

Rice Ranch Revised Specific Plan

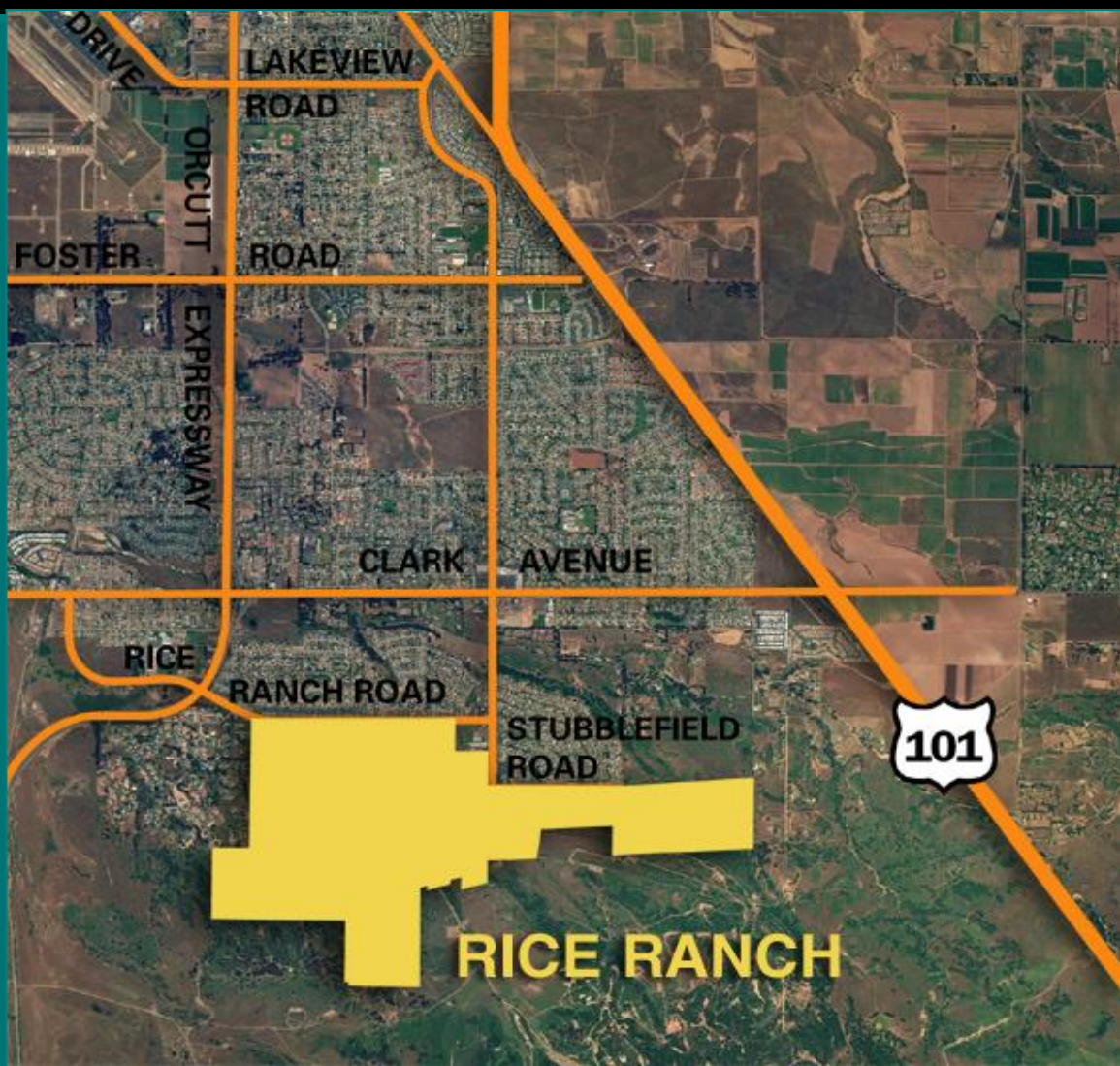


Santa Barbara County Board of Supervisors

December 15, 2015

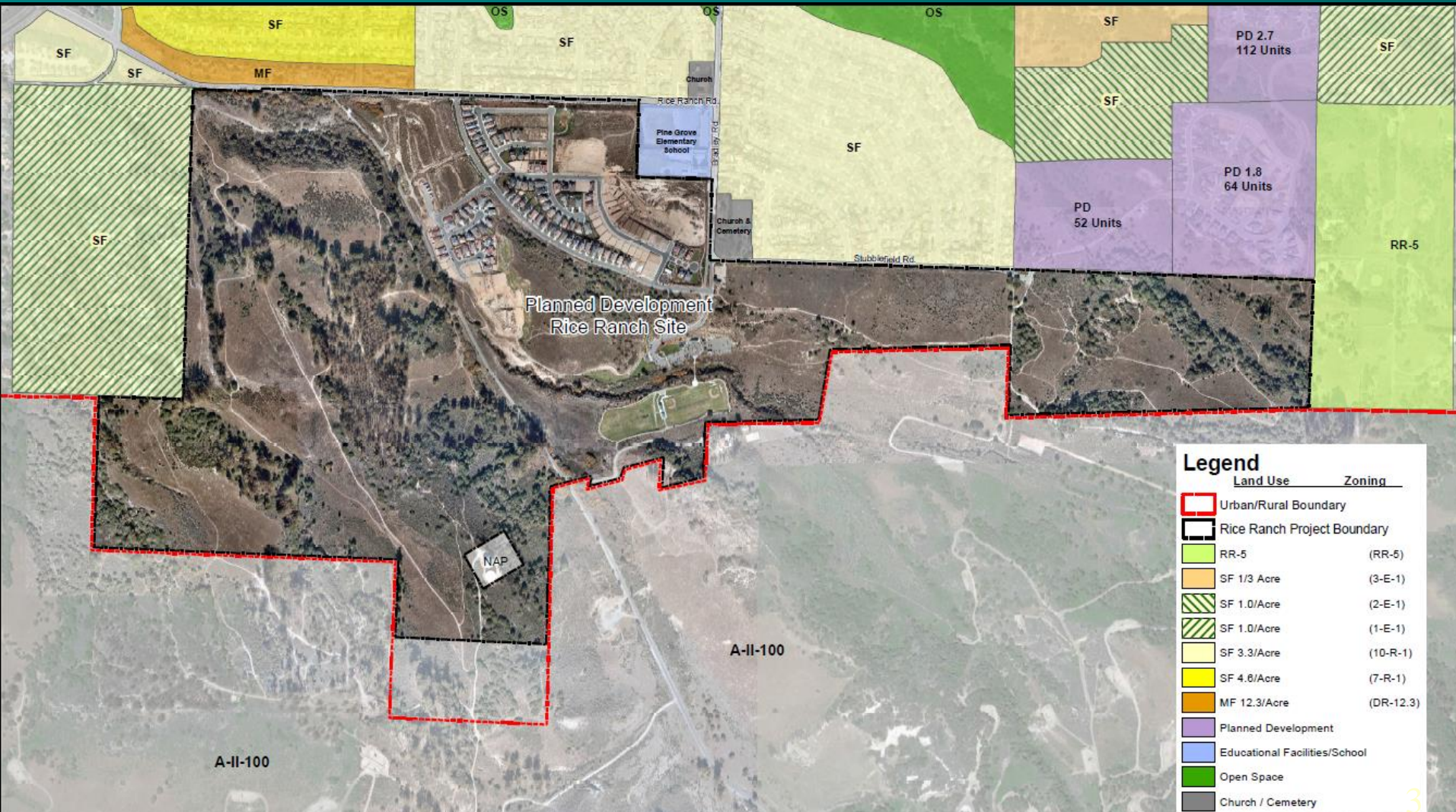


Vicinity





Surrounding Land Uses





Project Description

➤ Specific Plan

- ◆ Maintain the approved unit count of 725 homes
- ◆ Architectural and Landscape Design Guidelines
- ◆ Open Space Habitat Management Restoration Implementation Plan



Project Description

➤ General Plan Amendment

- ◆ Text Amendments to OCP Policy KS12-2 to:
 - ◆ Privatize neighborhood parks
 - ◆ Pay affordable housing in-lieu fees instead of developing affordable units onsite.



