 of the Article II Zoning Ordinance, prior to the approval or conditional approval of an application for a Coastal Development Permit subject to Section 35-169.4.2 the review authority shall first make all of the following findings:

2.1 The proposed development conforms:

- a. To the applicable provisions of the Comprehensive Plan, including the Coastal Land Use Plan;**
- b. The applicable provisions of this Article or the project falls within the limited exceptions allowed in compliance with Section 161 (Nonconforming Use of Land, Buildings and Structures).**

As discussed in Sections 5.1 and 5.2 of this Staff Report dated July 29, 2011, and incorporated herein by reference, the proposed project is consistent with all applicable policies of the County Comprehensive Plan, including the Goleta Community Plan and Coastal Land Use Plan, and with all requirements of the Article II Coastal Zoning Ordinance. Therefore, this finding can be made.

2.2 The proposed development is located on a legally created lot.

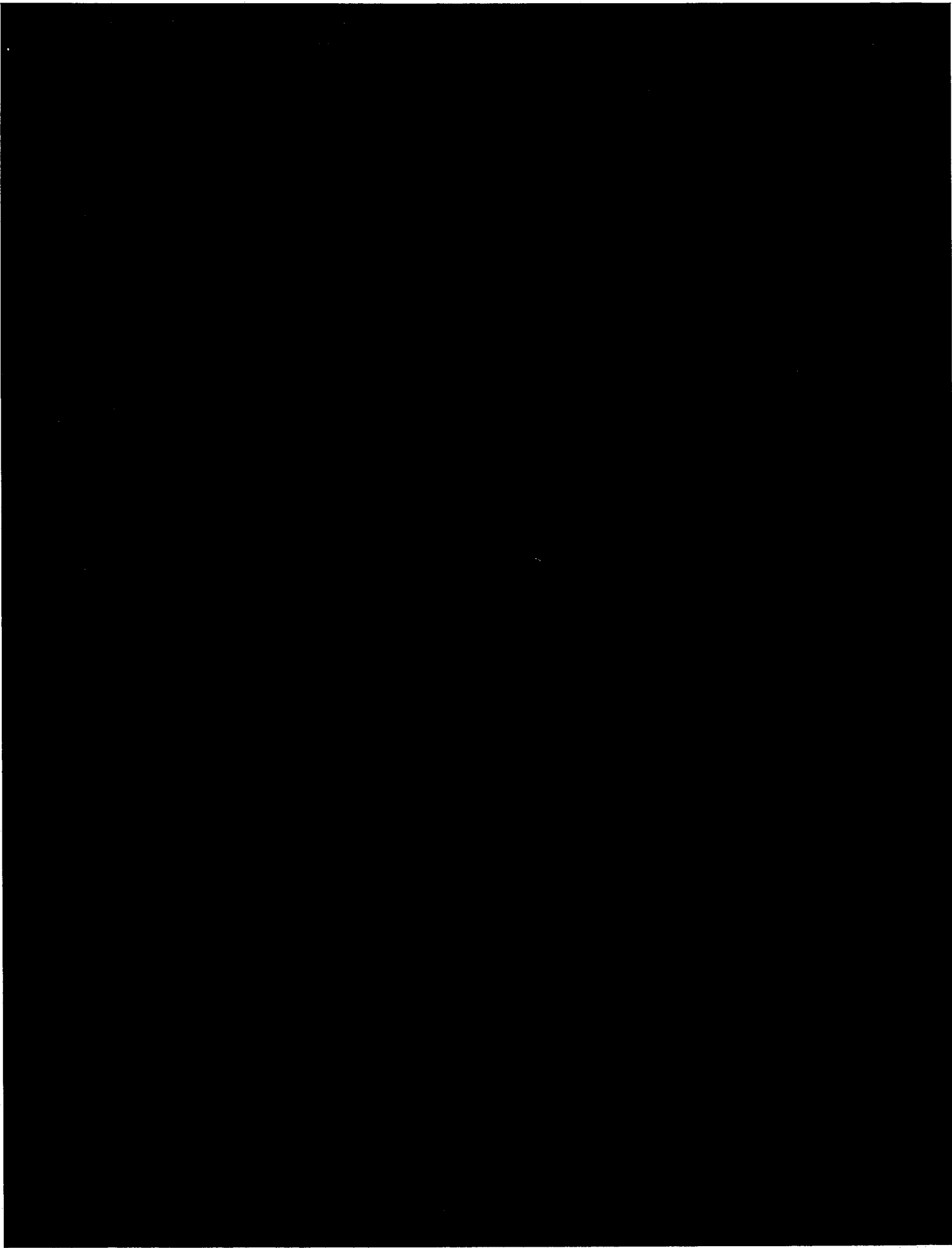
The subject properties (Assessors Parcels: 065-310-016, 065-310-017, and 065-310-018) are shown as Lots 17, 18, and 19 on Record Map Book Page 76, Book 40 (Beghul Tract 2), dated September 24, 1957. Therefore, this finding can be made.

2.3 The subject property and development on the property is in compliance with all laws, rules and regulations pertaining to zoning uses, subdivisions, setbacks and any other applicable provisions of this Article, and any applicable zoning violation enforcement fees and processing fees have been paid. This subsection shall not be interpreted to impose new requirements on legal nonconforming uses and structures in compliance with Division 10 (Nonconforming Structures and Uses).

As discussed in Sections 5.1 and 5.2 of the staff report, and incorporated herein by reference, the property would be in compliance with all laws, rules and regulations pertaining to zoning uses, subdivisions, setbacks and any other applicable provisions of the Article II Coastal Zoning Ordinance. With approval of this project, there would be no zoning violations on the subject property. Therefore this finding can be made.

2.4 The proposed development will not significantly obstruct public views from any public road or from a public recreation area to, and along the coast.

