

# OUTDOOR CANNABIS CULTIVATION UNDER HOOPS

6980 CAT CANYON ROAD  
LOS ALAMOS CA 93440  
APN: 101-070-069



REVISIONS:	DATE:
1	JAN. 20 2022
2	FEB. 16 2022
3	2.8.2024 APPEAL - BOS

THOMAS GOCHA  
DESIGN  
PLANNING  
CONSULTING  
PROJECT MANAGEMENT

TRINITY COUNTY  
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805.451.8441  
tcgpechadesign.net

VENTURA COUNTY  
10712 CASITAS PASS ROAD  
GARRINITERA, CA 93015  
805.451.8441  
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www.gochadesign.net

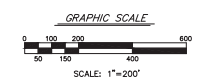
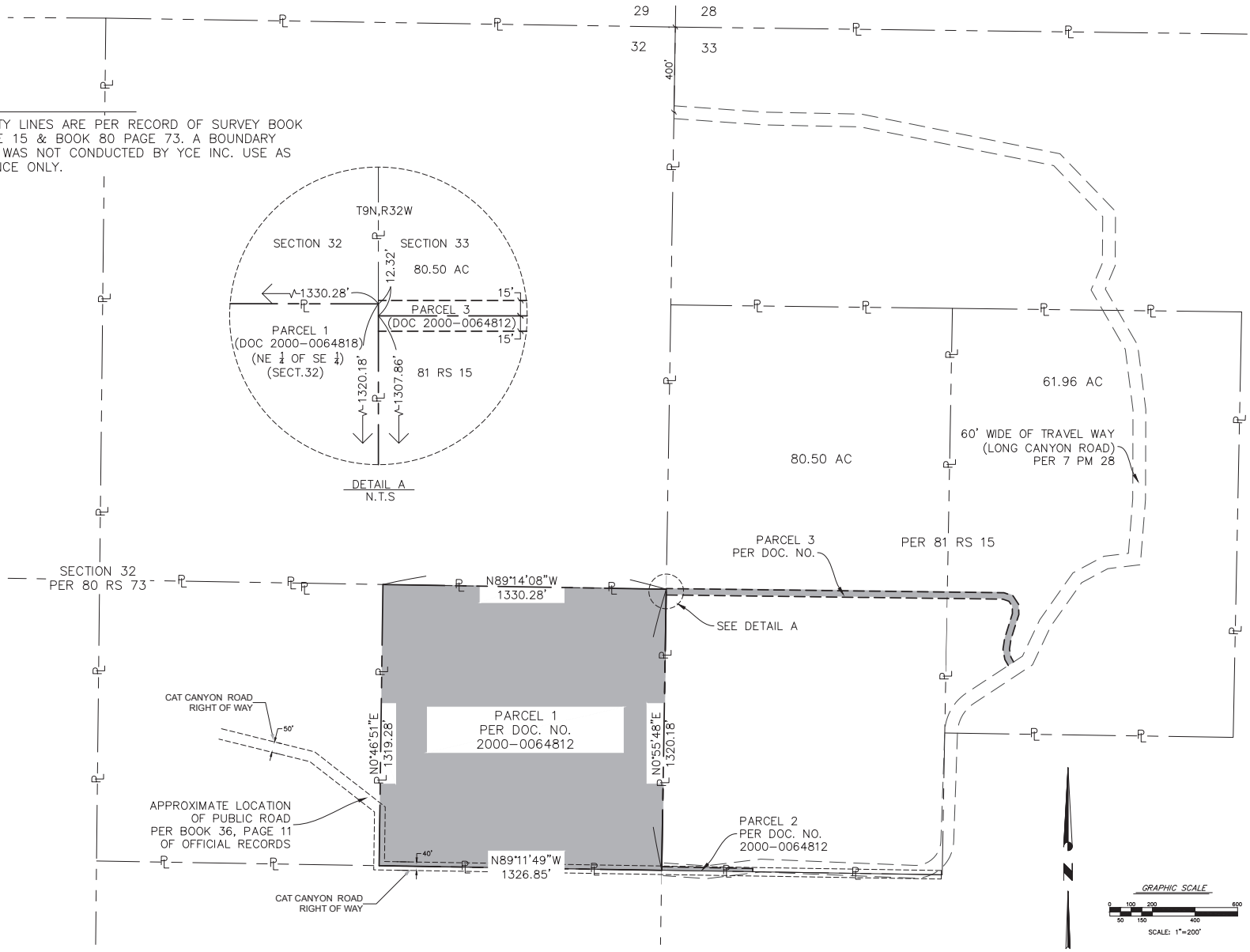
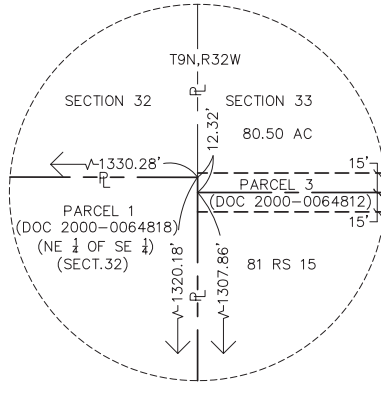
ENGINEER:

GENERAL LUDC INFORMATION	SCOPE OF WORK	SHEET INDEX	PROJECT TEAM
<p><b>NOTES:</b></p> <p>1. ALL PROPOSED USES SHALL COMPLY WITH THE SANTA BARBARA COUNTY LUDC-SECTION 35.4.2.075.</p> <p>2. FENCING AND SECURITY PLAN SHALL COMPLY WITH THE SANTA BARBARA COUNTY LUDC-SECTION 35.9.0.070 &amp; 35.4.2.075.C.2.</p> <p>3. NEW 6' HIGH SECURITY FENCING SHALL BE PLACED AROUND THE PREMISES.</p> <p>4. LANDSCAPE AND SCREENING PLAN SHALL COMPLY WITH THE SANTA BARBARA COUNTY LUDC-SECTION 35.4.2.075.C.3.</p> <p>5. LIGHTING PLAN SHALL COMPLY WITH THE SANTA BARBARA COUNTY LUDC-SECTION 35.4.2.075.C.4.</p>	<p><b>BUILDING AREAS:</b></p> <p>BUILDING A - TANK STORAGE &amp; FERTIGATION: 2,400 SQFT BUILDING B - STORAGE SHED: 120 SQFT</p>	<p>A.1 COVER SHEET A.2 EASEMENT &amp; BOUNDARY EXHIBIT A.3 BOUNDARY MAP A.4 SITE PLAN OVERVIEW A.5 SITE DEVELOPMENT PLAN A.5.1 SOUTH SIDE DEVELOPMENT PLAN A.6 FENCING &amp; SECURITY PLAN A.7 LIGHTING PLAN A.8 TRANSPORTATION PLAN A.9 WATER EFFICIENCY PLAN A.10 CROSS SECTIONS @ ROAD RIGHT OF WAY A.11 FENCING DETAILS A.12 SOUTHSIDE PARKING &amp; STAGING AREA A.13 HOOP HOUSE PLAN TYPICAL A.14 AG ACCESSORY STORAGE BUILDING - A A.15 PESTICIDE &amp; AG GHEM STORAGE SHED - B L.0 LANDSCAPE COVER SHEET L.1 IRRIGATION PLAN L.2 IRRIGATION DETAILS L.3 PLANTING PLAN L.4 PLANTING DETAILS</p>	<p>PLANS PREPARED BY: TCG ASSOCIATES LLC THOMAS GOCHA 10712 CASITAS PASS ROAD GARRINITERA CA 93015 805.451.8441</p> <p>CIVIL ENGINEER: YCE ENGINEERS &amp; SURVEYORS MARTA ALVAREZ 1587 MORSE AVE STE A VENTURA CA 93003 805.650.6495</p> <p>LANDSCAPE ARCHITECT: PARRY STUDIOS KATE KLEIN 139 E DE LA GUERRA #163 SANTA BARBARA CA 93101 805.242.9317</p> <p>CANNABIS LICENSING CONSULTANTS: FLORNA AMANDA FERCY 821 MAIN STREET WEAVERVILLE CA 96093 530.751.8154</p> <p>BUSINESS LICENSING CONSULTANTS: AXIOM ADVISORS ERIN REISER 1201 K STREET, SUITE 920 SACRAMENTO, CA 95814 905.440.9021</p> <p>ARCHAEOLOGIST: ARCHAEOLOGICAL RESEARCH &amp; SUPPLY COMPANY NICK ANGLEOFF 440 WILDWOOD AVE. RIO DELL CA 95562 707.407.6205</p> <p>BIOLOGIST: STORRER ENVIRONMENTAL SERVICES: JOHN STORRER 2565 PIETA DEL SOL ROAD #203 SANTA BARBARA CA 93105 805.684.5482</p>
<p><b>VICINITY MAP</b></p>	<p><b>PROJECT DATA</b></p> <p>APN: 101-070-069 ZONING: AG-100 COMPREHENSIVE PLAN: AC LOT SIZE: 40 ACRES BLDG USES: WATER STORAGE POLE BARN OCC. GROUP: U/S CONST. TYPE: METAL CLIMATE ZONE: 9 BLDG. CODE: 2014 C6C SITE ADDRESS: 6980 CAT CANYON ROAD LOS ALAMOS CA 93440</p> <p>SUPERVISORIAL DISTRICT: 4 SCHOOL DISTRICT: SANTA MARIA UNION SCHOOL DISTRICT FIRE PROTECTION: SB COUNTY FIRE PROTECTION WATER SERVICES: PRIVATE WELL SEWER SERVICES: PRIVATE - N/A ELECTRICITY: F64E</p>	<p>LUP APPLICATION: 19LUP-00000-00273</p> <p>APPEAL: 22APL-00000-00009</p> <p>PROJECT: PROPOSED OUTDOOR CANNABIS CULTIVATION</p> <p>6980 CAT CANYON ROAD LOS ALAMOS CA 93440 APN: 101-070-069</p> <p>OWNER: MCRIARTY HOLDINGS LLC 5021 VERDUGO WAY #105-132 CAMARILLO CA 93012</p> <p>PROJECT PHASE: APPEAL RESPONSE: 23CUP-00000-00014 22APL-00000-00009 19LUP-00000-00273</p> <p>SHEET CONTENTS: COVER SHEET</p> <p>tcgpechadesign.net</p>	

NOTE: ON SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALE. REPORT ALL DISCREPANCIES IN WRITING TO TCG ASSOCIATES LLC FOR CLARIFICATION. DRAWINGS, IMAGES AND DESIGNS ON THIS PAGE OF PLANS ARE THE PROPERTY OF TCG ASSOCIATES LLC AND SHALL NOT BE REUSED, PRINTED OR COPIED WITHOUT PRIOR WRITTEN PERMISSION.

**NOTES:**

PROPERTY LINES ARE PER RECORD OF SURVEY BOOK 81 PAGE 15 & BOOK 80 PAGE 73. A BOUNDARY SURVEY WAS NOT CONDUCTED BY YCE INC. USE AS REFERENCE ONLY.



Revisions	Date
11	JAN. 20 2022
12	FEB. 16 2022
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**YCE INCORPORATED**  
Civil Engineering & Land Surveying  
1400 S. Harbor Blvd., Suite 200  
Long Beach, CA 90801  
Tel: (562) 591-1200 Fax: (562) 591-4252 Email: yce@ycesurvey.com

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LUP APPLICATION:  
19LUP-00000-00273

APPEAL:  
22APL-00000-00009

PROJECT:  
PROPOSED OUTDOOR  
CANNABIS CULTIVATION

6980 CAT CANYON ROAD  
LOS ALAMOS CA 93040  
APN: 101-070-069

OWNER:  
MORIARTY HOLDINGS LLC  
5021 VERDUGO WAY #105-132  
CAMARILLO CA 93012

PROJECT PHASE:  
APPEAL RESPONSE:  
23CUP-00000-00014  
22APL-00000-00009  
19LUP-00000-00273

RECORD OF BOUNDARY EXHIBIT  
MORIARTY HOLDINGS LLC  
EXHIBIT  
CAT CANYON ROAD  
LOS ALAMOS, CA

SHEET CONTENTS:  
EASEMENT &  
BOUNDARY EXHIBIT

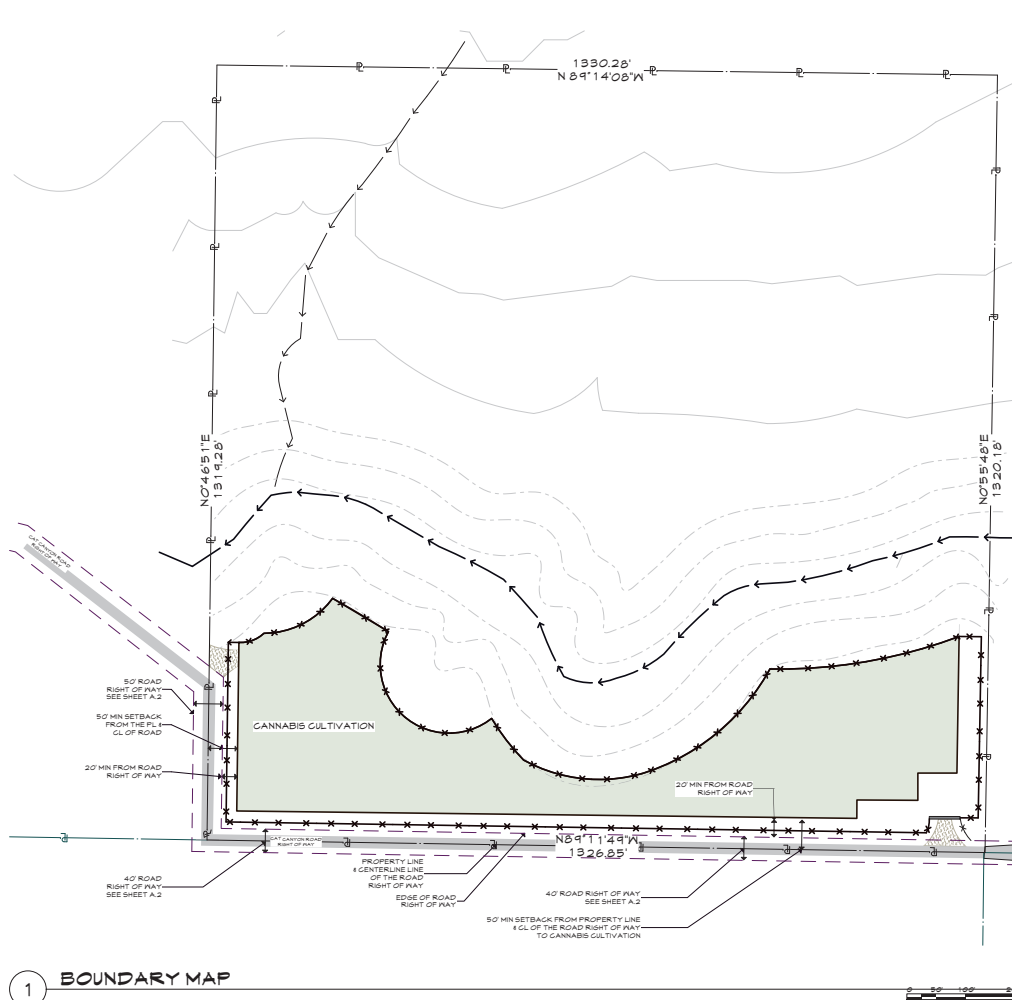
1 OF 1

SHEET No:

DATE: 5/18/24  
SCALE: AS SHOWN  
DRAWN BY: TCG  
CHECKED BY: TCG  
JOB No: 101-070-069

**A.2**

NOTE: ON SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALE. REPORT ALL DISCREPANCIES IN WRITING TO TCG ASSOCIATES LLC FOR CLARIFICATION. DRAWINGS, IMAGES AND DESIGNS ON THIS PAGE OF PLANS ARE THE PROPERTY OF TCG ASSOCIATES LLC AND SHALL NOT BE REUSED, PRINTED OR COPIED WITHOUT PRIOR WRITTEN PERMISSION.