Project Description

➤ Development Agreement

- ◆ Payment of Affordable Housing In-lieu Fees
- ◆ Provide funding for O&M of neighborhood parks and new subdivision roads
- ◆ Land Exchange Agreement (new)
- ◆ 15 years to complete the project



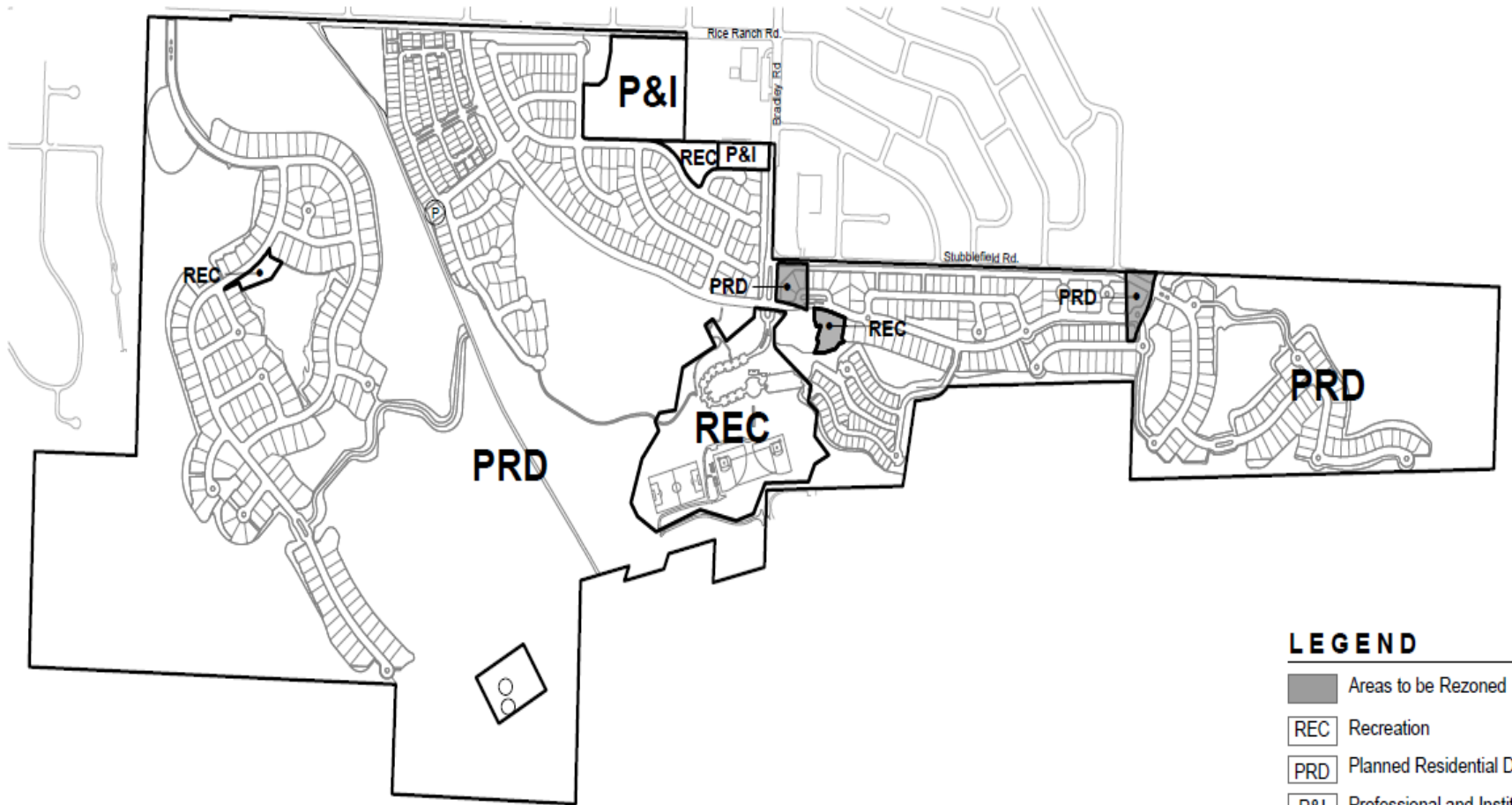
Project Description

➤ Rezone





- ◆ Planned Residential Development (PRD) to Recreation (REC) for the Meadows neighborhood Park and REC to PRD for the previously approved Grove park



