

**COUNTY OF SANTA BARBARA
PLANNING AND DEVELOPMENT**

MEMORANDUM

TO: County Planning Commission
FROM: Alice McCurdy, Deputy Director *Alice McCurdy*
DATE: August 25, 2015
RE: 15APL-00000-00004
Urbany Appeal of the Bonillo/LaTorre New Single-family Dwelling
849 Cheltenham Road, Santa Barbara, CA AP No. 023-172-001

At the Planning Commission hearing of July 22, 2015, Commissioner Cooney moved, seconded by Commissioner Hartman and carried by a vote of 5 to 0 to continue this item to the hearing of September 2, 2015 at the request of the applicant in order to allow them to make changes to the project design in response to comments and recommendations from the Commission.

On August 20, 2015, P&D staff received the final revised plan sheets from the project architect that include the following changes:

1. Reduction in overall height of the proposed new dwelling by over 3.5 feet from the previous design by reducing finish floor heights from 389.0' and 400.0' to 388.0' and 398.5', and by reducing the top of the roof parapet from 415.5' to 412.0';
2. Change in overall site grading from 100 cubic yards of cut and 200 cubic yards of fill to 130 cubic yards of cut/export and 120 cubic yards of import/fill;
3. Relocation of the proposed new dwelling approximately 3 feet further south [downslope] on the lot.
4. A new west wall is proposed along the southwestern portion of the patios to address privacy concerns of the appellants;
5. The tree planter located in the proposed driveway has been included on the site plan (Sheet A-101);

Additionally, as requested by the Commission, the agent has also provided elevations of the existing dwellings located adjacent to the subject lot to the east and to the west, which are included on Plan Sheet A-201.

No changes to the overall square footage of the new dwelling are proposed. In response to the Planning Commission's request, story-poles will be erected onsite on August 31, 2015 and will reflect the current design. The story poles will remain in place through the day of the hearing on September 2, 2015.

The new project description is noted below:

The project is for a Land Use Permit and Preliminary Design Review to allow construction of a new approximately 2,907 square foot [gross] / 2,338 square foot [net] two-story single-family dwelling with an attached 539 square foot garage. Grading would include 130 cubic yards of cut/export and 120 cubic yards of import/fill. A total of four avocado trees are proposed for removal. The parcel would be served by the City of Santa Barbara for water and sewer services, the Santa Barbara County Fire Department, and the Santa Barbara County Sheriff's Department. Access would be provided off of Cheltenham Road. The property is a 0.18-acre parcel zoned 7-R-1 and shown as Assessor's Parcel Number 023-172-001, located at 849 Cheltenham Road in the Mission Canyon area, First Supervisorial District.

Your Commission's motion should include the following:

1. Deny the appeal, Case No. 15APL-00000-00004;
2. Make the required findings for approval of the revised project, case numbers 14LUP-00000-00144 and 14BAR-0000-00063, as revised and included as Attachment A to the staff memo dated August 25, 2015, including CEQA findings;
3. Determine that approval of the project is exempt from CEQA pursuant to CEQA Guidelines Section 15303, as specified in Attachment C to the staff memo dated August 25, 2015; and
4. Grant *de novo* approval of the revised project, case numbers 14LUP-00000-00144 and 14BAR-00000-00063, as depicted on the August 20, 2015 plans, and subject to the conditions included in Attachment B to the staff memo dated August 25, 2015.

Alternatively, refer back to staff if the Planning Commission takes other than the recommended action for appropriate findings and conditions.

Attachments: Revised Attachment A – Findings for Approval
Revised Attachment B – *de novo* Land Use Permit w/ Conditions of Approval
Revised Attachment C – Environmental Document: Notice of Exemption
Attachment D – Revised Project Plan Sheets

Cc: Case File (to Planner)
Hearing Support

REVISED ATTACHMENT A

Findings for Approval

1.0 CEQA FINDINGS

The project, Case Nos. 14LUP-00000-00144 and 14BAR-00000-00063, is exempt from environmental review based upon Section 15303 [New Construction or Conversion of Small Structures] of the California Environmental Quality Act (CEQA) Guidelines. Section 15303(a&e) states that the construction of a single-family residence and garage are exempt from CEQA. See Attachment C to the staff memo dated August 25, 2015 and incorporated herein by reference, for a detailed discussion of this exemption.

2.0 ADMINISTRATIVE FINDINGS

2.1 DESIGN REVIEW FINDINGS

In compliance with Section 35.82.070.F.1 of the County Land Use and Development Code, an application for Design Review can be approved only if the following required findings can be made:

- a. *Overall structure shapes, as well as parts of any structure (buildings, fences, screens, signs, towers, or walls) are in proportion to and in scale with other existing or permitted structures on the same site and in the area surrounding the property.*

The proposed single-family dwelling and attached garage are located in a neighborhood of primarily one and some two-story dwellings on legal lots. As discussed in Section 5.3 of the staff report, dated July 2, 2015 and incorporated herein by reference, the proposed dwelling is designed to present a modest single story street-front elevation for public view while presenting a two-story elevation towards the rear of the home. Consistent with the surrounding neighborhood, wherein seven (7) of the thirteen (13) closest homes along Cheltenham Road having second-story elements, the proposed two-story home similarly has the two-story element visible towards the rear, down-slope elevation (see Attachment G to the staff report, dated July 2, 2015 and incorporated herein by reference). This is due to the natural topography of the neighborhood, which drops steadily from north to south, and in turn allows many homes to appear as a single-story from the north but to have a two-story presentation at the east, west and southern elevations. For the subject project, the proposed side elevations are well articulated with fenestration and varied roof heights, and side views from adjacent lots are screened and softened by the proposed new landscape plantings. The revisions made to the project, shown in Attachment D to the staff memo dated August 25, 2015 and incorporated herein by reference, reduce the overall height of the new structure and relocated it further downslope on the lot. In sum, by design, the proposed project is in proportion to, in scale, and visually compatible with the other existing houses in the neighborhood as it presents a single-story street-front elevation as seen from public vantage points.

- b. *Electrical and mechanical equipment will be well integrated into the total design concept.*

All electrical and mechanical equipment for the project will be located in a mechanical area located within the lower-level of the proposed new dwelling. Therefore, this finding can be made.

- c. *There will be harmony of color, composition, and material on all sides of a structure.*

All sides of the home will be finished with colors, composition and materials consistent with the Spanish Revival style, including Redlands blend clay roof tiles; smooth, light-colored stucco siding; wood clad windows and wood doors; and stone finishes. Therefore, this finding can be made.

d. *There will be a limited number of materials on the exterior face of the structure.*

The materials to be used on the exterior face of the structure are limited to materials consistent with the Spanish Revival style. These limited materials include Redlands blend clay roof tiles; smooth, light-colored stucco siding; wood clad windows and wood doors; and stone finishes. Therefore, this finding can be made.

e. *There will be a harmonious relationship with existing and proposed adjoining developments, avoiding excessive variety and monotonous repetition, but allowing similarity of style, if warranted.*

The proposed Spanish Revival style home will be in harmony with the other similarly styled and sized homes throughout the existing developed neighborhood without creating monotonous repetition. Therefore, this finding can be made.

f. *Site layout, orientation and location of structures and signs will be in an appropriate and well designed relationship to one another, and to the environmental qualities, open spaces, and topography of the site.*

Based on the site's topography, the proposed two-story home reads as a one-story house to the public viewing it from Cheltenham Road, a public road. The new house is well-designed to take into consideration the natural topography of the sloping hillside and includes a plan to effectively handle the existing storm water drainage across the lot as it enters the site from a 12" pipe and is channeled into an engineered bio-swale that has been designed to handle the maximum storm water flow out of the pipe. The newly installed detention basin has been engineered to capture and store average rainfall from a storm event, while storm water in excess of an average storm event would exit the site at the historic location at the southeastern corner of the lot. The location of the proposed new dwelling and the design of the project allow for protection of the natural topography of the site. The existing oak tree at the rear of the lot will be retained and protected during construction activities. The site layout, orientation, and location of the proposed home and garage are appropriate to the site topography and overall environmental qualities of the site. The revisions made to the project, shown in Attachment D to the staff memo dated August 25, 2015 and incorporated herein by reference, will lower the profile of the proposed residence. Therefore, this finding can be made.

g. *Adequate landscaping will be provided in proportion to the project and the site with due regard to preservation of specimen and landmark trees, existing vegetation, selection of plantings that are appropriate to the project and that adequate provisions have been made for the maintenance of all landscaping.*

The proposed project will not require the removal of any specimen or landmark trees. Four trees that are the remnants of a previous avocado orchard will be removed. The landscape plan includes a selection of plantings that are appropriate for the site and are consistent with the landscape and maintenance requirements of this high-fire hazard area of the County, including drought-tolerant and native plants. Additionally, the landscaping along the side property lines will soften and screen views into the property as viewed from both the eastern and western neighbors. Therefore, this finding can be made.

h. *Signs including associated lighting, are well designed and will be appropriate in size and location.*

No signage is proposed as a part of this project. Therefore, this finding is not applicable.

- i. *The proposed development is consistent with any additional design standards as expressly adopted by the Board for a specific local area, community, or zone in compliance with Subsection G. (Local design standards) below.*

Additional design standards for the Mission Canyon Community Plan area have been adopted by the Board of Supervisors and the proposed project is consistent with these additional standards. A discussion of these standards and the evidence that supports consistency is included below in Section 2.2 and is incorporated herein by reference. Therefore, this finding can be made.

2.2 MISSION CANYON COMMUNITY PLAN DESIGN REVIEW FINDINGS

In compliance with Section 35.82.070.F.7 of the County Land Use and Development Code, an application for Design Review in Mission Canyon can be approved only if the following required findings can be made:

- a. *Plans for new or altered structures subject to the provisions of Section 35.28.080 (Design Control Overlay) are in compliance with the Mission Canyon Residential Design Guidelines as applicable.*

As discussed in Sections 6.2 and 6.3 of the staff report, dated July 2, 2015 and incorporated herein by reference, the proposed new dwelling is in compliance with the applicable Mission Canyon Residential Design Guidelines, including neighborhood context, character and compatibility, grading, and watershed management. The project has been designed to reflect the overall size and character of the surrounding neighborhood, which is a mix of existing one and two-story homes. The project, as revised, will also minimize the amount of grading necessary to construct the new home to 130 cubic yards of cut/export and 120 cubic yards of import/fill. The existing drainage-way along the western side of the home has been maintained by designing a bio-swale and detention basin that is consistent with Mission Canyon Residential Design Guidelines sections 3.15 and 3.16, which call for infiltration of runoff and erosion control through properly designed drainage sales and appropriate landscaping. Furthermore, the home has been designed to be a two-story structure in the rear and steps down with the slope in order to minimize grading and unnecessary site excavation. Working with the site topography, the design of the home also avoids creating a subterranean basement area. Due to the sloping nature of the lot and the existing channelized storm water drainage that empties onto the site, a below-grade basement area of the home could be subject to flood hazards and risks. Therefore, this finding can be made.

- b. *Large visible understories (greater than four feet in height) and exposed retaining walls are minimized.*

There are no understory areas greater than four feet in height proposed as a component of this project. Therefore, this finding can be made.

- c. *Retaining walls are colored and textured (e.g., with earth tone colors and split face details) to match adjacent soils or stone, and visually softened with appropriate landscaping.*

As shown on the project plans, included as Attachment F to the staff report, dated July 2, 2015, and as revised in the updated plans included as Attachment D to the staff memorandum, dated August 25, 2015, all incorporated herein by reference, the retaining wall and site walls associated with the project will have a stucco finish that will match the new dwelling. Additionally, the colors of the wall and home will be earth toned and will be visually softened with the overall site landscaping. Final color palette and materials will be reviewed and approved by the BAR as a part of the "final" design review approval for consistency with the Commission's approval. Therefore, this finding can be made.

- d. *The visible portion of a retaining wall above finished grade does not exceed a height of six feet as measured from the bottom of a footing to the top of the wall. The Board of Architectural Review may grant an exemption to this finding if a written finding is made that the exemption is necessary to allow a project that:*
- (1) Furthers the intent of protecting hillsides and watersheds;*
 - (2) Enhances and promotes better structural and/or architectural design; and*
 - (3) Minimizes visual or aesthetic impacts.*

No visible portion of a retaining wall above grade will exceed the height of six feet as measured from the bottom of any footings to the top of the wall. Therefore, this finding can be made.

