

EMERGENCY PERMIT

23EMP-00019



Countywide:

Subject to the requirements of Section 35.82.090 of the Santa Barbara County Land Use & Development Code.

Case Name: Robles Trust – Emergency Permit – Driveway Repair
Case Number: 23EMP-00019
Site Address: 1170 Palomino Road, Santa Barbara, CA 93105
APN: 023-290-031
Applicant/Agent Name: Natalie Ochsner
Owner Name: Rick Robles

ZONING PERMIT
ISSUED
SANTA BARBARA COUNTY PLANNING & DEVELOPMENT

PERMIT APPROVAL:

This is to inform you that an Emergency Permit has been approved for:

The proposed project is for the repair of an existing driveway and the construction of a retaining wall to reinforce the existing driveway. The retaining wall will be approximately 263 feet long. The retaining wall will vary in height from 4 feet to 16 feet tall. 24-inch diameter caissons will extend approximately 30 to 50 feet below existing grade to support the retaining wall and reinforce the existing driveway. The 2023/24 winter storms damaged the existing driveway, resulting in slope failures of the steep slopes on the subject parcel and removing driveway access to the parcel. The slopes are at risk of further failure, jeopardizing the existing development on the parcel, including the existing single-family dwelling. Grading for the project will include 500 cubic yards of cut and 500 cubic yards of fill. No trees are proposed for removal. The work is expected to be completed within 4 months of permit issuance. The parcel will continue to be served by municipal water, a private septic system, and the Santa Barbara County Fire Department. Access will continue to be provided off of Palomino Road. The property is a 1.34-acre parcel zoned 1-E-1 and shown as Assessor's Parcel Number 023-290-031, located at 1170 Palomino Road in the Mission Canyon Community Plan Area, First Supervisorial District.

Therefore, this situation constitutes an emergency in accordance with the applicable Development Code indicated above and immediate action is warranted. As the required findings (listed below) can be made, the emergency work is hereby approved, subject to compliance with the attached conditions of approval. The project is exempt from environmental review pursuant to CEQA Guidelines Section 15269(c), which exempts “specific actions necessary to prevent or mitigate an emergency” (see Attachment C). This permit is not valid until signed by the owner/applicant and subsequently issued by the Department upon verification that all conditions of approval requiring action prior to permit issuance are satisfied.

Sincerely,



Lisa Plowman, Director

APPROVAL DATE: March 19, 2024

BACKGROUND:

The proposed project is located at 1170 Palomino Road in the Mission Canyon Community Plan area. The subject property is developed with a single-family dwelling with an attached garage approved under Land Use Rider No. 68357 in 1977. A sunroom addition was approved under Case No. 94-LUS-223 in 1994. The project will address the emergency situation created by the winter 2023/24 storms, which damaged the existing driveway and caused slope failures of the steep slopes on the subject parcel. The severe damage to the driveway removed vehicular access to the parcel. The slopes are at risk of further failure, jeopardizing the existing development on the parcel, including the existing single-family dwelling. The project will allow the repair of the existing driveway and the construction of a retaining wall to reinforce the existing driveway. Reconstruction of the driveway is necessary to reinstate access to the parcel and to protect the existing dwelling on the parcel.

FINDINGS OF APPROVAL:

- A. The approval of this project shall not be held to permit or to be an approval of a violation of any provision of any County Ordinance or State Law.

The approval of this Emergency Permit will not permit or approve any violation of County Ordinance or State Law. Condition of Approval No. 2 requires that an application for the required permits necessary to validate the emergency work as permanent be submitted by the applicant no later than 30 days following the issuance of the Emergency Permit. Processing of the required follow-on permit will ensure that the project is reviewed for, and completed in compliance with, applicable regulations.

- B. **Findings required for all Emergency Permits.** In compliance with Subsection 35.82.090.E.2 of the County Land Use and Development Code, prior to the approval or conditional approval of an application for an Emergency Permit the Director shall first make all of the following findings:

- a. *An emergency exists and requires action more quickly than provided for by the customary procedures for permit processing.*

The proposed project to replace and reinforce the existing driveway is an emergency because the winter 2023/24 storm events damaged the existing driveway, resulting in slope failures of the steep slopes on the subject parcel, which removed driveway access to the parcel. The slopes are at risk of further failure, jeopardizing the existing development on the parcel, including the existing single-family dwelling.

- b. *The action proposed is consistent with the policies of the Comprehensive Plan, including any applicable community or area plan and the requirements of this Development Code.*

The proposed project is consistent with all applicable policies of the Comprehensive Plan, including the Mission Canyon Community Plan, and the County Land Use and Development Code (LUDC). Selected policies are discussed in detail below.

LUDC Section 35.23.020.B Intent of the R-1/E-1 (Single Family Residential) Zone: *The R-1 and E-1 zones are applied to areas appropriately located for one-family living at a reasonable range of population densities, consistent with sound standards of public health, safety, and welfare. This zone is intended to protect the residential characteristics of an area to promote a suitable environment for family life.*

Consistent. The project is consistent with the intent of the Single Family Residential Zone because the work will serve the existing residential development on the parcel. The replacement and reinforcement of the existing driveway will prevent further erosion and slope failure on the parcel and will reinstate vehicular access to the parcel.

Land Use Development Policy 4: *Prior to issuance of a development permit, the County shall make the finding, based on information provided by environmental documents, staff analysis, and the applicant, that adequate public or private services and resources (i.e., water, sewer, roads, etc.) are available to serve the proposed development. The applicant shall assume full responsibility for costs incurred in service extensions or improvements that are required as a result of the proposed project. Lack of available public or private services or resources shall be grounds for denial of the project or reduction in the density otherwise indicated in the land use plan.*

Consistent. The proposed project is consistent with the policy requirement to have adequate services and resources to serve the proposed development because the project is to reestablish safe access to the parcel by replacing and reinforcing the existing driveway. The parcel will continue to be served by municipal water, a private septic system, and the Santa Barbara County Fire Department.

Land Use Element Hillside and Watershed Protection Policy 1: *Plans for development shall minimize cut and fill operations. Plans requiring excessive cutting and filling may be denied if it is determined that the development could be carried out with less alteration of the natural terrain.*

Land Use Element Hillside and Watershed Protection Policy 2: *All developments shall be designed to fit the site topography, soils, geology, hydrology, and any other existing conditions and be oriented so that grading and other site preparation is kept to an absolute minimum. Natural features, landforms, and native vegetation, such as trees, shall be preserved to the maximum extent feasible. Areas of the site, which are not suited to development because of known soil, geologic, flood, erosion or other hazards shall remain in open space.*

Consistent. The proposed project is consistent with the policy requirements to minimize grading and fit the site topography because grading for the project will be limited to the area of slope failure and will be limited to the quantity required to stabilize the slope. In his report dated December 29, 2023, Adam Simmons, the project geologist, reviewed the proposed plans and indicated that the proposed retaining wall location is the appropriate location to stabilize the slope and avoid further slope failure. The replacement and reinforcement of the driveway will prevent

future earth slippage and erosion and will reinstate access to the existing residence.

Noise Element Policy 1: *In the planning of land use, 65dB Day-Night Average Sound Level should be regarded as the maximum exterior noise exposure compatible with noise-sensitive uses unless noise mitigation features are included in the project design.*

Consistent. The proposed project is consistent with the policy requirement to limit the noise exposure to 65 dB because the project will be completed in conformance with Condition of Approval Noise-02, which requires that noise generating construction activity is limited to the hours of 7:00 am and 4:00 pm on weekdays only, not including state holidays. No noise generation beyond the maximum exterior noise exposure compatible with noise-sensitive uses is expected from the continued residential use of the parcel.

Policy GEO-MC-1: *Hillside and watershed areas shall be protected to the maximum extent feasible to avoid adverse geologic impacts and to preserve watershed function.*

Consistent. The proposed project is consistent with the policy requirement to protect hillside and watershed areas and to avoid adverse geologic impacts and to preserve watershed function because the proposed retaining wall will protect the hillside from further erosion and adverse geologic impacts. As detailed by the project geologist, Adam Simmons, in his letter dated February 16, 2024, the proposed height and location of the retaining wall are appropriate to support the driveway and existing residence. The hillside would be subject to further erosion if the wall were to be located closer to the residence or if the wall were to be shorter.

DevStd GEO-MC-1.1: *Development, including grading, shall be prohibited on natural and man-made slopes greater than 30%. In areas of unstable and/or highly erosive soils, on sites that are on or adjacent to faults, landslides, or other geologic hazards, or in any case where development is proposed in areas where the slope is 20% or greater, the County shall require site-specific geologic and/or geotechnical investigation(s) by a qualified professional (e.g., professional geologist, geotechnical engineer, engineering geologist). Where applicable, measures recommended to avoid or mitigate geologic hazards shall be incorporated into the proposed development in a manner that avoids or minimizes any potential adverse effects of such measures (for example, hillside scarring). Potential subdivisions shall demonstrate all areas for feasible building sites and access on less than 20% slopes.*

Consistent. The proposed project is consistent with the policy requirement to avoid steep slopes because the project is to repair an existing driveway and to construct a retaining wall to reinforce the existing driveway. The project will reinstate access to the parcel, which was removed by the erosion of the steep slopes below the driveway which resulted from the 2023/24 winter storms. In a letter dated February 16, 2024, Adam Simmons, the project geologist, stated that the proposed location and height of the retaining wall are required to protect the existing residence on the parcel and to minimize the risk of further slope failure. While the proposed wall is located on slopes of greater than 30 percent, the area of the wall to be located on the slopes is the

minimum required to stabilize the slope and protect the existing residence. As detailed in the February 16, 2024, letter from Adam Simmons, other options for repairing the slope include geogrid and graded benching, soil nails with geogrid netting, or two walls rather than one, but these options would require additional work further onto the steep slopes, do not provide enough lateral support to stabilize the slope, or require additional caissons and walls and are not economically feasible. The proposed project will minimize the work completed on the steep slopes while stabilizing the slope and protecting the existing residence.

DevStd GEO-MC-1.2: *In order to minimize erosion, landscape plans shall be required for development on slopes 20% or greater and for any project requiring a grading permit. Such plans shall include revegetation of graded areas with appropriate firewise planting designed to blend with the natural terrain and stabilize slopes. Landscape plans will be subject to review and approval by the Board of Architectural Review.*

Consistent. The proposed project is consistent with the policy requirement to provide landscape plans for development on slopes 20 percent or greater. The applicant provided landscape plans that include the exclusive use of native plants and will stabilize the slopes as described by the project geologist in his report dated December 29, 2023.

Policy GEO-MC-2: *Grading shall be designed to minimize scars in topography and avoid the potential for earth slippage, erosion, and other safety risks.*

Consistent. The proposed project is consistent with the policy requirement to design grading to minimize scars in topography and avoid the potential for earth slippage, erosion, and other safety risks because the proposed project is to stabilize the steep slopes on the subject parcel, to rebuild and reinforce the failed driveway, and to protect the existing residence on the parcel. In his letter dated February 16, 2024, the project geologist stated that the proposed project will stabilize the steep slopes on the parcel and will protect the hillside from further earth slippage and erosion. The reinforcement of the slopes on the parcel will protect the existing residence and will avoid additional safety risks.