The proposed project includes repairs to an existing stairway extending down a bluff face. The stairway would not be visible from the public road and would not block views along the coast due to



ATTACHMENT B: CONDITIONS

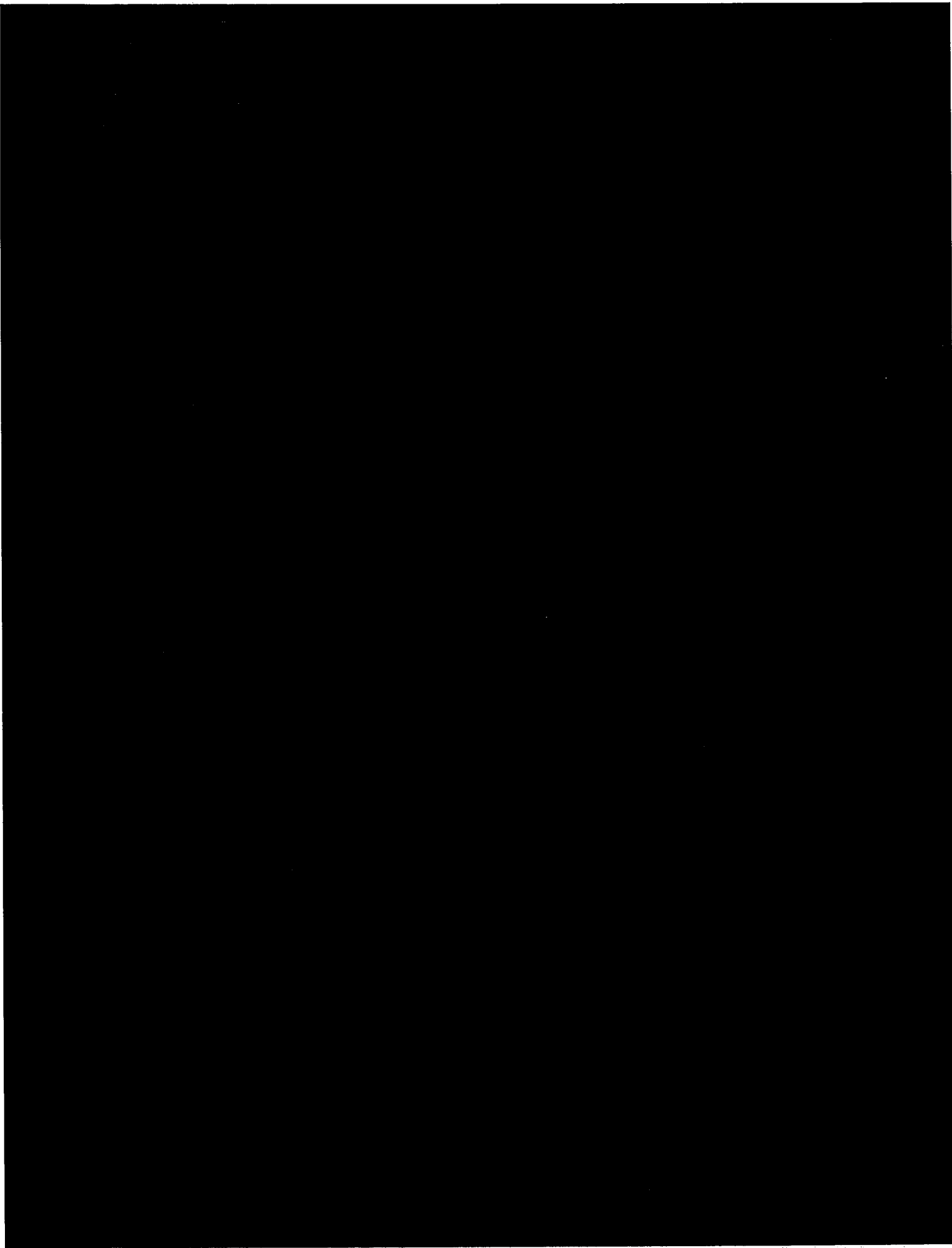
1. **Proj Des-01 Project Description.** This Coastal Development Permit is based upon and limited to compliance with the project description, the hearing dated August 29, 2011, and all conditions of approval set forth below, including mitigation measures and specified plans and agreements included by reference, as well as all applicable County rules and regulations. The project description is as follows:

The More Mesa Shores Homeowners Association proposes to repair an existing stairway that provides private access from the Beguhl Tract to the beach. The stairway repair includes the replacement of rotted/corroded stair stringers, treads, decking, guardrails, handrails, cross bracing, structural connectors and anchors. Existing support piers and an existing concrete stair landing will remain. The existing concrete stair landing (terminating at the end of the stairway at the beach) will be refurbished and outfitted with new railings. All new construction will comply with current Building Code requirements. In addition, a new drainage system will replace the existing damaged drainage system. Damaged drain piping will be removed and will be replaced with larger pipes. Drainage components will also include a 3 foot tall retaining wall and rock-lined swale located along an existing trail inland from the repaired stairway. All existing irrigation lines along the stairway and adjacent bluff face will be removed. Existing nonnative pittosporum and ice plant vegetation will be replaced with native, drought tolerant vegetation typical of native coastal bluff habitats. Temporary drip irrigation will be placed on-site for one growing season in order to establish restoration plantings. Drip irrigation shall not be used in the winter months and shall comply with approved irrigation plans. Drip emitters used in very steep areas will be ½ gallon per hour flow emitters and other areas will use 1 gallon per hour flow emitters. Emitters will run approximately 3-5 minutes at a time at different points throughout the day in order to avoid oversaturation and erosion danger. The duration and frequency of irrigation will be dependent upon temperature, cloud cover and moisture levels on a given day. At the end of one growing season, all irrigation components shall be removed.

No development would occur on the beach. Construction materials, staging and storage will occur at the north end of the access easement, north of the bluff face. Reconstruction of the stairway will occur in sections and will be completed by hand, avoiding the need for equipment on the beach or bluff. Minor staging will occur on the beach only during repair of the existing concrete termination of the stairs. This staging will include a temporary construction fence encircling the concrete stair landing at approximately three to four feet away. Repair of the concrete landing will be completed within a three day period and staging materials will be immediately removed.

Construction staging shall in no way conflict with public vertical or horizontal beach access during both high and low tides. Lateral access easements along APN's: 065-310-017 and 065-310-018, including all beach area seaward of the base of the bluff, shall be dedicated and recorded prior to Building and Safety Final Inspection. The stairway proposed for repair has been and would continue to be a private stairway serving the members of the More Mesa Shores Homeowners Association. The stairway is not known to have been used by the public. Public access would continue to be available at Hope Ranch Beach, located approximately .9 miles southeast of the project site and at Goleta Beach Park, located 1.33 miles northwest of the project site.