- e. *Landscaping and hardscaping located in the public right-of-way is consistent in style with the semi-rural character of Mission Canyon.*

As conditioned, an encroachment permit from the Roads Division of the County of Santa Barbara Public Works Department is required prior to the issuance of the Land Use Permit for the new single-family dwelling (see Condition #14 of Attachment B to the staff memorandum dated August 25, 2015, and incorporated herein by reference). Additionally, the final landscape and hardscape plan will be reviewed and approved by the BAR as a part of the “final” design review approval to ensure that those areas located within the public right-of-way are consistent in style and character with the Mission Canyon area. Therefore, this finding can be made.

2.3 LAND USE PERMIT FINDINGS

In compliance with Section 35.82.110.E.1 of the County Land Use and Development Code, an application for a Land Use Permit shall be approved only if the following findings can be made:

- a. *The proposed development conforms to the applicable provisions of the Comprehensive Plan including the Mission Canyon Community Plan and with the applicable provisions of this Development Code, or falls within the limited exception allowed in compliance with Chapter 35.101 (Nonconforming Uses, Structures, and Lots).*

As discussed in Sections 6.2 and 6.3 of the Planning Commission staff report, dated July 2, 2015 and incorporated herein by reference, the project conforms to the purpose and intent of the R-1 zone district, and will comply with all applicable requirements of the County LUDC for new development on an existing legal lot, including building height, parking requirements, and setback requirements. The project will conform to all applicable provisions of the County Comprehensive Plan, including the Mission Canyon Community Plan, and the applicable zoning requirements of the County Land Use & Development Code, respectively. Therefore, this finding can be made.

- b. *The proposed development is located on a legally created lot.*

The subject parcel is a legally created lot and is shown as Lot 1 on page 36 of Recorded Map Book 20 for Mission Canyon Heights, County of Santa Barbara. Therefore, this finding can be made.

- c. *The subject property is in compliance with all laws, regulations, and rules pertaining to uses, subdivisions, setbacks, and any other applicable provisions of this Development Code, and any applicable zoning violation enforcement and processing fees have been paid. This Subsection shall not be interpreted to impose new requirements on legal nonconforming uses and structures in compliance with Chapter 35.101 (Nonconforming Uses, Structures, and Lots).*

As discussed in Section 6.3 of the Planning Commission staff report, dated July 2, 2015 and incorporated herein by reference, the project will be in compliance with all requirements of the R-1 zone district. Furthermore, all past zoning violations on the subject lot related to prior grading and development activities have been abated and the lot does not currently have any outstanding zoning violations. As such, the vacant lot is presently in compliance with all laws, rules and regulations pertaining to zoning uses, setbacks and other applicable provisions of the County Land Use & Development Code. Therefore, this finding can be made.



LAND USE PERMIT NO.: 14LUP-00000-00144

Project Name: BONILLO - LATORRE NEW SFD & GARAGE
Project Address: 849 CHELTENHAM RD, SANTA BARBARA, CA 93105
A.P.N.: 023-172-001
Zone: 7-R-1

The County Planning Commission hereby approves this Land Use Permit for the project described below based upon compliance with the required findings for approval and subject to the attached terms and conditions.

APPROVAL DATE: 9/2/2015
LOCAL APPEAL PERIOD BEGINS: 9/3/2015
LOCAL APPEAL PERIOD ENDS: 9/14/2015
DATE OF PERMIT ISSUANCE (if no appeal filed): 9/15/2015

APPEALS:

1. The approval of this Land Use Permit may be appealed to the Board of Supervisors by the applicant, owner, or any aggrieved person. An aggrieved person is defined as any person who, either in person or through a representative, appeared at a public hearing in connection with this decision or action being appealed, or who by other appropriate means prior to a hearing or decision, informed the decision-maker of the nature of their concerns, or who, for good cause, was unable to do either. The appeal must be filed in writing and submitted in person to the Planning and Development Department at either 123 East Anapamu Street, Santa Barbara, or 624 West Foster Road, Suite C, Santa Maria, prior to 5:00 p.m. on or before the date that the local appeal period ends as identified above (CLUDC Chapter 35.102 Appeals).
2. Payment of a fee is required to file an appeal of the approval of this Land Use Permit.

PROJECT DESCRIPTION SUMMARY: New 2,907 square foot residence with a 539 square foot attached garage. Earthwork will include approximately 16 cubic yards of cut and 180 cubic yards of fill. To receive additional information regarding this project and/or to view the application and/or plans, please contact J. Ritterbeck at 123 East Anapamu Street, Santa Barbara, by email (jritterb@co.santa-barbara.ca.us) or by phone ((805) 568-3509).

PROJECT SPECIFIC CONDITIONS: See Attachment "A"

ASSOCIATED CASE NUMBERS: 14BAR-00000-00063

PERMIT ISSUANCE: This Land Use Permit will be issued following the close of the appeal period provided an appeal is not filed, or if appealed, the date of final action on the appeal which has the effect of upholding the approval of the permit. Issuance of this permit is subject to compliance with the following terms and conditions:

1. **Notice.** Notice of this project shall be posted on the project site by the applicant utilizing the language and form of the notice provided by the Planning and Development Department. The notice shall remain posted continuously until at least 10 calendar days following action on the permit, including an action on any appeal of this permit (CLUDC Chapter 35.106 Noticing and Public Hearings). The *Proof of Posting of Notice on Project Site* shall be signed and returned to the Planning and Development Department prior the issuance of the permit.
2. **Compliance with conditions.** All conditions that are required to be satisfied prior to issuance of the permit have been satisfied and the permit has been signed by the applicant or owner.
3. **Design Review.** If required, the project has been granted final approval by the appropriate Board of Architectural Review (BAR), and an appeal of that final approval has not been filed.

ATTACHMENT A: CONDITIONS OF APPROVAL

Project Description

- 1. Proj Des-01 Project Description:** This Land Use Permit is based upon and limited to compliance with the project description and all conditions of approval set forth below, including mitigation measures and specified plans and agreements included by reference, as well as all applicable County rules and regulations.

The project description is as follows:

The project is for a Land Use Permit and Preliminary Design Review to allow construction of a new approximately 2,907 square foot [gross]/2,338 square foot [net] two-story single-family dwelling with an attached 539 square foot garage. Grading would include 130 cubic yards of cut/export and 120 cubic yards of import/fill. A total of four avocado trees are proposed for removal. The parcel would be served by the City of Santa Barbara for water and sewer services, the Santa Barbara County Fire Department, and the Santa Barbara County Sheriff's Department. Access would be provided off of Cheltenham Road. The property is a 0.18-acre parcel zoned 7-R-1 and shown as Assessor's Parcel Number 023-172-001, located at 849 Cheltenham Road in the Mission Canyon area, First Supervisorial District.

Any deviations from the project description, exhibits or conditions must be reviewed and approved by the County for conformity with this approval. Deviations may require approved changes to the permit and/or further environmental review. Deviations without the above described approval will constitute a violation of permit approval.

- 2. Proj Des-02 Project Conformity:** The grading, development, use, and maintenance of the property, the size, shape, arrangement, and location of the structures, parking areas and landscape areas, and the protection and preservation of resources shall conform to the project description above and the hearing exhibits and conditions of approval below. The property and any portions thereof shall be sold, leased or financed in compliance with this project description and the approved hearing exhibits and conditions of approval thereto. All plans (such as Landscape and Tree Protection Plans) must be submitted for review and approval and shall be implemented as approved by the County.

Conditions By Issue Area

- 3. Aest-04 BAR Required:** The Owner/Applicant shall obtain Board of Architectural Review (BAR) approval for project design. All project elements (e.g., design, scale, character, colors, materials and landscaping shall be compatible with vicinity development and shall conform in all aspects to the approved Design Review plans associated with case no. 14BAR-00000-00063.

TIMING: The Owner/Applicant shall submit architectural drawings of the project for review for consistency with those plans approved by the Planning Commission and shall obtain "final" BAR approval prior to issuance of this Land Use Permit.

MONITORING: The Owner/Applicant shall demonstrate to B&S inspection staff that the project has been built consistent with approved BAR design and landscape plans prior to Final Building Inspection Clearance.

- 4. Air-01 Dust Control:** The Owner/Applicant shall comply with the following dust control components at all times including weekends and holidays:

- a. Dust generated by the development activities shall be kept to a minimum with a goal of retaining dust on the site.
- b. During clearing, grading, earth moving, excavation, or transportation of cut or fill materials, use water trucks or sprinkler systems to prevent dust from leaving the site and to create a crust after each day's activities cease.
- c. During construction, use water trucks or sprinkler systems to keep all areas of vehicle movement damp enough to prevent dust from leaving the site.
- d. Wet down the construction area after work is completed for the day and whenever wind exceeds 15 mph.
- e. When wind exceeds 15 mph, have site watered at least once each day including weekends and/or holidays.
- f. Order increased watering as necessary to prevent transport of dust off-site.
- g. Cover soil stockpiled for more than two days or treat with soil binders to prevent dust generation. Reapply as needed.
- h. If the site is graded and left undeveloped for over four weeks, the Owner/Applicant shall immediately:
 - i. Seed and water to re-vegetate graded areas; and/or
 - ii. Spread soil binders; and/or
 - iii. Employ any other method(s) deemed appropriate by P&D or APCD.

PLAN REQUIREMENTS: These dust control requirements shall be noted on all grading and building plans.

PRE-CONSTRUCTION REQUIREMENTS: The contractor or builder shall provide B&S inspection staff and APCD with the name and contact information for an assigned onsite dust control monitor(s) who has the responsibility to:

- a. Assure all dust control requirements are complied with including those covering weekends and holidays.
- b. Order increased watering as necessary to prevent transport of dust offsite.
- c. Attend the pre-construction meeting.

TIMING: The dust monitor shall be designated prior to approval of first Grading Permit. The dust control components apply from the beginning of any grading or construction throughout all development activities until Final Building Inspection Clearance is issued.

MONITORING: B&S processing planner shall ensure measures are on plans. B&S grading and building inspectors shall spot check; Grading and Building shall ensure compliance onsite. APCD inspectors shall respond to nuisance complaints.

5. **Bio-10 Storm Water BMPs:** To minimize pollutants impacting downstream waterbodies or habitat, the parking area and associated driveways shall be designed to minimize degradation of storm water quality. Best Management Practices (BMPs) such as landscaped areas for infiltration (vegetated filter strips, bioswales, or bioretention areas), designed in accordance with the California Stormwater BMP Handbook for New Development and Redevelopment (California Stormwater Quality Association) or other approved method shall be installed to intercept and remove pollutants prior to discharging to the storm drain system. The BMPs selected shall be maintained in working order. The landowner is responsible for the maintenance and operation of all improvements. BMP maintenance is required for the life of the project and transfer of this responsibility is required for any subsequent sale of the property.

PLAN REQUIREMENTS: The BMPs shall be described and detailed on the site, grading and drainage

and landscape plans, and depicted graphically. The location and type of BMP shall be shown on the site, building and grading plans.

TIMING: The plans and maintenance program shall be submitted to B&S for approval prior to approval of first Grading/Building Permit.

MONITORING: B&S inspection staff shall site inspect for installation prior to Final Building Inspection Clearance.

- 6. CulRes-09 Stop Work at Encounter:** The Owner/Applicant and/or their agents, representatives or contractors shall stop or redirect work immediately in the event archaeological remains are encountered during grading, construction, landscaping or other construction-related activity. The Owner/Applicant shall retain a P&D approved archaeologist and Native American representative to evaluate the significance of the find in compliance with the provisions of Phase 2 investigations of the County Archaeological Guidelines and funded by the Owner/Applicant.

PLAN REQUIREMENTS: This condition shall be printed on all building and grading plans.

MONITORING: P&D permit processing planner shall check plans prior to approval of first Grading/Building Permit and B&S inspection staff shall spot check in the field throughout grading and construction.

- 7. Noise-02 Construction Hours:** The Owner /Applicant, including all contractors and subcontractors shall limit construction activity, including equipment maintenance and site preparation, to the hours between 7:00 a.m. and 4:00 p.m., Monday through Friday.

No construction shall occur on weekends or State holidays. Non-noise generating interior construction activities such as plumbing, electrical, drywall and painting (which does not include the use of compressors, tile saws, or other noise-generating equipment) are not subject to these restrictions.

Any subsequent amendment to the Comprehensive General Plan, applicable Community or Specific Plan, or Zoning Code noise standard upon which these construction hours are based shall supersede the hours stated herein.