DevStd BIO-MC-3.2: *The process for delineating the exact boundary of the ESH occurs during an application for development. New areas of ESH that meet the criteria listed in Policy BIO-MC-2 and are identified through the biological review process but are not currently mapped shall be considered ESH. Areas that were mapped ESH but do not meet the criteria listed in Policy BIO-MC-2 shall not be considered ESH. Boundaries of mapped and unmapped ESH shall be confirmed on a site-specific basis by a County-approved biologist based on a site visit during the permit review process, and shall be precisely shown on all development plans.*

DevStd BIO-MC-3.3: *Development shall be required to include the following ESH buffer areas:*

- *Creeks and streams, including steelhead critical habitat streams—50 feet as*

measured from the geologic top of creek bank.

- *Central and Southern Coast Live Oak Riparian Forest and Woodland, Coast Live Oak/Olive Riparian Woodland, California Sycamore Riparian Forest, and Central Coast Arroyo Willow Riparian Forest–50 feet from edge of canopy.*
- *Coast Live Oak Woodland and Forest–25 feet from edge of canopy.*
- *Habitats containing Nuttall’s scrub oak or other special status animal or plant species or rare natural communities–25 feet minimum, full extent to be determined on a case-by-case basis.*
- *Wetland Habitats–50 feet from edge of wetland habitat.*
- *Buffer areas from other types of ESH shall be determined on a case-by-case basis.*

These buffers areas may be adjusted upward or downward on a case-by-case basis given site-specific conditions, such as slopes, biological resources, and erosion potential, as evaluated and determined by the County.

Consistent: The proposed project is consistent with the policy requirements to delineate ESH boundaries on the parcel through the biological review process because all construction activities will be monitored by a County-approved biologist in accordance with Condition No. 8. The biologist will evaluate any ESH areas onsite and will provide a written report to Planning and Development detailing the location of any ESH onsite, the appropriate buffer from the ESH, and any required restoration and mitigation for disturbance to the ESH that results from the project. The applicant will pursue a formal buffer reduction as a part of the follow-on permit, if needed.

DevStd BIO-MC-3.4: *Where development cannot be sited to avoid ESH, development in ESH and ESH buffer areas shall be designed and carried out in a manner that protects the sensitive habitat areas to the maximum extent feasible.*

Consistent: The proposed project is consistent with the policy requirement to carry out development in a manner that protects the sensitive habitat areas to the maximum extent feasible because all construction activities will be monitored by a biological monitor as required in Condition No. 8. The monitor will ensure that no special status plant species nor special status wildlife is disturbed by the construction and will make recommendations onsite to minimize impacts of the construction on any ESH.

DevStd BIO-MC-3.6: *Development shall be sited and designed at an appropriate scale (size of main structure footprint, size and number of accessory structures/uses, and total areas of paving, motor courts, and landscaping) to avoid disruption and fragmentation of biological resources in ESH areas, avoid or minimize removal of significant native vegetation and trees, preserve wildlife corridors, and minimize fugitive lighting into ESH areas to the maximum extent feasible. Where appropriate,*

development envelopes and/or other tools shall be used to protect the resources.

Consistent: The proposed project is consistent with the policy requirement to design development at an appropriate scale to avoid impacts to biological resources onsite, including avoidance of fragmentation of ESH, because the proposed project is to repair an existing driveway and stabilize the adjacent slope. The existing driveway is clustered with the existing development onsite and the repair and reinforcement of the driveway will not fragment any biological resources. The driveway will be limited to the minimum area required to stabilize the adjacent slope, as detailed by the project geologist, Adam Simmons, in his report dated December 29, 2023, and his letter dated February 16, 2024.

DevStd BIO-MC-8.1: *Development shall be setback a minimum 50 feet from the geologic top of bank of any stream or creek or outside edge of riparian vegetation, whichever is greater. Buffer areas may be adjusted upward or downward on a case-by-case basis given site-specific conditions such as slopes, biological resources, and erosion potential, as evaluated and determined by the County.*

Consistent: The proposed project is consistent with the policy requirement to establish a 50-foot buffer from the bank of any stream or creek or outside edge of riparian vegetation, whichever is greater, because a biological monitor will monitor all construction activities in accordance with Condition No. 8. The biologist will evaluate any ESH areas onsite and will provide a written report to Planning and Development detailing the location of any ESH onsite, the appropriate buffer from the ESH, and any required restoration and mitigation for disturbance to the ESH that results from the project. The monitor will ensure that no special status plant species nor special status wildlife is disturbed by the construction and will make recommendations onsite to minimize impacts of the construction on any ESH. The applicant will pursue a formal buffer reduction as a part of the follow-on permit, if needed. The proposed project is for the repair of an existing driveway and the stabilization of the adjacent slope. The proposed project will reduce erosion potential on the subject site.

County LUDC Section 35.28.100.E.4 Findings required for permit approval: *Prior to approval of any permit for a project within the ESH-MC overlay zone, the review authority shall first find, in addition to other findings required by this Development Code, that the proposed project complies with all applicable biological resource policies and development standards in the Mission Canyon Community Plan.*

Consistent: The proposed project is consistent with the requirement to comply with all applicable biological resource policies and development standards in the Mission Canyon Community Plan because the project is consistent with all applicable biological resource policies and development standards in the Mission Canyon Community Plan as detailed above.

c. *Public comment on the proposed emergency action has been reviewed.*

No public comment on the proposed emergency action has been received. A mailed notice was sent to all owners within 300 feet of the parcel on January 22, 2024. Three notice placards for the proposed development have been posted onsite.

- C. This action is not subject to the provisions of the California Environmental Quality Act, pursuant to State CEQA Guidelines Section 15269, statutory exemption for emergency projects.

EMERGENCY PERMIT CONDITIONS OF APPROVAL

1. This Emergency Permit is based upon and limited to compliance with the project description, and the conditions of approval set forth below. Any deviations from the project description or conditions must be reviewed and approved by the County for conformity with this approval. Deviations without the above-described approval will constitute a violation of permit approval. If it is determined that project activity is occurring in violation of any or all of the following conditions, the Director may revoke this permit and all authorization for development. The decision of the Director to revoke the Emergency Permit may be appealed to the Commission.

The project description is as follows:

The proposed project is for the repair of an existing driveway and the construction of a retaining wall to reinforce the existing driveway. The retaining wall will be approximately 263 feet long. The retaining wall will vary in height from 4 feet to 16 feet tall. 24-inch diameter caissons will extend approximately 30 to 50 feet below existing grade to support the retaining wall and reinforce the existing driveway. The 2023/24 winter storms damaged the existing driveway, resulting in slope failures of the steep slopes on the subject parcel and removing driveway access to the parcel. The slopes are at risk of further failure, jeopardizing the existing development on the parcel, including the existing single-family dwelling. Grading for the project will include 500 cubic yards of cut and 500 cubic yards of fill. No trees are proposed for removal. The work is expected to be completed within 4 months of permit issuance. The parcel will continue to be served by municipal water, a private septic system, and the Santa Barbara County Fire Department. Access will continue to be provided off of Palomino Road. The property is a 1.34-acre parcel zoned 1-E-1 and shown as Assessor's Parcel Number 023-290-031, located at 1170 Palomino Road in the Mission Canyon Community Plan Area, First Supervisorial District.

2. An application(s) for the required permits necessary to validate the emergency work as permanent shall be submitted by the applicant to the Department no later than 30 days following the issuance of this Emergency Permit. The permits required for the proposed emergency work include a Minor Conditional Use Permit and Zoning Clearance pursuant to Sections 35.82.060 and 35.82.210 of the County Land Use Development Code.
3. Any materials required for a completed application, as identified in the initial review of the original application required pursuant to Condition #2 above, shall be submitted within 90 days after written notification of the application deficiencies is provided to the applicant. This time period may be extended by the Director.

4. Only that emergency work specifically requested and deemed an emergency for the specific property mentioned is authorized. Any additional emergency work requires separate authorization from the Director. The work authorized by this permit must be commenced within 30 days of the date of issuance of the emergency permit.
5. This permit does not preclude the necessity to obtain authorization and/or permits from other Departments or agencies.
6. The Director may order the work authorized under this emergency permit to stop immediately if it is determined that unanticipated and substantial adverse environmental effects may occur with continued construction.
7. **Air-01 Dust Control.** The Owner/Applicant shall comply with the following dust control components at all times including weekends and holidays:
 - a. Dust generated by the development activities shall be kept to a minimum with a goal of retaining dust on the site.
 - b. During clearing, grading, earth moving, excavation, or transportation of cut or fill materials, use water trucks or sprinkler systems to prevent dust from leaving the site and to create a crust after each day's activities cease.
 - c. During construction, use water trucks or sprinkler systems to keep all areas of vehicle movement damp enough to prevent dust from leaving the site.
 - d. Wet down the construction area after work is completed for the day and whenever wind exceeds 15 mph.
 - e. When wind exceeds 15 mph, have site watered at least once each day including weekends and/or holidays.
 - f. Order increased watering as necessary to prevent transport of dust off-site.
 - g. Cover soil stockpiled for more than two days or treat with soil binders to prevent dust generation. Reapply as needed.
 - h. If the site is graded and left undeveloped for over four weeks, the Owner/Applicant shall immediately:
 - i. Seed and water to re-vegetate graded areas; and/or
 - ii. Spread soil binders; and/or
 - iii. Employ any other method(s) deemed appropriate by P&D or APCD.

TIMING: The dust control components apply from the beginning of any grading or construction throughout all development activities until Final Building Inspection Clearance is issued.

8. **Bio-03 Biological Report and Monitoring Requirement.** The Owner/Applicant shall hire a P&D-approved biologist to evaluate impacts to the environmentally sensitive habitat (ESH) on the parcel resulting from the proposed project. The biologist shall evaluate any ESH areas onsite and monitor all construction activities, ensuring that no special status plant species nor special status wildlife is disturbed by the construction and shall make recommendations onsite to minimize impacts of the construction on any ESH. The biologist shall provide a written report to Planning and Development detailing the location of any ESH onsite, the appropriate buffer from the ESH, and any required restoration and mitigation for disturbance to the ESH that results from the project. PLAN REQUIREMENTS: The Owner/Applicant shall submit the above report to

P&D for review and approval. **TIMING:** The Owner/Applicant shall submit a contract or letter of commitment, consisting of a project description and scope of work, between the Owner/Applicant and the biologist prior to permit issuance. The Owner/Applicant shall submit the above report as a part of their application for the permits necessary to validate the emergency work as permanent. Recommendations in the report shall be incorporated into the project as required by P&D.