1 BOUNDARY MAP

**LEGEND:**

	PROPERTY LINE		PARKING AREA SHALL BE COMPACTED SOIL CAPPED WITH ROAD BASE SUBJECT TO FIRE DEPARTMENT APPROVAL
	ROAD RIGHT OF WAY		DIRT ACCESS ROAD CAPPED W/ ROAD BASE
	NEW 6" HIGH SECURITY FENCE LINE		CULTIVATIONS AREAS: ACTUAL DIMENSIONS & LAYOUTS PROVIDED ON SHEETS A.1
	EXIST. FENCING		
	CREEK FLOW LINE		
	50' SETBACK LINE		
	ROAD CENTERLINE		
	EASEMENT LINE		
	DOMESTIC WATER LINE		
	AS WATER LINE		
	OVERHEAD ELECTRICAL LINE		

**FOR RECORD OF SURVEY  
EXHIBIT  
SEE SHEET A.2**

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ENGINEER:

LUP APPLICATION:  
 19LUP-00000-00273

APPEAL:  
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PROJECT:  
 PROPOSED OUTDOOR  
 CANNABIS CULTIVATION

6980 CAT CANYON ROAD  
 LOS ALAMOS CA 93440  
 APN: 101-070-069

OWNER:  
 MCRARTY HOLDINGS LLC  
 5021 VERDUGO WAY #105-132  
 CAMARILLO CA 93012

PROJECT PHASE:  
 APPEAL RESPONSE:  
 23CUP-00000-00014  
 22APL-00000-00009  
 19LUP-00000-00273

SHEET CONTENTS:  
 BOUNDARY MAP

TCG ASSOCIATES LLC

DATE: 5/18/24

SCALE: AS SHOWN

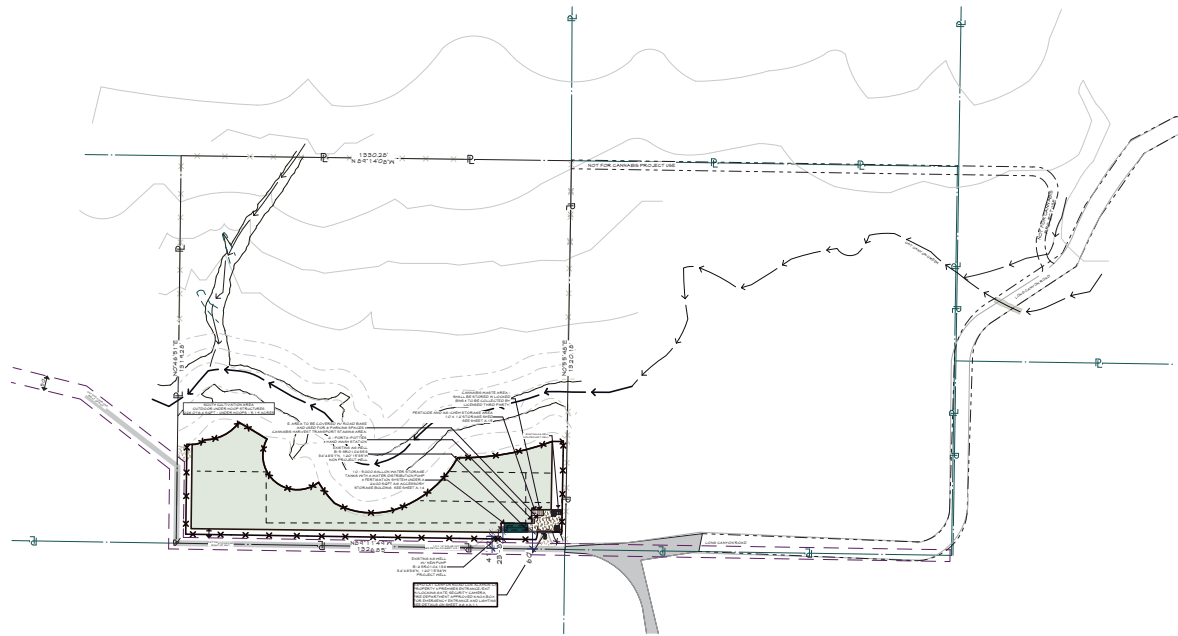
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CHECKED BY: TCG

JOB No: 101-070-069

SHEET No:

**A.3**



1 SITE PLAN OVERVIEW



LEGEND:	
	PROPERTY LINE
	ROAD RIGHT OF WAY
	NEW 6' HIGH SECURITY FENCE LINE
	EXIST. FENCINGS
	CREEK FLOW LINE
	ESH SETBACK LINE
	ROAD CENTERLINE
	EASEMENT LINE
	DOMESTIC WATER LINE
	AS WATER LINE
	OVERHEAD ELECTRICAL LINE
	PARKING AREA SHALL BE COMPACTED SOIL GAPPED WITH ROAD BASE SUBJECT TO FIRE DEPARTMENT APPROVAL
	DRY ACCESS ROAD GAPPED W/ ROAD BASE
	CULTIVATIONS AREAS: ACTUAL DIMENSIONS & LAYOUTS PROVIDED ON SHEETS A.1

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PROJECT:  
PROPOSED OUTDOOR  
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5021 VERDUGO WAY #105-132  
CAMARILLO CA 93012

PROJECT PHASE:  
APPEAL RESPONSE:  
23CUP-00000-00014  
22APL-00000-00009  
19LUP-00000-00273

SHEET CONTENTS:  
SITE PLAN  
OVERVIEW

tcg associates llc

DATE: 5/18/24

SCALE: AS SHOWN

DRAWN BY: TCG

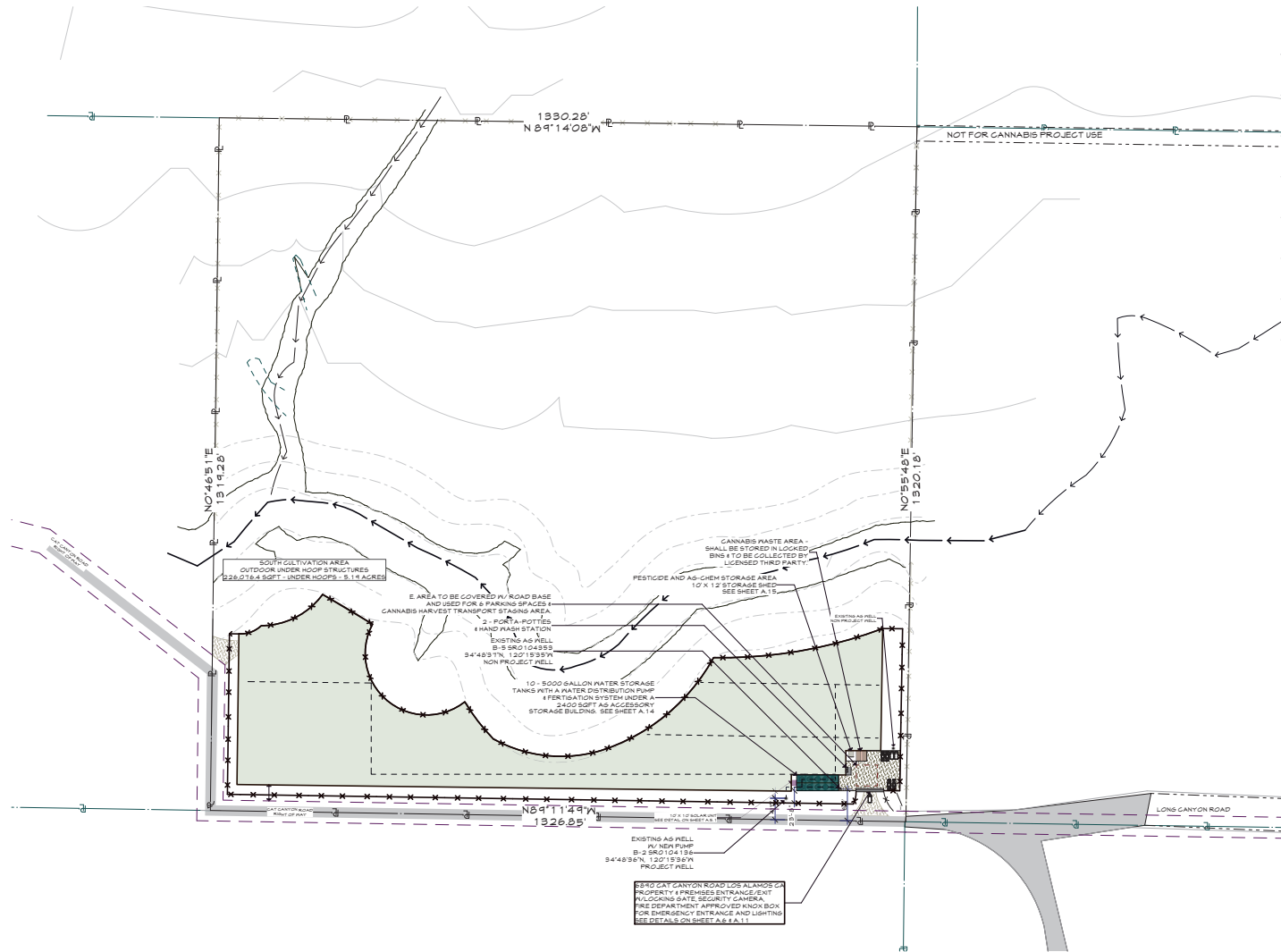
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JOB No: 101-070-069

SHEET No:

FOR RECORD OF SURVEY  
EXHIBIT  
SEE SHEET A.2

A.4



**1 SITE DEVELOPMENT PLAN**

LEGEND:	
	PROPERTY LINE
	ROAD RIGHT OF WAY
	NEW 6' HIGH SECURITY FENCE LINE
	EXIST. FENCING
	CREEK FLOW LINE
	ESH SETBACK LINE
	ROAD CENTERLINE
	EASEMENT LINE
	DOMESTIC WATER LINE
	AG WATER LINE
	OVERHEAD ELECTRICAL LINE
	PARKING AREA SHALL BE COMPACTED SOIL GAFFED WITH ROAD BASE SUBJECT TO FIRE DEPARTMENT APPROVAL
	DIRT ACCESS ROAD GAFFED W/ ROAD BASE
	CULTIVATIONS AREAS ACTUAL DIMENSIONS & LAYOUTS PROVIDED ON SHEETS A.5.1

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**FOR RECORD OF SURVEY  
EXHIBIT  
SEE SHEET A.2**

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6980 CAT CANYON ROAD  
 LOS ALAMOS CA 93440  
 APN: 101-070-069

OWNER:  
 MORIARTY HOLDINGS LLC  
 5021 VERDUGO WAY #105-132  
 CAMARILLO CA 93012

PROJECT PHASE:  
 APPEAL RESPONSE:  
 23CUP-00000-00014  
 22APL-00000-00009  
 19LUP-00000-00273

SHEET CONTENTS:  
 SITE DEVELOPMENT  
 PLAN

DATE: 5/18/24

SCALE: AS SHOWN

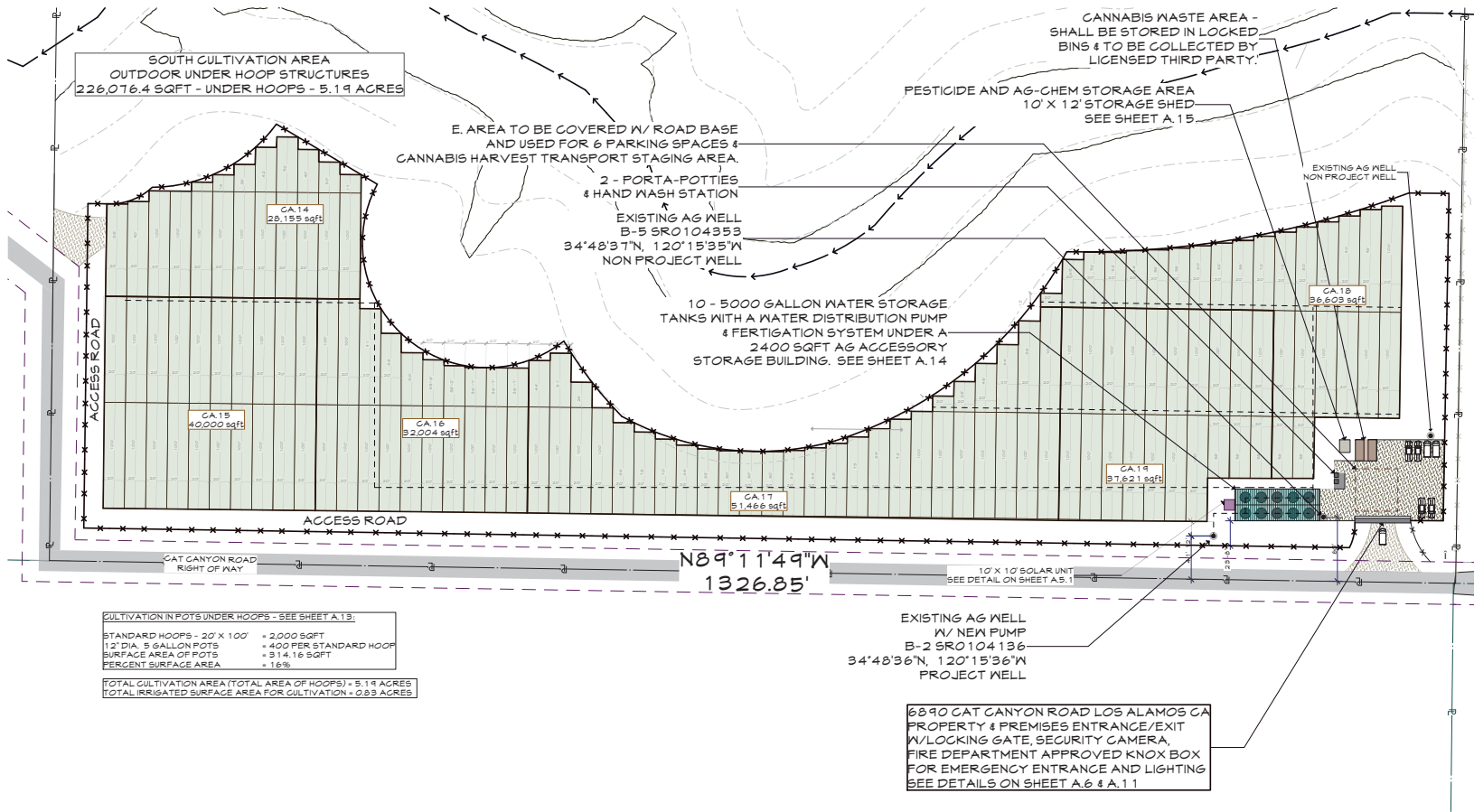
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JOB No: 101-070-069