7. **Landscp-01a Landscape for Life.** The Homeowners Association shall maintain landscaping approved as a part of the project for the life of the project. The Owner or designee shall permit the County to conduct site inspections a minimum of one time per year. **TIMING:** Prior to Coastal Development Permit issuance the Owner/Applicant shall record a buyer notification that repeats the condition requirement above. **MONITORING:** P&D compliance monitoring staff may conduct site inspections once per year if necessary to ensure that landscaping is maintained for the life of the project.
8. **WatConv-05 Equipment Washout-Construction.** The Owner/Applicant shall designate a washout area(s) for the washing of concrete trucks, paint, equipment, or similar activities to prevent wash water from discharging to the storm drains, street, drainage ditches, creeks, or wetlands. The washout area shall be located inland from the edge of the bluff and shall not be located at the edge of the bluff or on the sandy beach. Note that polluted water and materials shall be contained in this area and removed from the site daily. The area shall be located at least 100 feet from any storm drain, waterbody or sensitive biological resources. **PLAN REQUIREMENTS:** The Owner/Applicant shall designate the P&D approved location on all Coastal Development and Building permits. **TIMING:** The Owner/Applicant shall install the area prior to commencement of construction. **MONITORING:** P&D compliance monitoring staff shall ensure compliance prior to and throughout construction.
9. **Rules-02 Effective Date-Appealable to CCC.** This Coastal Development Permit shall become effective upon the expiration of the applicable appeal period provided an appeal has not been filed. If an appeal has been filed, the planning permit shall not be deemed effective until final action by the review authority on the appeal, including action by the California Coastal Commission if the planning permit is appealed to the Coastal Commission. ARTICLE II § 35-169.
10. **Rules-10 CDP Expiration-No CUP or DVP.** The approval or conditional approval of a Coastal Development Permit shall be valid for one year from the date of action by the Zoning Administrator. Prior to the expiration of the approval, the review authority who approved the Coastal Development Permit may extend the approval one time for one year if good cause is shown and the applicable findings for the approval required in compliance with Section 35-169.5 can still be made. A Coastal Development Permit shall expire two years from the date of issuance if the use, building or structure for which the permit was issued has not been established or commenced in conformance with the effective permit. Prior to the expiration of such two year period the Director may extend such period one time for one year for good cause shown, provided that the findings for approval required in compliance with Section 35-169.5, as applicable, can still be made.
11. **Rules-26 Performance Security Required.** The Owner/Applicant shall post separate performance securities, the amounts and form of which shall be approved by P&D, to cover the full cost of installation and maintenance of landscape restoration and temporary irrigation, including removal of temporary irrigation. Installation securities shall be equal to the value of a) all materials listed or noted on the approved referenced plan, and b) labor to successfully install/remove the materials. Maintenance securities shall be equal to the value of maintenance and/or replacement of the items listed or noted on the approved referenced plan(s) for two years of maintenance of the items and for removal of temporary irrigation features. The installation security shall be released when P&D determines that the Owner/Applicant has satisfactorily installed of all approved landscape & temporary irrigation materials. Maintenance securities shall be released after the specified maintenance time period, when all approved landscape has satisfactorily maintained and all temporary irrigation components have been removed. If plants have not been maintained and temporary irrigation has not been removed, P&D may retain the maintenance security until satisfied.



ATTACHMENT C: NOTICE OF EXEMPTION

TO: Santa Barbara County Clerk of the Board of Supervisors

FROM: Nicole Lieu, Planning & Development

The project or activity identified below is determined to be exempt from further environmental review requirements of the California Environmental Quality Act (CEQA) of 1970, as defined in the State and County Guidelines for the implementation of CEQA.

APN's: 065-310-016, 065-310-017, 065-310-018

Case No.: 10CDH-00000-00032

Location: 5235 and 5257 Austin Road, Goleta area

Project Title: More Mesa Shores Homeowners Association Repair of Beach Stairway

Project Description:

The More Mesa Shores Homeowners Association proposes to repair an existing stairway that provides private access from the Beguhl Tract to the beach. The stairway repair includes the replacement of rotted/corroded stair stringers, treads, decking, guardrails, handrails, cross bracing, structural connectors and anchors. Existing support piers and an existing concrete stair landing will remain. The existing concrete stair landing (terminating at the end of the stairway at the beach) will be refurbished and outfitted with new railings. All new construction will comply with current Building Code requirements. In addition, a new drainage system will replace the existing damaged drainage system. Damaged drain piping will be removed and will be replaced with larger pipes. Drainage components will also include a 3 foot tall retaining wall and rock-lined swale located along an existing trail inland from the repaired stairway. All existing irrigation lines along the stairway and adjacent bluff face will be removed. Existing nonnative pittosporum and ice plant vegetation will be replaced with native, drought tolerant vegetation typical of native coastal bluff habitats. Temporary drip irrigation will be placed on-site for one growing season in order to establish restoration plantings. Drip irrigation shall not be used in the winter months and shall comply with approved irrigation plans. Drip emitters used in very steep areas will be ½ gallon per hour flow emitters and other areas will use 1 gallon per hour flow emitters. Emitters will run approximately 3-5 minutes at a time at different points throughout the day in order to avoid oversaturation and erosion danger. The duration and frequency of irrigation will be dependent upon temperature, cloud cover and moisture levels on a given day. At the end of one growing season, all irrigation components shall be removed.

No development would occur on the beach. Construction materials, staging and storage will occur at the north end of the access easement, north of the bluff face. Reconstruction of the stairway will occur in sections and will be completed by hand, avoiding the need for equipment on the beach or bluff. Minor staging will occur on the beach only during repair of the existing concrete termination of the stairs. This staging will include a temporary construction fence encircling the concrete stair landing at approximately three to four feet away. Repair of the concrete landing will be completed within a three day period and staging materials will be immediately removed.

Construction staging shall in no way conflict with public vertical or horizontal beach access during both high and low tides. Lateral access easements along APN's: 065-310-017 and 065-310-018, including all beach

Date Filed by County Clerk: _____.

ⁱ Resolution No. 93-402 (Case No. 92-GP-025), Amended July 20, 1993 (Added Goleta Community Plan reference to Implementing Actions A, B, and C)

ⁱⁱ See footnote on previous page.

MAP LEGEND:

BASES OF BUILDINGS, TRENCHES AND DISTANCES PLOTTED PER RECORD DATA RECORD OF SURVEY
FILED IN BOOK 47, PAGE 74 OF RECORDS OF SURVEY.