9. **Bio-20 Equipment Storage-Construction.** The Owner/Applicant shall designate one or more construction equipment filling and storage areas to contain spills, facilitate cleanup and proper disposal and prevent contamination from discharging to the storm drains, street, drainage ditches, creeks, or wetlands. The areas shall be no larger than 50 x 50 foot unless otherwise approved by P&D and shall be located at least 100 feet from any storm drain, waterbody or sensitive biological resources. **PLAN REQUIREMENTS:** The Owner/Applicant shall designate the storage locations on-site in accordance with this condition. **TIMING:** The Owner/Applicant shall install the area prior to commencement of construction.
10. **Bio-20a Equipment Washout-Construction.** The Owner/Applicant shall designate one or more washout areas for the washing of concrete trucks, paint, equipment, or similar activities to prevent wash water from discharging to the storm drains, street, drainage ditches, creeks, or wetlands. Note that polluted water and materials shall be contained in these areas and removed from the site as needed. The areas shall be located at least 100 feet from any storm drain, waterbody or sensitive biological resources. **PLAN REQUIREMENTS:** The Owner/Applicant shall designate the storage locations on-site in accordance with this condition. **TIMING:** The Owner/Applicant shall install the area prior to commencement of construction.
11. **CulRes-09 Stop Work at Encounter.** The Owner/Applicant and/or their agents, representatives or contractors shall stop or redirect work immediately in the event archaeological remains are encountered during grading, construction, landscaping or other construction-related activity. The Owner/Applicant shall immediately contact P&D staff, and retain a P&D approved archaeologist and Native American representative to evaluate the significance of the find in compliance with the provisions of the County Archaeological Guidelines and conduct appropriate mitigation funded by the Owner/Applicant.
12. **Noise-02 Construction Hours.** The Owner/Applicant, including all contractors and subcontractors shall limit construction activity, including equipment maintenance and site preparation, to the hours between 7:00 a.m. and 4:00 p.m. Monday through Friday. No construction shall occur on weekends or State holidays. Non-noise generating interior construction activities such as plumbing, electrical, drywall and painting (which does not include the use of compressors, tile saws, or other noise-generating equipment) are not subject to these restrictions.
Any subsequent amendment to the Comprehensive General Plan, applicable Community or Specific Plan, or Zoning Code noise standard upon which these construction hours are based shall supersede the hours stated herein. **PLAN REQUIREMENTS:** The Owner/Applicant shall provide and post a sign stating these restrictions at all construction site entries. **TIMING:** Signs

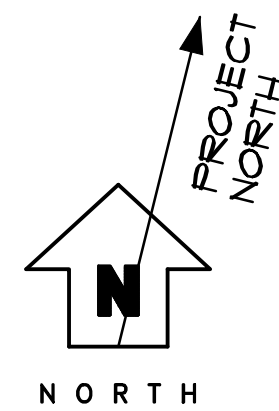
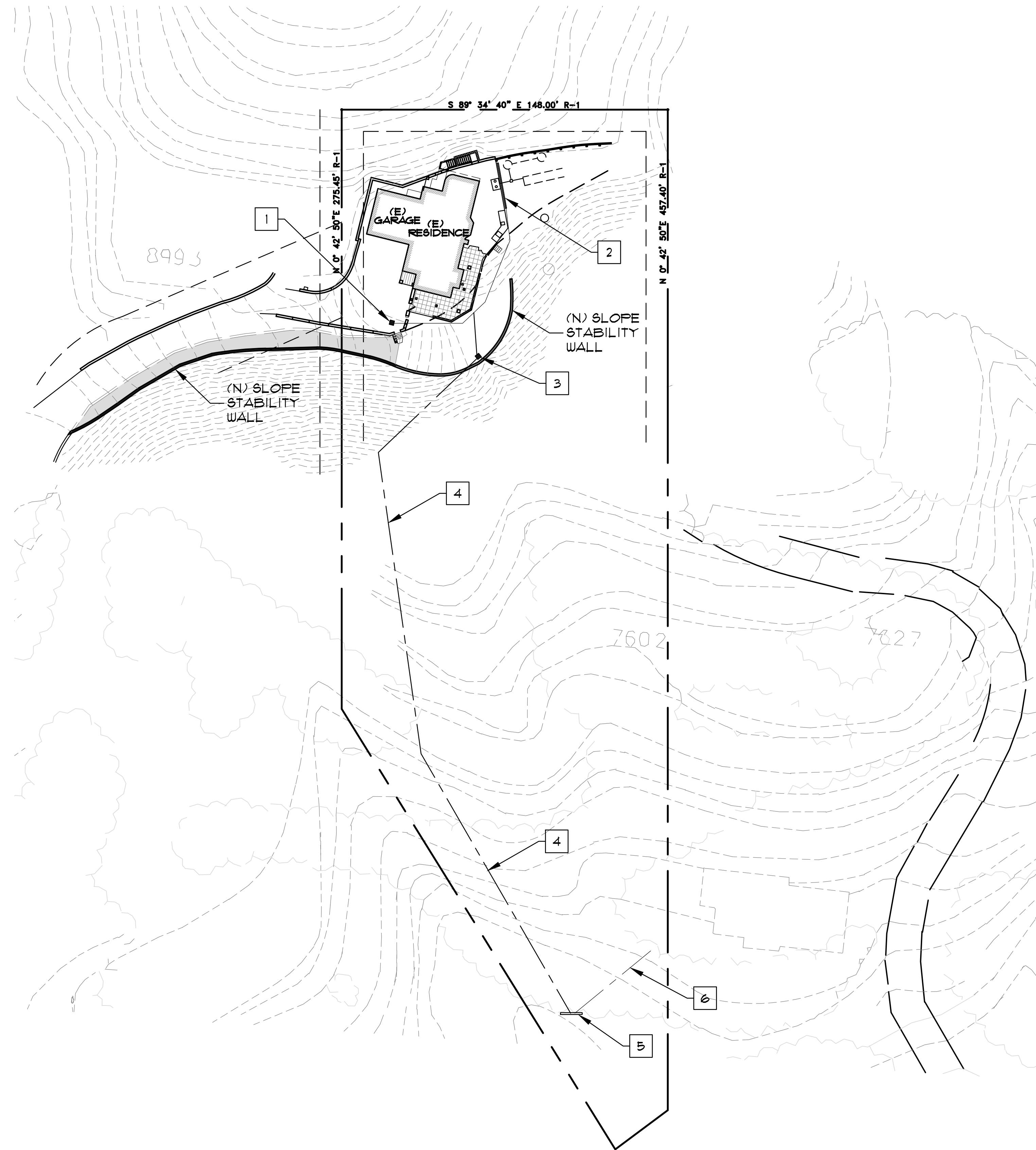
shall be posted prior to commencement of construction and maintained throughout construction.

13. **SolidW-03 Solid Waste-Construction Site.** The Owner/Applicant shall provide an adequate number of covered receptacles for construction and employee trash to prevent trash & debris from blowing offsite, shall ensure waste is picked up weekly or more frequently as needed, and shall ensure site is free of trash and debris when construction is complete. **PLAN REQUIREMENTS:** The site is to remain trash-free throughout construction.
14. **Rules-05 Acceptance of Conditions.** The Owner/Applicant's acceptance of this permit and/or commencement of use, construction and/or operations under this permit shall be deemed acceptance of all conditions of this permit by the Owner/Applicant.
15. **Rules-23 Processing Fees Required.** Prior to issuance of Emergency, the Owner/Applicant shall pay all applicable P&D permit processing fees in full as required by County ordinances and resolutions.
16. **Rules-33 Indemnity and Separation.** The Owner/Applicant shall defend, indemnify and hold harmless the County or its agents or officers and employees from any claim, action or proceeding against the County or its agents, officers or employees, to attack, set aside, void, or annul, in whole or in part, the County's approval of this project.

Attachments:

- A. Project Plans
- B. CEQA Exemption

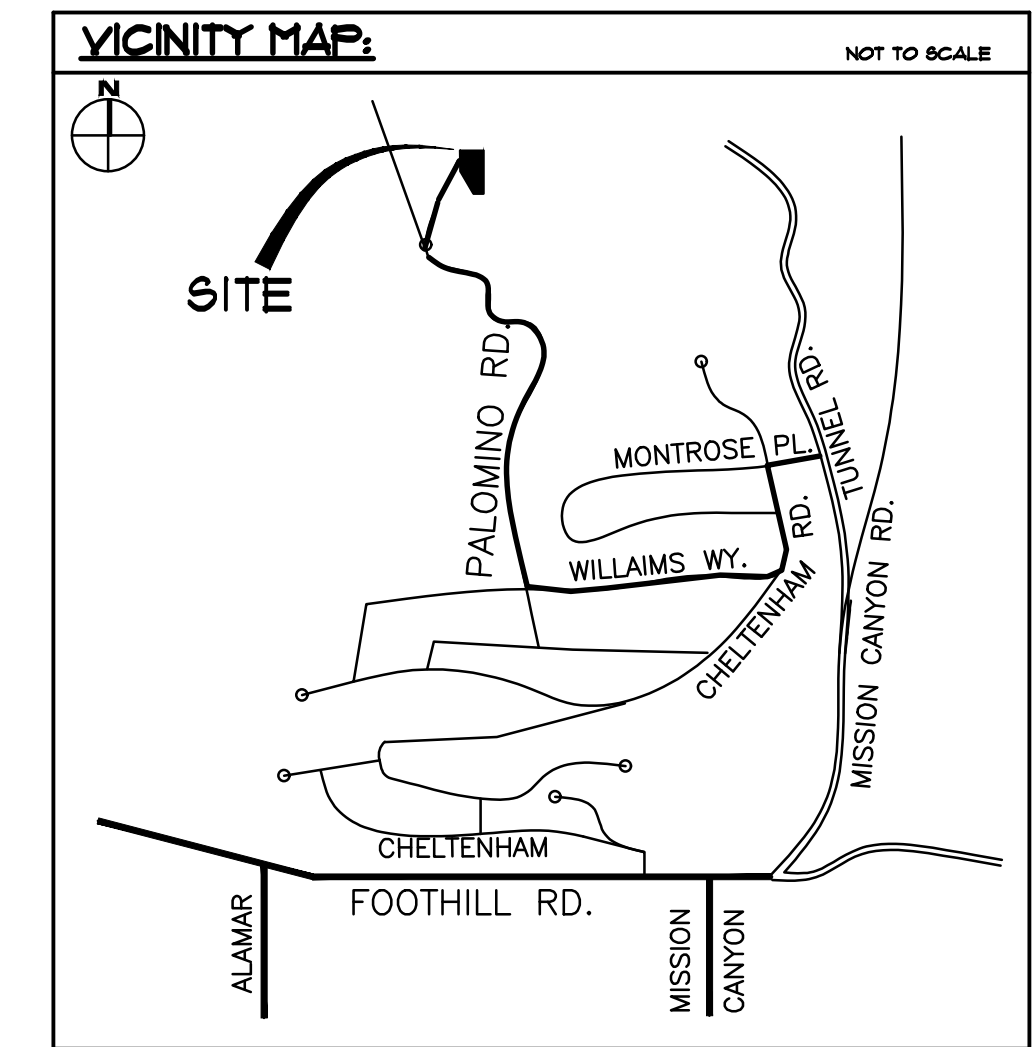
ATTACHMENT A: PROJECT PLANS



OVERALL SITE PLAN/DRAINAGE PLAN

SCALE: 1" = 300'-0"

NOTE: ALL DIMENSIONS TO THE EXISTING STRUCTURE ARE TO BE VERIFIED BY THE CONTRACTOR.