Rezone



LEGEND

-  Areas to be Rezoned
-  REC Recreation
-  PRD Planned Residential Development
-  P&I Professional and Institutional



Project Description

➤ Large Lot Conveyance Map

- ◆ Lot boundaries correspond to neighborhoods and open space areas
- ◆ For purposes of conveyance and financing only
- ◆ Does not authorize construction



Project Description

➤ **Vesting Tentative Tract Map**

- ◆ 628 Lots (530 residential lots)
- ◆ Developed in 5 phases (June 2016- Jan. 2022)

➤ **Minor Conditional Use Permit**

- ◆ Walls/fences greater than eight feet in height
(new)



Project Description

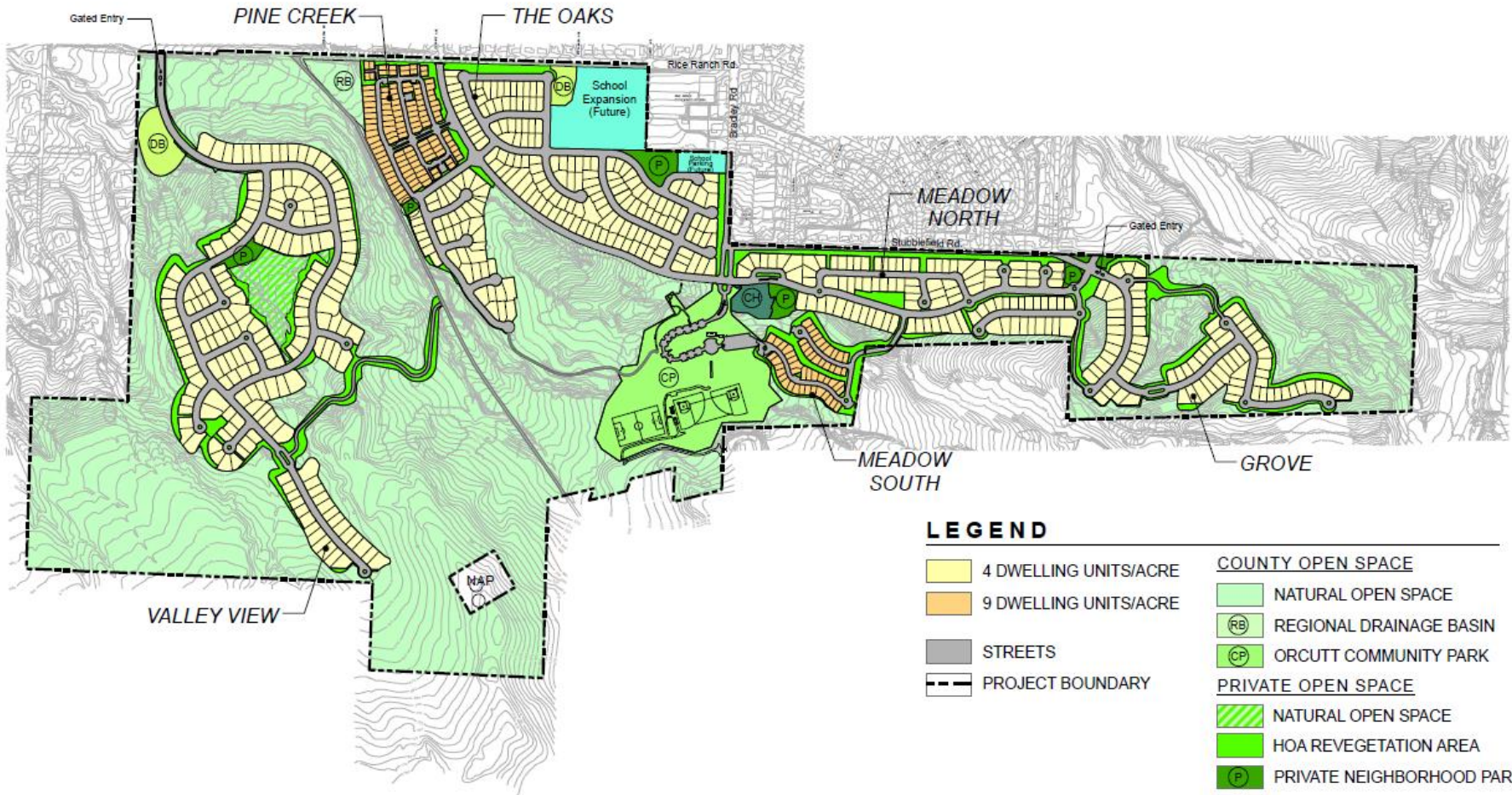
➤ Development Plan

- ◆ 530 residential units (364 single family custom homes and 166 multi-family units) in PRD Zoned Area;
- ◆ 4.5-acres passive parks/7.9 miles of trails
- ◆ Private Community Clubhouse (new)