CONTOUR INTERVALS 1 FT. CONTOURS AS SHOWN HEREIN ARE INTERPOLATED USING COMPUTER
METHODS. CONTOUR INTERVALS 5 FEET AND 10 FEET.

RIGHT HAND, S.E. CORNER PLACED CORRECTLY. ADJACENT MAPS DATED 10/17/91 SHEETS 48 OF 57 SHEETS,
ELEV. = 1000' M.S.L. DATA/INSTRUMENT

A.D. = FENCE
 A.P. = ADJACENT POINT
 B.D. = BUILDING
 C. = CURB
 C.F. = CURB FACE
 C.L. = CENTER LINE
 C.P. = CENTER POINT
 C.T. = CENTER TIE
 C.W. = CURB WALL
 D.M. = DRAIN
 D.P. = DRAIN POINT
 D.T. = DRAIN TIE
 E.D. = EDGE OF DRIVEWAY
 E.L. = ELEVATION
 E.P. = ELEVATION POINT
 E.T. = ELEVATION TIE
 F.D. = FENCE
 F.P. = FENCE POINT
 F.T. = FENCE TIE
 G.D. = GROUND
 G.P. = GROUND POINT
 G.T. = GROUND TIE
 H.D. = HOLE
 H.P. = HOLE POINT
 H.T. = HOLE TIE
 I.D. = INTERIOR
 I.P. = INTERIOR POINT
 I.T. = INTERIOR TIE
 L.D. = LANE
 L.P. = LANE POINT
 L.T. = LANE TIE
 M.D. = MOUND
 M.P. = MOUND POINT
 M.T. = MOUND TIE
 N.D. = NAIL
 N.P. = NAIL POINT
 N.T. = NAIL TIE
 O.D. = OUTFALL
 O.P. = OUTFALL POINT
 O.T. = OUTFALL TIE
 P.D. = PILE
 P.P. = PILE POINT
 P.T. = PILE TIE
 R.D. = ROAD
 R.P. = ROAD POINT
 R.T. = ROAD TIE
 S.D. = SIDEWALK
 S.P. = SIDEWALK POINT
 S.T. = SIDEWALK TIE
 T.D. = TRENCH
 T.P. = TRENCH POINT
 T.T. = TRENCH TIE
 U.D. = UTILITY
 U.P. = UTILITY POINT
 U.T. = UTILITY TIE
 V.D. = VALVE
 V.P. = VALVE POINT
 V.T. = VALVE TIE
 W.D. = WALL
 W.P. = WALL POINT
 W.T. = WALL TIE
 X.D. = X-ROAD
 X.P. = X-ROAD POINT
 X.T. = X-ROAD TIE
 Y.D. = Y-ROAD
 Y.P. = Y-ROAD POINT
 Y.T. = Y-ROAD TIE
 Z.D. = Z-ROAD
 Z.P. = Z-ROAD POINT
 Z.T. = Z-ROAD TIE

EASEMENT FOR CONSTRUCTION, MAINTENANCE,
REPAIR AND REMOVAL OF UTILITY LINES AND
RELATED LANDING AREAS IN THE AREA OF MOORE HILLS
UNINCORPORATED ASSOCIATION PER INSTRUMENT NO.
2010-0054755 S.C.L.

EASEMENT FOR CONSTRUCTION, MAINTENANCE,
REPAIR AND REMOVAL OF UTILITY LINES AND
RELATED LANDING AREAS IN THE AREA OF MOORE HILLS
UNINCORPORATED ASSOCIATION PER INSTRUMENT NO.
2010-0054755 S.C.L.



SCALE 1" = 10'

TOPOGRAPHY & LOCATION SURVEY

APRIL 06-30-06, 07 & 08 S.E. & S.W. 1/4 SEC. 10
IN THE MOORE HILLS AREA OF THE UNINCORPORATED TERRITORY OF THE COUNTY OF
SANTA BARBARA
STATE OF CALIFORNIA



REQUEST OF:
HILL HOUSE REED, MOORE HILLS HOMEOWNERS ASSOCIATION

MARCH 2011

WATERS LAND SURVEYING, INC.

ROBERT E. & MARY J. WATERS, LICENSED LAND SURVEYORS
5551 HOLLYHURST AVE. STE. 100 - GOleta, CALIFORNIA 93117 PHONE: (805) 965-4416
SCALE 1" = 10' SHEET 1 OF 1

$\Delta = 375.53$
 $\Delta = 189.53$
 $\Delta = 189.53$

PUNALOA PARCEL
 LOT 18 & 19 PER S.C.L. 40,
 FILED 1/18

PUNALOA PARCEL
 LOT 18 & 19 PER S.C.L. 40,
 FILED 1/18

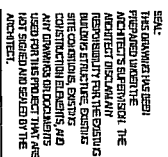
PUNALOA PARCEL
 LOT 18 & 19 PER S.C.L. 40,
 FILED 1/18

PUNALOA PARCEL
 LOT 18 & 19 PER S.C.L. 40,
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PUNALOA PARCEL
 LOT 18 & 19 PER S.C.L. 40,
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PUNALOA PARCEL
 LOT 18 & 19 PER S.C.L. 40,
 FILED 1/18

A10C



LOCATION:
MORE MEDIA SIMILES STAIN

SHEET TITLE	
EXISTING AND PROPOSED FLOOR PLANS	
PROJECT NO.	LONG BEACH
DRAWN BY.	H
REVIEWED BY	DT
SCALE	AS SHOWN
DATE	1-2-
SHEET NO.	

A300

D

FLOWERS & ASSOCIATES, INC.

C I V I L E N G I N E E R S

201 NORTH CALLE CESAR CHAVEZ, SUITE 100 SANTA BARBARA, CA 93103

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W.O. 1117
E-mail

September 9, 2011

Nicole Lieu
Planner
Development Review Division
132 E. Anapamu St.
Santa Barbara, CA 93101

Subject: More Mesa Shores Beach Stairway- Existing Storm Drainage System

Ms. Lieu,

Our Client, the More Mesa Shores Homeowners Association, has requested that we evaluate the subject system and provide you with our conclusions. Based on a field survey conducted earlier this year in preparation for the design of the proposed system we found the following conditions:

1. Ineffective collection of runoff particularly during heavy rainfall winters causes saturation of the soils which contributes to destabilization of the steep bluffs in the area of the stairway. This, in turn, causes damage to the drainage system which causes more saturation resulting in erosion and further destabilization.
2. Most of the storm runoff for the stairway system originates from an existing drain line which discharges concentrated drainage from properties and the street above. This flow is partially collected by a catch basin at the top landing.
3. The existing storm drainage system below the top landing contains broken and deteriorated drainage pipes some of which daylight just below the upper landing and contribute to erosion under the stairway and at the concrete steps where the stairway terminates.