PROJECT INFORMATION:

AFN	023-290-031
JOB ADDRESS:	1170 PALOMINO ROAD SANTA BARBARA, CA 93105
ZONE:	I-E-1-D
GENERAL PLAN:	-
OCCUPANCY TYPE:	R-3
LOT SIZE	134 ACRES

DRAINAGE PLAN KEYNOTES:

- (E) CATCH BASIN. WATER FROM ROOF AND DRIVEWAY IS DIVERTED HERE.
- (E) 10'-0" LONG STRIP DRAIN.
- (N) 24" SQUARE CATCH BASIN. CONNECT EXISTING DRAINAGE PIPES TO THIS BASIN.
- 8" HIGH DENSITY PIPE WITH UV PROTECTION, TYP.
- 10'-0" LONG, 10" DIAMETER HIGH DENSITY PERFORATED PIPE.
- CONNECT NEIGHBORS EXISTING TO NEW PERFORATED PIPE.

PROJECT DESCRIPTION

EMERGENCY PERMIT FOR SLOPE STABILITY WALL. ASSOCIATED DRAINAGE, LANDSCAPING, AND ENGINEERING.

SHEET INDEX

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A-1.2	PARTIAL SITE PLAN
A-1.3	ESH OVERLAY SITE PLAN
A-5.1	SITE SECTIONS
A-5.2	WALL ELEVATION, LANDSCAPE PLAN

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CLIENT

RICK ROBLES
1170 PALOMINO
SANTA BARBARA, CA
93105

PROJECT

1170 PALOMINO

SHEET TITLE

COVER SHEET,
SITE PLAN/
DRAINAGE PLAN

REVISIONS



PROJECT #

1170PALOMINO

DATE DRAWN

SHEET NO.

A-1.0

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PROJECT

1170 PALOMINO

SHEET TITLE

PHOTO BOARD

REVISIONS



PROJECT #

1170PALOMINO

DATE DRAWN

SHEET NO.

PB-1

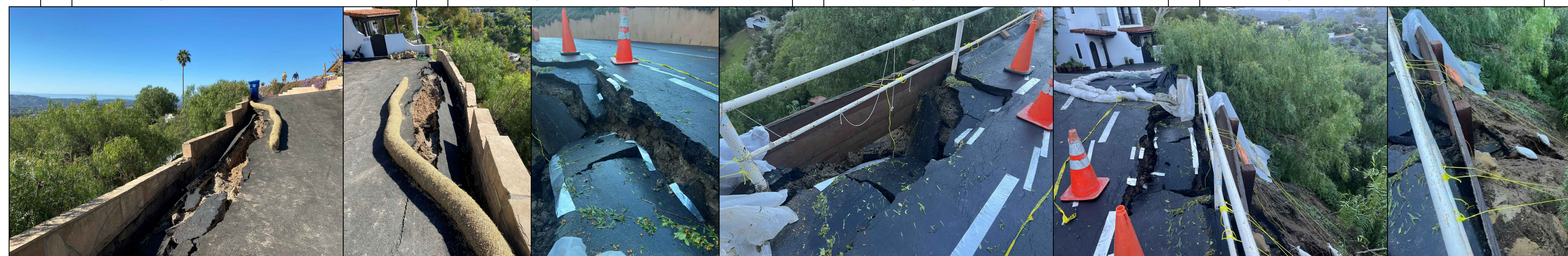


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2 | 2023 PHOTO

3 | 2023 PHOTO

4 | 2023 PHOTO



5 | 2023 PHOTO

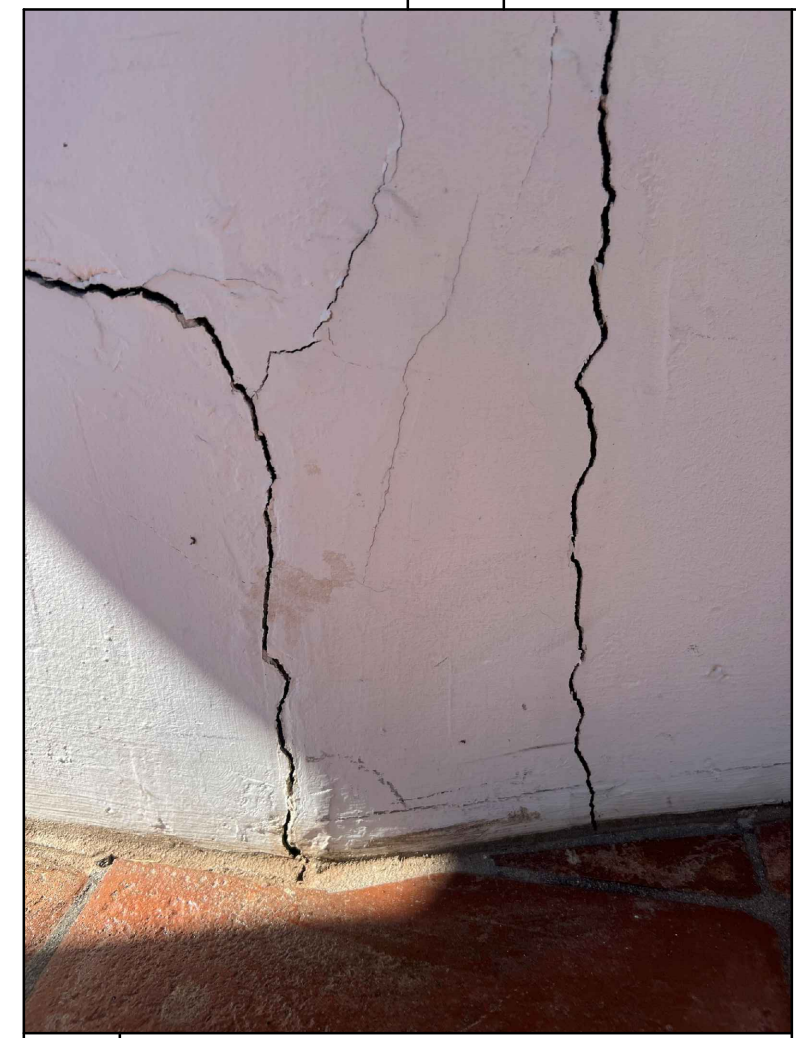
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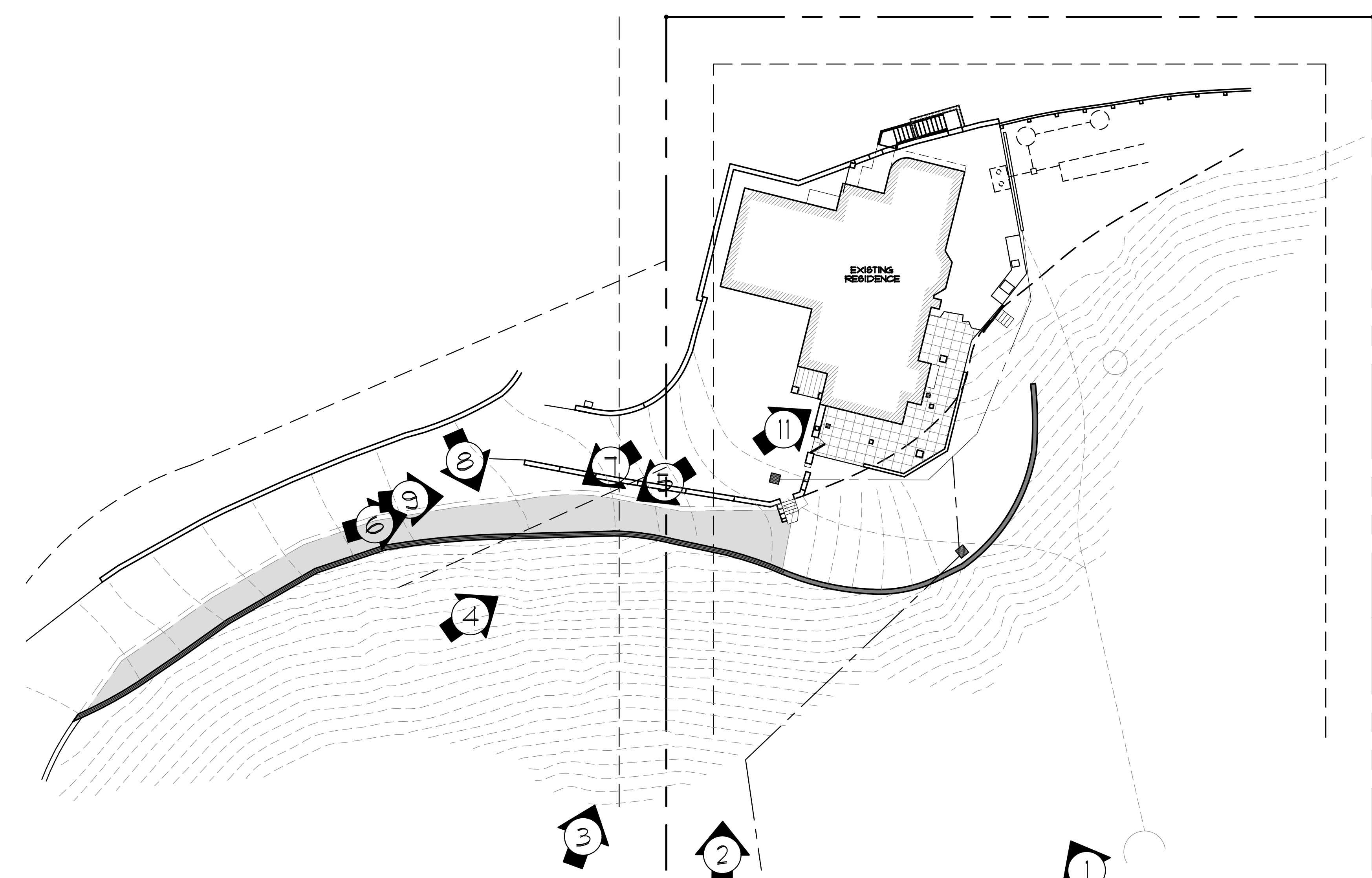
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10 | 2024