SHEET No:

**A.5**



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ENGINEER:

LUP APPLICATION:  
19LUP-00000-00273

APPEAL:  
22APL-00000-00009

PROJECT:  
PROPOSED OUTDOOR  
CANNABIS CULTIVATION

6890 CAT CANYON ROAD  
LOS ALAMOS CA 93040  
APN: 101-070-069

OWNER:  
MORIARTY HOLDINGS LLC  
5021 VERDUGO WAY #105-132  
CAMARILLO CA 93012

PROJECT PHASE:  
APPEAL RESPONSE:  
23CUP-00000-00014  
22APL-00000-00009  
19LUP-00000-00273

SHEET CONTENTS:  
SOUTH SIDE  
DEVELOPMENT  
PLAN

DATE: 5/18/24  
SCALE: AS SHOWN  
DRAWN BY: TCG  
CHECKED BY: TCG  
JOB No: 101-070-069

SHEET No:

1 CULTIVATION AREA SOUTHSIDE  
SCALE: 1" = 50'

LEGEND:	
	PROPERTY LINE
	ROAD RIGHT OF WAY
	NEW 6' HIGH SECURITY FENCE LINE
	EXIST. FENCING
	CREEK FLOW LINE
	ESH SETBACK LINE
	ROAD CENTERLINE
	EASEMENT LINE
	DOMESTIC WATER LINE
	AG WATER LINE
	OVERHEAD ELECTRICAL LINE
	PARKING AREA SHALL BE COMPACTED SOIL CAPPED WITH ROAD BASE SUBJECT TO FIRE DEPARTMENT APPROVAL
	DIRT ACCESS ROAD CAPPED W/ ROAD BASE
	CULTIVATION AREAS: ACTUAL DIMENSIONS & LAYOUTS PROVIDED ON SHEETS A.5.1

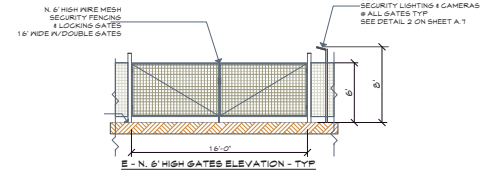
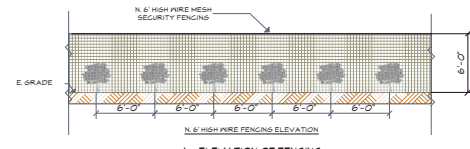
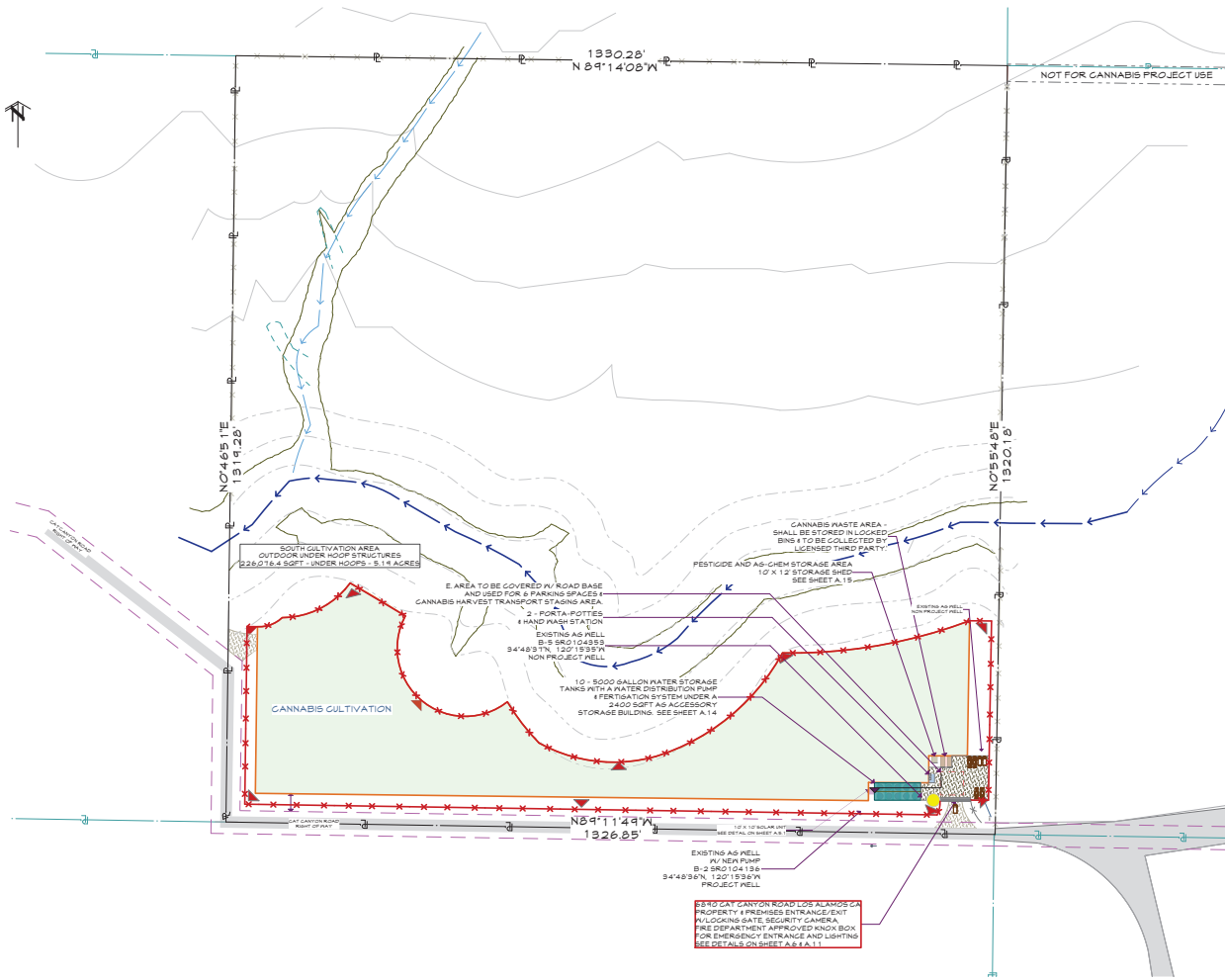
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1 SOLAR UNIT

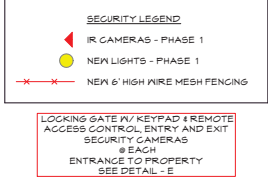
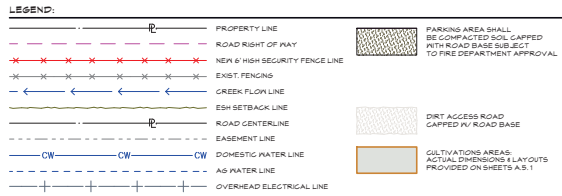
A.5.1



**SECURITY CAMERA PLACEMENT:**  
CAMERAS SHALL CAPTURE THE ENTIRE CULTIVATION AREA.  
ALL CULTIVATION AREAS.  
CAMERAS SHALL BE PLACED AT THE FOUR CORNERS OF THE CULTIVATION AREA. CAMERAS SHALL BE PLACED AT HD POINTS ALONG THE CULTIVATION AREA AS WELL. ONE CAMERA SHALL BE PLACED WITHIN 20' OF EVERY INGRESS AND EGRESS POINT. CORNER CAMERAS SHALL CAPTURE A 90 DEGREE ANGLE.

- NOTES:**
- ALL PROPOSED USES SHALL COMPLY WITH THE SANTA BARBARA COUNTY LDC-SECTION 35.4.2.15.
  - FENCING AND SECURITY PLAN SHALL COMPLY WITH THE SANTA BARBARA COUNTY LDC-SECTION 35.5.0.101 & 35.4.2.15.G.2.
  - NEW 6' HIGH SECURITY FENCING SHALL BE PLACED AROUND THE PREMISES.
  - LANDSCAPE AND SCREENING PLAN SHALL COMPLY WITH THE SANTA BARBARA COUNTY LDC-SECTION 35.4.2.15.G.3.
  - LIGHTING PLAN SHALL COMPLY WITH THE SANTA BARBARA COUNTY LDC-SECTION 35.4.2.15.G.4.
  - NEW LIGHTING SHALL BE PLACED WITHIN 10'-15' FEET EACH POINT OF INGRESS OR EGRESS ENTRY GATE GALL BOX AND THE ADDRESS SIGN AT A HEIGHT OF 8' ABOVE GROUND.
  - NEW LIGHTS SHALL BE BEACON - CRUISER # EACH LOCATION.
  - ALL LIGHTS SHALL BE SHIELDED & THE LIGHT DIRECTED DOWNWARD.

**1 FENCING & SECURITY PLAN**



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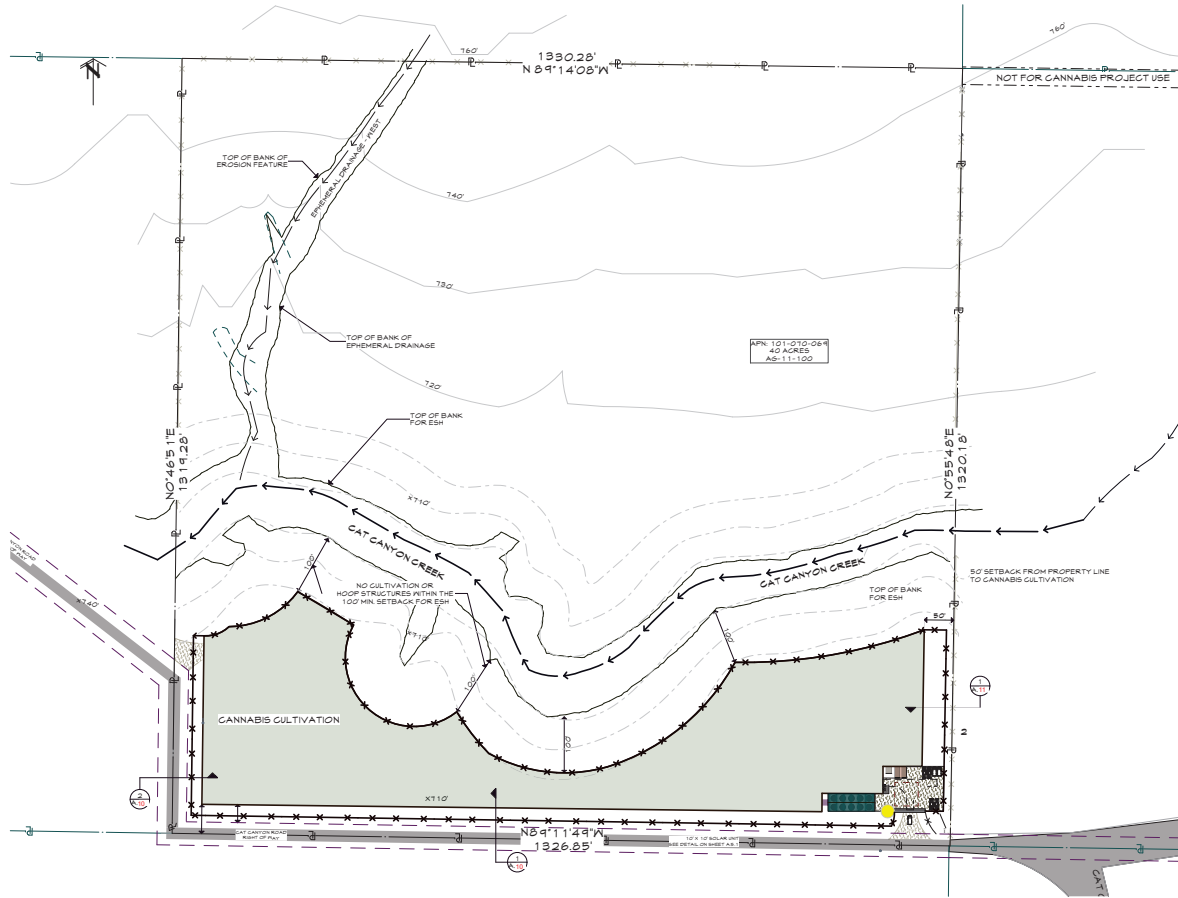
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PROJECT PHASE:  
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SHEET CONTENTS:  
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PLAN

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SHEET No:



1 LIGHTING PLAN

**LEGEND:**

	PROPERTY LINE		PARKING AREA SHALL BE COMPACTED SOIL CAPPED WITH ROAD BASE SUBJECT TO FIRE DEPARTMENT APPROVAL
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	CW DOMESTIC WATER LINE		
	AS WATER LINE		
	OVERHEAD ELECTRICAL LINE		

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**CRUZER**  
AREA LUMINAIRE

- FEATURES**
- Unique normal management system yields a 434,000-hour rated life
  - Can be mounted on round or square poles
  - Easy hinged access, field replaceable optical bezel and heat dissipating fins

DATE	LOCATION
TITLE	PROJECT
CATEGORY	



**CONTROL TECHNOLOGY**



**SPECIFICATIONS**

- CONSTRUCTION**
- Die cast main (thermal) housing provides direct heat management through the LED light engine and the cool outdoor air
  - LED drivers are thermally isolated from the main housing, mechanically shielded and heat vented to the rear housing
  - Shape of the main housing is designed to prevent debris accumulation and is a bent nesting element. Back and main housings are designed to hinge open for easy mounting and easy access
  - FS polyester powder-coat electrostatically applied and thermoset
  - FS finish consists of a low stage pretreatment region with a primer, primer sealer and top coated with a thermoset super-TSC polyester powder coat finish
  - The finish meets the AAMA 2604 performance specification which includes passing a 5000-hour salt spray test for corrosion resistance and finish cracking or loss of adhesion per ASTM D522 and meets surface impact up to 500 inch-pounds
- OPTICS**
- Custom one-piece cartridge system consisting of an LED engine, LEDs, optics, gasket and stainless steel base
  - Cartridge is held together with integral brass standards, isolated to the base so heat can be felt isolated as a one-piece optical system
  - Optics are held in place without the use of adhesives
  - Cartridge assembly is available in various lighting distributions using T8 designed optical lenses over each LED

- ELECTRICAL**
- Luminaire accepts 120V through 277V, 347V or 480V input, 50 to 60 Hz
  - Power factor is >0.9 at full load
  - Optional 0 to 10 volt dimming levels are available upon request
  - Component accompanied wiring within the luminaire may carry no more than 30% of rated load and is rated by UL for use at 600VAC, 15A or higher. SA safety applies to primary VAC wire only
  - Surge protection - 20KA
- CONTROLS**
- Available with an optional passive infrared (PIR) motion sensor capable of detecting motion 300' around the luminaire. When no motion is detected for the specified time, the motion response system reduces the voltage to factory preset level, reducing the light level to approximately 70% when motion is detected by the PIR sensor. The luminaire returns to full wattage and full light output. Please contact Beacon Products if project requirements vary from standard configuration
  - Available with Emergent for optional set dimming, level dimming with remote, dimmer, or timed dimming based on time of night ([www.beaconlighting.com/usa/usa/usa/usa/](http://www.beaconlighting.com/usa/usa/usa/usa/))
  - Custom can be specified with "DarkSky" wireless control system for reduction in energy and maintenance cost and optimized light quality 24/7. See ordering information or visit [www.beaconlighting.com/usa/usa/usa/usa/](http://www.beaconlighting.com/usa/usa/usa/usa/) for more details