The proposed design captures the flow above the upper landing and directs it to a larger catch basin and then into larger capacity, better connected piping. To insure stability of the piping over the steep slope below the top landing, it is proposed to be supported by the new stairway structure. Please refer to Details G & H on Sheet S3.1 of the structural plans. Below the stairway to the beach the new storm drain pipe will be stabilized by pipe stakes per the referenced CALTRANS detail typically used for that purpose.

In our opinion it is imperative that the existing system be upgraded as proposed prior to another winter season to minimize the potential for significant destabilization of the slope and loss of the stairway.

Please contact the undersigned with any questions or comments regarding this information.

Sincerely,
FLOWERS & ASSOCIATES, INC.

By: Vernon E. Williams
Vernon E. Williams, P.E.,
Vice-President



VW/vw

E

C A M P B E L L · G E O, I N C.

ENGINEERING GEOLOGY · HYDROLOGY · GEOENVIRONMENTAL SERVICES

February 17, 2011

Mr. Douglas Keep
5240 Austin Road
Santa Barbara, California 93111

Subject: Limited Geologic Evaluation of Coastal Bluff at Beach Access Stairs
More Mesa Shores Homeowners Association
Santa Barbara, California

Dear Mr. Keep:

INTRODUCTION

This letter summarizes our preliminary observations of geologic conditions on the coastal bluff face near the beach stairway located at Austin Road and Orchid Drive, in the More Mesa area near Santa Barbara, California. Please see Plate 1 – Regional Geologic Map and Site Location, attached to this letter. A detailed preliminary Geologic Map of the site is presented on Plate 2. The purpose of our work is to provide information on geologic hazards affecting the stairway. The lower portion of the existing set of steps has been affected by soil creep and slope erosion. Our observations were made during site visits in January and February, 2011.

GEOLOGY

The site is located in the Transverse Range Geomorphic Province of California. The site is located on and adjacent to an elevated marine terrace uplifted by regional fault displacements. The regional geologic structure consists of generally south dipping sedimentary rocks uplifted from the north by tectonic movement along the Santa Ynez Fault Zone and by ongoing regional compression of the Santa Barbara Channel area in general. Uplift along the More Ranch Fault has created the elevation terrace at More Mesa.

The geologic units exposed at the staircase are described by Minor (2009) and include an unnamed late Tertiary to early Quaternary (?) sedimentary rock (Qss) that was previously called the Pico formation (Dibblee, 1966 and 1986). Also exposed are the Quaternary-age Marine Terrace (Qmt), asphalt deposits (Qas), and the beach sand (Qbs)

seacliff located to the west is far more exposed to wave attack than the staircase area, which is in a drainage ravine indented from the coastal bluff face on both sides.

GEOLOGIC HAZARDS – COASTAL BLUFF

Our comments are based on site visits and geologic mapping conducted in January and February, 2011, our review of the published geologic maps, and our analysis of stereo pair aerial photograph sets from 1928 (Fairchild Aerial Surveys, 311-c-A4, -A5), 1956 (Hurd Aerial Surveys, HA-AN-1-35, -1-36, -1-37), and 1967 (Hurd, HM-JW-69, -70). The photos indicate that the stair step access route was intact at least as far back as 1967 and probably earlier since the Beguhl housing tract development began prior to that date. The 1956 photo (prior to development) shows a drainage pattern on the upper mesa that may have created the incised notch or ravine in the coastal bluff where the stairs now exist. The ravine is not clearly evident in the 1929 photos.

The lower portion of the bluff face, between the beach and a point approximately 30 feet up the slope, west of the stairs, contains a recently active area of soil creep and shallow sloughing that has deflected some of the wooden pier supports under the steps. The shallow nature of the slope failure would appear to allow the piers to be straightened and rebraced as one repair option. The depth to competent bedrock is unknown, but is expected to be found at a shallow enough depth under the loose slope material that new piers can be installed economically if necessary at a future date.

Although the coastal bluff is a geologically dynamic area, the presence of the stair steps does not exacerbate the instability of the slope. In fact, existing and anticipated design features in the stair steps serve to improve the surficial stability of the slope. The features include:

- 1) the drainage inlets and hard piping to the toe of the slope;
- 2) the borders on the pathway that direct some surface flow to drains and retain some loose surface materials.

unit. The Qss unit is a moderately indurated, fractured, fine-grain sandstone and siltstone. The hard asphalt deposits (Qas) form a protective structure at the toe of the slope that minimizes coastal erosion to some extent at the staircase. That effect can be seen to a dramatic extent a few hundred feet to the west, where large asphalt deposits have reduced the rate of seacliff retreat in small, localized areas compared to adjacent seacliff sections without asphalt deposits.

Daylighting groundwater or springs are present in the face of the bluff west of the stairs and in a small area on the east side of the concrete pathway. The groundwater results in a condition known as "spring sapping," which reduces the strength of the geologic materials and increases slope instability.

A preliminary geologic map (Plate 2) attached to this letter illustrates the rock exposures, the topography of the coastal bluff, and the stair steps to the beach. In the middle to lower portions of the bluff, the sedimentary beds of the Qss formation dip to the west, south, and southeast. A small anticline or fold in the Qss is evident on the east side of the stairs. An inferred syncline is mapped near the stairs, as shown on Plate 2. The bedding geometry does not result in extensive unsupported, out-of-slope bedding planes that might otherwise form landslides. Shallow slope failures and soil creep are present where loose material is moving slowly downslope. Spring sapping has contributed to slope instability in this area. Marine terrace deposits (Qmt) are located near the top of the bluff, and are loose to weakly consolidated, but do not affect the staircase.