➤ Road Naming



Proposed Project

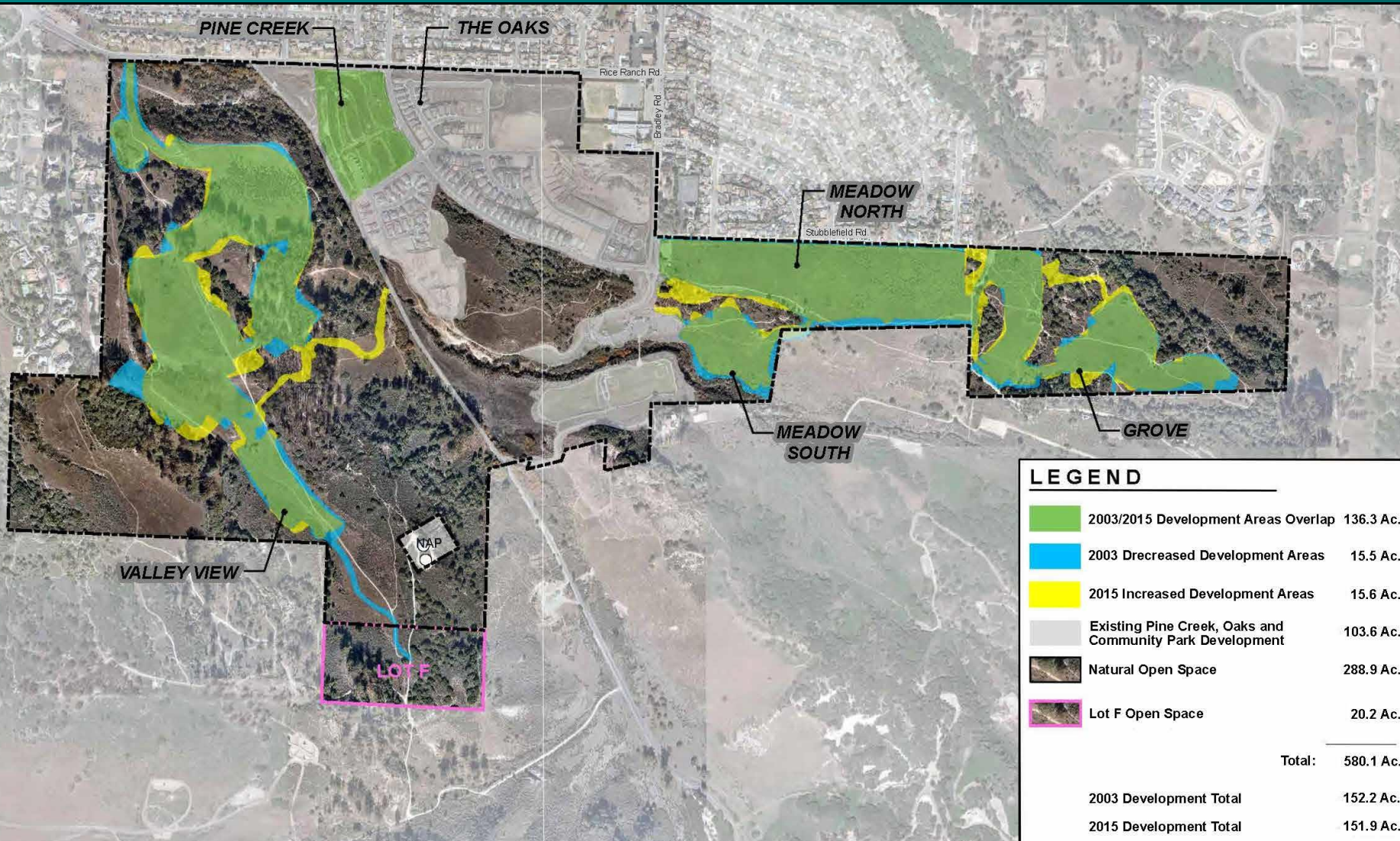


LEGEND

- | | |
|-----------------------|-----------------------------|
| 4 DWELLING UNITS/ACRE | COUNTY OPEN SPACE |
| 9 DWELLING UNITS/ACRE | NATURAL OPEN SPACE |
| STREETS | REGIONAL DRAINAGE BASIN |
| PROJECT BOUNDARY | ORCUTT COMMUNITY PARK |
| | PRIVATE OPEN SPACE |
| | NATURAL OPEN SPACE |
| | HOA REVEGETATION AREA |
| | PRIVATE NEIGHBORHOOD PARK |
| | DRAINAGE BASIN |
| | COMMUNITY FACILITIES |
| | SCHOOL EXPANSION |
| | PRIVATE COMMUNITY CLUBHOUSE |