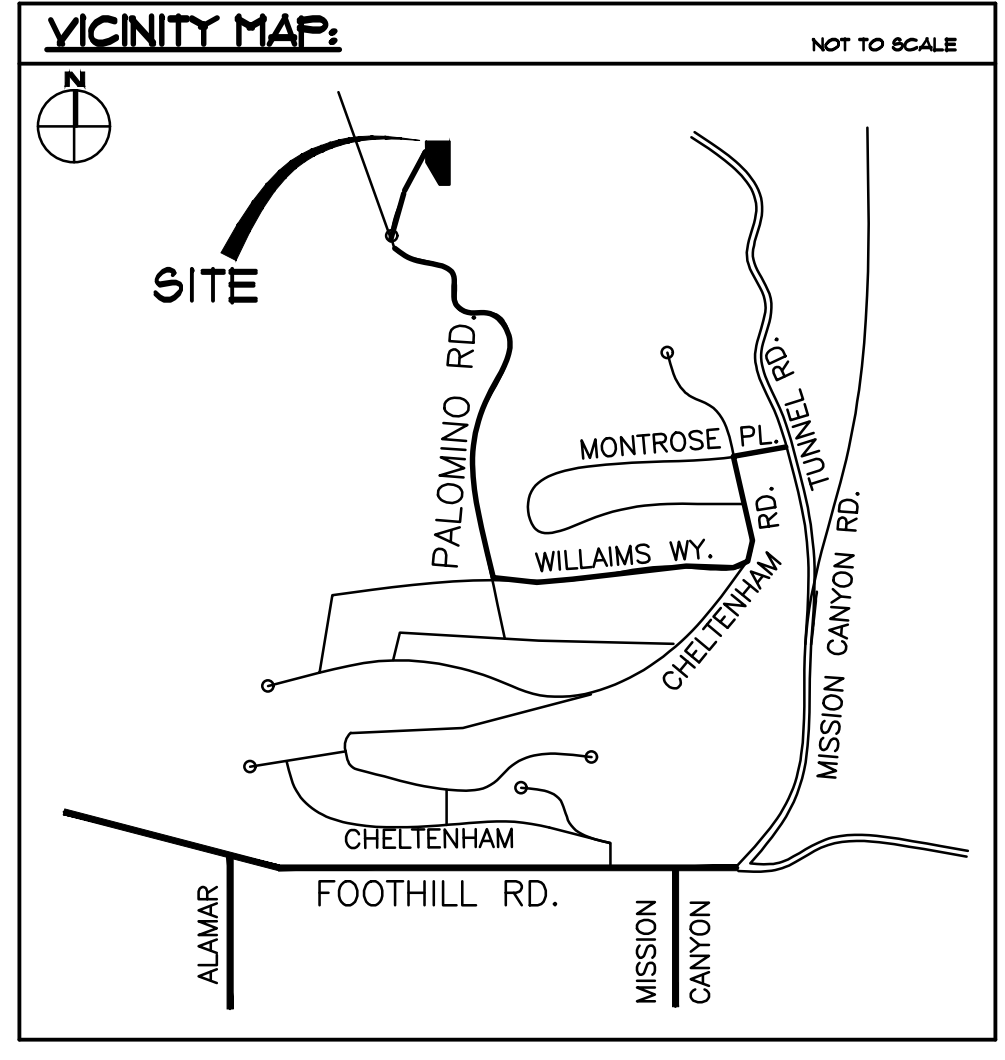
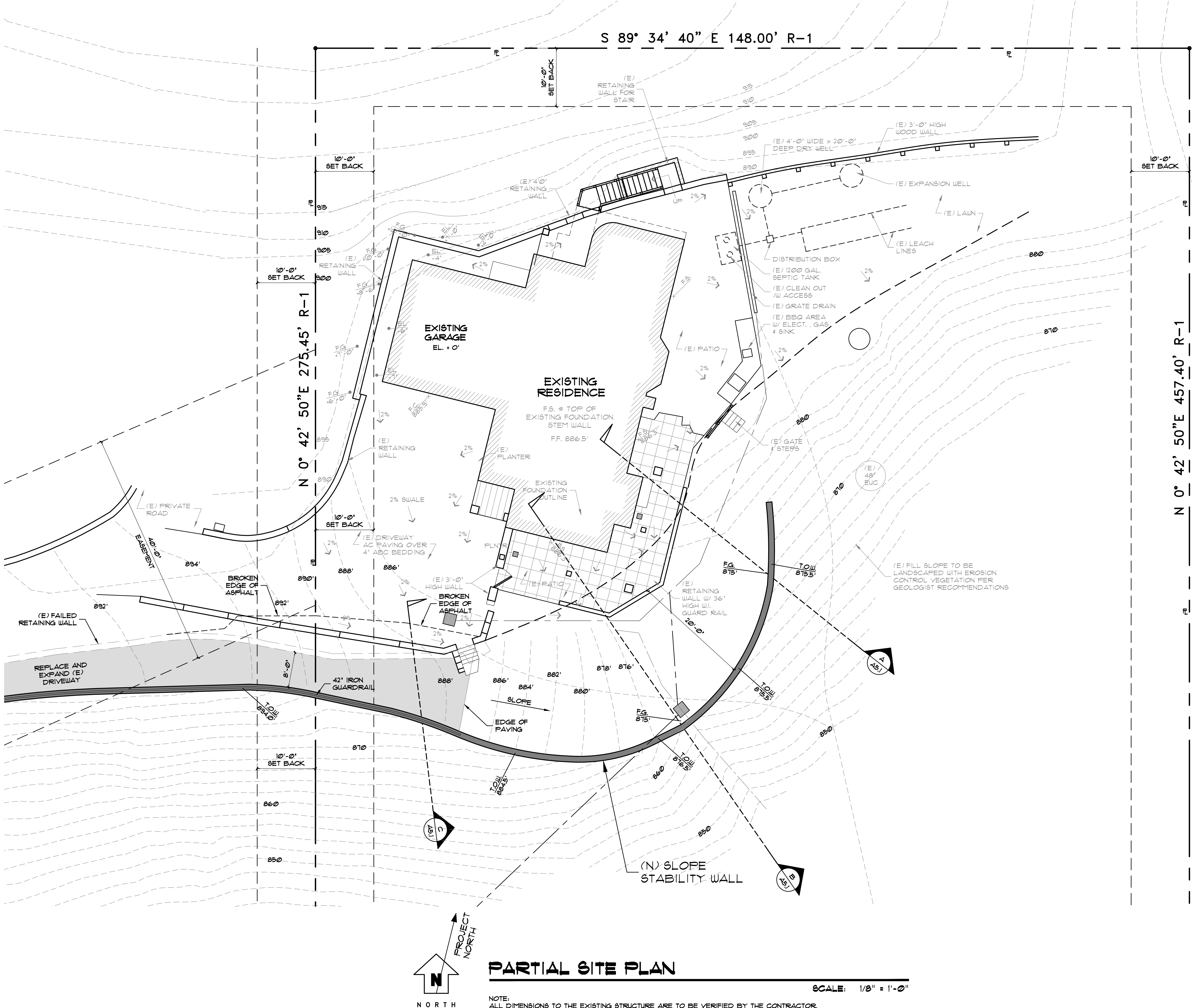


11 | 2024 PHOTO



PARTIAL SITE PLAN

SCALE: 1/16" = 1'-0"



PROJECT INFORMATION:

APN	023-290-031
JOB ADDRESS:	1170 PALOMINO ROAD SANTA BARBARA, CA 93105
ZONE:	I-E-1-D
GENERAL PLAN:	-
OCCUPANCY TYPE:	R-3
LOT SIZE	134 ACRES

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CLIENT

RICK ROBLES
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SANTA BARBARA, CA
93105

PROJECT

1170 PALOMINO

GRADING:

CUT	500	CUBIC YARDS
FILL	500	CUBIC YARDS
TOTAL	1000	CUBIC YARDS

SHEET TITLE

PARTIAL SITE PLAN

REVISIONS



PROJECT #
1170PALOMINO

DATE DRAWN

SHEET NO.

A-1.1



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PROJECT

1170 PALOMINO

SHEET TITLE

PARTIAL SITE PLAN

REVISIONS



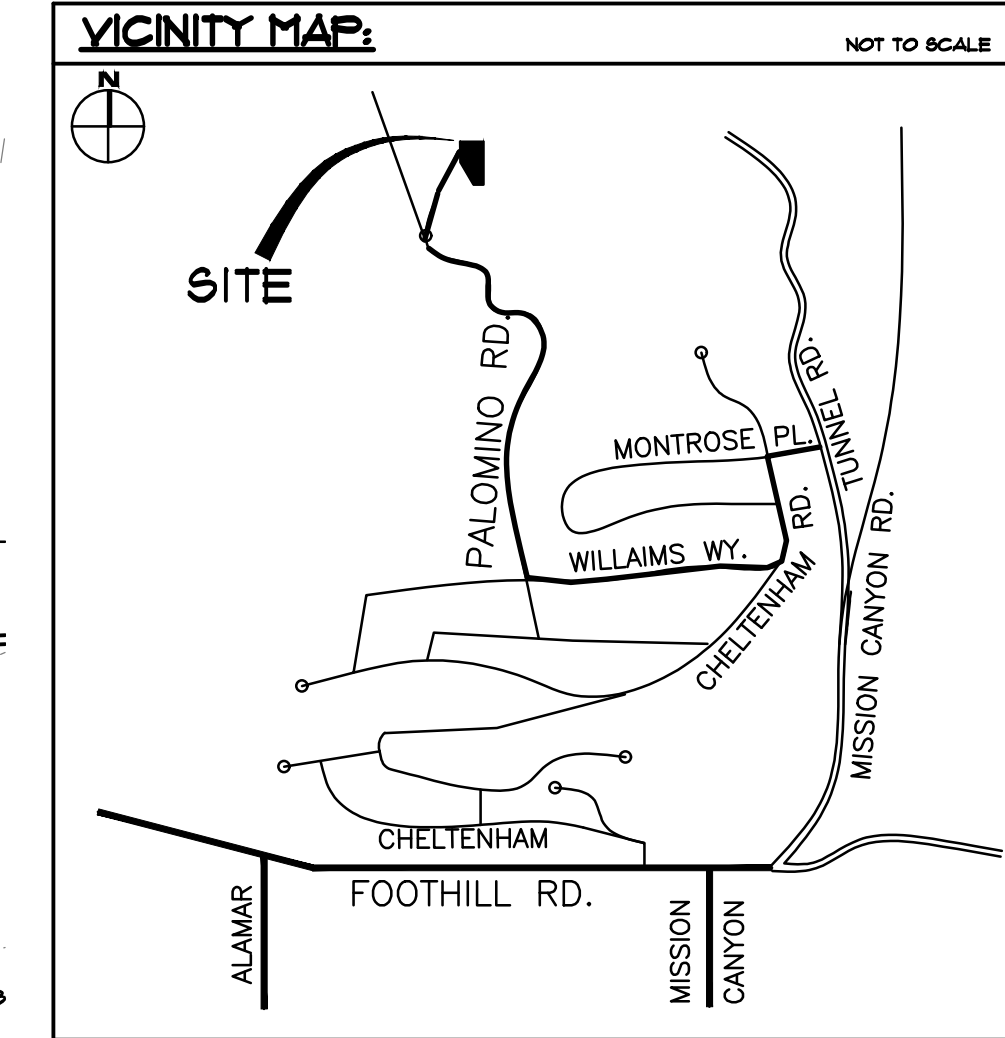
PROJECT #

1170PALOMINO

DATE DRAWN

SHEET NO.