PREVIOUS WORK

No landslides are mapped on the site by previous regional investigations conducted by Dibblee (1966 and 1986), by Minor (2009), or by Bezore and Wills (2000). In general, coastal slopes in this area are naturally unstable, even in the absence of development. Slope failures related to seacliff retreat are known by this office to have occurred in the recent past near the site, affecting other properties on Austin Road west of the staircase. The toe of the

seacliff located to the west is far more exposed to wave attack than the staircase area, which is in a drainage ravine indented from the coastal bluff face on both sides.

GEOLOGIC HAZARDS – COASTAL BLUFF

Our comments are based on site visits and geologic mapping conducted in January and February, 2011, our review of the published geologic maps, and our analysis of stereo pair aerial photograph sets from 1928 (Fairchild Aerial Surveys, 311-c-A4, -A5), 1956 (Hurd Aerial Surveys, HA-AN-1-35, -1-36, -1-37), and 1967 (Hurd, HM-JW-69, -70). The photos indicate that the stair step access route was intact at least as far back as 1967 and probably earlier since the Beguhl housing tract development began prior to that date. The 1956 photo (prior to development) shows a drainage pattern on the upper mesa that may have created the incised notch or ravine in the coastal bluff where the stairs now exist. The ravine is not clearly evident in the 1929 photos.

The lower portion of the bluff face, between the beach and a point approximately 30 feet up the slope, west of the stairs, contains a recently active area of soil creep and shallow sloughing that has deflected some of the wooden pier supports under the steps. The shallow nature of the slope failure would appear to allow the piers to be straightened and rebraced as one repair option. The depth to competent bedrock is unknown, but is expected to be found at a shallow enough depth under the loose slope material that new piers can be installed economically if necessary at a future date.

Although the coastal bluff is a geologically dynamic area, the presence of the stair steps does not exacerbate the instability of the slope. In fact, existing and anticipated design features in the stair steps serve to improve the surficial stability of the slope. The features include:

- 1) the drainage inlets and hard piping to the toe of the slope;
- 2) the borders on the pathway that direct some surface flow to drains and retain some loose surface materials.

CONCLUSIONS/RECOMMENDATIONS

The site is not subject to volcanism, liquefaction, or seiches. No faults have been identified to exist through the site by regional mapping (Dibblee and Minor). The site is not located in an earthquake fault zone that is currently mapped in accordance with the Alquist-Priolo Act of 1972. The property will experience seismic shaking proportional to the size and proximity of the next seismic event in Southern California.

The site is subject to slope instability, tsunamis, seaciff retreat, and seismic shaking hazards. However, the continued presence of the stair steps will not increase these geologic hazards. Stair step features, in fact, improve the drainage and surficial stability of the slope, if the drainage system is upgraded and maintained. Further, there is no geologic condition that will prevent the continued use of the stairs, assuming normal maintenance and repair are conducted periodically.

Test pits or drilling to determine the depth to competent bedrock would be difficult, would damage existing vegetation that is reducing surface erosion, and would destabilize the slope.

We believe it is feasible to repair the damaged portion of the staircase. The structure should be periodically maintained and adjusted, as needed, if sloughing or soil creep in that area affects the utility or safety of those steps. The existing drainage system in the ravine at and near the steps should be repaired, maintained, and periodically inspected to verify adequate performance. Surficial stability could be improved with a phased landscaping program to establish native coastal brush species that require no irrigation.

Existing drip irrigation lines should be removed. Surface water runoff and pipe outlets should be directed to the bottom of the bluff so that no water is discharged onto the bluff face. There is at least one drain (on the east side of the concrete pathway) that discharges water onto the bluff face and is causing erosion there. Whatever measures can be taken to collect and pipe spring water emanating from the bluff as close to the source as possible will improve slope stability.

Mr. Douglas Keep
Limited Geologic Hazards Investigation
More Mesa Stairway
February 17, 2011
Page 5

An exhaustive slope stability investigation, including subsurface investigations or slope stability computations, was not performed. A licensed geotechnical engineer and structural engineer should be consulted for future site grading, erosion control measures, or repair of the steps.

Please contact us if we can be of further service or if you have any questions.

Sincerely,
Campbell-Geo, Inc.



A handwritten signature in black ink, appearing to read "Steve Campbell".

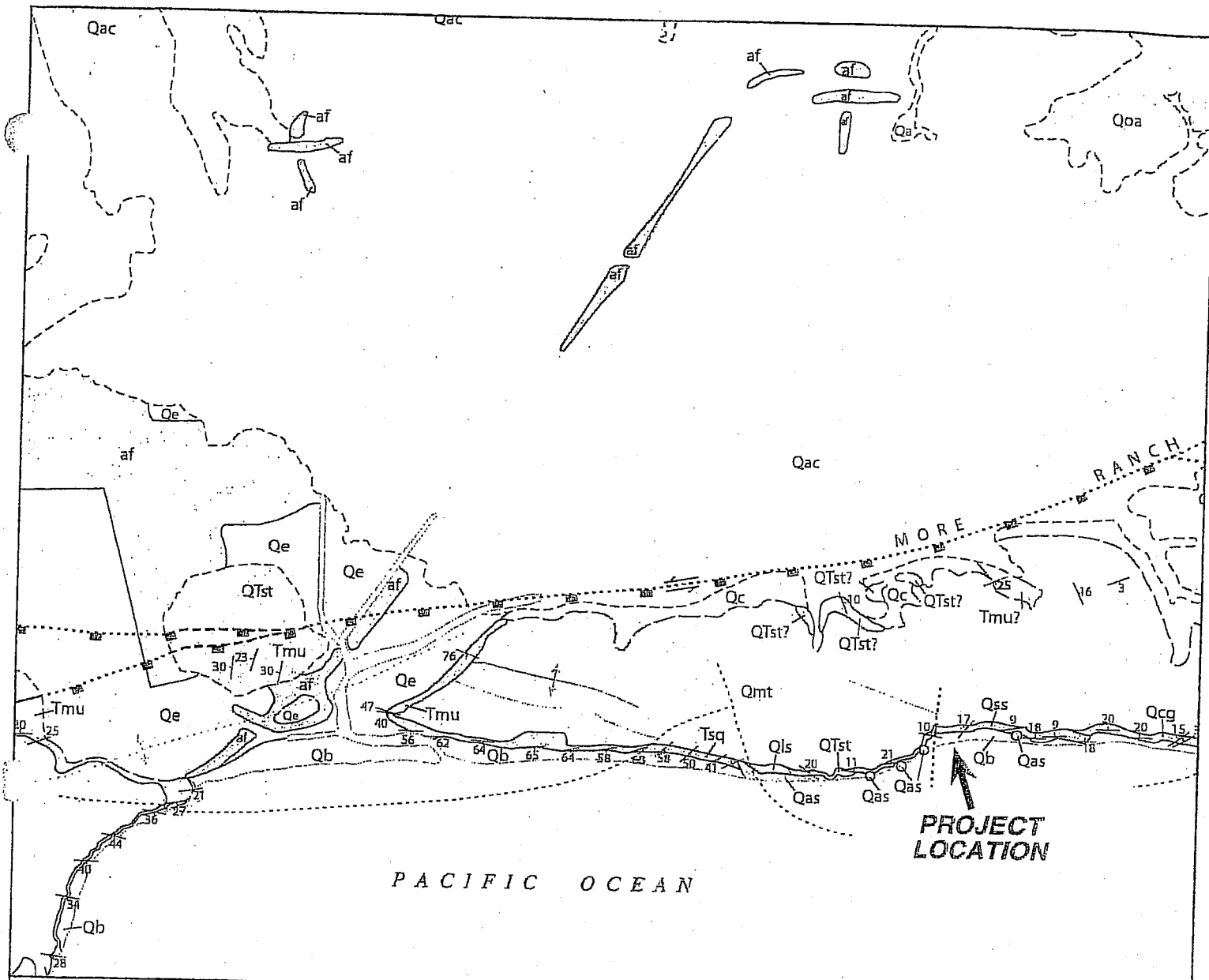
Steven H. Campbell
Certified Engineering Geologist
State of California, #1729