PLAN REQUIREMENTS: The Owner/Applicant shall provide and post a sign stating these restrictions at all construction site entries.

TIMING: Signs shall be posted prior to commencement of construction and maintained throughout construction.

MONITORING: The Owner/Applicant shall demonstrate that required signs are posted prior to grading/building permit issuance and pre-construction meeting. Building inspectors and permit compliance staff shall spot check and respond to complaints.

- 8. Parking-02 Onsite Construction Parking:** All construction-related vehicles, equipment staging and storage areas shall be located onsite and outside of the road and highway right of way. The Owner/Applicant shall provide all construction personnel with a written notice of this requirement and a description of approved parking, staging and storage areas. The notice shall also include the name and phone number of the Owner/Applicant's designee responsible for enforcement of this restriction.

PLAN REQUIREMENTS: Designated construction personnel parking, equipment staging and storage areas shall be depicted on project plans submitted for Grading and Building Permits.

TIMING: A copy of the written notice shall be submitted to P&D permit processing staff prior to approval of first Grading/Building Permit(s). This restriction shall be maintained throughout construction.

MONITORING: B&S inspection staff shall confirm the availability of designated onsite areas during

construction, and as required, shall require re-distribution of updated notices and/or refer complaints regarding offsite parking to appropriate agencies.

- 9. WatCons-03 Water Conservation in Landscaping:** The project is subject to the California Water Conservation in Landscaping requirements. The Owner/Applicant shall fill out, obtain the stamp of the appropriate licensed professional, sign, and submit to P&D a Residential Water Authorization Supplemental application or Water Efficient Landscape Ordinance Supplemental application, as appropriate to the size of the landscape area.

TIMING: The supplemental application shall be completed, stamped, signed, and submitted to P&D prior to issuance of this Land Use Permit. The landscape and irrigation shall be installed per plan prior to Final Building Inspection Clearance.

MONITORING: B&S inspection staff shall check in the field prior to Final Building Inspection Clearance.

County Rules and Regulations

- 10. DIMF-24d DIMF Fees-Fire:** In compliance with the provisions of ordinances and resolutions adopted by the County, the Owner/Applicant shall be required to pay development impact mitigation fees to finance the development of facilities for the Fire Department. Required mitigation fees shall be as determined by adopted mitigation fee resolutions and ordinances and applicable law in effect when paid.

The total Fire DIMF amount is based on a project type of a single-family dwelling.

TIMING: Fire DIMFs shall be paid to the County Fire Department prior to Final Building Permit Inspection and shall be based on the fee schedules in effect when paid, which may increase at the beginning of each fiscal year (July 1st).

- 11. DIMF-24e DIMF Fees-Parks:** In compliance with the provisions of ordinances and resolutions adopted by the County, the Owner/Applicant shall be required to pay development impact mitigation fees to finance the development of facilities for the Parks Department. Required mitigation fees shall be as determined by adopted mitigation fee resolutions and ordinances and applicable law in effect when paid.

The total Parks DIMF amount is based on a project type of a single-family dwelling.

TIMING: Parks DIMFs shall be paid to the County Parks Department prior to Final Building Permit Inspection and shall be based on the fee schedules in effect when paid, which may increase at the beginning of each fiscal year (July 1st).

- 12. DIMF-24g DIMF Fees-Transportation:** In compliance with the provisions of ordinances and resolutions adopted by the County, the Owner/Applicant shall be required to pay development impact mitigation fees to finance the development of facilities for transportation. Required mitigation fees shall be as determined by adopted mitigation fee resolutions and ordinances and applicable law in effect when paid.

The total Transportation DIMF amount is based on a project type of a single-family dwelling.

TIMING: Transportation DIMFs shall be paid to the County Public Works Department-Transportation Division prior to Final Building Permit Inspection and shall be based on the fee schedules in effect when paid, which may increase at the beginning of each fiscal year (July 1st).

- 13. Rules-01 Effective Date-Not Appealable to CCC:** This Land Use Permit shall become effective upon the date of the expiration of the applicable appeal period provided an appeal has not been filed. If

an appeal has been filed, the planning permit shall not be deemed effective until final action by the final review authority on the appeal. No entitlement for the use or development shall be granted before the effective date of the planning permit.

- 14. Rules-03 Additional Permits Required:** The use and/or construction of any structures or improvements authorized by this approval shall not commence until the all necessary Planning, Building, Grading and Road Encroachment permits are obtained. Before any Permit will be issued by Planning and Development, the Owner/Applicant must obtain written clearance from all departments having conditions; such clearance shall indicate that the Owner/Applicant has satisfied all pre-construction conditions. A form for such clearance is available from Planning and Development.
- 15. Rules-05 Acceptance of Conditions:** The Owner/Applicant's acceptance of this permit and/or commencement of use, construction and/or operations under this permit shall be deemed acceptance of all conditions of this permit by the Owner/Applicant.
- 16. Rules-20 Revisions to Related Plans:** The Owner/Applicant shall request a revision for any proposed changes to approved plans. Substantial conformity shall be determined by the Director of P&D.
- 17. Rules-23 Processing Fees Required:** Prior to issuance of the first Grading or Building Permit, the Owner/Applicant shall pay all applicable P&D permit processing fees in full as required by County ordinances and resolutions.
- 18. Rules-30 Plans Requirements:** The Owner/Applicant shall ensure all applicable final conditions of approval are printed in their entirety on applicable pages of grading/construction or building plans submitted to P&D or Building and Safety Division. These shall be graphically illustrated where feasible.
- 19. Rules-32 Contractor and Subcontractor Notification:** The Owner/Applicant shall ensure that potential contractors are aware of County requirements. Owner / Applicant shall notify all contractors and subcontractors in writing of the site rules, restrictions, and Conditions of Approval and submit a copy of the notice to P&D compliance monitoring staff.
- 20. Rules-33 Indemnity and Separation:** The Owner/Applicant shall defend, indemnify and hold harmless the County or its agents or officers and employees from any claim, action or proceeding against the County or its agents, officers or employees, to attack, set aside, void, or annul, in whole or in part, the County's approval of this project. In the event that the County fails promptly to notify the Owner / Applicant of any such claim, action or proceeding, or that the County fails to cooperate fully in the defense of said claim, this condition shall thereafter be of no further force or effect.
- 21. Rules-35 Limits:** This approval does not confer legal status on any existing structures or uses on the property unless specifically authorized by this approval.
- 22. Rules-37 Time Extensions-All Projects:** The Owner / Applicant may request a time extension prior to the expiration of the permit or entitlement for development. The review authority with jurisdiction over the project may, upon good cause shown, grant a time extension in compliance with County rules and regulations, which include reflecting changed circumstances and ensuring compliance with CEQA. If the Owner / Applicant requests a time extension for this permit, the permit may be revised to include updated language to standard conditions and/or mitigation measures and additional conditions and/or mitigation measures which reflect changed circumstances or additional identified project impacts.

Other

23. BIO-Special 01 Nesting Habitat or Cover: To avoid disturbance of nesting and special status birds including raptorial species protected by the Federal Migratory Bird Treaty Act and Sections 3503, 3503.5, and 3513 of the California Fish and Game Code, proposed project activities, including, but not limited to, vegetation removal, ground disturbance, and construction shall occur outside of the bird breeding season (February 1 through August 15). If these activities must begin within the breeding season, then pre-construction surveys shall be conducted. The nesting bird pre-construction survey shall be conducted within the disturbance footprint and a 500-foot buffer as allowable without trespassing on private lands. The survey shall be conducted by a County-qualified biologist familiar with the identification of raptors and special status species known to occur in Santa Barbara County using typical methods. If nests are found, a buffer ranging in size from 25 to 500 feet (25 feet for urban-adapted species such as Anna's hummingbird and California towhee and up to 500 feet for certain raptors) depending upon the species, the proposed work activity, and existing disturbances associated with land uses outside of the site, shall be determined and demarcated by the biologist with bright orange construction fencing, flagging, construction lathe, or other means to mark the boundary. All construction personnel shall be notified as to the existence of the buffer zone and to avoid entering the buffer zone during the nesting season. No ground disturbing activities shall occur within this buffer until the County-qualified biologist has confirmed that breeding/nesting is completed and the young have fledged the nest. Nesting birds surveys are not required for construction activities occurring between August 16 and February 1.

PLAN REQUIREMENTS AND TIMING. If construction must begin within the breeding season, then the pre-construction survey shall be conducted no more than two weeks prior to commencing vegetation removal, grading, or construction activities. Active nests shall be monitored at a minimum of once per week until it has been determined that the nest is no longer being used by either the young or adults. Bird survey results shall be submitted to County Planning and Development for review and approval prior to commencing grading or construction activities, and a copy of the report provided to the CDFG.

MONITORING. P&D shall be given the name and contact information for the biologist prior to initiation of the pre-construction survey. Permit Compliance and P&D staff shall verify compliance in the field and perform site inspections throughout the grading and construction phase(s). P&D staff shall review the survey report(s).

REVISED ATTACHMENT C
ENVIRONMENTAL DOCUMENT
NOTICE OF EXEMPTION

TO: Santa Barbara County Clerk of the Board of Supervisors

FROM: J. Ritterbeck, Planning & Development

The project or activity identified below is determined to be exempt from further environmental review requirements of the California Environmental Quality Act (CEQA) of 1970, as defined in the State and County Guidelines for the implementation of CEQA.

AP No.: 023-172-001

Case Nos.: 14BAR-00000-00063 & 14LUP-00000-00144

Location: 849 Cheltenham Road, Santa Barbara, CA

Project Title: Bonillo-LaTorre New Single-Family Dwelling & Garage

Project Description: The revised project, as depicted in Attachment D to the staff memo, dated August 25, 2015 and incorporated herein by reference, is for a Land Use Permit and Preliminary Design Review to allow construction of a new approximately 2,907 square foot [gross]/2,338 square foot [net] two-story single-family dwelling with an attached 539 square foot garage. Grading would include 130 cubic yards of cut/export and 120 cubic yards of import/fill. A total of four avocado trees are proposed for removal. The parcel would be served by the City of Santa Barbara for water and sewer services, the Santa Barbara County Fire Department, and the Santa Barbara County Sheriff's Department. Access would be provided off of Cheltenham Road. The property is a 0.18-acre parcel zoned 7-R-1 and shown as Assessor's Parcel Number 023-172-001, located at 849 Cheltenham Road in the Mission Canyon area, First Supervisorial District.

Name of Public Agency Approving Project: County of Santa Barbara

Name of Person or Agency Carrying Out Project: Christian Bonillo & Ana Latorre, property owners

Exempt Status:

- Ministerial
- Statutory Exemption
- Categorical Exemption
- Emergency Project
- Declared Emergency

CEQA Guideline Sections: 15303 [New Construction or Conversion of Small Structures]

Reasons to support exemption findings: The project is exempt from environmental review based upon Section 15303 [New Construction or Conversion of Small Structures] of the California Environmental Quality Act (CEQA) Guidelines. Section 15303(a) exempts the construction of one single-family residence in a residential zone. Section 15303(e) exempts the construction of accessory structures, including but not limited to: garages, carports, patios, swimming pools and fences. This project constitutes development associated with the construction of a new approximately 2,907 square foot [gross]/2,338 square foot [net] two-story single-family dwelling with an attached 539 square foot garage, 130 cubic yards of cut/export and 120 cubic yards of import/fill, and construction of new retaining walls and site walls, all of which are accessory structures. Therefore, the Categorical Exemption (§15303) is appropriate for the *de novo* approval of the proposed project.

There is no substantial evidence that there are unusual circumstances (including future activities) resulting in (or which might reasonably result in) significant impacts which threaten the environment. The exceptions to the categorical exemptions pursuant to Section 15300.2 of the State CEQA Guidelines are:

- (a) **Location. Classes 3, 4, 5, 6, and 11 are qualified by consideration of where the project is to be located -- a project that is ordinarily insignificant in its impact on the environment may in a particularly sensitive environment be significant. Therefore, these classes are considered to apply all instances, except where the project may impact on an environmental resource of hazardous or critical concern where designated, precisely mapped, and officially adopted pursuant to law by federal, state, or local agencies.**

The nearest mapped ESH area is approximately ½ mile west of the location of the proposed project site and separated by dense urban development. There are no environmental resources of hazardous or critical concern designated or mapped on or adjacent to the project site. Therefore, this exception to the Categorical Exemption does not apply.