**RELATED PRODUCTS**

- [Beacon](#)

**INSTALLATION**

- Area mount for attachment to round or square pole
- Slip fit of adjustable knuckle fits 2.38" arm or ferron
- Suitable for applications requiring 3G testing (permitted by ANSI C136.3)
- CSA listed, suitable for wet locations (standard)
- CSA approved for 3000K or warmer CCT
- The product qualifies as a "designated country construction material" per FAR 22.226-18 Buy American Construction Materials under Trade Agreements effective 06/03/2003. See [www.beaconlighting.com/usa/usa/usa/usa/](http://www.beaconlighting.com/usa/usa/usa/usa/)

**CERTIFICATIONS**

- 5 year warranty
- See [UL Product Warranty](#) for additional information

**WARRANTY**

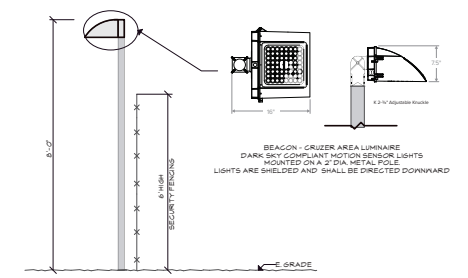
- 5 year warranty
- See [UL Product Warranty](#) for additional information

**KEY DATA**

Lumen Range	3,446-15,540
Wattage Range	23-106
Life (Hours)	39,100
Life (Years)	1.70-4.00/2000
Input Current Range (Amperes)	0.12-1.38

Pat. 6,918, 887,020 © 2020 Beacon Products a division of Hubbell Lighting, Inc. Specifications subject to change without notice. 700 Williams Blvd., Greenville, SC 29607 | Tel: 864.674.0000 | Website: [www.beaconlighting.com](http://www.beaconlighting.com)

1 SECURITY LIGHTING DETAIL @ SPECIFICATIONS



2 SECURITY LIGHTING DETAIL @ PERIMETER SECURITY FENCE LINE

- LIGHTING NOTES:**
1. BEACON - CRUZER @ EACH LOCATION
  2. TYPED TO A MAXIMUM OF 3 MINUTES EACH OCCURRENCE
  3. ALL LIGHTING SHALL COMPLY WITH LDC-SECTION 35.4.2.015.4.
  4. ALL LIGHTS SHALL BE SHIELDED & THE LIGHT DIRECTED DOWNWARD.
  5. LIGHTING PLAN SHALL COMPLY WITH THE SANTA BARBARA COUNTY LDC-SECTION 35.4.2.015.4.
  6. NEW LIGHTING SHALL BE PLACED WITHIN 10-15 FEET EACH POINT OF INGRESS OR EGRESS ENTRY GATE CALL BOX AND THE ADDRESS SIGN AT A HEIGHT OF 8' ABOVE GROUND.
  7. NEW LIGHTS SHALL BE BEACON - CRUZER @ EACH LOCATION.
  8. ALL LIGHTS SHALL BE SHIELDED & THE LIGHT DIRECTED DOWNWARD.

REVISIONS:	DATE:
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THOMAS GOCHA  
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PLANNING  
CONSULTING  
PROJECT MANAGEMENT

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www.gochadesign.net

ENGINEER:

LUP APPLICATION:  
19LUP-00000-00273

APPEAL:  
22APL-00000-00009

PROJECT:  
PROPOSED OUTDOOR  
CANNABIS CULTIVATION

6980 CAT CANYON ROAD  
LOS ALAMOS CA 93440  
APN: 101-070-069

OWNER:  
MCRIARTY HOLDINGS LLC  
5021 VERDUGO WAY #105-132  
CAMARILLO CA 93012

PROJECT PHASE:  
APPEAL RESPONSE:  
23CUP-00000-00014  
22APL-00000-00009  
19LUP-00000-00273

SHEET CONTENTS:  
LIGHTING PLAN

DATE: 5/18/24

SCALE: AS SHOWN

DRAWN BY: TCG

CHECKED BY: TCG

JOB No: 101-070-069

SHEET No:

A.7



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CAMARILLO CA 93012

PROJECT PHASE:  
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23CUP-00000-00014  
22APL-00000-00009  
19LUP-00000-00273

SHEET CONTENTS:  
TRANSPORTATION  
PLAN

tgo associates llc

DATE: 5/18/24

SCALE: AS SHOWN

DRAWN BY: TCG

CHECKED BY: TCG

JOB No: 101-070-069

SHEET No:

A.8



**1. TRANSPORTATION DEMAND PLANNING**

LUP SECTION 35.42.012D (1)

- THE PROPOSED CANNABIS OPERATION WILL INCLUDE A MAXIMUM OF 8 YEAR-ROUND FULL TIME EMPLOYEES AND A MAXIMUM OF 8 SEASONAL EMPLOYEES WHO WILL BE EMPLOYED DURING HARVEST MAY 25TH - JUNE 25TH (SEPTEMBER 15TH - OCTOBER 15TH).
- THE OPERATION WILL BE LIMITED TO THE SOUTH SIDE CULTIVATION AREA WITH ACCESS AT 6980 CAT CANYON ROAD HARVEST CANNABIS WILL BE TRANSPORTED OFF SITE THE SAME DAY TO A LICENSED PROCESSING FACILITY. THE SOUTH SIDE OPERATION WILL REQUIRE 8 FULL TIME EMPLOYEES AND 8 SEASONAL EMPLOYEES DURING THE HARVEST CYCLE BETWEEN MAY 25TH & JUNE 25TH AND SEPTEMBER 15TH & OCTOBER 15TH.
- THE PROPOSED HOURS OF OPERATION ARE LIMITED TO DAYLIGHT HOURS THAT OCCUR BETWEEN 6:00 AM TO 8:00 PM, MONDAY THROUGH SATURDAY.
- PRIMARY ACCESS IS AT 6980 CAT CANYON ROAD AT THE SOUTH EAST CORNER OF THE PARCEL.
- PARKING SHALL BE PROVIDED AT THE SOUTH EAST CORNER AT 6980 CAT CANYON ROAD. PARKING SPACES SHALL BE DELINEATED WITH CHALK AND WHEEL STOP. SEE PLANS.
- SOUTH SIDE PARKING - 6 SPACES - (SEE SHEET A.12 FOR PARKING DETAIL)
- AVERAGE TRIPS PER DAY SHALL BE:
  - 12 TRIPS PER DAY THROUGHOUT THE YEAR TO THE SOUTH SIDE GARDEN 14 ADDITIONAL TRIPS PER DAY ARE REQUIRED DURING THE HARVEST CYCLES MAY 25TH - JUNE 25TH (SEPTEMBER 15TH - OCTOBER 15TH) TO THE SOUTH SIDE GARDEN.
  - DISTRIBUTION & TRANSPORT OF PRODUCT SHALL REQUIRE APPROXIMATELY AN ADDITIONAL 1 TRIP PER DAY VIA LARGE VAN OR TRUCK TO A LICENSED OFF SITE PROCESSING FACILITY.
- THE CANNABIS HARVESTED FROM THE SOUTH CULTIVATION AREA WILL BE BROUGHT TO THE STAGING AND TRANSPORT AREA AT THE SOUTH EAST CORNER OF THE PARCEL. FROM THERE THE PRODUCT WILL BE TRANSPORTED TO A LICENSED PROCESSING FACILITY ON THE SAME DAY.
- IN ORDER TO MINIMIZE TRAFFIC IMPACTS, THE FOLLOWING MEASURES SHALL BE IMPLEMENTED TO REDUCE VEHICLE TRIPS:
  - EMPLOYEES SHALL BE ENCOURAGED TO CARPOOL IN ORDER TO REDUCE VEHICLE TRIPS AND MINIMIZE TRAFFIC IMPACTS.
  - OPERATOR SHALL IMPLEMENT CONDENSED EMPLOYEE WORK SCHEDULES SUCH THAT EMPLOYEES WORK LONGER HOURS DAILY AND FEWER DAYS WEEKLY.
  - OPERATOR SHALL PROVIDE A SHUTTLE SERVICE FOR EMPLOYEES.
  - OPERATOR SHALL PROVIDE BUSES TO EMPLOYEES FOR EACH DAY THEY CARPOOL TO A SITE.
  - OPERATOR SHALL COVER ALL FUEL COSTS FOR CARPOOLING.
- RIDE SHARE/VANPOOL PROGRAM AND EMPLOYEE INCENTIVES: THE OPERATOR SHALL IMPLEMENT AN INTERNAL RIDE SHARE/VANPOOL PROGRAM TO ALLOW FOR REDUCED ENERGY CONSUMPTION, REDUCED TRAFFIC CONGESTION AND REDUCE PARKING REQUIREMENTS DEMAND. ADDITIONALLY, THE PROGRAM SHALL BENEFIT EMPLOYEES BY REDUCING COMMUTE-RELATED STRESS, INCREASING EMPLOYEE ENGAGEMENT AND MORALE, AND ALLOWING FOR IMPROVED PRODUCTIVITY AND TEAM ALIGNMENT.
- EMPLOYER SHALL BE ENCOURAGED TO PARTICIPATE IN THE COMPANY'S RIDE SHARE/VANPOOL PROGRAM BY HIGHLIGHTING/OFFERING THE FOLLOWING INCENTIVES: NO OUT-OF-POCKET COST TO RIDE/PARTICIPATE PROGRAM IMMEDIATE REDUCTION IN INDIVIDUAL COMMUTE COSTS (LESS MONEY SPENT ON GAS, LESS WEAR AND TEAR, AND REDUCTION ON PERSONAL COMMUTE VEHICLES) INCREASED FLEXIBILITY TO TAKE A DAY OFF OR TAKE A SHORTER TRIP (LESS COMMUTE TIME) LOCAL AREA RESIDENTS WILL BE HANDED OFF FOR MONTHLY WHEN THE GREATEST NUMBER OF MONTHLY COMMUTES AND GREATEST NUMBER OF MONTHLY MILES LOGGED AWARD CATEGORIES.
- EACH PARTICIPATING EMPLOYEE SHALL INDEPENDENTLY TRACK/LOG THEIR COMMUTES AND IS RESPONSIBLE FOR SUBMITTING THEIR MONTHLY TOTALS TO HUMAN RESOURCES FOR THE PURPOSES OF GENERAL RESOURCE KEEPING AND INCENTIVE PAYOUTS/PAID/LEISURE/VACATIONS.
- NOTE: OPERATOR SHALL MONITOR AND TRACK VEHICLE TRIPS AND PARTICIPATION IN TRIP REDUCTION METHODS/INCENTIVES AND SHALL PROVIDE REPORT TO PLANNING AND DEVELOPMENT COMPLIANCE STAFF UPON REQUEST.
- RIDE SHARE LOT LOCATION/TRANSPORTATION (ORIGIN & DESTINATION) ROUTES:

**SOUTHBOUND COMMUTE:**

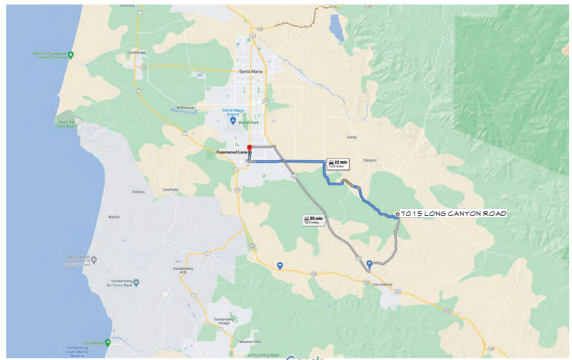
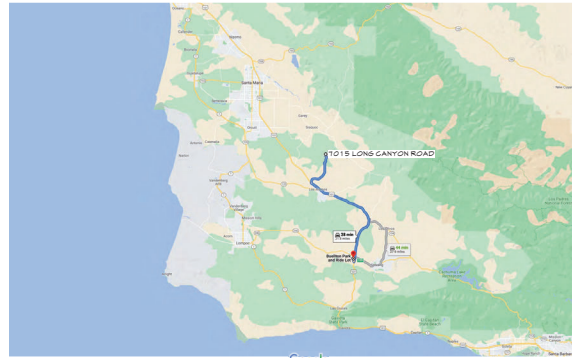
SOUTHBOUND LOT 1 LOCATION - (ORCUTT WEST PARK # RIDE - KORNWOOD LN, ORCUTT, CA 93455 - CLARK AVENUE AND SR 135, NORTH EAST QUADRANT) ROUTE TO 6980 CAT CANYON (1.23 MILES EACH WAY).

SOUTHBOUND LOT 2 LOCATION - (ORCUTT EAST PARK # RIDE - 4144 ORCUTT RD, SANTA BARBARA, CA 93405 - CLARK AVENUE AND SR 135, NORTH EAST QUADRANT) ROUTE TO 6980 CAT CANYON (1.22 MILES EACH WAY).

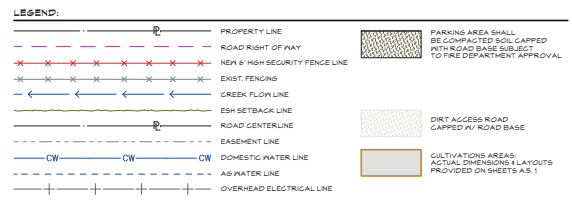
**NORTHBOUND COMMUTE:**

NORTHBOUND LOT LOCATION - (BULETON PARK # RIDE - TO AVE OF THE PLAINS, BULETON, CA 92421 - ROUTE TO 6980 CAT CANYON (1.6 MILES EACH WAY).