SHC\vrig

Clients\Keep\Keep R1.doc

Enclosures: Plates (2)
Photos (4)

cc: Pacific Materials Laboratory
Attn: Mr. Ron Pike (electronic copy only)



EXPLANATION

AGE		
	Symbol	Description
Quaternary	af	Artificial fill
	Qa	Active channel alluvium
	Qb	Beach deposits
	Qe	Estuarine deposits
	Qas	Asphalt deposits
Pleistocene	Qac	Alluvium and colluvium
	Qc	Colluvium
	Qls	Landslide deposits
	Qmt	Marine Terrace deposit
	Qoa	Older alluvial deposits
Pliocene	Qcg	Unnamed unit; conglomerate
	Qsc	Unnamed unit; sandstone
	QTst	Unnamed unit; siltstone
	Tsq	Sisquoc formation
	Tmu	Monterey formation; upper unit
Miocene		

PROJECT LOCATION AND REGIONAL GEOLOGIC MAP MORE MESA BEACH STAIRWAY Orchid Drive and Austin Road Santa Barbara, California

Geology from "Geologic Map of the Santa Barbara Coastal Plain Area, Santa Barbara County, California", by Minor, S., et al, 2009.

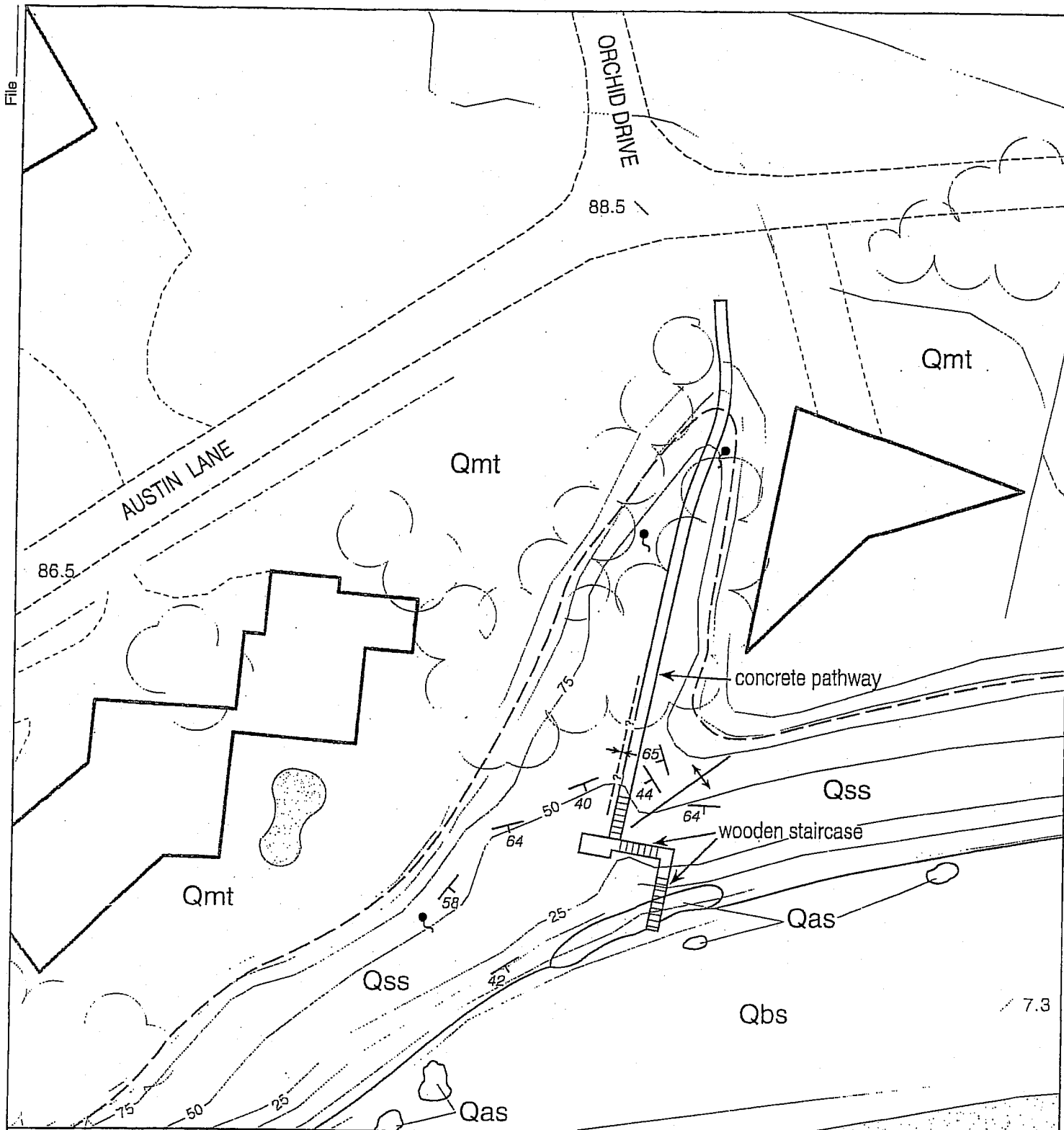
SYMBOLS

Symbol	Description
Symbol	Marine terrace shoreline angle
Symbol	Formation contact; dashed where inferred
Symbol	Fault; ball/bar on apparent downthrown side; dashed where approximate; dotted where concealed
Symbol	Reverse fault with rectangles on upthrown side; short-dashed where inferred
Symbol	Anticline
Symbol	Syncline
Symbol	Strike and Dip
Symbol	Horizontal Bedding