- (b) **Cumulative Impact. All exemptions for these classes are inapplicable when the cumulative impact of successive projects of the same type in the same place, over time is significant.**

The project is for the construction a new approximately 2,907 square foot [gross]/2,338 square foot [net] two-story single-family dwelling with an attached 539 square foot garage. The proposed development meets all applicable criteria of the County LUDC and the County Comprehensive Plan, including the Mission Canyon Community Plan. The proposed development will create no significant impacts. The immediate surrounding neighborhood is largely built out with few vacant lots remaining to be developed. Additional minor structural development of the same type in the same place and within the surrounding neighborhood, developed in conformance with applicable ordinance and policy regulations, will not result in a cumulatively significant impact. Therefore, this exception to the Categorical Exemption does not apply.

- (c) **Significant Effect. A categorical exemption shall not be used for an activity where there is a reasonable possibility that the activity will have a significant effect on the environment due to unusual circumstances.**

The circumstances under which the proposed project is requested and under which construction is proposed are not unusual. The proposed project consists of the construction of a single-family dwelling in an existing developed urban neighborhood zoned for single-family development. There is no reasonable possibility that the activity will have a significant effect on the environment due to unusual circumstances. The nearest ESH is over ½ mile west of the location of the proposed project and separated by dense urban development. The project would not affect cultural resources, geologic hazards, or other significant site constraints. Therefore, this exception to the Categorical Exemption does not apply.

- (d) **Scenic Highways. A categorical exemption shall not be used for a project which may result in damage to scenic resources, including but not limited to, trees, historic buildings, rock outcroppings, or similar resources, within a highway officially designated as a state scenic highway. This does not apply to improvements which are required as mitigation by an adopted negative declaration or certified EIR.**

The project site is not located within or visible from any officially designated scenic highway and the project does not damage any scenic resource. Therefore, this exception to the Categorical Exemption does not apply.

(e) Hazardous Waste Sites. A categorical exemption shall not be used for a project located on a site which is included on any list compiled pursuant to Section 65962.5 of the Government Code.

The proposed project is not located on a site that is included on any list compiled pursuant to Section 65962.5 of the Government Code. Therefore, this exception to the Categorical Exemption does not apply.

(f) Historical Resources. A categorical exemption shall not be used for a project which may cause a substantial adverse change in the significance of a historical resource.

The proposed development would have no impact on any historical resource. Therefore, this exception to the Categorical Exemption does not apply.

Lead Agency Contact Person: J. Ritterbeck, Planner II Phone #: (805) 568-3509

Department/Division Representative: _____ Date: _____

Acceptance Date: _____



CEARNAL
ANDRULAITIS
ARCHITECTURE
INTERIOR DESIGN
521 1/2 STATE STREET
SANTA BARBARA
CALIFORNIA 93101
P: 805.963.8077
F: 805.963.0684
www.cearnal.com

LATORRE / BONILLO RESIDENCE

Proposed project for:
849 Cheltenham Road
Santa Barbara, CA 93105

| ABBREVIATIONS | GENERAL NOTES | PROJECT STATISTICS | PROFESSIONALS | DRAWING INDEX |
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| <p>@ AT d PENNY OF POUND AB ANCHOR BOLT AC ASPHALTIC CONCRETE A/C AIR CONDITIONING AL ALUMINUM AD ANODIZED AW AWNING BD BOARD BF BIFOLD BLDG BUILDING BK(G) BLOCKING BM BEAM BN BOUNDARY NAILING BOT BOTTOM CB CATCH BASIN CI CAST IRON CJ CEILING JOIST CLG CEILING CL CLOSET CLR CLEAR CMU CONCRETE MASONRY UNIT CO CLEAN OUT COL COLUMN CONN CONNECTION CONT CONTINUOUS CS CASEMENT CSK COUNTERSINK DF DOUGLAS FIR DH DOUBLE HUNG DIA DIAMETER DN DOWN DS DOWNSPOUT DWG DRAWING E EAST (E) EXISTING EA EACH EJ EXPANSION JOINT ELEV ELEVATION EN EDGE NAIL EQ EQUIPMENT FAU FORCED AIR UNIT FBO FURNISHED BY OWNER OR OTHERS, TO BE INSTALLED BY CONTRACTOR FD FLOOR DRAIN FE(C) FIRE EXTINGUISHER (& CABINET) FF FLOOR DRAIN FG FINISHED FLOOR FH FINISHED GRADE FH FLAT HEAD FIN FINISH FL FLOW LEVEL FLG FLASHING FIR FLOOR FN FIELD NAILING FOC FACE OF CONCRETE FOF FACE OF FINISH FOM FACE OF MASONRY FOP FACE OF PLYWOOD FOS FACE OF STUD FR FRENCH DOOR FT FOOT OR FEET FX FIXED GA GAUGE GALV GALVANIZED GYP GYPSUM HB HOSE BIBB HCW HOLLOW CORE WOOD HM HOLLOW METAL HP HORSE POWER HR HOUR HTR HEATER HWAC HEATING/VENTILATION/AIR CONDITIONING HWRI HOT WATER RETURN INV INVERT LAG LAMINATED GLASS LAM LAMINATE LB LAG BOLT</p> | <p>IT LIGHT MAS MASONRY MATL MATERIAL MAX MAXIMUM MB MACHINE BOLT MECH MECHANICAL MEMB MEMBRANE MET METAL MFR MANUFACTURER MIN MINIMUM MISC MISCELLANEOUS N NORTH N NEW NIC NOT IN CONTRACT NO OR NUMBER # NOT TO SCALE NTS NOT TO SCALE OC ON CENTER OH OVAL HEAD OR OVER HEAD OPNG OPENING PERF PERFORATED PRE FINISHED PL PLATE OR PROPERTY LINE PLAM PLASTIC LAMINATE PLAS PLASTER PLYWD PLYWOOD PMTR PERIMETER PT PAINT PR PAIR PTDF PRESSURE TREATED DOUGLAS FIR RD ROOF DRAIN RH ROUND HEAD RM ROOM RO ROUGH OPENING RWD REDWOOD SCHED SCHEDULED SCW SOLID CORE WOOD S SOUTH SF SQUARE FEET SH SINGLE HUNG SHT SHEET SHT'G SHEATHING SIM SIMILAR RE: THE ARCH SHEET METAL MANUAL STRUCTURAL SPECIFICATION SQ SQUARE S/S STAINLESS STEEL ST STAIN STD STANDARD STL STEEL TC TOP OF CURB OR TOP OF CONCRETE TCB TOP OF CATCH BASIN T&G TONGUE AND GROOVE THRU THROUGH TMP TEMPERED TP TOP OF PAVING TW TOP OF WALL TYP TYPICAL (ITEMS TYPICAL UNLESS SHOWN OR NOTED OTHERWISE) LINO UNLESS NOTED OTHERWISE UV ULTRAVIOLET BLOCKING GLASS VCT VINYL COMPOSITION TILE VERT VERTICAL VGDV VERTICAL GRAIN VTR VENT THRU ROOF W WEST WC WATER CLOSET WD WOOD WH WATER HEATER WP WATERPROOF WS WOOD SCREW WWWF WELDED WIRE FABRIC W/ WITH W/O WITHOUT</p> | <p>1. ALL WORK, MATERIAL, METHODS, ETC. SHALL CONFORM TO ALL GOVERNING BUILDING CODES AND REGULATIONS CURRENTLY IN EFFECT. 2. THE "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION" AIA DOCUMENT A201, LATEST VERSION, SHALL BE PART OF THESE PLANS AND SPECIFICATIONS. 3. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE THAT ALL SAFETY LAWS ARE STRICTLY ENFORCED AND TO MAINTAIN A SAFE CONSTRUCTION PROJECT. INSTALL TEMPORARY BRACING AND SHORING AS REQUIRED TO GUARANTEE THE SAFETY OF THE WORK UNTIL IT IS IN ITS COMPLETED FORM. 4. THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES OR INCONSISTENCIES DISCOVERED IN THE DRAWINGS AND/OR SPECIFICATIONS. IN THE EVENT OF DISCREPANCIES BETWEEN ANY DRAWINGS AND/OR SPECIFICATIONS, THE COSTIER OR MORE RESTRICTIVE CONDITION SHALL BE DEEMED THE CONTRACT REQUIREMENT, UNLESS OTHERWISE APPROVED IN WRITING BY THE ARCHITECT. 5. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION BETWEEN ALL SUB-CONTRACTORS. 6. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL UNDERGROUND UTILITIES. 7. THE CONTRACTOR AND SUBCONTRACTORS SHALL VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH ALL EXISTING CONDITIONS PRIOR TO BID. ON SITE VERIFICATION OF ALL (E) DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND/OR SUB-CONTRACTOR. 8. GENERAL NOTES AND TYPICAL DETAILS SHALL APPLY TO ALL PARTS OF THE JOB, EXCEPT WHERE THEY MAY CONFLICT WITH SPECIFIC DETAILS AND NOTES. WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED AND TYPICAL DETAILS DO NOT APPLY, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY. 9. ALL DIMENSIONS TYPICALLY TO FACE TO STUD (F.O.S.) UNLESS NOTED OTHERWISE. ALL OPENINGS DIMENSIONED TO CENTERLINE OF OPENING. PLYWOOD AT EXTERIOR WALLS SHALL ALIGN WITH FACE OF CONCRETE FOOTING. "FINISHED FLOOR" INDICATES TOP OF STRUCTURAL CONCRETE SLAB OR PLYWOOD DECK. 10. NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALE. LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER SCALE. 11. CARPENTRY SHALL BE IN ACCORDANCE WITH CHAPTER 23, U.B.C. 12. ALL COVER PLATES, GRILLS, AND EXPOSED ELECTRICAL FITTINGS TO BE WHITE, UNLESS NOTED OTHERWISE. 13. ALL PENETRATIONS OF 1-HOUR FIRE RESISTIVE CONSTRUCTION SHALL BE PROTECTED WITH APPROVED FIRE ASSEMBLIES. 14. THE GENERAL CONTRACTOR SHALL PROVIDE ALL NECESSARY CEILING, BASEMENT, UNDERFLOOR OR WALL ACCESS PANELS AS REQUIRED BY GOVERNING AGENCIES FOR VENTILATION, CRAWLSPACE AND ATTIC ACCESS, AIR CONDITIONING, PLUMBING, FIRE SPRINKLER AND ELECTRICAL SYSTEMS. PROVIDE RATED ASSEMBLIES WHERE REQUIRED. 15. ARCHITECT IS NOT RESPONSIBLE FOR MOLD ENCOUNTERED DURING OR AFTER CONSTRUCTION. MOULD & MILDEW OCCURS NATURALLY IN THE ENVIRONMENT. CONTRACTOR TO PROVIDE PROPER VENTILATION, PROPERLY DRIED WOOD, VAPOR BARRIERS, AS WELL AS MATERIALS THAT "BREATHE" TO AVOID MOLD FROM OCCURRING. NOTIFY ARCHITECT OF ANY DISCREPANCIES OR CONDITIONS IN PLANS THAT COULD LEAD TO MOLD OCCURANCE PRIOR TO CONSTRUCTION. COMMERCIAL JOBS ONLY: 16. HANDICAPPED ACCESSIBILITY: THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE THE STANDARD USED TO IDENTIFY FACILITIES THAT ARE ACCESSIBLE TO AND USABLE BY PHYSICALLY DISABLED PERSONS AS SET FORTH IN TITLE 24 CAC AND ADA TITLE III STANDARDS. THE SYMBOL SPECIFIED SHALL CONSIST OF A WHITE FIGURE ON A BLUE BACKGROUND. THE BLUE SHALL BE EQUAL TO COLOR NO. 15090 IN FED. STANDARD 595A. THE CENTER OF RECEPTACLE OUTLETS SHALL BE NOT LESS THAN 15" ABOVE THE FLOOR OR WORKING PLATFORMS. ALL LIGHT SWITCHES AND THERMOSTATS SHALL BE MOUNTED NO MORE THAN 48" ABOVE FINISHED FLOOR ELEVATION. ALL RAMPS SHALL HAVE A MEDIUM BROOM FINISH UNLESS NOTED OTHERWISE ON PLANS. 17. REFER TO FORM MF-1 ON SHEET A9.1 FOR ALL REQUIREMENTS RELATED TO ENERGY COMPLIANCE. CITY OF SANTA BARBARA WITH PLANNING COMMISSION APPROVAL ONLY: 18. PLANNING CONDITIONS: CONTRACTOR SHALL COMPLY WITH THE PLANNING DEPARTMENT CONDITIONS OF APPROVAL DATED XX/XX/XX, ON SHEET A9.2. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FAMILIARIZE HIMSELF WITH THESE CONDITIONS AND TO FULLY COMPLY WITH ALL REQUIREMENTS. REMODELS: 19. ALL NEW CONSTRUCTION DETAILS SHALL MATCH EXISTING CONDITIONS TO THE GREATEST EXTENT POSSIBLE. SANTA BARBARA COUNTY: 20. TOILETS SHALL HAVE A MAXIMUM OF 1.6 GALLONS PER FLUSH. SHOWER HEAD FLOW SHALL NOT EXCEED 2.5 GALLONS PER MINUTE. 21. FIRESTOPPING SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS: A. CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING/FLOOR LEVELS AND AT 10 FOOT INTERVALS ALONG THE LENGTH OF THE WALL. B. INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS. C. CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN AND BETWEEN STUDS ALONG AND IN LINE WITH THE RUN OF THE STAIRS. U.B.C. SEC. 708.2.1 (3) 22. ALL EXTERIOR OPENINGS TO BE FLASHED IN A MANNER TO MAKE THEM WEATHERPROOF. U.B.C. SEC. 1402</p> | <p>PROPERTY OWNERS: CHRISTIAN BONILLO & ANA LA TORRE PROJECT ADDRESS: 849 CHELTENHAM ROAD, SANTA BARBARA, CA 93105 A.P.N.: 023-172-001 HIGH FIRE ZONE? YES FLOOD ZONE? NO AVG. SLOPE: % LAND USE ZONE: 7R-1 (MISSION CANYON SPECIFIC PLAN) SETBACKS: FRONT/REAR/INTERIOR: 35'0" GENERAL PLAN DESIGNATION: LOT AREA: GROSS: 7,928 SF 0.18 ACRES NET: 7,928 SF 0.18 ACRES PROPOSED RESIDENCE: GROSS: NET: MAIN FLOOR 1,374 SF 1,369 SF LOWER FLOOR 1,166 SF 969 SF PATIO/LANAI 367 SF 0 SF TOTAL: 2,907 SF 2,338 SF PARKING: ATTACHED 2-CAR GARAGE 539 SF 500 SF SITE STATISTICS: BUILDING FOOTPRINT 1,933 SF 24.4 % TRELLIS 211 SF 2.7 % LANDSCAPING 3,706 SF 46.7 % PAVED AREAS 2,028 SF 26.2 % TOTAL: 7,928 SF 100.0 % PROPOSED GRADING CUT: SEE SHEET GP1 FOR DEMO AND GRADING FIRE DEPARTMENT FIRE SPRINKLERS REQUIRED</p> | <p>ARCHITECT: CEARNAL ANDRULAITIS, LP 521 1/2 STATE STREET SANTA BARBARA, CA 93101 (805) 963-8077 FAX 963-0684 CIVIL ENGINEER: MICHAEL J. GERENSER 5255 CALLE CRISTOBAL SANTA BARBARA, CA 93101 (805) 618-9500 FAX 618-9500 LANDSCAPE ARCHITECT: COURTNEY JANE MILLER 300 EAST CANON PERDIDO STREET, SUITE C-2 SANTA BARBARA, CA 93101 (805) 698-2120 ARCHITECTURAL: G-000 TITLE SHEET/TABULATIONS A-001 AERIAL PHOTO A-002 ENLARGED AERIAL PHOTO A-101 SITE PLAN/FIRST FLOOR & LOWER LEVEL PLAN A-201 EXTERIOR ELEVATIONS A-202 EXTERIOR ELEVATIONS/ SECTION CIVIL: GP1 PRELIMINARY GRADING & DRAINAGE PLAN GP2 SITE SECTION & NOTES LANDSCAPE: LO PRELIMINARY LANDSCAPE PLAN</p> |
| <p>PROJECT DESCRIPTION CONSTRUCT A TWO STORY SINGLE FAMILY HOME WITH A 2-CAR ATTACHED GARAGE, 3-BEDROOMS AND 3 BATHROOMS.</p> | | | | |
| JOB NUMBER: 14-042 | | CONTENTS: TITLE SHEET/ TABULATIONS | | |
| DRAWN BY: MM | | CHECKED BY: | | |
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| 09.02.15 | | PC | | |
| ISSUE DATE: 08.20.15 | | REVISIONS | | |
| NO. | DATE | TYPE | | |
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| <p>G-000</p> | | | | |
| SHEET | | OF | | |