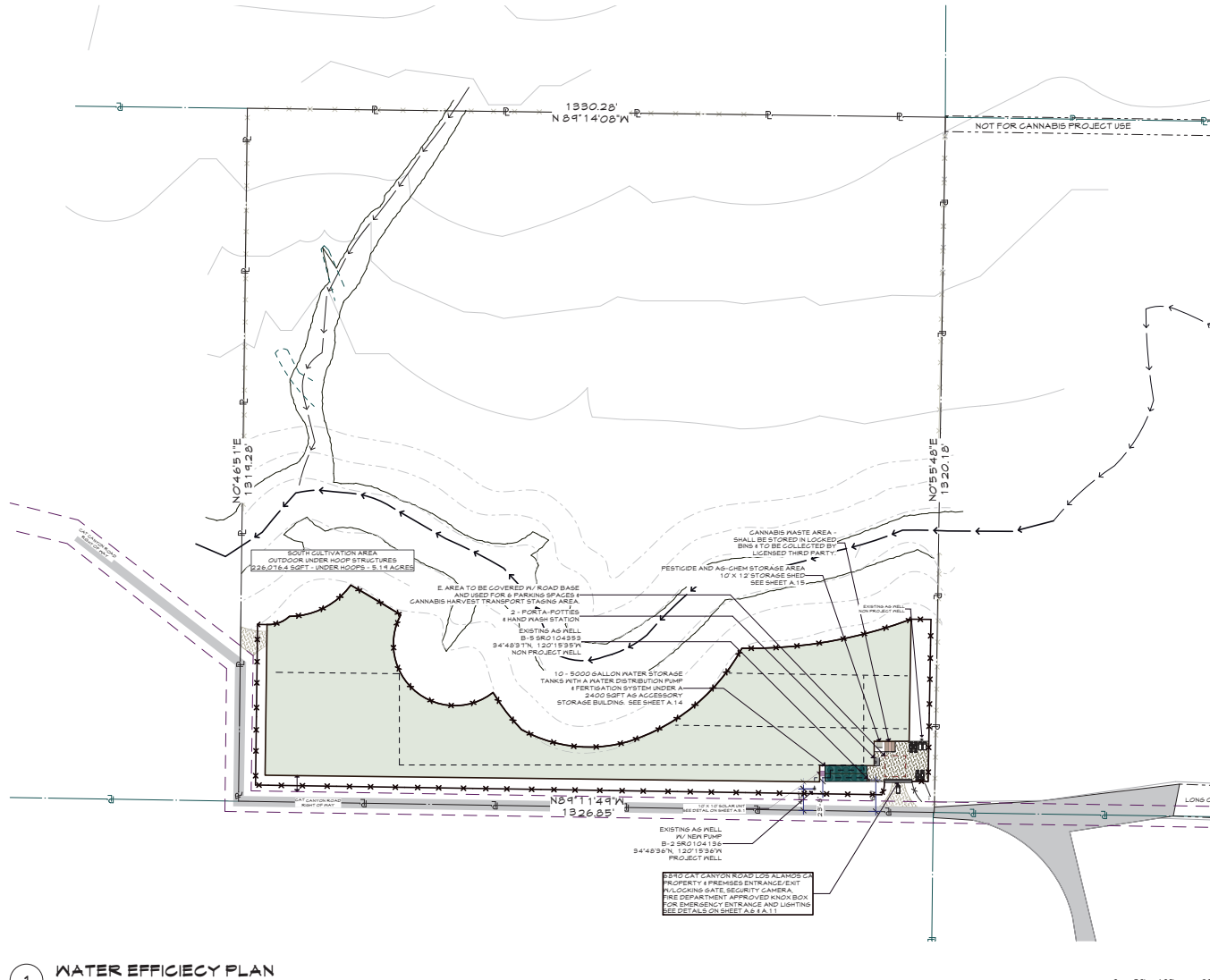
1 TRANSPORTATION PLAN



2 RIDE SHARE ROUTE OPTIONS



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- WATER EFFICIENCY PLAN NOTES:**
- THE FOLLOWING WATER-CONSERVING FEATURES SHALL BE INCORPORATED INTO THE PROPOSED DEVELOPMENT, LUDC SECTION 99.42.015.D.1(I),
1. EVAPORATIVE BARRIERS ON EXPOSED SOILS AND POTS.
  2. DRIP IRRIGATION ON TIMERS SHALL BE USED.
  3. SOIL MOISTURE MONITORS.

- LEGEND:**
- PROPERTY LINE
  - ROAD RIGHT OF WAY
  - NEX & HIGH SECURITY FENCE LINE
  - EXIST FENCING
  - CREEK FLOW LINE
  - ESH SETBACK LINE
  - ROAD CENTERLINE
  - EASEMENT LINE
  - DOMESTIC WATER LINE
  - AS WATER LINE
  - OVERHEAD ELECTRICAL LINE
- PARKING AREA SHALL BE COMPACTED SOIL CAPPED WITH ROAD BASE SUBJECT TO FIRE DEPARTMENT APPROVAL
- DIRT ACCESS ROAD CAPPED BY ROAD BASE
- CULTIVATOR AREAS: ACTUAL DIMENSIONS & LAYOUTS PROVIDED ON SHEETS A.5.1

1 WATER EFFICIENCY PLAN

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	VENTURA COUNTY SANTA BARBARA COUNTY 10712 GASITAS PASS ROAD GAMBITERA, CA 93013 805.451.8441 tcgassocllc.com
	www.tcgassocllc.com

ENGINEER:

LUP APPLICATION:  
19LUP-00000-00273

APPEAL:  
22APL-00000-00009

PROJECT:  
PROPOSED OUTDOOR  
CANNABIS CULTIVATION

6980 CAT CANYON ROAD  
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APN: 101-070-069

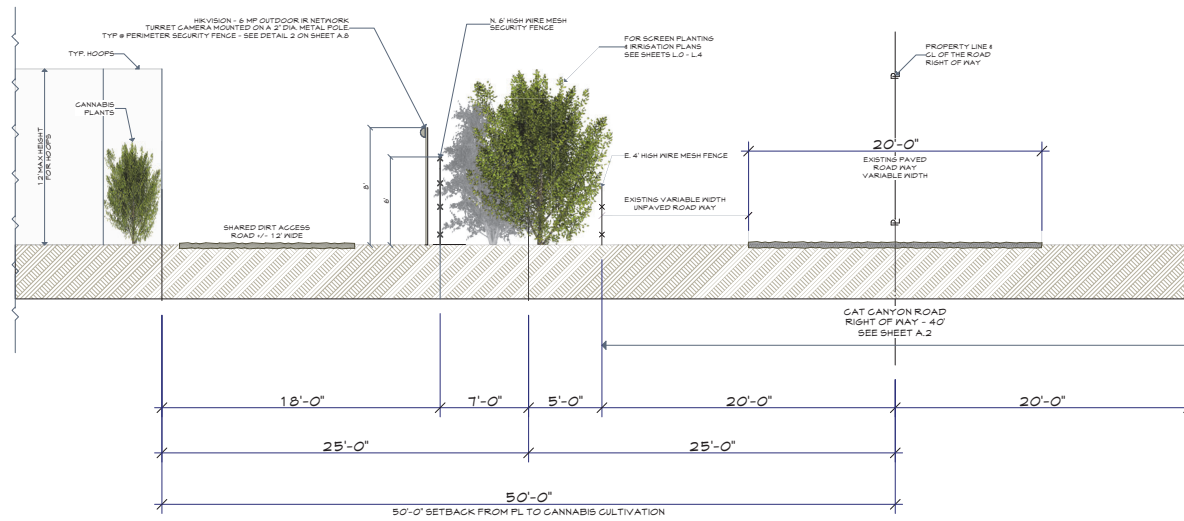
OWNER:  
MORIARTY HOLDINGS LLC  
5021 VERDUGO WAY # 105-132  
CAMARILLO CA 93012

PROJECT PHASE:  
APPEAL RESPONSE:  
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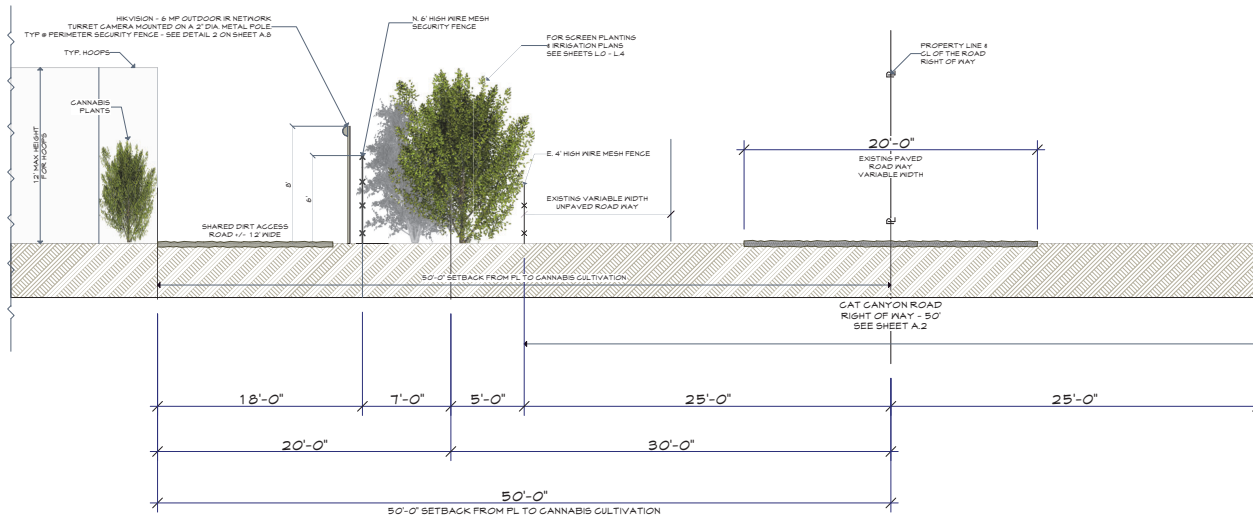
SHEET CONTENTS:  
WATER EFFICIENCY  
PLAN

TCG ASSOCIATES LLC

DATE:	5/18/24
SCALE:	AS SHOWN
DRAWN BY:	TCG
CHECKED BY:	TCG
JOB No:	101-070-069
SHEET No:	



1 SECTION @ SOUTHERLY CAT CANYON ROAD - 40' ROAD RIGHT OF WAY  
SCALE: 1/4" = 1'-0"



2 SECTION @ WESTERLY CAT CANYON ROAD - 50' ROAD RIGHT OF WAY  
SCALE: 1/4" = 1'-0"

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APPEAL:  
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PROJECT:  
PROPOSED OUTDOOR  
CANNABIS CULTIVATION

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LOS ALAMOS CA 93440  
APN: 101-070-069

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MORIARTY HOLDINGS LLC  
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CAMARILLO CA 93012

PROJECT PHASE:  
APPEAL RESPONSE:  
23CUP-00000-00014  
22APL-00000-00009  
19LUP-00000-00273

SHEET CONTENTS:  
CROSS SECTIONS @  
ROAD RIGHT OF  
WAY

DATE: 5/18/24

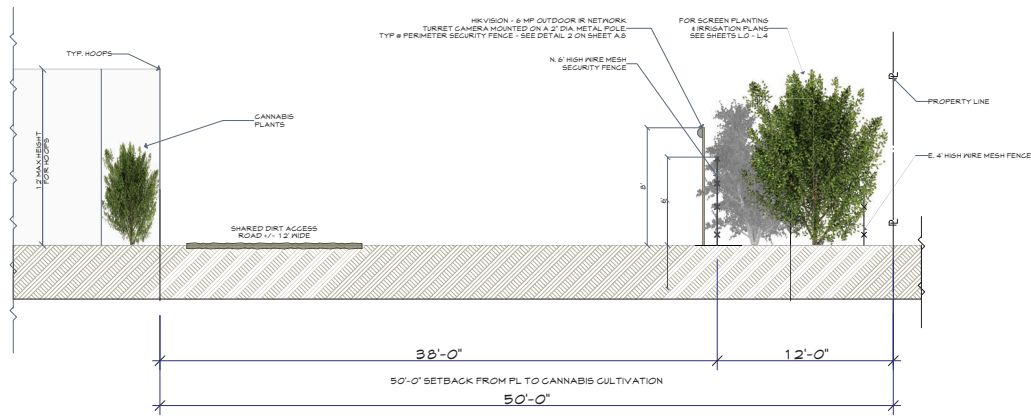
SCALE: AS SHOWN

DRAWN BY: TCG

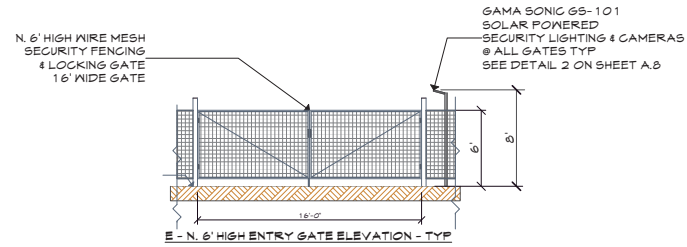
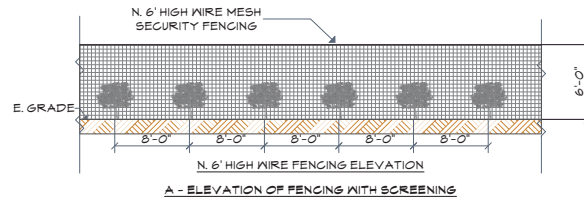
CHECKED BY: TCG

JOB No: 101-070-069

SHEET No:



1 SECTION @ PROPERTY LINE  
SCALE: 1/4" = 1'-0"



2 TYPICAL FENCE & GATE DETAILS  
SCALE: 1/2" = 1'-0"

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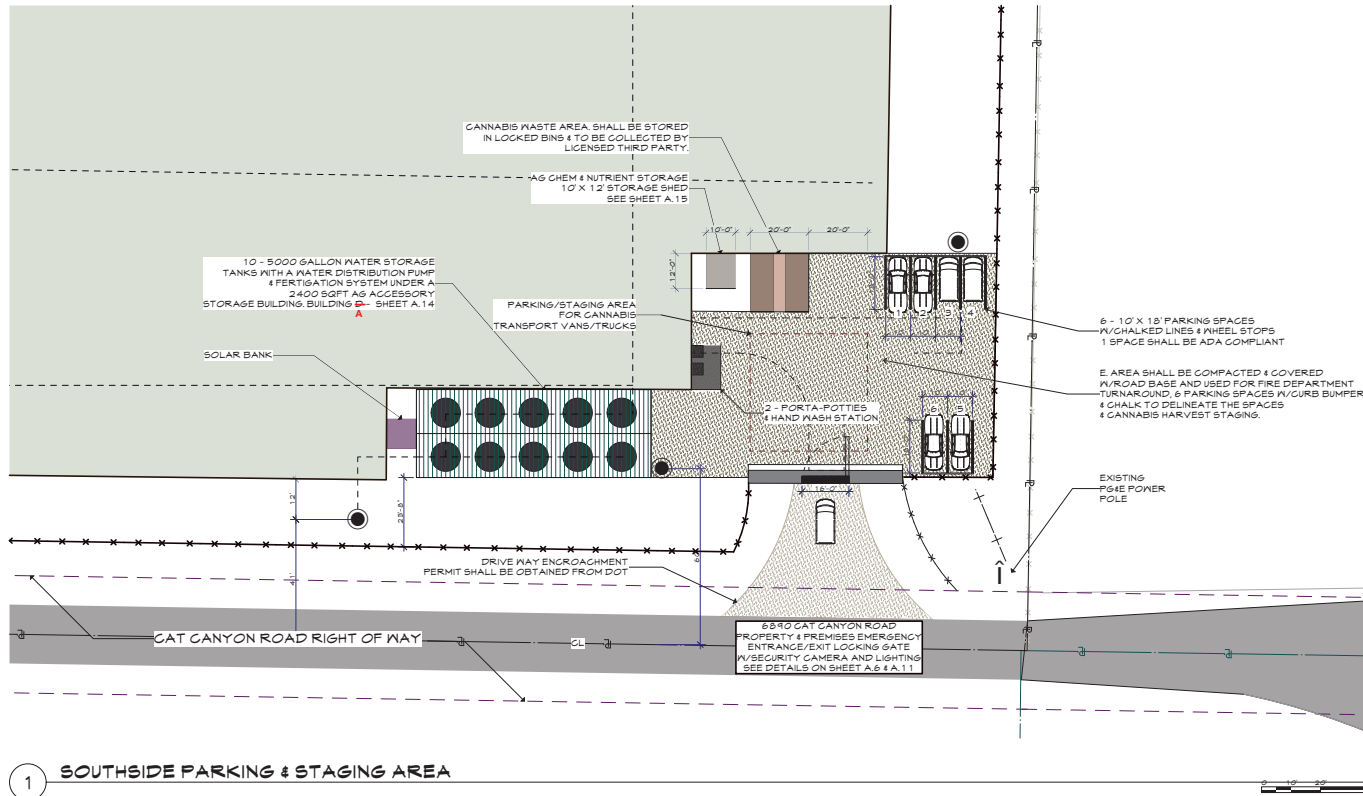
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 23GUP-00000-00014  
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SHEET CONTENTS:  
 FENCING DETAILS