A-1.2

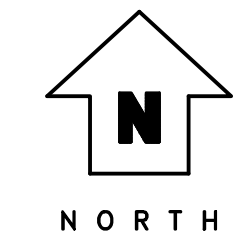
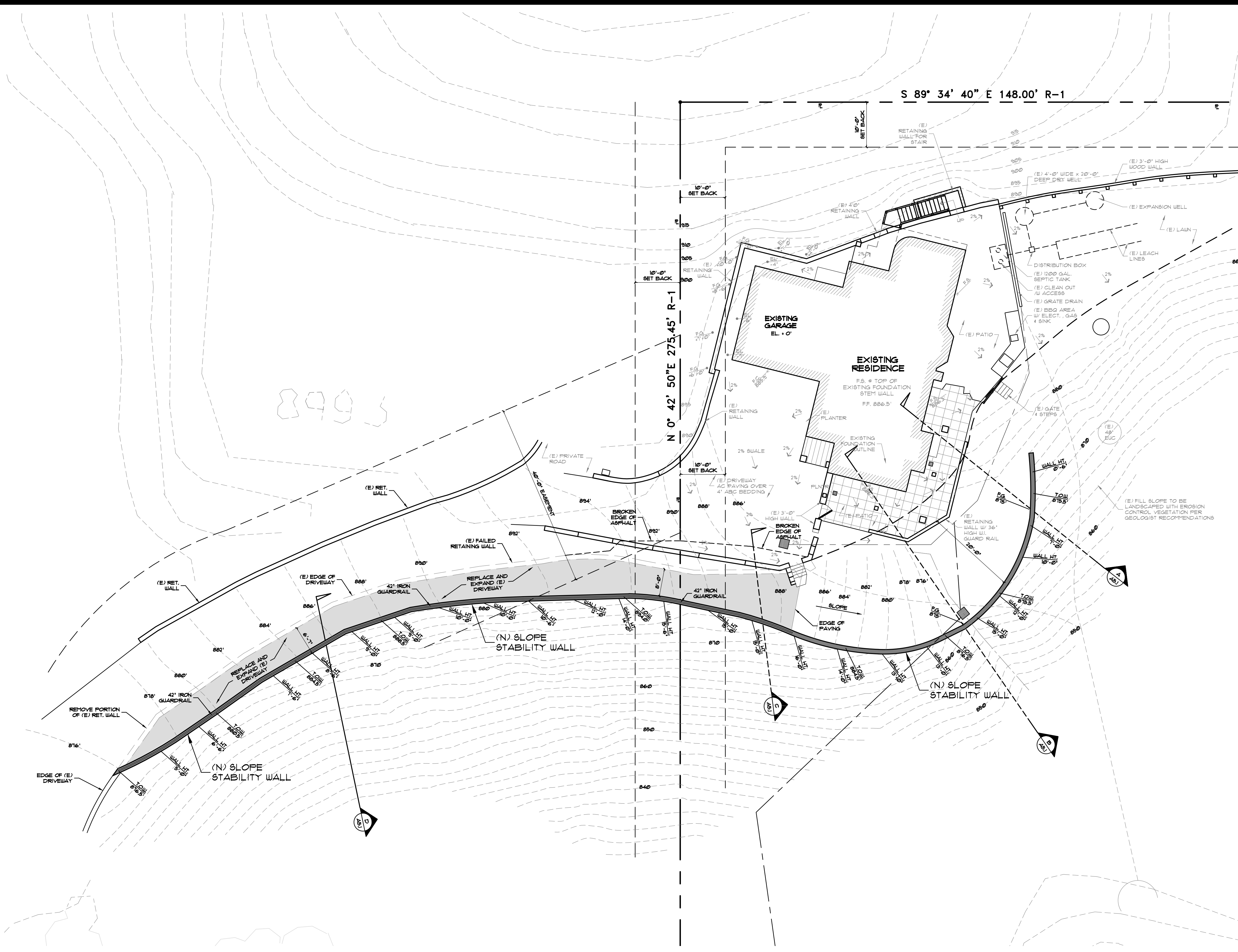


PROJECT INFORMATION:

APN	023-290-031
JOB ADDRESS:	1170 PALOMINO ROAD SANTA BARBARA, CA 93105
ZONE:	I-E-1-D
GENERAL PLAN:	-
OCCUPANCY TYPE:	R-3
LOT SIZE	134 ACRES

GRADING:

CUT	500	CUBIC YARDS
FILL	500	CUBIC YARDS
TOTAL	1000	CUBIC YARDS



PARTIAL SITE PLAN

SCALE: 3/32" = 1'-0"

NOTE:
ALL DIMENSIONS TO THE EXISTING STRUCTURE ARE TO BE VERIFIED BY THE CONTRACTOR.



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PROJECT

1170 PALOMINO

SHEET TITLE

REVISIONS



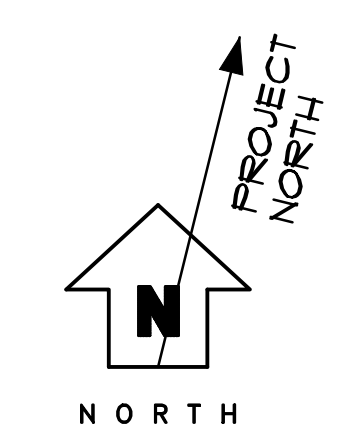
PROJECT #

1170PALOMINO

DATE DRAWN

SHEET NO.

A-1.3



ESH OVERLAY SITE PLAN

SCALE: 1" = 300'-0"

NOTE:
ALL DIMENSIONS TO THE EXISTING STRUCTURE ARE TO BE VERIFIED BY THE CONTRACTOR.



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PROJECT

1170 PALOMINO

SHEET TITLE

SITE SECTIONS

REVISIONS



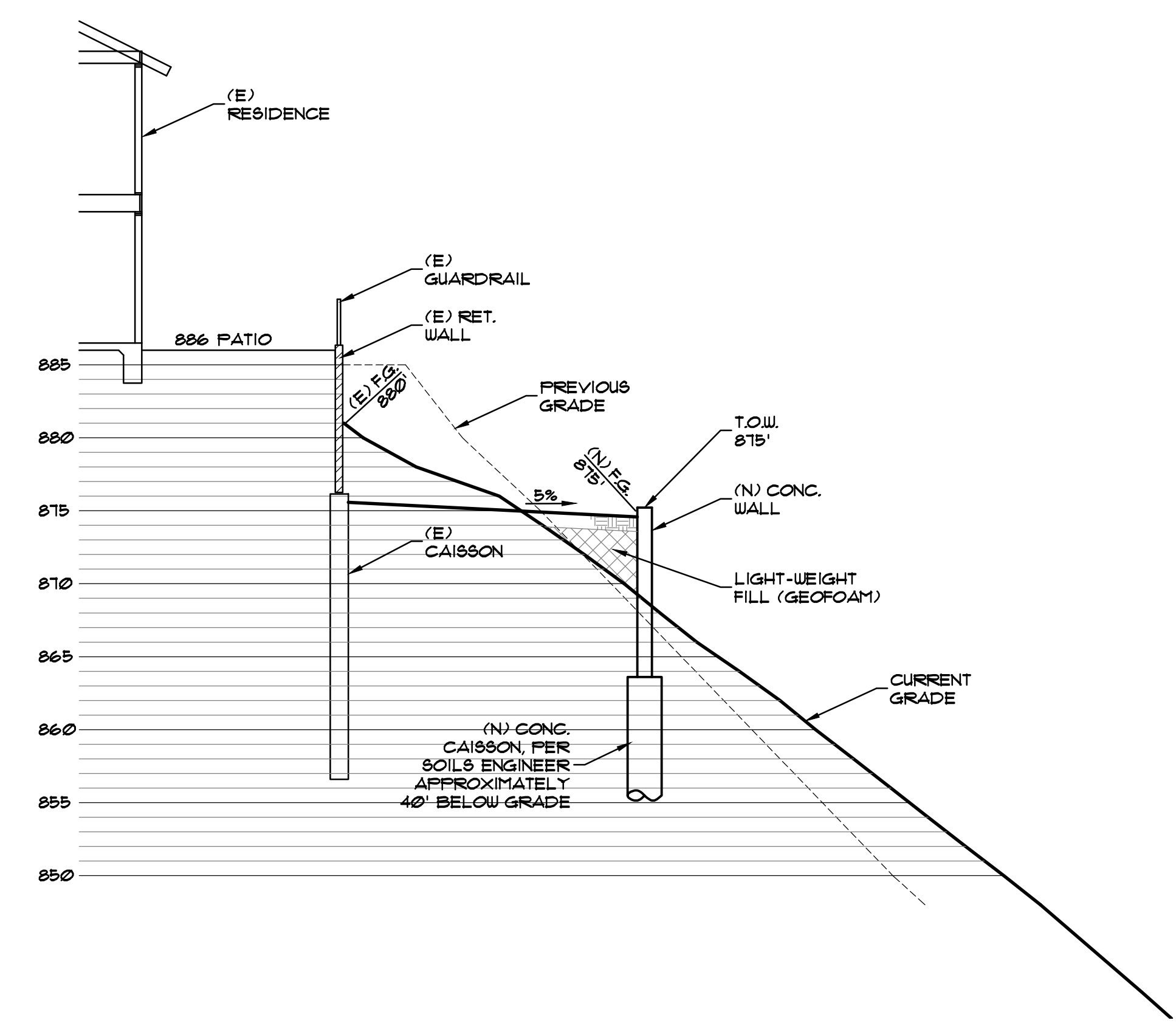
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1170PALOMINO