SCALE IN FEET

0 2,000 4,000

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Basemap: Santa Barbara County Flood Control,
Goleta Valley, Sheet 51, 1991.

SYMBOLS

- Formation Contact; dashed where approximate
- Spring/Daylighting Groundwater
- Strike and Dip of Sedimentary Rock Bedding
- Anticlinal Fold Axis
- Synclinal Fold Axis; queried where unconfirmed

PRELIMINARY GEOLOGIC MAP OF THE BEACH ACCESS STAIR AREA Santa Barbara, California February 2011

SCALE IN FEET

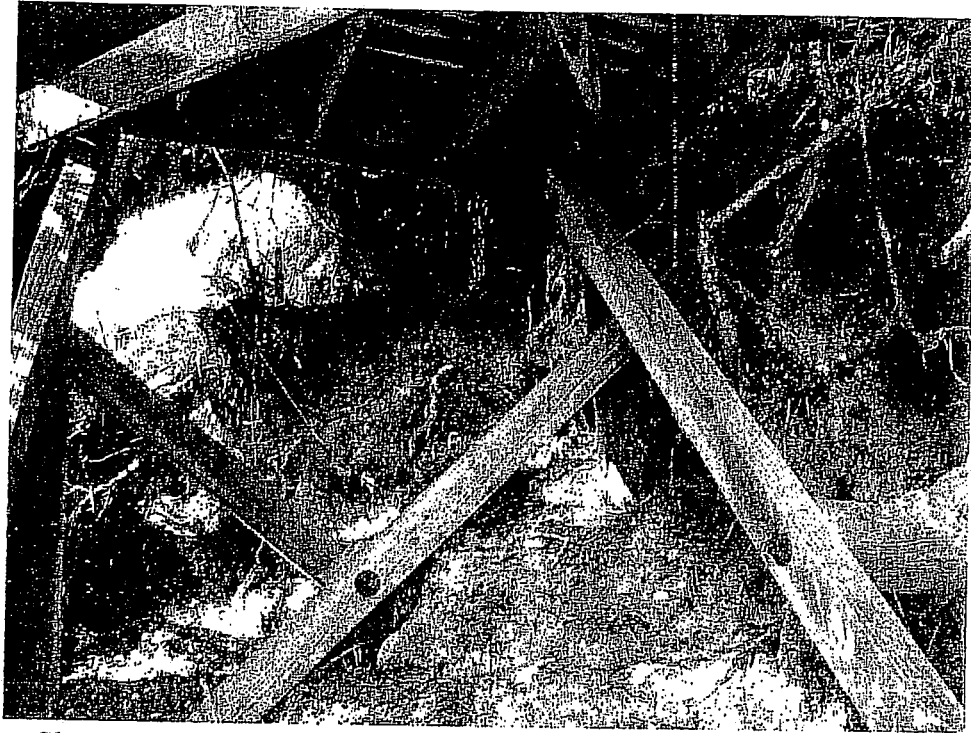
0 50 100

EXPLANATION

AGE		
Quaternary	Recent	Beach Sand
	Recent	Asphalt Deposit
	Pleistocene	Marine Terrace Deposits
	Pliocene	Unnamed sandstone unit
Tertiary		

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**Geologic Review of Beach Access
Stair Area - More Mesa Homeowners Association
Santa Barbara, California
February 2011**



Shallow Slope Sloughing Causing Pier Deflection Under Middle Landing of Staircase



Example of Needed Drainage System Repair

**Geologic Review of Beach Access
Stair Area - More Mesa Homeowners Association
Santa Barbara, California
February 2011**



Shallow Slope Sloughing Causing Pier Deflection Under Middle Landing of Staircase



Example of Needed Drainage System Repair

F

D&Z

Structural Engineering, Inc.

September 6, 2011

Nicole Lieu
Planner
Development Review Division
132 E. Anapamu St.
Santa Barbara, CA 93101

RE: Request for Emergency Permit for Construction of Beach Access Stairs and Drainage

D&Z Structural Engineering, Inc. was contacted on September 1, 2011 and asked to describe the structural deficiencies of the existing wood framed stairs and landings that provide beach access at the existing easement at the intersection of Orchard and Austin Rd. in Santa Barbara, California. With the exception of the existing wood posts that are to remain and be reused, the remainder of the wood framing (including stair stringers and treads, landing joists, decking and the railing at both the stairs and the landings) are structurally deficient due to prolonged exposure to the elements and many of the existing members are severely degraded by dry rot. In addition to the deteriorating wood members, much of the steel structural hardware is heavily corroded and in need of replacement to maintain the structural integrity of the landings and stairs.

In addition to being designed to support the existing loads carried by the original stairs, the redesigned stairs and landings have also been designed to support additional loads imposed by a support structure for the new drainage system that is to be attached to the structure below the upper run of stairs and the middle landing. The existing stair structure in its current state will be incapable of supporting the new loading imposed by the new required drainage system.

Based on the deterioration of the existing wood and steel structural components, it is our opinion that the existing structure is potentially unsafe to support foot traffic, and is definitely unsafe to support the added load of the new drainage system to be installed. Therefore, it is requested in the interest of public safety that this project be granted an emergency permit for the construction of the stairs and drainage system so that the rebuild of the structure can commence while the proper lease from the California Lands Commission is obtained for the lower concrete landing.

If there are any questions feel free to contact us.

Sincerely,

Jim Dillingham, PE

D&Z Structural Engineering, Inc.