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CHECKED BY:	TCG
JOB No:	101-070-069

SHEET No:



1 SOUTHSIDE PARKING & STAGING AREA

**LEGEND:**

	PROPERTY LINE		PARKING AREA SHALL BE COMPACTED & SOIL CAPPED WITH ROAD BASE SUBJECT TO FIRE DEPARTMENT APPROVAL
	ROAD RIGHT OF WAY		DIRT ACCESS ROAD CAPPED W/ ROAD BASE
	NEW & HIGH SECURITY FENCE LINE		CULTIVATION AREAS: ACTUAL DIMENSIONS & LAYOUTS PROVIDED ON SHEETS A.5.1
	EXIST. FENCINGS		
	CREEK FLOW LINE		
	ESH SETBACK LINE		
	ROAD CENTERLINE		
	EASEMENT LINE		
	DOMESTIC WATER LINE		
	AG WATER LINE		
	OVERHEAD ELECTRICAL LINE		

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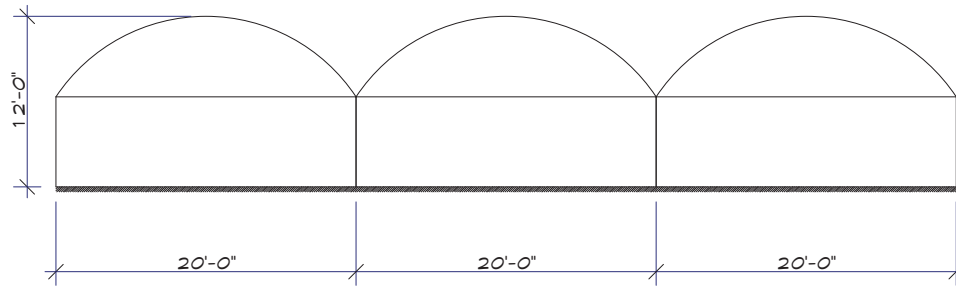
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OWNER:  
MORIARTY HOLDINGS LLC  
5021 VERDUGO WAY #105-132  
CAMARILLO CA 93012

PROJECT PHASE:  
APPEAL RESPONSE:  
23CUP-00000-00014  
22APL-00000-00009  
19LUP-00000-00273

SHEET CONTENTS:  
SOUTHSIDE PARKING & STAGING AREA

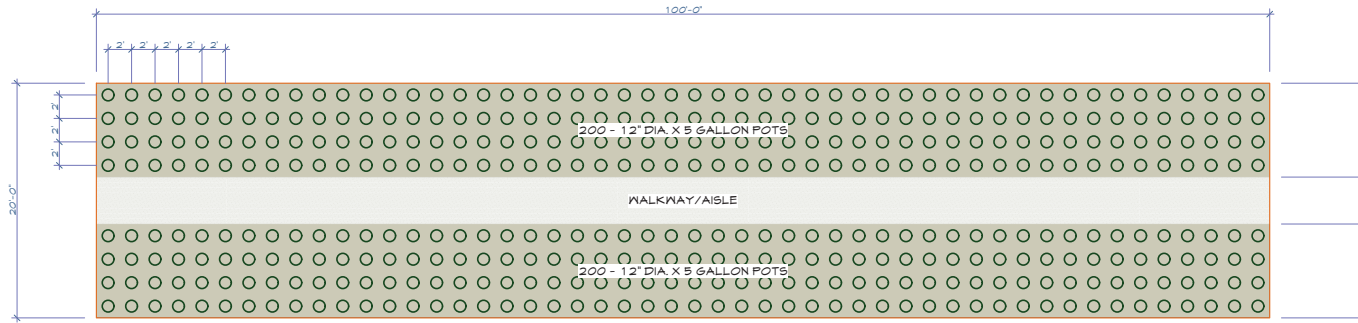
DATE:	5/18/24
SCALE:	AS SHOWN
DRAWN BY:	TCG
CHECKED BY:	TCG
JOB No:	101-070-069
SHEET No:	



**CULTIVATION IN POTS UNDER HOOPS - SEE SHEET A.13.**  
 STANDARD HOOPS - 20' X 100' = 2,000 SQFT  
 12" DIA. 5 GALLON POTS = 400 PER STANDARD HOOP  
 SURFACE AREA OF POTS = 314.16 SQFT  
 PERCENT SURFACE AREA = 1.6%

**TOTAL CULTIVATION AREA (TOTAL AREA OF HOOPS) = 5.19 ACRES**  
**TOTAL IRRIGATED SURFACE AREA FOR CULTIVATION = 0.83 ACRES**

1 TYPICAL HOOP ELEVATION



2 HOOP POT LAYOUT  
 SCALE: 1" = 5'

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1	JAN. 20 2022
2	FEB. 16 2022
3	2.8.2024 APPEAL - BOS

**TCG ASSOCIATES**  
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ENGINEER:

LUP APPLICATION:  
 19LUP-00000-00273  
 APPEAL:  
 22APL-00000-00009

PROJECT:  
 PROPOSED OUTDOOR  
 CANNABIS CULTIVATION

6980 CAT CANYON ROAD  
 LOS ALAMOS CA 93040  
 APN: 101-070-069

OWNER:  
 MCFARTY HOLDINGS LLC  
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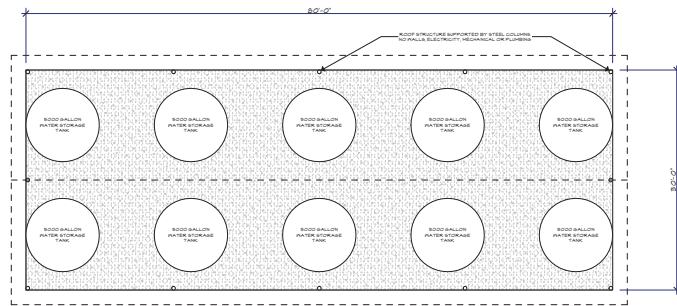
PROJECT PHASE:  
 APPEAL RESPONSE:  
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 22APL-00000-00009  
 19LUP-00000-00273

SHEET CONTENTS:  
 HOOP HOUSE PLAN  
 TYPICAL

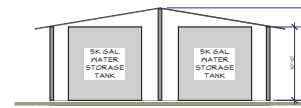
TCG ASSOCIATES LLC

DATE: 5/18/24  
 SCALE: AS SHOWN  
 DRAWN BY: TCG  
 CHECKED BY: TCG  
 JOB No: 101-070-069

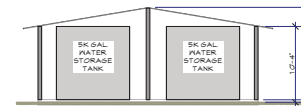
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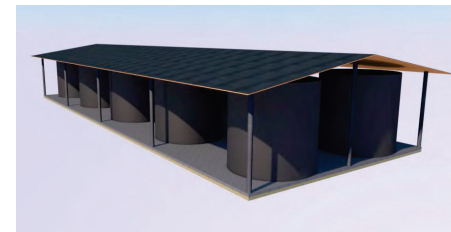
AG ACCESSORY STRUCTURE/POLE BARN:  
OPEN W/ STEEL COLUMNS  
THERE WILL BE NO ATTACHED MECHANICAL,  
ELECTRICAL OR PLUMBING



4 EAST ELEVATION  
SCALE: 1/8" = 1'-0"



5 WEST ELEVATION  
SCALE: 1/8" = 1'-0"



7 AG ACCESSORY STRUCTURE - POLE BARN

**NOTE:**

SECTION 10-1.6.A.15 - AGRICULTURAL BUILDINGS NOT EXCEEDING 3,000 SQUARE FEET IN FLOOR AREA CONSTRUCTED AND USED TO HOUSE FARM IMPLEMENTS, EQUIPMENT, HAY, GRAIN, POULTRY, LIVESTOCK, OR HORTICULTURAL PRODUCTS, SUCH BUILDINGS SHALL NOT BE A PLACE OF HUMAN HABITATION NOR A PLACE OF EMPLOYMENT, NOR SHALL SUCH BUILDINGS BE USED BY THE PUBLIC, BE USED TO STORE HAZARDOUS MATERIALS IN VIOLATION OF THE FIRE CODE, NOR CONTAIN PLUMBING, MECHANICAL, ELECTRICAL, STRUCTURAL OR ARCHITECTURAL FEATURES THAT MAY RECLASSIFY THE OCCUPANCY OR THE CHARACTER OF THE OCCUPANCY OF SAID BUILDING AS DETERMINED BY THE BUILDING OFFICIAL.

AGRICULTURAL BUILDINGS EXEMPT FROM BUILDING PERMITS SHALL BE LOCATED ON AGRICULTURALLY OR RESIDENTIAL RANCHETTE ZONED LAND AND RECEIVE A LAND USE PERMIT FROM THE PLANNING AND DEVELOPMENT DEPARTMENT.

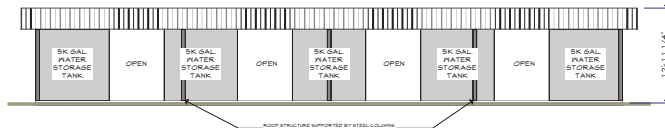
A MINIMUM 20-FOOT SEPARATION SHALL BE MAINTAINED BETWEEN SUCH BUILDINGS AND OTHER BUILDINGS AND PROPERTY LINES.

EXEMPTION FROM BUILDING PERMITS SHALL NOT FURTHER EXEMPT SUCH AGRICULTURAL BUILDINGS FROM ELECTRICAL, PLUMBING, OR MECHANICAL PERMITS AND THEIR ASSOCIATED FEES, OR FROM THE PROVISIONS OF THE PRIMARY ELECTRICAL CODE, PRIMARY PLUMBING CODE, OR PRIMARY MECHANICAL CODE.

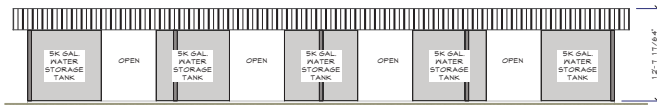
SECTION 10-1.6.B - ELECTRICAL: AN ELECTRICAL PERMIT WILL NOT BE REQUIRED FOR THE FOLLOWING:

1. PORTABLE MOTORS OR OTHER PORTABLE APPLIANCES ENERGIZED BY MEANS OF A CORD OR CABLE HAVING AN ATTACHMENT PLUG END TO BE CONNECTED TO AN APPROVED RECEPTACLE WHEN THAT CORD OR CABLE IS PERMITTED BY THIS CODE.

1 FLOOR PLAN - AG ACCESSORY STRUCTURE - POLE BARN  
SCALE: 1/8" = 1'-0"



2 NORTH ELEVATION  
SCALE: 1/8" = 1'-0"



3 SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"

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www.tcgassocb.com

ENGINEER:

LUP APPLICATION:  
19LUP-00000-00273

APPEAL:  
22APL-00000-00009

PROJECT:  
PROPOSED OUTDOOR  
CANNABIS CULTIVATION

6980 CAT CANYON ROAD  
LOS ALAMOS CA 93440  
APN: 101-070-069

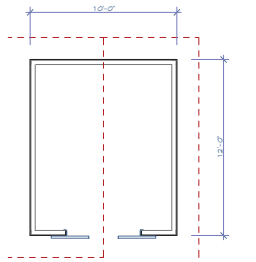
OWNER:  
MORIARTY HOLDINGS LLC  
5021 VERDUGO WAY #105-132  
CAMARILLO CA 93012

PROJECT PHASE:  
APPEAL RESPONSE:  
23GUP-00000-00014  
22APL-00000-00009  
19LUP-00000-00273

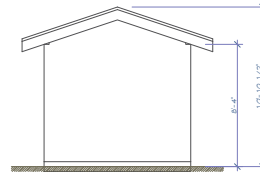
SHEET CONTENTS:  
AG ACCESSORY STORAGE BUILDING - A

DATE: 5/18/24  
SCALE: AS SHOWN  
DRAWN BY: TCG  
CHECKED BY: TCG  
JOB No: 101-070-069

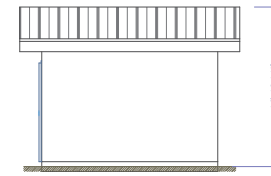
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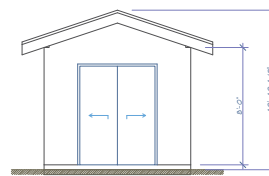
**1 SHED FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



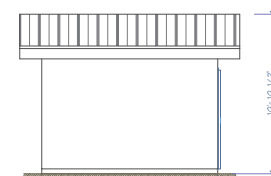
**2 NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**3 EAST ELEVATION**  
SCALE: 1/4" = 1'-0"



**4 SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**5 WEST ELEVATION**  
SCALE: 1/4" = 1'-0"

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**TCG ASSOCIATES LLC**  
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ENGINEER:

LUP APPLICATION:  
19LUP-00000-00273

APPEAL:  
22APL-00000-00009

PROJECT:  
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CANNABIS CULTIVATION

6980 CAT CANYON ROAD  
LOS ALAMOS CA 93040  
APN: 101-070-069

OWNER:  
MORIARTY HOLDINGS LLC  
5021 VERDUGO WAY # 105-132  
CAMARILLO CA 93012

PROJECT PHASE:  
APPEAL RESPONSE:  
23CUP-00000-00014  
22APL-00000-00009  
19LUP-00000-00273

SHEET CONTENTS:  
PESTICIDE & AG  
CHEM STORAGE  
SHED - B

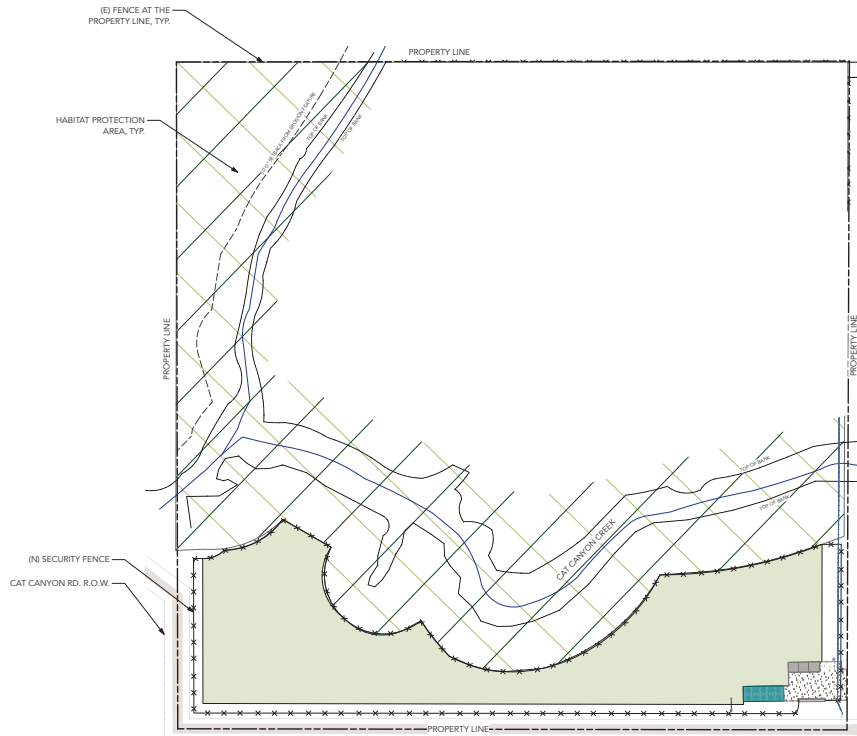
DATE: 5/18/24  
SCALE: AS SHOWN  
DRAWN BY: TCG  
CHECKED BY: TCG  
JOB No: 101-070-069

SHEET No:



# Cannabis Cultivation

Los Alamos, CA 93440



### Project Description

The project includes proposed cannabis-related agricultural and new structures. A Landscape and Screening Plan + Irrigation is provided per Section 35.42.075 C.3 and Chapter 35.34 of the Land Use and Development Code.