DATE DRAWN

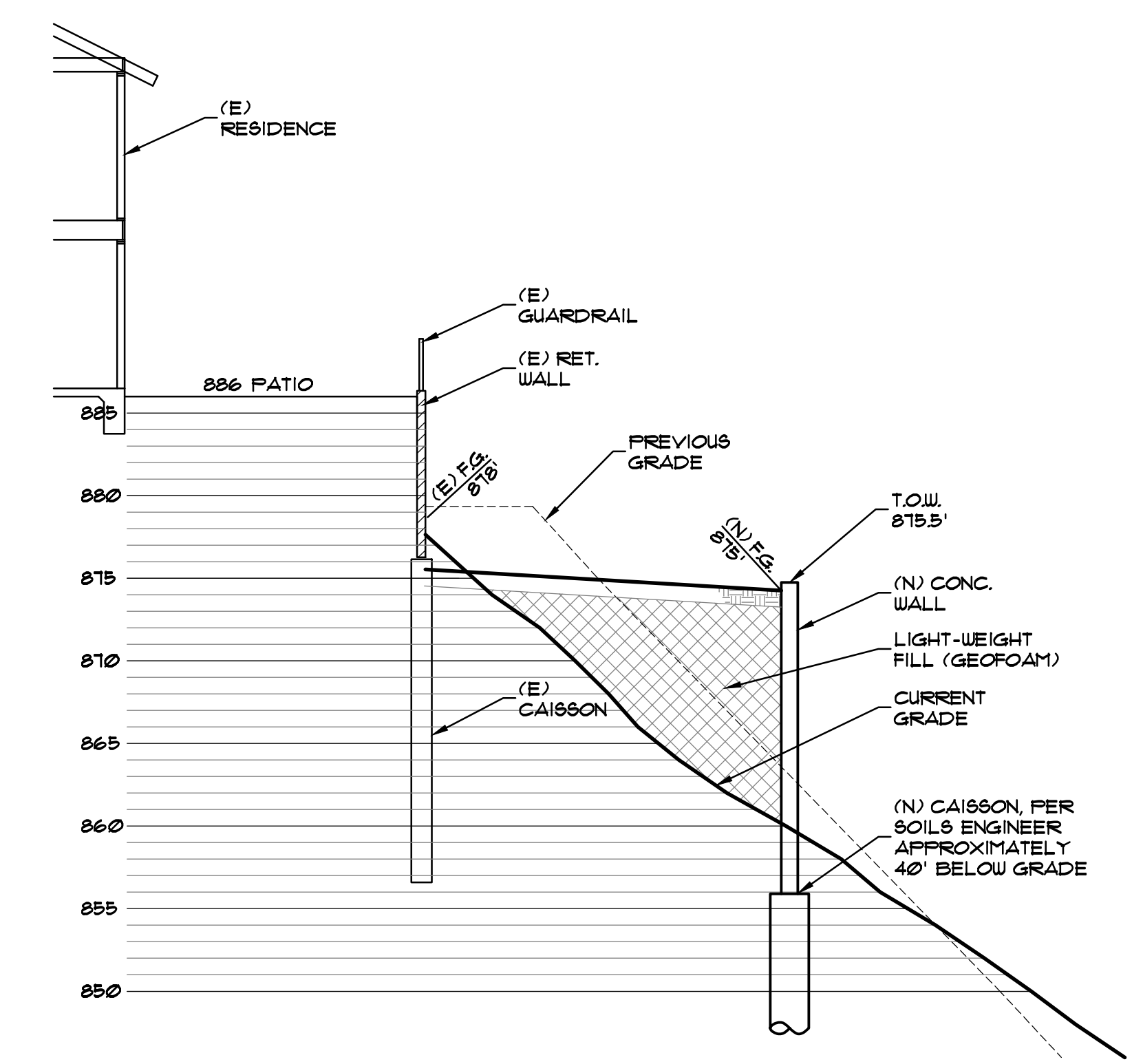
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A-5.1



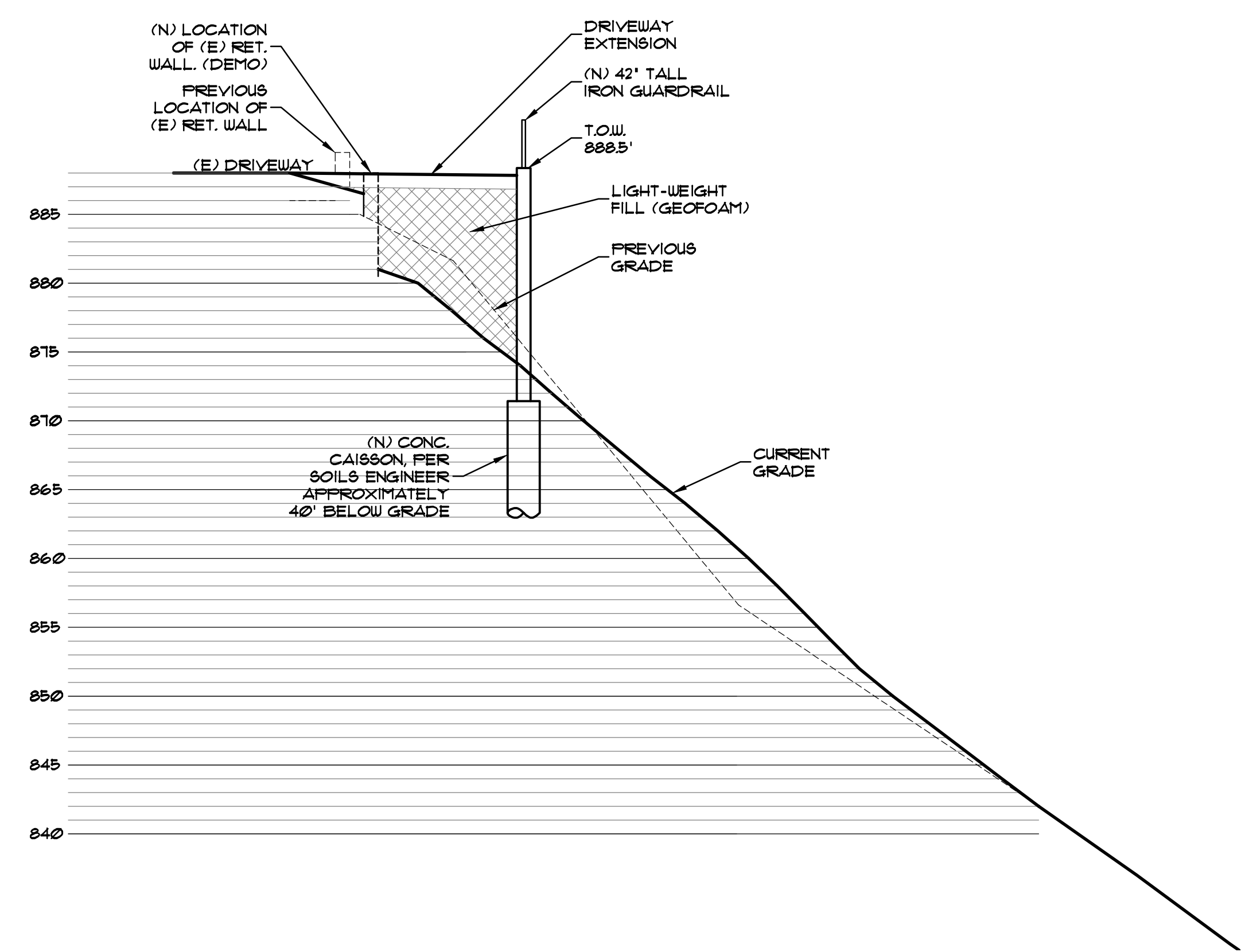
SITE SECTION A

SCALE: 1/8" = 1'-0"



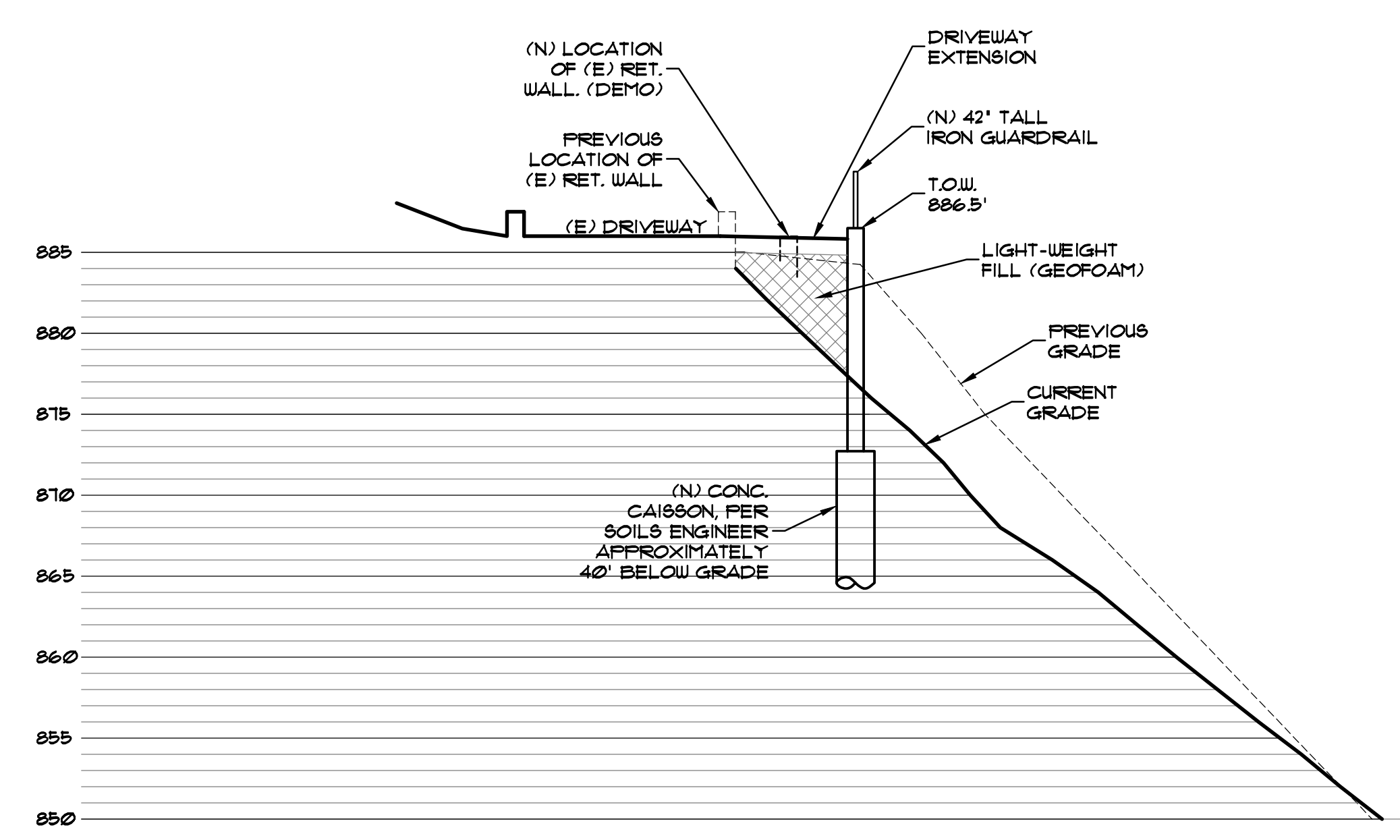
SITE SECTION B

SCALE: 1/8" = 1'-0"



SITE SECTION C

SCALE: 1/8" = 1'-0"



SITE SECTION D

SCALE: 1/8" = 1'-0"