| SYMBOLS | VICINITY MAP |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p>WORK POINT, CONTROL PT. OR DATUM PT. INTERIOR ELEVATION(S) WINDOW TYPE DOOR TYPE REVISION PARTITION TYPE ROOM NUMBER REFERENCE NOTE</p> | <p>SECTION SECTION IDENTIFICATION SHEET WHERE DRAWN DETAIL REFERENCE DETAIL NUMBER SHEET WHERE DRAWN EXIST. CONTOUR NEW CONTOUR NEW GRADE EXISTING GRADE</p> |

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| JOB NUMBER: 14-042 | | |
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| | | |
| <p>G-000</p> | | |
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521 1/2 STATE STREET
SANTA BARBARA
CALIFORNIA 93101
P: 805.963.8077
F: 805.963.0884
www.cearnal.com

Proposed project for:
849 Cheltenham Road
Santa Barbara, CA 93105

JOB NUMBER: 14-042

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AERIAL PHOTO

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| 09.02.15 | PC |

ISSUE DATE: 08.20.15

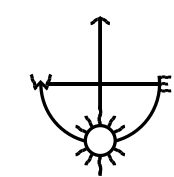
REVISIONS

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A-001

SHEET OF

1 AERIAL PHOTO
Scale: 1" = 40 ft

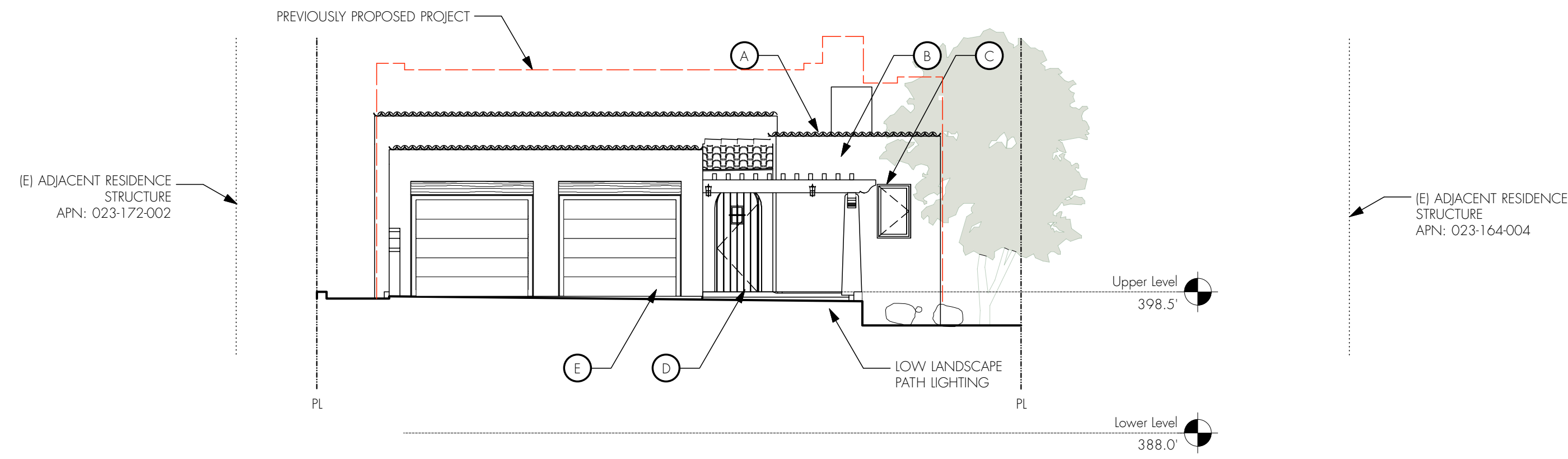




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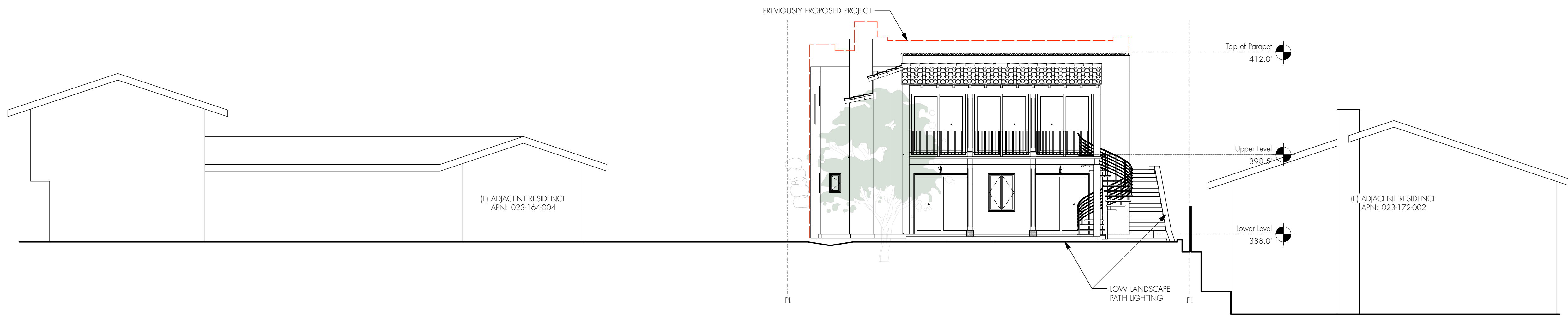
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Proposed project for:
849 Cheltenham Road
Santa Barbara, CA 93105



North Elevation

Scale: 1/8" = 1'-0"



South Elevation

Scale: 1/8" = 1'-0"

TYPICAL FINISHES & COLORS

- ROOF: (A) Two-Piece Clay Tile: Redlands Tierra Antigua Blend, 4000 Series
- EXT. WALLS: (B) 3-Coat Cement Smooth Trowel Plaster: Frazee-CLC1250M
- WINDOWS: (C) Alum. Clad: Eagle - Sage
- ENTRY DOOR: (D) Wood, Stained: Frazee-M413
- GARAGE DOOR: (E) Wood, Stained: Frazee-M413
- EXTERIOR DOOR: (F) Alum. Clad: Eagle - Sage
- WROUGHT IRON: (G) N/A
- WOOD BRACKETS/RAILINGS: (H) Solid Body Stain
- AWNING: (I) N/A
- LIGHT FIXTURE: (J) TBD

JOB NUMBER: 14-042

CONTENTS:
EXTERIOR ELEVATIONS

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521 1/2 STATE STREET
SANTA BARBARA
CALIFORNIA 93101
P: 805.963.8077
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Proposed project for:
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Santa Barbara, CA 93105

JOB NUMBER: 14-042

CONTENTS:
EXTERIOR ELEVATIONS

DRAWN BY: MM

CHECKED BY:

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SUBMITTALS

| DATE | TYPE |
|----------|------|
| 02.13.15 | SBAR |
| 09.02.15 | PC |

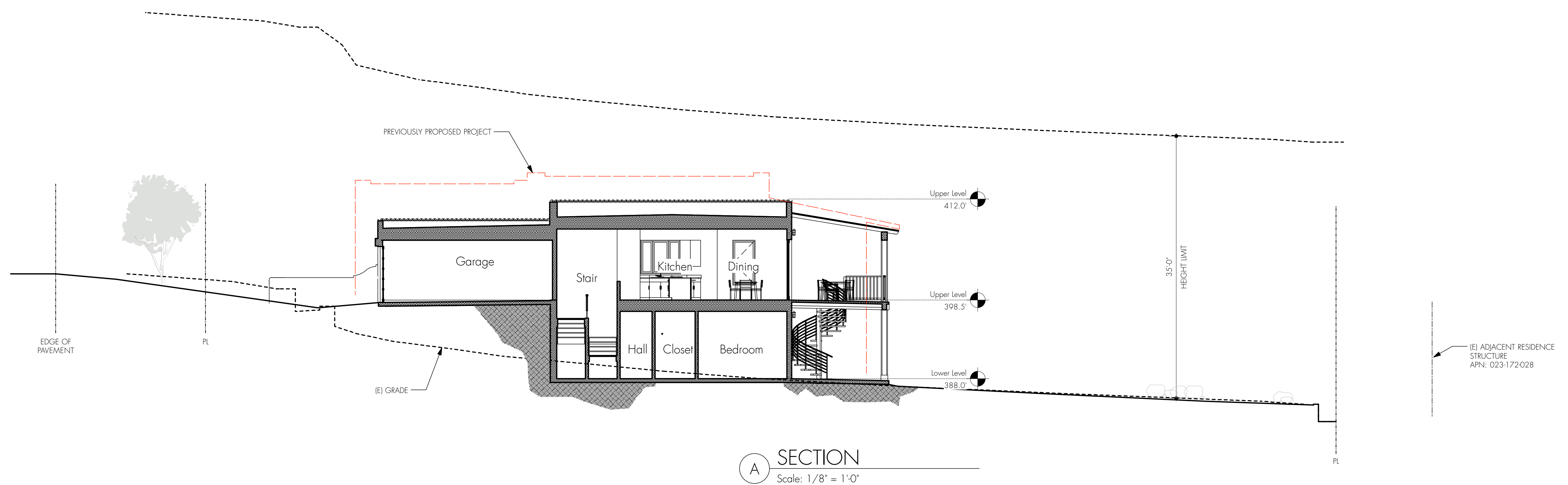
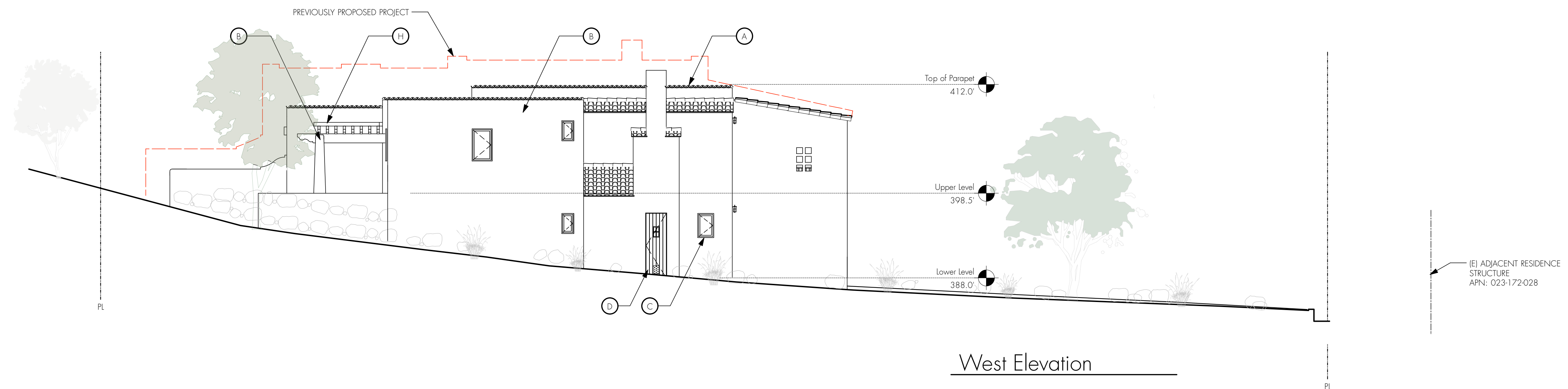
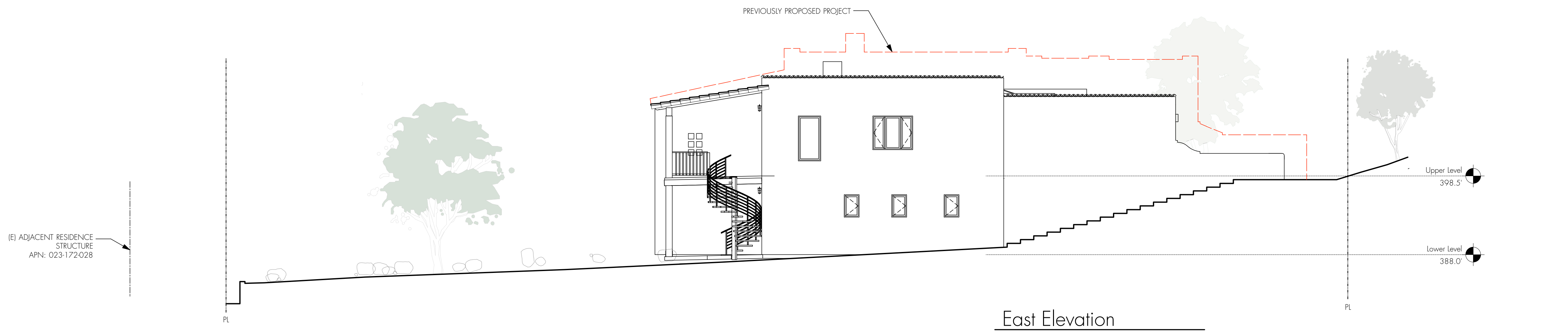
ISSUE DATE: 08.20.15

REVISIONS

| NO. | DATE | TYPE |
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A-202

SHEET OF

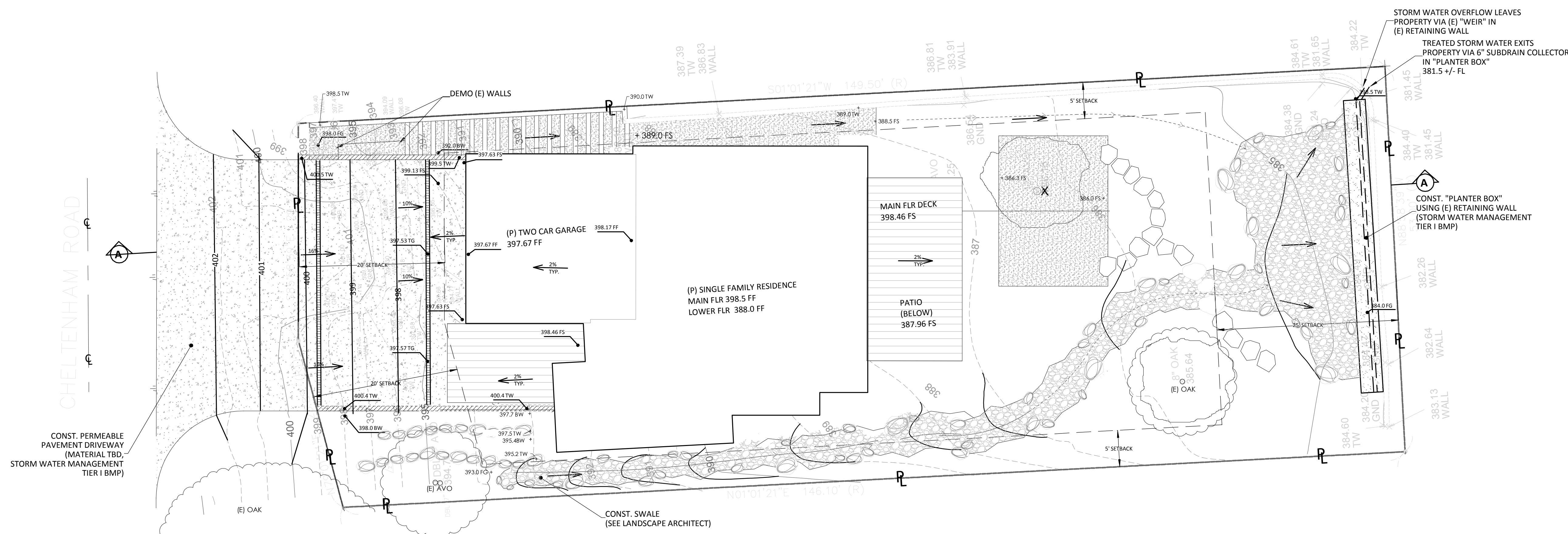




VICINITY MAP
NOT TO SCALE

| LEGEND | |
|--------|--------------------------|
| CMP | CORRUGATED METAL PIPE |
| DI | DROP INLET |
| INV | INVERT |
| AVO | AVOCADO |
| CIT | CITRUS |
| DBL | DOUBLE |
| TRPL | TRIPLE |
| RCP | REINFORCED CONCRETE PIPE |
| CHLF | CHAIN LINK FENCE |
| GND | GROUND |
| TW | TOP OF WALL |
| FL | FLOW LINE |
| ● | FOUND MONUMENT |
| ○ | NO FOUND MONUMENT |
| ⊕ | BORING LOCATION |

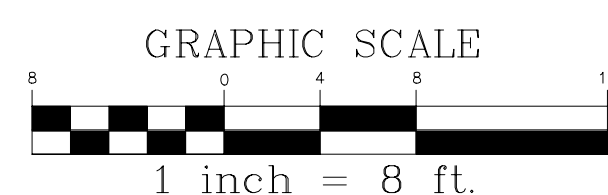
| CONTOUR LEGEND: | |
|-----------------|-----------------------------------|
| | = (E) MAJOR CONTOUR, 5' INTERVALS |
| | = (E) MINOR CONTOUR, 1' INTERVALS |
| | = (P) FINISH CONTOUR |



CONST. PERMEABLE
PAVEMENT DRIVEWAY
(MATERIAL TBD,
STORM WATER MANAGEMENT
TIER I BMP)

CONST. SWALE
(SEE LANDSCAPE ARCHITECT)

PRELIMINARY PLANS
NOT FOR CONSTRUCTION



NOTE: IT IS THE RESPONSIBILITY OF THE CONTRACTOR
TO CONTACT UNDERGROUND SERVICES ALERT (1-800-227-2600)
TO LOCATE ALL UTILITIES PRIOR TO ANY EXCAVATION.

NOTE: TOPOGRAPHIC AND/OR BOUNDARY SURVEYS BY OTHERS.
NO RESPONSIBILITY IS ASSUMED BY ENGINEER FOR ACCURACY,
PRECISION, OR COMPLETENESS OF SURVEY(S).

PRELIMINARY GRADING & DRAINAGE PLAN

SCALE: 1/8" = 1'-0"



| | |
|----------------------------------------------------------------------------------------------------------------|------------------------------------|
| PRELIMINARY GRADING AND DRAINAGE PLAN | |
| FOR: 849 CHELTENHAM SANTA BARBARA, CALIFORNIA | |
| SCALE: AS SHOWN | DRAWN BY: MJG |
| DATE: 10/17/14 | REVISED: 1/29/15, 2/13/15, 8/16/15 |
| MICHAEL J. GERENSER, CIVIL ENGINEER 5255 Calle Cristobal, Santa Barbara, CA 93111 (805) 681-9500 office/fax | |
| SHEET 1 OF 2 SHEETS | DRAWING NUMBER: GP1 |

GENERAL REQUIREMENTS OF CONTRACTOR

1. Contractor shall maintain a complete and accurate record of all changes of construction from that shown on these plans and specifications for the purpose of providing a basis for construction record drawings. No change shall be made without prior approval by the engineer and the agency having jurisdiction.
2. Upon completion of the project, contractor shall deliver this record of all construction changes to the engineer along with a letter which declares that other than these noted changes "the project was constructed in conformance with the approved plans and specifications."
3. Contractor shall promptly notify the engineer upon discovery of, and before disturbing, any physical conditions differing from those represented by approved plans and specifications.
4. Contractor agrees that, in accordance with generally accepted construction practices, contractor will be required to assume sole and complete responsibility for job site conditions during the course of construction of this project including safety of all persons and property, that this requirement shall be made to apply continuously and not be limited to normal working hours. And contractor further agrees to defend, indemnify and hold design professionals harmless from all liability and claims, real or alleged, in connection with the performance of work on this project, excepting liability arising from the sole negligence of design professionals.
5. Grading or other construction work offsite is not permitted without prior written permission of the affected offsite property owner.
6. Contractor agrees to assume sole and complete responsibility for protection of public and private property in the vicinity of the job site and further agrees to, at contractor's expense, repair or replace to original condition all existing improvements within or in the vicinity of the job site which are not designated for removal and which are damaged or removed as a result of contractor's operations which may affect or be affected by his operations.
7. An effort has been made to define the location of existing underground facilities within the job site. However, all existing utility and other underground structures may not be shown on these plans and their location, where shown, is approximate. It shall be contractor's responsibility to determine the location and depth of all existing underground facilities including service connections which may affect or be affected by his operations. Upon learning of the existence and location of any underground facilities not shown or shown inaccurately on these plans or not properly marked by the utility owner, contractor shall immediately notify the utility owner and the engineer.