### Project Details

Project Address: 6980 Cat Canyon, Los Alamos, CA 93440

Owner: Moriarty Holdings LLC c/o Jason Moriarty

APN: 101-070-069

### Consultants

Planning: TCG Associates LLC  
1072 Casside Pkwy Rd  
Carpinteria, CA 93013  
805.451.8411  
tcg@gochadesign.net

Civil: YCE Inc. Engineers + Surveyors  
1587 Morse Ave. STE A  
Ventura, CA 93003  
805.450.6999

### Sheet Index

Sheet	Title
L-0	Cover Sheet
L-1	Irrigation Plan
L-2	Irrigation Details + Calculations
L-3	Planting Plan
L-4	Planting Details



Vicinity Map

REVISIONS:	DATE:
1.1	JAN. 20 2022
1.2	FEB. 16 2022
1.3	2.8.2024 APPEAL - BOS

**TCG**  
THOMAS GOCHA  
DESIGN  
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PROJECT MANAGEMENT

**A S S O C I A T E S L L C**

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P.O. BOX 578  
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CARMICHAEL, CA 93013  
805.451.8441  
tcg@gochadesign.net

www.gochadesign.net

### ENGINEER:

### LUP APPLICATION:

19LUP-00000-00273

### APPEAL:

22APL-00000-00009

### PROJECT:

PROPOSED OUTDOOR  
CANNABIS CULTIVATION

6980 CAT CANYON ROAD  
LOS ALAMOS CA 93440  
APN: 101-070-069

### OWNER:

MORIARTY HOLDINGS LLC  
5021 VERDUGO WAY # 105-132  
CAMARILLO CA 93012

### PROJECT PHASE:

APPEAL RESPONSE:  
23CUP-00000-00014  
22APL-00000-00009  
19LUP-00000-00273

### SHEET CONTENTS: LANDSCAPE COVER SHEET

tcg associates llc

DATE: 5/18/24

SCALE: AS SHOWN

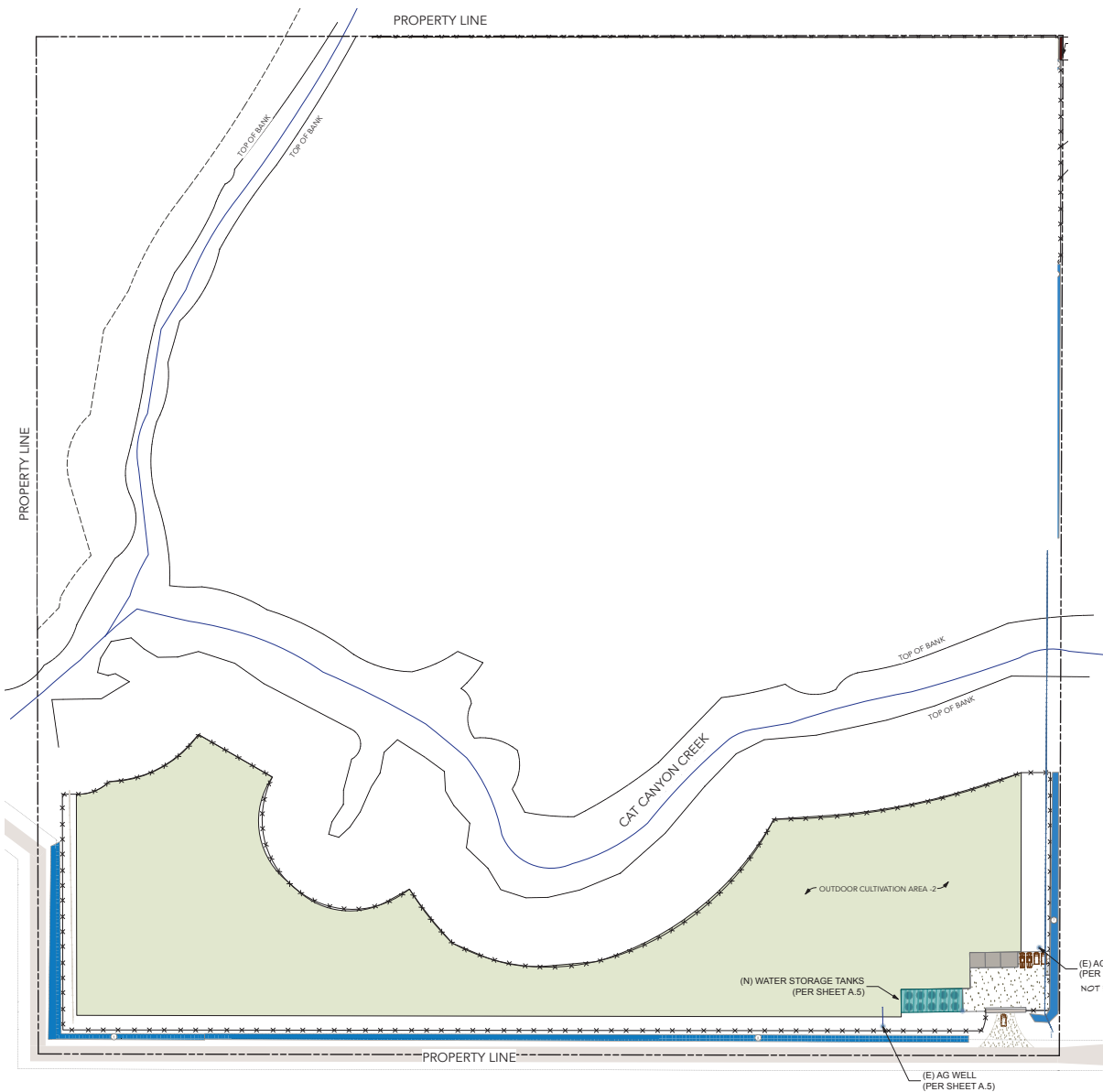
DRAWN BY: TCG

CHECKED BY: TCG

JOB No: 101-070-069

SHEET No:

L.O



AREA TO BE IRRIGATED INCLUDES THE SCREENING SHRUBS ALONG THE SOUTHERLY BOUNDARY & THE EASTERLY & WESTERLY BOUNDARIES SOUTH OF THE CREEK.  
 TOTAL SCREEN PLANTING AREA - ZONES 1, 2 & 3 = 15,820 SQFT OF SHRUBS.

**IRRIGATION LEGEND**

DESCRIPTION	MANUFACTURER / MODEL
IRRIGATION CONTROLLER QUANTITY: 1	HUNTER IC-605-SS 6-STATION BASE UNIT WITH CONTROLLER, EXPANDS TO 30 STATIONS. HUNTER SOLAR-SYNG-SEN SOLAR SYNG SENSOR, RECEIVER, AND GUTTER MOUNT
MANUAL SHUT-OFF VALVE	SPEARS, TRUE UNION, WITH VITON O-RINGS, LINE SIZE
BACKFLOW PREVENTER + PRESSURE REDUCER PER COUNTY HEALTH CODE	1-1/2" FEBCO 825YA-QT RT OR APPROVED EQUAL 1-1/2" WILKINS SXL WYE STRAINER 1-1/2" WILKINS 800X PRES. REDUCER, 1-1/2" BRASS UNIONS INSTALL PER JURISDICTION HEALTH CODE
SUBMETER	HUNTER HC-150-FLOW, 1-1/2"
MASTER VALVE, NORMALLY CLOSED, IN VALVE BOX	HUNTER IBV-151G-FS, 1-1/2" BRASS GLOBE VALVE
FLOW SENSOR, IN VALVE BOX	HUNTER FCT-150, 1-1/2" SCHEDULE 40 SENSOR RECEPTACLE TEE
QUICK COUPLER	HUNTER HQ44-LRC-AW
REMOTE CONTROL VALVE	HUNTER ICV-101G-FS W/AS-ADJ
IRRIGATION ZONES	SEE EQUIPMENT LEGEND

**EMITTER LEGEND**

PLANT MATERIAL	EQUIPMENT
1 GALLON SHRUB	1- PROS-04-PR330 WITH PRO ADJUSTABLE NOZZLE
5 GALLON SHRUB	1- PROS-04-PR330 WITH PCN-25
15 GALLON SHRUB	1- PROS-04-PR330 WITH PCN-25
15 GALLON TREE	1- PROS-04-PR330 WITH PCN-25
24" BOX TREE	2- PROS-04-PR330 WITH PCN-25
36" BOX TREE	2- PROS-04-PR330 WITH PCN-25
48" BOX TREE AND ABOVE	3- PROS-04-PR330 WITH PCN-25

**MAINLINE SIZING**

0-4 GPM	1/2" SCHEDULE 40
4-8 GPM	3/4" SCHEDULE 40
8-12 GPM	1" SCHEDULE 40
12-22 GPM	1 1/4" SCHEDULE 40
22-30 GPM	1 1/2" SCHEDULE 40
30-60 GPM	2" class 315
50-70 GPM	2 1/2" CLASS 315
70-120 GPM	3" CLASS 315

(E) AG WELL  
(PER SHEET A.5)  
NOT FOR PROJECT USE



REVISIONS:	DATE:
1	JAN. 20 2022
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**TCG**  
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 PLANNING  
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6980 CAT CANYON ROAD  
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 5021 VERDEJUNO WAY #105-132  
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PROJECT PHASE:  
 APPEAL RESPONSE:  
 23CUP-00000-00014  
 22APL-00000-00009  
 19LUP-00000-00273

SHEET CONTENTS:  
 IRRIGATION PLAN

DATE:	5/18/24
SCALE:	AS SHOWN
DRAWN BY:	TCG
CHECKED BY:	TCG
JOB No:	101-070-069

SHEET No:

L. 1

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19LUP-00000-00273

SHEET CONTENTS:  
IRRIGATION DETAILS

tsg associates b.c.

DATE: 5/19/24

SCALE: AS SHOWN

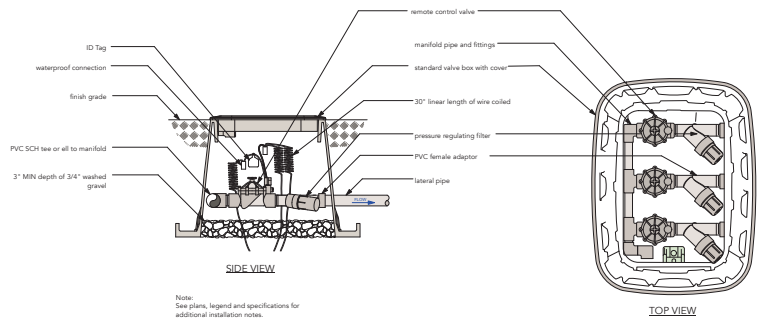
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CHECKED BY: TCG

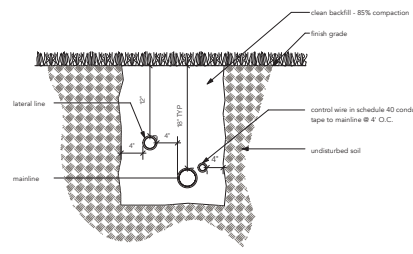
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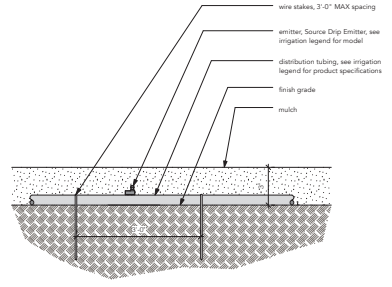
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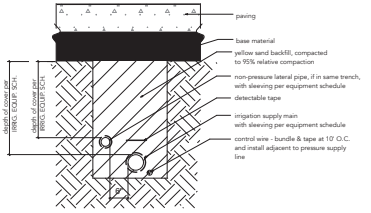
**1 Drip Valve Assembly** scale: N.T.S.



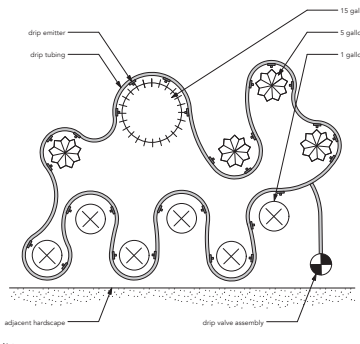
**2 Pipe & Wire Installation** scale: N.T.S.



**3 Drip Irrigation** scale: N.T.S.



**4 Pipe and Wire Below Hardscape** scale: N.T.S.



**5 Drip Tubing and Emmitter Layout** scale: N.T.S.

**Irrigation Notes**

1. This system is diagrammatic. All pipes, valves, etc. shown within paved areas are for design clarification only and shall be installed in planting areas wherever possible.

2. Do not willfully install the sprinkler system as indicated on the drawings when it is obvious in the field that obstructions or grade differences exist and should be brought to the attention of the owner's authorized representative. In the event that this notification is not performed, the contractor must assume full responsibility for all revisions necessary.

3. Irrigation system is designed assuming a static water pressure of approximately 70 PSI at point-of-connection. Prior to installation of irrigation system, contractor shall verify pressure at point-of-connection.

4. It is the intent of this plan to provide adequate irrigation to all planting areas, prevent run-off, low head drainage, coverage, or other similar conditions where irrigation water flows onto non-targeted areas in accordance with MWELO sections 492.73a(1)(b) and 492.73a(1)(c).

Contractor shall be responsible for making any and all adjustments to the irrigation system necessary to ensure 100% irrigation coverage of all planting areas and MWELO compliance.

5. Emitters shall be located on grade and staked a maximum of six inches from the center of plant, or edge of rootball, whichever is greater.

6. All piping installed under pathways or paved areas, through walls or footings shall be placed inside class 40 SDR 26 sleeves of adequate size to allow free movement of the pipe and any couplings in the sleeve. Extend sleeves 18 inches beyond edges of paving or construction.

7. Irrigation lines shall be buried at the following minimum depths: PVC pressure mainline 18\"/>

8. Irrigation Contractor shall adjust flow control for proper performance and valve longevity.

9. Pressure regulating devices shall be installed where necessary to ensure the dynamic pressure at each emission device is within manufacturer's recommended pressure range for optimal performance.