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PROJECT

1170 PALOMINO

SHEET TITLE

REVISIONS




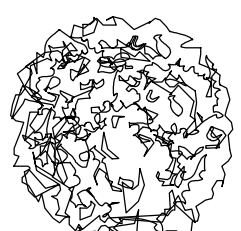
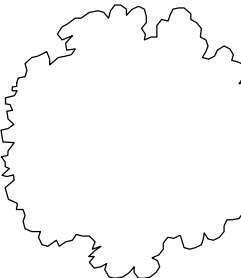
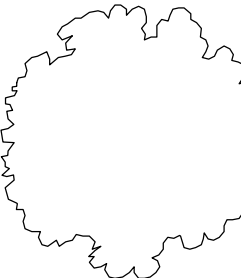
PROJECT #

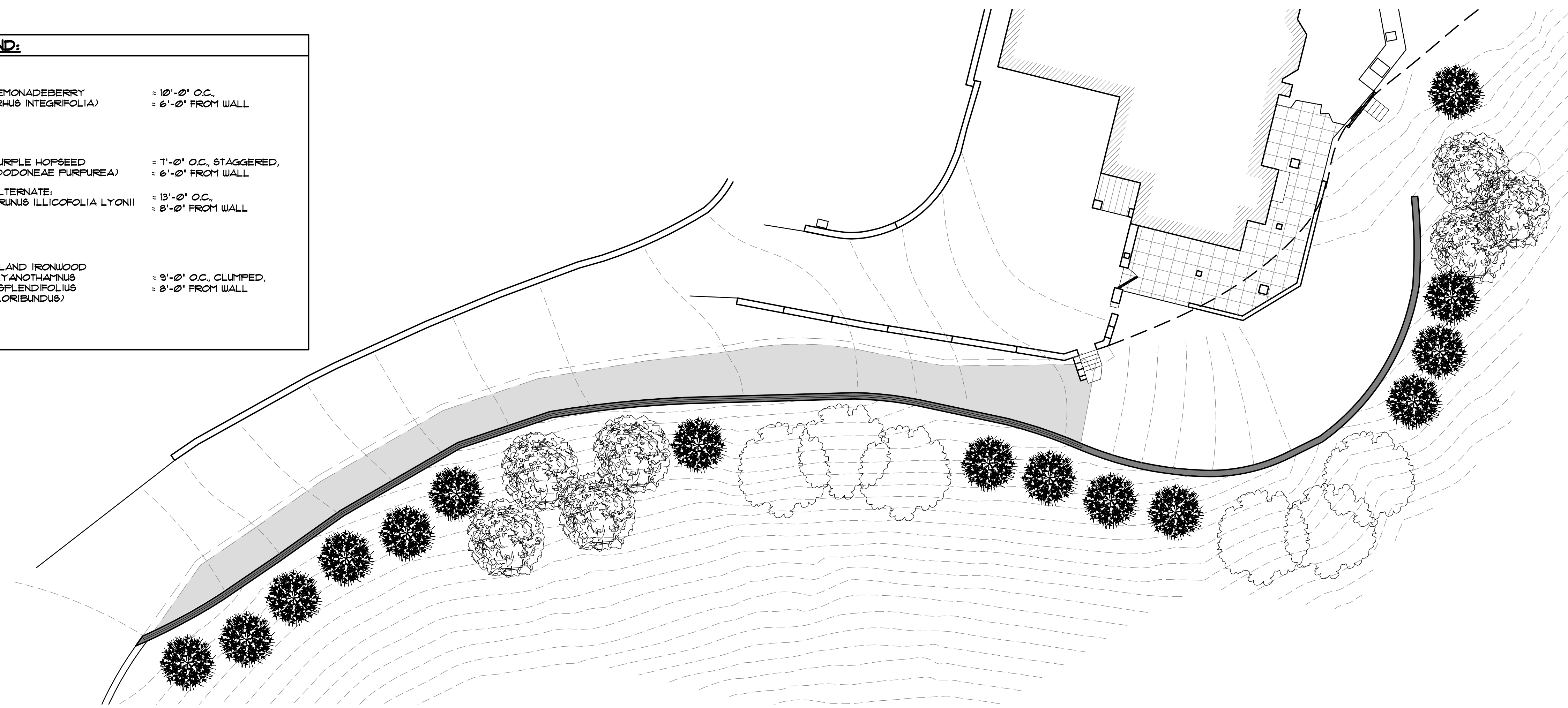
1170PALOMINO
DATE DRAWN

SHEET NO.

A-5.2

LANDSCAPE LEGEND:

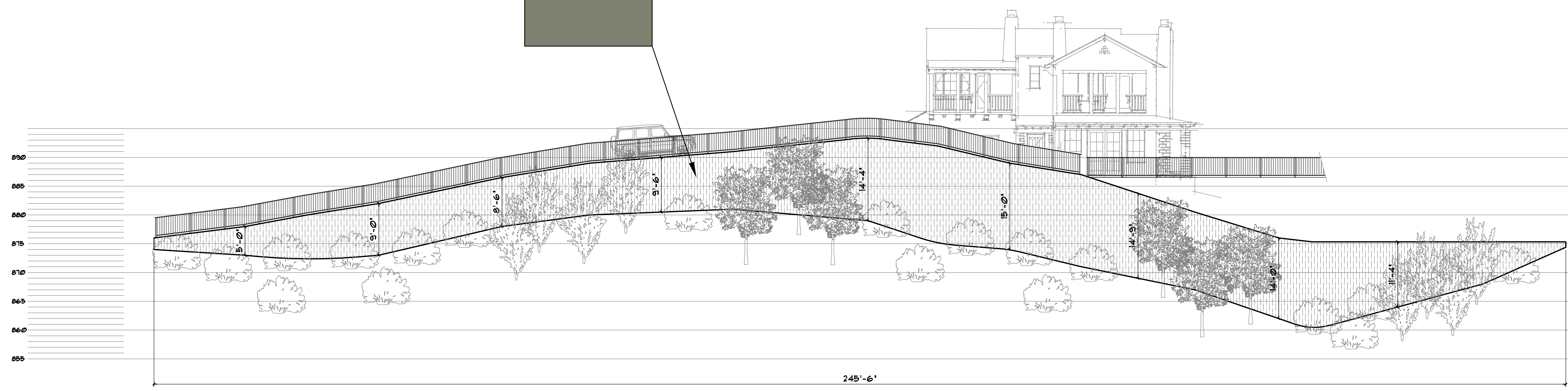
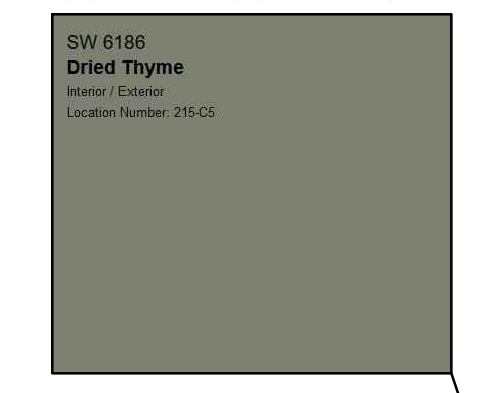
	LEMONADEBERRY (RHUS INTEGRIFOLIA)	= 10'-0" O.C., = 6'-0" FROM WALL
	PURPLE HOPSEED (DODONEAE PURPUREA)	= 7'-0" O.C., STAGGERED, = 6'-0" FROM WALL
	ALTERNATE: PRUNUS ILLICIFOLIA LYONII	= 13'-0" O.C., = 8'-0" FROM WALL
	ISLAND IRONWOOD (LYNANTHAMNUS ASPLENDFOLIUS FLORIBUNDUS)	= 9'-0" O.C., CLUMPED, = 8'-0" FROM WALL



LANDSCAPE PLAN

SCALE: 3/32" = 1'-0"

SHERWIN WILLIAMS PAINT



PROJECTED SLOPE STABILITY WALL ELEVATION

SCALE: 3/32" = 1'-0"

NOTE:
ALL DIMENSIONS TO THE EXISTING STRUCTURE ARE TO BE VERIFIED BY THE CONTRACTOR.

**ATTACHMENT B
NOTICE OF EXEMPTION**

TO: Santa Barbara County Clerk of the Board of Supervisors

FROM: Kylie Sanchez, Planner, Planning & Development

The project or activity identified below is determined to be exempt from further environmental review requirements of the California Environmental Quality Act (CEQA) of 1970, as defined in the State and County Guidelines for the implementation of CEQA.

APN: 023-290-031 **Case No.:** 23EMP-00019

Location: 1170 Palomino Road, Santa Barbara, CA 93105

Project Title: Robles Trust – Emergency Permit – Driveway Repair

Project Applicant: Rick Robles

Project Description: The proposed project is for the repair of an existing driveway and the construction of a retaining wall to reinforce the existing driveway. The retaining wall will be approximately 263 feet long. The retaining wall will vary in height from 4 feet to 16 feet tall. 24-inch diameter caissons will extend approximately 30 to 50 feet below existing grade to support the retaining wall and reinforce the existing driveway. The 2023/24 winter storms damaged the existing driveway, resulting in slope failures of the steep slopes on the subject parcel and removing driveway access to the parcel. The slopes are at risk of further failure, jeopardizing the existing development on the parcel, including the existing single-family dwelling. Grading for the project will include 500 cubic yards of cut and 500 cubic yards of fill. No trees are proposed for removal. The work is expected to be completed within 4 months of permit issuance. The parcel will continue to be served by municipal water, a private septic system, and the Santa Barbara County Fire Department. Access will continue to be provided off of Palomino Road. The property is a 1.34-acre parcel zoned 1-E-1 and shown as Assessor's Parcel Number 023-290-031, located at 1170 Palomino Road in the Mission Canyon Community Plan Area, First Supervisorial District.

Name of Public Agency Approving Project: County of Santa Barbara

Name of Person or Entity Carrying Out Project: Natalie Ochsner

Exempt Status:

- Ministerial
- Statutory Exemption
- Categorical Exemption
- Emergency Project

Robles Trust – Emergency Permit – Driveway Repair, Case No. 23EMP-00019

March 15, 2024

Attachment C – 2

Declared Emergency

Cite specific CEQA and/or CEQA Guidelines Section: Section 15269(c), Emergency Projects

Reasons to support exemption findings: *CEQA Guidelines* Section 15269(c) exempts “specific actions necessary to prevent or mitigate an emergency.” Emergency action is warranted in this case because the Winter 2023/24 storms damaged the existing driveway, resulting in numerous erosion issues and slope failures of the steep slopes on the subject parcel and removing driveway access to the parcel. The slopes are at risk of further failure, jeopardizing the existing development on the parcel, including the existing single-family dwelling. Therefore, this statutory exemption applies to the proposed project.

Lead Agency Contact Person: Kylie Sanchez, Planner

Phone #: (805) 568-2507 **Department/Division Representative:** _____

Date: March 15, 2024

Acceptance Date: March 20, 2024

Distribution: Hearing Support Staff

Date Filed by County Clerk: _____