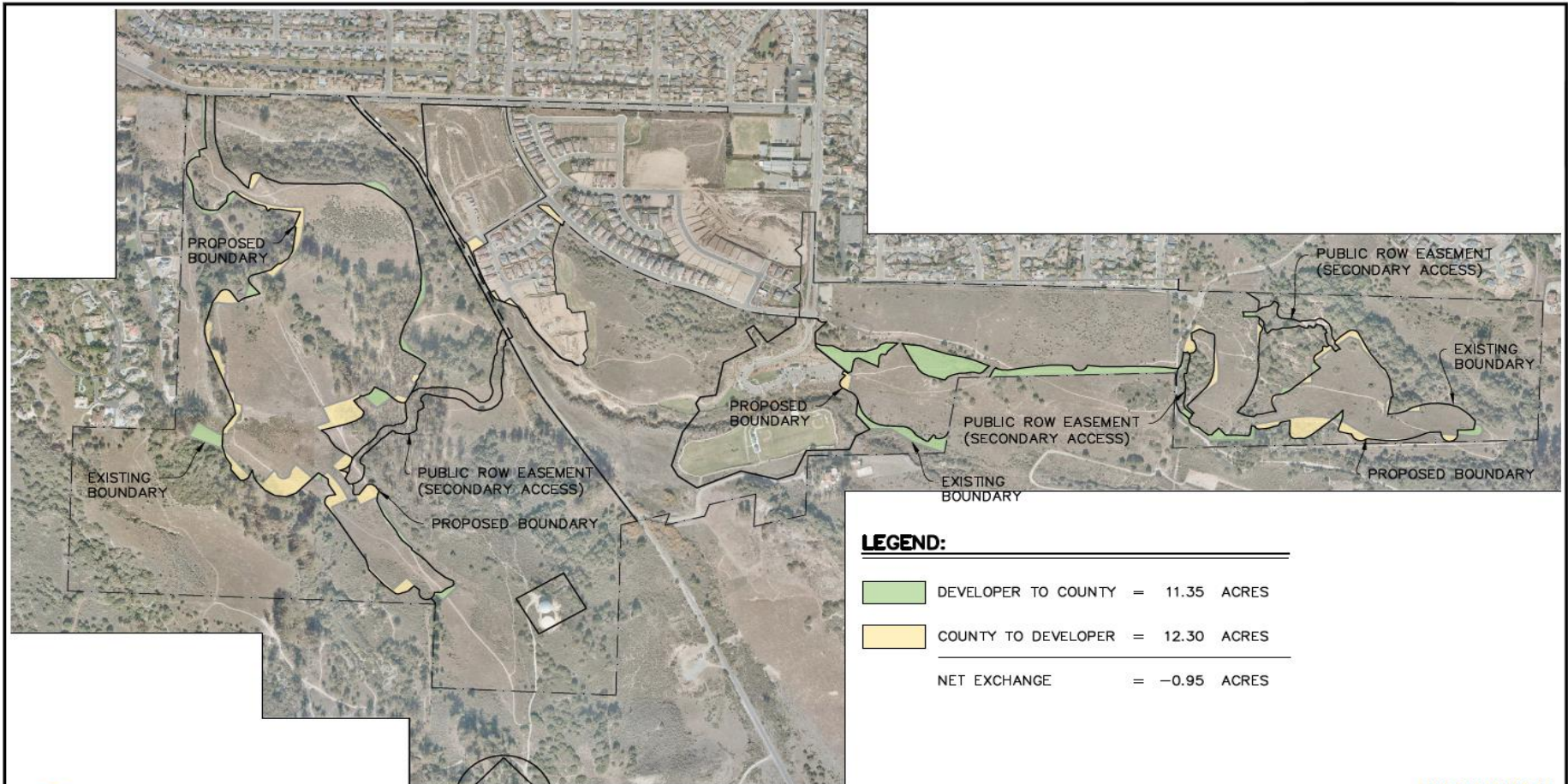
Comparison of 2003 with 2014 Projects



LEGEND	
	2003/2015 Development Areas Overlap 136.3 Ac.
	2003 Decreased Development Areas 15.5 Ac.
	2015 Increased Development Areas 15.6 Ac.
	Existing Pine Creek, Oaks and Community Park Development 103.6 Ac.
	Natural Open Space 288.9 Ac.
	Lot F Open Space 20.2 Ac.
<hr/>	
	Total: 580.1 Ac.
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2003 Development Total	152.2 Ac.
2015 Development Total	151.9 Ac.



Open Space Boundary Adjustments



2064106600

10/14/2015



SCALE: NTS

RICE RANCH
PROPOSED BOUNDARY ADJUSTMENTS
TOWN OF ORCUTT, COUNTY OF SANTA BARBARA, CALIFORNIA



Land Exchange

- Open Space adjustment would result in 0.95 acre deficit to the County.
- 0.95 acres has an appraised value of \$8,500.
 - ◆ Transaction balanced with applicant's payment to the County
- Land Exchange requires 4/5 vote.
- Real Property Exchange Agreement effectuates the land exchange



Affordable Housing

- Existing Condition Requires Construction of 146 units
- Inclusionary Housing Ordinance (IHO) requires a portion of the project to provide dwelling units affordable to very low and low households.



Affordable Housing Continued

- IHO also allows for payment of fees in-lieu of constructing affordable units onsite.
 - ◆ 5% of the proposed 530 units for low and very low income households (2.5% for each each income level)
 - ◆ Development Agreement requires 5% of the 195 units currently being developed to be affordable to low and very low income households (2.5% for each income level)

- Project would generate \$2,251,125 affordable housing in-lieu fees.



Quimby Fees

- Buildout of project would generate \$1.79 million in Quimby Fees
- Park Commission recommends a 50% reduction in fees.
- Board has discretion to decide how applicant satisfies Quimby requirements (fees, land dedication or both).
- Staff recommends that your Board deny the requested fee reduction.
 - ◆ Consistent with previous conditions of approval requiring both payment of fees and dedication of land



Environmental Review & Policy Consistency

- Addendum prepared as only minor changes and additions required to make 95-EIR-01 and 03-EIR-05 adequate for the proposed project
- Upon approval of the proposed General Plan Amendment and Rezone, the project is consistent with County policies, including the Orcutt Community Plan



Recommendations

- Take the actions listed in the Board letter and continue the item to the January 5, 2016 hearing for final action on the project.