10. Flush valves shall be installed at the ends of all polyethylene drip tubing in round valve boxes with gravel fill.

11. Check valves shall be installed at low points on irrigation line to prevent backflow.

12. All planting areas shall be provided with a 2\"/>

13. No lawn or landscape irrigation with potable water allowed apart from the hours of 8:00PM and 8:00AM. Except for hand held hose equipment with a positive shut-off nozzle.

14. Irrigation water shall not run off landscaped areas to adjacent property, adjoining streets, sidewalks, or other paved areas due to incorrectly directed or maintained sprinklers or excessive watering.

15. All irrigation emission devices will meet the criteria set forth by MWELO section 492.73a(1)(b) and shall be installed per manufacturer's recommendations.

16. A manual indicating layout of irrigation system and manufacturer instructions for all equipment and procedures shall be provided to the owner at completion of project.

17. Certificate of Completion in accordance with MWELO Section 492.9 will be submitted for review/approval by the Building and Safety Division prior to final occupancy.

18. Landscape Contractor shall clean up on a daily basis per Owner's representative's approval.

19. The contractor shall furnish to the owner a complete 'As Built Drawing' showing exact names of all items installed. These are to be delivered on or before final inspection.

20. Contractor shall furnish a reduced and laminated irrigation plan serving as controller chart all times installed, with stations color-coded, mount to side of controller.

21. Irrigation Contractor shall maintain the system for a period of 90 days.

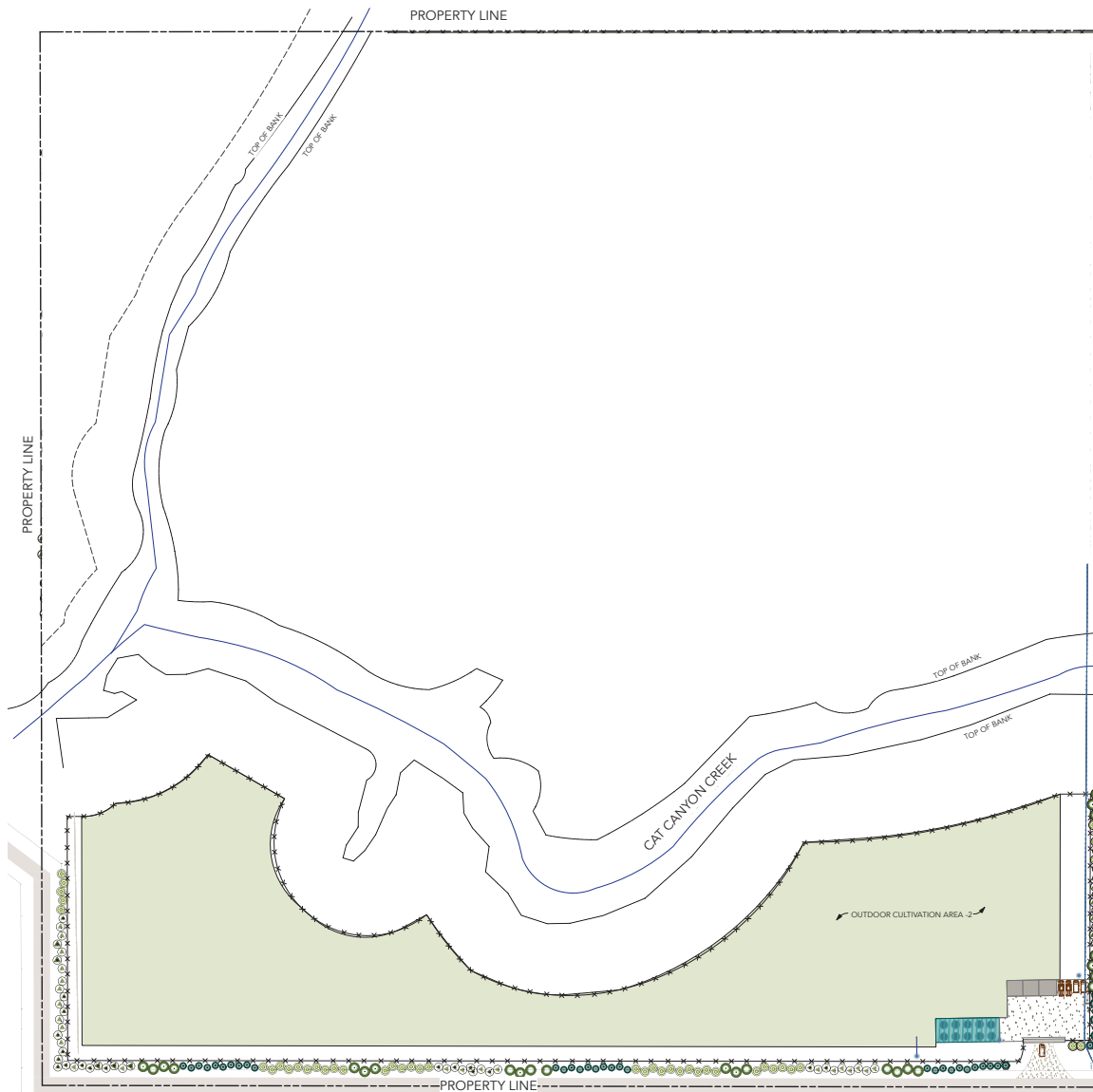
22. Contractor shall guarantee the entire irrigation system to be free of defects in workmanship and materials for a period of 1 year from final acceptance.

23. Contractor is responsible for plumbing permits and inspections required from the building inspector for installation of the irrigation systems shown on this drawing.

WATER EFFICIENT LANDSCAPE WORKSHEET

SITE ADDRESS	8480 CAT CANYON ROAD	ALLOWED ETAF:	0.45								
SITE TYPE	COMMERCIAL	ANNUAL ETO (INCHES/YEAR)	46.3	HYDROZONE OR PLANTING DESCRIPTION	PLANT FACTOR (PF)	IRRIGATION METHOD	IRRIGATION EFFICIENCY (IE)	ETAF (PF/IE)	HYDROZONE AREA (SQFT)	ETAF X AREA	ESTIMATED TOTAL WATER USE - ETMJ (GAL/YR)
REGULAR LANDSCAPE AREAS											
1	0.2 (LOW)	DRIP	0.15	0.3	3,621	1,098	31,142				
2	0.2 (LOW)	DRIP	0.15	0.3	7,244	2,140	62,711				
4	0.2 (LOW)	DRIP	0.15	0.3	4,844	1,468	42,098				
					SUBTOTALS		15,820	4,746			136,051
									ESTIMATED TOTAL WATER USE (ETMJ)		136,051
									MAXIMUM ALLOWED WATER ALLOWANCE (MANA)		136,234
ETAF CALCULATIONS											
					TOTAL ETAF X AREA	B =	4,746				
					TOTAL AREA	A =	15,820				
					AVERAGE ETAF		0.3				

NOTE: ON SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALE. REPORT ALL DISCREPANCIES IN WRITING TO TCG ASSOCIATES LLC FOR CLARIFICATION. DRAWINGS, IMAGES AND DESIGNS ON THIS PAGE OF PLANS ARE THE PROPERTY OF TCG ASSOCIATES LLC AND SHALL NOT BE REPRODUCED, PRINTED OR COPIED WITHOUT PRIOR WRITTEN PERMISSION.



\*Note:  
 1. All landscaping shall be installed prior to initiating the cultivation activities that are subject to the permit for the cultivation activities.  
 2. Prior to the issuance of a permit, a performance security, in an amount determined by a landscape architect and approved by the Department, to insure installation and maintenance for two years, shall be filed with the County. Said performance security shall be released upon a written statement from the Planning and Development Department that the landscaping, in accordance with the approved Landscape Plan and Screening Plan, has been installed and maintained for two years.

\*Note:  
 See Sheet L-4 for Planting Elevation. Pursuant to Section 35.42.075.C.3 of LUDC, landscape screening should be appropriately sized to achieve screening within 5 years.

\*Note:  
 See Sheet L-2 for MWEL0 Worksheet.

**PLANT SCHEDULE: Sunset Zone 16 / WUCOLS Region 3**

Botanic Name	Common Name	Size	Spacing	Quantity	Expected 5yr Height	WUCOLS
<b>Trees &amp; Large Shrubs</b>						
<i>Prunus ilicifolia</i> spp. <i>ilicifolia</i>	Catalina Cherry	15G	10'-0" O.C.	25	14'-0"	LOW
<i>Makera laurina</i>	Laurel Sumac	5g	10'-0" O.C.	45	12'-0"	LOW
<i>Rhus integrifolia</i>	Lemonade Berry	5g	10'-0" O.C.	55	12'-0"	LOW
<i>Heteromeles arbutifolia</i>	Toyon	5g	10'-0" O.C.	39	10'-0"	LOW

**Planting Notes**

- All plant materials shall be set out as shown on plan. Final locations shall be approved by the Landscape Architect prior to planting.
- Landscape Contractor shall be responsible for becoming aware of all underground utilities, pipes and structures. The Contractor shall be held responsible for contacting all utility companies for field location of underground utility lines prior to any excavation.
  - Do not willfully proceed with construction as designed when it is obvious that unknown obstructions and/or grade differences exist that may not have been known during design. Such conditions shall be immediately brought to the attention of the landscape architect.
  - The Landscape Contractor shall assume full responsibility for all necessary revisions due to failure to give such notification.
  - Landscape Contractor shall be responsible for any coordination with subcontractors as required to accomplish planting operations.
  - The Landscape Contractor shall allow for the addition of specified quantities of soil amendments and conditioners in soil preparation and finish grading, per recommendation of soils report.
  - Recommendations in the Soils Management Report shall be incorporated into the landscape installation and a copy of the report is to be on-site at the time of inspection. Unless soils have greater than 4% organic matter in the top 6" of soil, compact at a rate of a minimum of (4) cubic yards per 1,000 square feet of permeable area shall be incorporated to a depth of 6" into the soil.
  - It is the Landscape Contractor's responsibility to furnish plant material free of pests or plant diseases. Contract grown or 'tagged' material must be inspected by the Landscape Contractor and certified disease free. It is the Landscape Contractor's obligation to warranty all plant materials.
  - The Landscape Contractor shall provide healthy, vigorous plant stock grown under climatic conditions similar to the conditions in the locality of the project.
  - Specimen trees will be selected and tagged by Landscape Architect prior to plant installation. Landscape Contractor is responsible to do their own quality checks for all plant materials and sizes shown on plan. All substitutions shall be reviewed and approved by the Landscape Architect.
  - See details and specifications for staking method, plant pit dimensions and backfill requirements. If details have not been provided, contact Landscape Architect. Plant crown elevations relative to finish grade are shown on planting details and shall be strictly adhered to. Proper compaction of backfill to prevent settlement shall be required.
  - The Landscape Architect will approve finish grades at all landscape areas prior to planting.
  - The Landscape Architect reserves the right to adjust the location of plant material during installation as appropriate to the project.
  - Landscape bark mulch shall be applied at 3 inches thick over all landscape surfaces except lawn areas. Mulch must be approved by Landscape Architect.

REVISIONS:	DATE:
	JAN. 20 2022
	FEB. 16 2022
	2.8.2024 APPEAL - BOS

**TC&A**  
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 PLANNING  
 CONSULTING  
 PROJECT MANAGEMENT

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www.gochadesign.net

ENGINEER:

LUP APPLICATION:  
 19LUP-00000-00273

APPEAL:  
 22APL-00000-00009

PROJECT:  
 PROPOSED OUTDOOR  
 CANNABIS CULTIVATION

6980 CAT CANYON ROAD  
 LOS ALAMOS CA 93040  
 APN: 101-070-069

OWNER:  
 MCRARY HOLDINGS LLC  
 5021 VERDUGO WAY #105-132  
 CAMARILLO CA 93012

PROJECT PHASE:  
 APPEAL RESPONSE:  
 23GUP-00000-00014  
 22APL-00000-00009  
 19LUP-00000-00273

SHEET CONTENTS:  
 PLANTING PLAN

tcg Associates Inc.

DATE: 5/18/24

SCALE: AS SHOWN

DRAWN BY: TCG

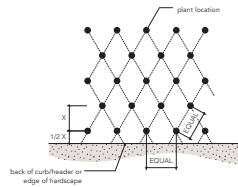
CHECKED BY: TCG

JOB No: 101-070-069

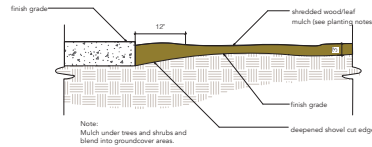
SHEET No:

L.3

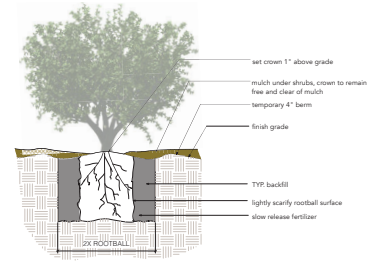
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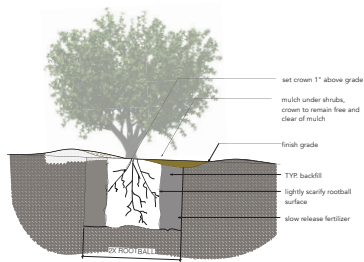
**1** Plant Spacing scale: N.T.S.



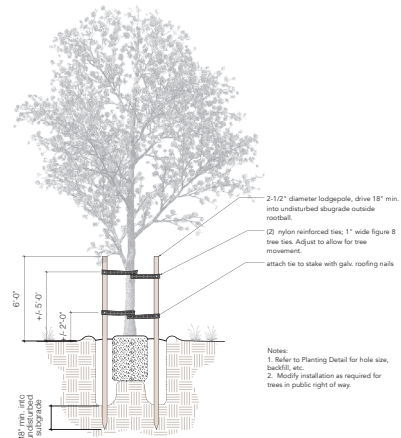
**2** Mulch scale: N.T.S.



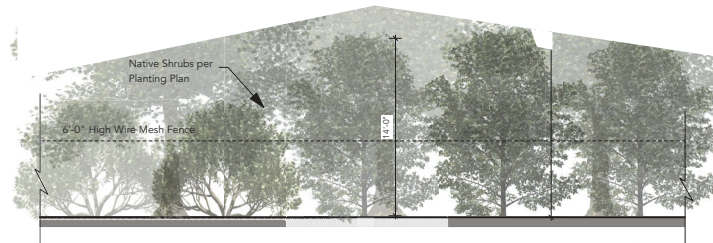
**3** Shrub Planting scale: N.T.S.



**4** Slope Planting scale: N.T.S.



**5** Tree Planting scale: N.T.S.



**6** Landscape Screening Elevation - 5 year scale: 1/4"=1'-0"

REVISIONS:	DATE:
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**TCG ASSOCIATES LLC**

THOMAS GOCHA  
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CAMARILLO CA 93012

PROJECT PHASE:  
APPEAL RESPONSE:  
23CUP-00000-00014  
22APL-00000-00009  
19LUP-00000-00273

SHEET CONTENTS:  
PLANTING DETAILS

TCG ASSOCIATES LLC

DATE: 5/18/24

SCALE: AS SHOWN

DRAWN BY: TCG

CHECKED BY: TCG

JOB No: 101-070-069

SHEET No:

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