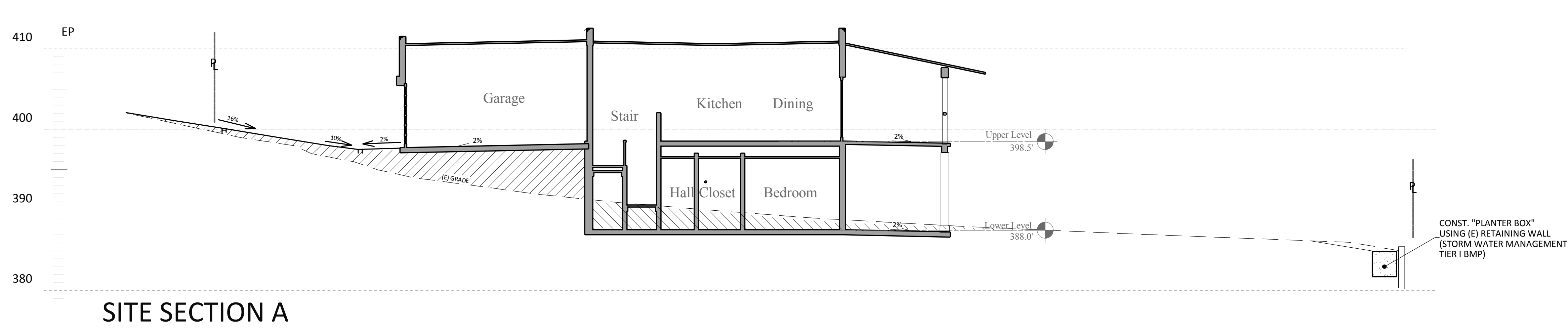
**SANTA BARBARA COUNTY BUILDING & SAFETY DIVISION
GRADING NOTES**

1. All grading shall conform with Santa Barbara County Code Chapter 14 Grading Ordinance #4477 and standards and requirements pertaining thereto, these construction drawings and the recommendations of the soils engineer and engineering geologist.
2. Contractor to notify the county grading inspector and soils laboratory at least 48 hours before start of grading work or any pre-construction meeting.
3. Contractor shall employ all labor, equipment and methods required to prevent his operations from producing dust in amounts damaging to adjacent property, cultivated vegetation and domestic animals or causing a nuisance to persons occupying buildings in the vicinity of the job site. Contractor shall be responsible for damage caused by dust from his grading operation.
4. Before beginning work requiring exporting or importing of materials, the contractor shall obtain approval from Public Works Road Division for haul routes used and methods provided to minimize the deposit of soils on county roads. Grading/road inspectors shall monitor this requirement with the contractor.
5. The geotechnical engineer shall provide observation and testing during grading operations in the field and shall submit a final report stating that all earth work was properly completed and is in substantial conformance with the requirements of the grading ordinance.
6. Areas to be graded shall be cleared of all vegetation including roots and other unsuitable material for a structural fill, then scarified to a depth of 6" prior to placing of any fill. Call grading inspector for initial inspection.
7. A thorough search shall be made for all abandoned man-made facilities such as septic tank systems, fuel or water storage tanks, and pipelines or conduits. Any such facilities encountered shall be removed and the depression properly filled and compacted under observation of the geotechnical engineer.
8. Areas with existing slopes which are to receive fill material shall be keyed and benched. The design and installation of the keyway shall be per the geotechnical engineer's recommendation or per County Standard Detail No. G-13.
9. Fill material shall be spread in lifts not exceeding 6" in compacted thickness, moistened or dried as necessary to near optimum moisture content and compacted by an approved method. Fill material shall be compacted to a minimum of 90% maximum density as determined by 1957 ASTM D - 1557 - 91 modified proctor (AASHTO) test or similar approved methods. Some fill areas may require compaction to a greater density if called for in the construction documents. Soil tests shall be conducted at not less than one test for each 18" of fill and/or for each 500 cubic yards of fill placed.
10. Cut slopes shall not exceed a grade of 1 1/2 horizontal to 1 vertical. Fill and combination fill and cut slopes shall not exceed 2 horizontal to 1 vertical. Slopes over three feet in vertical height shall be planted with approved perennial or treated with equally approved erosion control measures prior to final inspection.
11. Surface drainage shall be provided at a minimum of 5% for 10 feet away from the foundation line or any structure.
12. All trees that are to remain on site shall be temporarily fenced and protected around the dripline during grading operation.
13. An erosion and sediment control plan shall be required as part of the grading plan and permit requirements.

Earthwork estimates

Excavation: **130** cubic yards
 Import: **120** cubic yards
 Export: **130** cubic yards
 Fill: **120** cubic yards

NOTE: PER SOILS REPORT, SOILS EXCAVATED ON-SITE ARE UNLIKELY TO SUITABLE FOR RE-USE AS STRUCTURAL FILL.



SITE SECTION A

SCALE: 1/8" = 1'-0" HORIZ. & VERT.

LEGEND:

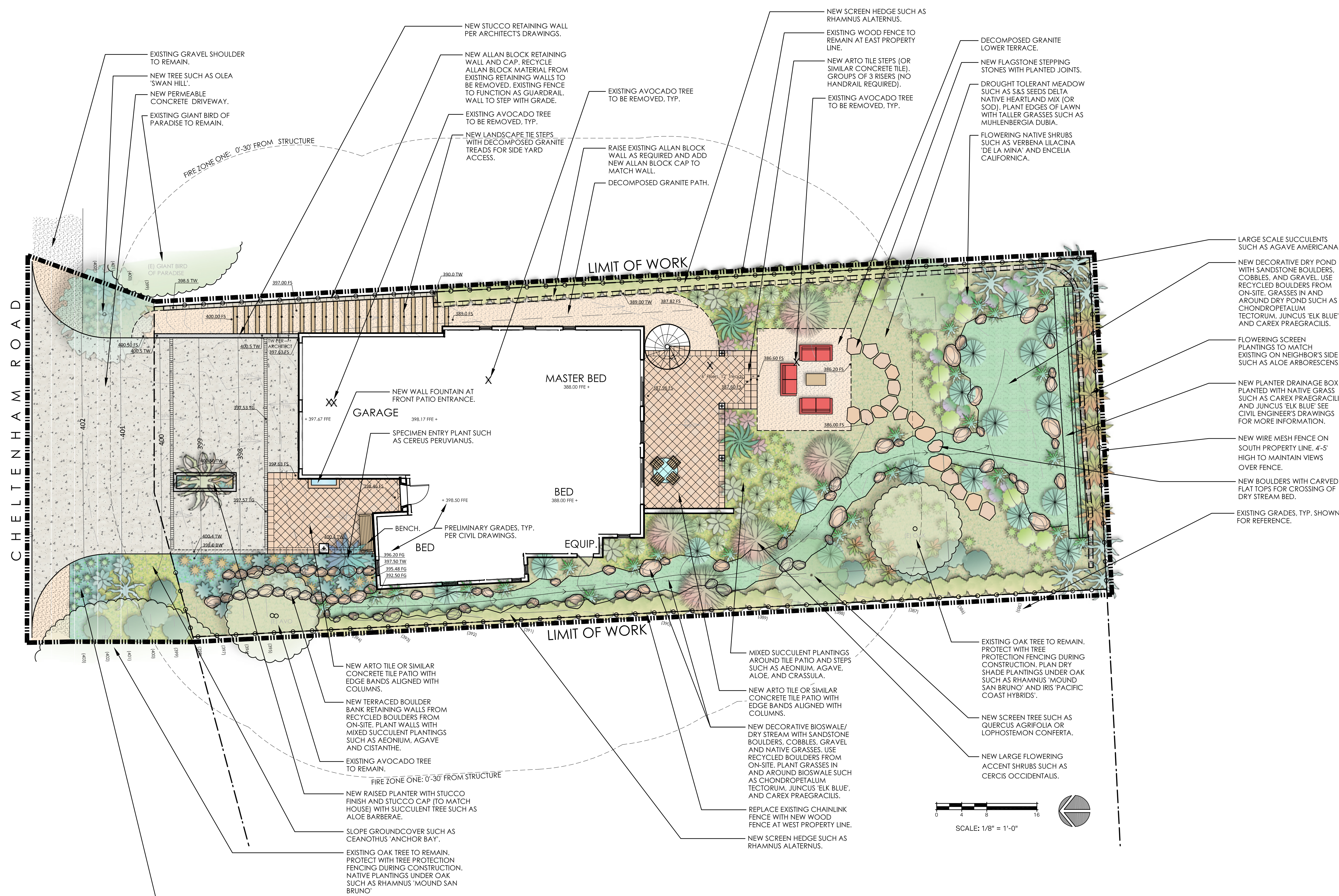
- FILL
- CUT

SITE SECTION & NOTES

PRELIMINARY PLANS
NOT FOR CONSTRUCTION



| | |
|-----------------------------------------------------------------------------------------------------------------------|------------------------------------|
| PRELIMINARY GRADING AND DRAINAGE PLAN | |
| FOR: 849 CHELTENHAM SANTA BARBARA, CALIFORNIA | |
| SCALE: AS SHOWN | DRAWN BY: MJG |
| DATE: 10/17/14 | REVISED: 1/29/15, 2/13/15, 4/16/15 |
| MICHAEL J. GERENSER, CIVIL ENGINEER 5255 Calle Cristobal, Santa Barbara, CA 93111 (805) 681-9500 office/fax | |
| SHEET 2 OF 2 SHEETS | DRAWING NUMBER: GP2 |



PRELIMINARY PLAN - PLANT LIST

| BOTANICAL NAME | COMMON NAME | SIZE | REMARKS | WUCOLS |
|---------------------------------------------|-------------------|--------------|---------|--------|
| TREES: | | | | |
| ALOE BARBERAE | TREE ALOE | 15 GAL | MULTI | L |
| CITRUS SPECIES (DWARF SPECIES) | | 15 GAL | | M |
| DRACAENA DRACO | DRAGON TREE | 15 GAL | MULTI | L |
| LOPHOSTEMON CONFERTA | BRISBANE BOX | 15 GAL | | M |
| QUERCUS AGRIFOLIA | COAST LIVE OAK | 15 GAL | MULTI | L |
| OLEA EUROPAEA 'SWAN HILL' | FRUITLESS OLIVE | 15 GAL | MULTI | L |
| SHRUBS, PERENNIALS AND GROUND COVER: | | | | |
| ACHILLEA 'MOONSHINE' | MOONSHINE YARROW | 1 GAL | | L |
| AEONIUM SPECIES | SAUCER PLANT | 1 GAL | | L |
| AGAVE SPECIES | CENTURY PLANT | 1 GAL, 5 GAL | | L |
| ALOE SPECIES | ALOE | 1 GAL | | L |
| ARCTOSTAPHYLOS 'JOHN DOURLEY' | MANZANITA | 1 GAL | | L |
| ASTERISCUS MARTIMUS | GOLD COIN DAISY | 1 GAL | | L |
| CAREX SPECIES | SEDGE | 4" POT | | M |
| CARISSA 'TUTTLE' | NATAL PLUM | 5 GAL | | L |
| CEANOETHUS 'ANCHOR BAY' | BAY CEANOETHUS | 1 GAL | | L |
| CEREUS SPECIES | CEREUS CACTUS | 15 GAL | | L |
| CHONDROPETALUM TECTORUM | SMALL CAPE RUSH | 1 GAL | | L |
| CERCIS OCCIDENTALIS | WESTERN REDBUD | 15 GAL | | L |
| CISTANTHE 'JAZZ TIME' | ROCK PURSLANE | 1 GAL | | L |
| CRASSULA 'BLUE BIRD' | BLUE JADE | 1 GAL | | L |
| CYCAS REVOLUTA | SAGO PALM | 5 GAL | | M |
| DIANELLA SPECIES | TASMAN FLAX LILY | 1 GAL | | M |
| DYMONDIA MARGARETAE | SILVER CARPET | FLATS | | L |
| ECHEVERIA SPECIES | HEN AND CHICKS | 1 GAL | | L |
| ENCELLA CALIFORNICA | COAST SUNFLOWER | 1 GAL | | L |
| ERIOGONUM G.V. RUBESCENS | ISLAND BUCKWHEAT | 1 GAL | | L |
| IRIS 'PACIFIC COAST HYBRIDS' | PCH HYBRID IRIS | 1 GAL | | L |
| OLEA 'LITTLE OLLIE' | DWARF OLIVE | 5 GAL | | L |
| JUNCUS 'ELK BLUE' | BLUE RUSH | 1 GAL | | L |
| KNIPHOFIA SPECIES | TORCH LILY | 1 GAL | | L |
| LAMPFRANTHUS AUREUS | ORANGE ICEPLANT | 4" POT | | L |
| LAVANDULA ANGSTIFOLIA | ENGLISH LAVENDER | 1 GAL | | L |
| LOTUS MACULATA | GOLD FLASH | 4" POT | | M |
| OSMANTHUS FRAGRANS | SWEET OSMANTHUS | 5 GAL | | M |
| MUHLENBERGIA DUBIA | PINE MUHLY | 1 GAL | | L |
| MYOPORUM P. 'PUTAH CREEK' | CREeping MYOPORUM | 1 GAL | | L |
| PITOSPORIUM 'GOLF BALL' | GOLF BALL KOHUIHU | 5 GAL | | M |
| RHAMNUS ALATERNUS | ITALIAN BUCKTHORN | 5 GAL | | L |
| RHAMNUS 'MOUND SAN BRUNO' | DWARF COFFEEBERRY | 5 GAL | | L |
| ROSMARINUS SPECIES | ROSEMARY | 5 GAL | | L |
| SEDUM SPECIES | STONECROP | 4" POT | | L |
| SENECIO SPECIES | BLUE CHALK STICKS | 4" POT | | L |
| TRICHOSTEMA LANATUM | WOOLLY BLUE CURLS | 1 GAL | | L |
| VERBENA LILACINA 'DE LA MINA' | ISLAND VERBENA | 1 GAL | | L |
| WOODWARDIA FIMBRIATA | GIANT CHAIN FERN | 1 GAL | | M |

CLIENT SHALL RETAIN COPIES OF THE WORK PERFORMED BY LANDSCAPE ARCHITECT IN CAD FORM ONLY FOR INFORMATION AND USE BY CLIENT FOR THE SPECIFIC PURPOSE FOR WHICH LANDSCAPE ARCHITECT WAS ENGAGED. SHAD MATERIALS SHALL NOT BE USED BY CLIENT OR TRANSFERRED TO ANY OTHER PARTY FOR USE IN OTHER PROJECTS. ADDITIONS TO THE CURRENT PROJECT OR ANY OTHER PURPOSE FOR WHICH THE MATERIAL WAS NOT STRICTLY INTENDED BY LANDSCAPE ARCHITECT WITHOUT LANDSCAPE ARCHITECT'S EXPRESS WRITTEN PERMISSION. ANY UNAUTHORIZED MODIFICATION OR REUSE OF THE MATERIALS SHALL BE AT CLIENT'S SOLE RISK AND CLIENT AGREES TO DEFEND, INDEMNIFY AND HOLD LANDSCAPE ARCHITECT HARMLESS FROM ALL CLAIMS, INJURIES, DAMAGES, LOSSES, EXPENSES, AND ATTORNEY'S FEES ARISING OUT OF THE UNAUTHORIZED MODIFICATION OR USE OF THESE MATERIALS.

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PRELIMINARY PLAN - PLANTING AND DESIGN

CJM::LA STRIVES TO UPHOLD THE ARCHITECTURAL AND CULTURAL HERITAGE OF THE SANTA BARBARA COMMUNITY THROUGH THE DEVELOPMENT OF ENGAGING SPACES. OUR APPROACH RESPONDS TO CONTEXT, HISTORY AND OUTLOOK IN ORDER TO PROVIDE OUTDOOR SPACES WHICH QUIET THE MIND AND ACTIVATE THE SENSES. THE BUILT ENVIRONMENT IS PARAMOUNT IN REPRESENTING THE IDENTITY OF A COMMUNITY, AND WE SEEK TO PROVIDE RESPONSIBLE DESIGN THAT RESPECTS THE BALANCE OF PAST AND FUTURE. WE PRIDE OURSELVES IN DESIGN THAT IS UNIQUE AND SPECIFIC, ENDURING AND AUTHENTIC.

THIS PLAN ENGAGES BOTH SUSTAINABLE BUILDING PRACTICES AS WELL AS AESTHETIC AND FORWARD-THINKING DESIGN SOLUTIONS TO CREATE A UNIQUE ADDITION TO THE BUILT ENVIRONMENT.

- PEDESTRIAN, BICYCLE AND VEHICULAR CIRCULATION HAS BEEN STUDIED IN ORDER TO MAINTAIN APPROPRIATE CONNECTIVITY WITH THE SURROUNDING COMMUNITY, AS WELL AS WITHIN THE DEVELOPMENT.
- STORMWATER QUALITY WILL BE ADDRESSED WITH THE MOST APPROPRIATE BEST MANAGEMENT PRACTICES FOR THIS DEVELOPMENT.
- GREEN SCREENS WILL BE INCLUDED WHERE FEASIBLE.

EXISTING TREES ON SITE WILL BE PROTECTED TO THE MAXIMUM EXTENT FEASIBLE WITHIN THE PROJECT REQUIREMENTS.

THE PLANT PALETTE WILL BE MEDITERRANEAN IN CHARACTER AND SUITABLE TO THE SANTA BARBARA REGIONAL CLIMATE. PLANT MATERIAL WILL BE LOW-WATER AND LOW-MAINTENANCE. ONLY ORGANIC FERTILIZERS AND SOIL AMENDMENTS WILL BE USED.

COMMON AREA IRRIGATION WILL INCLUDE A COMBINATION OF LOW-VOLUME SPRAY HEADS, BUBBLERS AND DRIP SYSTEMS AS APPLICABLE. ALL IRRIGATION WILL BE CONTROLLED BY AN AUTOMATIC TIMER WITH A SEASONAL ADJUSTMENT CAPACITY TO APPLY LESS WATER DURING THE RAINY SEASON. POTS WILL BE HAND-WATERED OR WILL INCLUDE SELF-WATERING SYSTEMS.

PRELIMINARY PLAN - EXISTING TREE NOTES

CJM::LA STRIVES TO PROTECT EXISTING TREES ON SITE TO THE MAXIMUM EXTENT FEASIBLE WITHIN THE PROJECT REQUIREMENTS.

MANY FACTORS ARE REVIEWED IN EVALUATING THE APPROPRIATENESS OF PROTECTING-IN-PLACE, RELOCATING, OR REMOVING EXISTING TREES AT EACH PROJECT SITE. IN GENERAL, THE FOLLOWING PARAMETERS ARE CONSIDERED:

- HEALTH AND LONG-TERM VIABILITY OF EXISTING TREES IS ASSESSED EITHER BY A REPRESENTATIVE OF CJM::LA OR BY THE PROJECT ARBORIST.
- LOCATION OF EXISTING TREES IN RELATIONSHIP TO PROPOSED PROJECT ELEMENTS SUCH AS BUILDINGS, HARDSCAPE AND LANDSCAPE AMENITIES IS REVIEWED IN DEPTH.
- APPROPRIATENESS OF EXISTING TREE SPECIES IN RELATIONSHIP TO PROJECT DESIGN AND ARCHITECTURAL STYLES IS CONSIDERED.
- VALUE OF EXISTING TREES RELATED TO BIOLOGICAL HABITAT IS REVIEWED.
- VISUAL AND AESTHETIC VALUE IS ASSESSED IN RELATIONSHIP TO NEIGHBORHOOD OR SITE CONTEXT.
- HISTORIC VALUE IS REVIEWED, AND SPECIMEN TREES ARE NOTED.

THE FOLLOWING TREES REQUIRE SPECIFIC REVIEW AND ADDITIONAL REQUIREMENTS PER THE CITY OF SANTA BARBARA:

STREET TREES
TREES ON CITY OR PUBLIC PROPERTY
SETBACK TREES
PARKING LOT TREES
HISTORIC OR SPECIMEN TREES
TREES WITHIN THE EL PUEBLO VIEJO LANDMARK DISTRICT

EXISTING TREE INVENTORY (ON SITE TREES ONLY):

| BOTANICAL NAME | COMMON NAME | QTY. | STATUS |
|-------------------|----------------|------|------------------|
| PERSEA SPECIES | AVOCADO | 1 | REMAIN IN PLACE. |
| PERSEA SPECIES | AVOCADO | 5 | TO BE REMOVED. |
| QUERCUS AGRIFOLIA | COAST LIVE OAK | 1 | REMAIN IN PLACE. |

PRELIMINARY PLAN - IRRIGATION NOTES

IRRIGATION SYSTEM SHALL COMPLY WITH ALL REQUIREMENTS OF CALIFORNIA ASSEMBLY BILL 1881.

ALL NEW PLANTINGS WILL BE IRRIGATED. CONFIRM ALL ZONES (STATIONS) WITH LANDSCAPE ARCHITECT AND TOTAL NUMBER OF VALVES PRIOR TO INSTALLATION OF IRRIGATION SYSTEM.

ALL VALVES SHALL BE SEPARATED BY SUN/ SHADE REQUIREMENTS, PLANT TYPE, AND WATER NEEDS.

ALL NEW SHRUBS AND GROUND COVER SHALL BE IRRIGATED WITH DRIP IRRIGATION OR MICROSPRAY. DRIPLINE MAY BE INLINE EMITTER TYPE OR PUNCHED EMITTERS.

NEW TREES WILL BE IRRIGATED WITH BUBBLERS, PROVIDE SEPARATE VALVES AND LATERAL LINE FOR ALL TREE BUBBLERS.

INSTALL ALL VALVES IN PLASTIC VALVE BOXES WHERE THEY CAN BE SCREENED BY PLANTS.

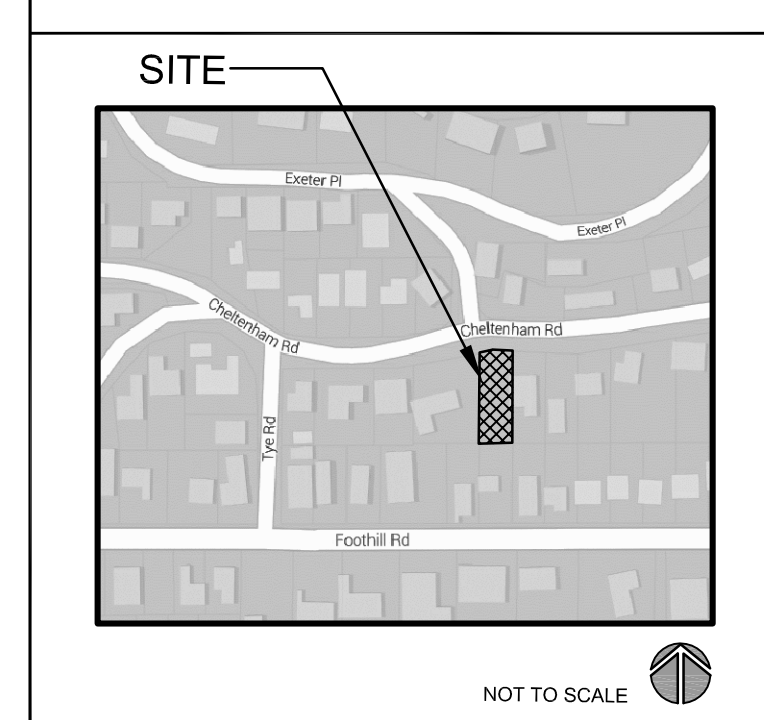
INSTALL IRRIGATION SYSTEM IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND LOCAL CODES.

ALL PIPE INSTALLED UNDER PAVING, THROUGH WALLS OR FOOTINGS MUST BE PLACED INSIDE SCHEDULE 40 PVC SLEEVES.

IRRIGATION CONTROLLER RUN TIMES SHALL BE ADJUSTED TO NOT ALLOW ANY IRRIGATION WATER OVERSPRAY ONTO PAVED SURFACES.

UNDER CANOPIES OF EXISTING TREES, EXCAVATE TRENCHES BY HAND OR PER THE ARBORIST REPORT.

VICINITY MAP



NOT FOR CONSTRUCTION
LATORE RESIDENCE
 849 Cheltenham Rd.
 SANTA BARBARA, CA 93105



REVISIONS

| | |
|----------|------|
| 02/13/15 | SBAR |
| 09/02/15 | PC |

PROJECT NUMBER
1502

DRAWN BY
AC

DATE DRAWN
08/18/15

SCALE
1/8"=1'-0"

PRINT DATE
08/16/15