

MONTECITO PLANNING COMMISSION

Staff Report

Montecito Architectural Guidelines and Development Standards Limited Update

Hearing Date: March 23, 2016

Staff Report Date: March 3, 2016

Case Nos.: 16ORD-00000-00002 and
16ORD-00000-00003

Environmental Document: Exemption §15061(b)(3)

Deputy Director: Matt Schneider

Division: Long Range Planning

Supervising Planner: Allen Bell

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1.0 REQUEST

Hearing on the request of the Planning and Development Department for the Montecito Planning Commission to consider making recommendations to the Board of Supervisors regarding the following:

- A. Recommend that the Board of Supervisors adopt a resolution to amend the *Montecito Architectural Guidelines and Development Standards*, amending guidelines that address basements, net floor area, and retaining walls; and make other minor corrections and language revisions that do not materially change the existing regulations and serve only to clarify or correct existing language;
- B. Recommend that the Board of Supervisors adopt an ordinance (Case No. 16ORD-00000-00002) amending the zoning regulations of the Montecito Land Use and Development Code, Section 35-2 of Chapter 35, Zoning, of the Santa Barbara County Code, by amending Subsection 35.428.070.C (incorporate required development standards into the Montecito Hillside Overlay Zone rather than reference) and Subsection 35.430.090.C.2 (Height – amend the maximum height applicable to hillside development);
- C. Recommend that the Board of Supervisors adopt an ordinance (Case No. 16ORD-00000-00003) amending the zoning regulations of the Article II Coastal Zoning Ordinance of Chapter 35, Zoning, of the Santa Barbara County Code, by amending Section 35-127.A.3 (Height– amend the maximum height applicable to hillside development); and
- D. Recommend that the Board of Supervisors determine the project is exempt from the provisions of the California Environmental Quality Act (CEQA) pursuant to State CEQA Guidelines Section 15061(b)(3).

2.0 RECOMMENDATION AND PROCEDURES

Follow the procedures outlined below and recommend that the Board of Supervisors approve the *Montecito Architectural Guidelines and Development Standards Limited Update* and Case Nos. 16ORD-00000-00002 and 16ORD-00000-00003, based upon the project's consistency with the

Comprehensive Plan, including the Local Coastal Program and the Montecito Community Plan, and based on the ability to make the required findings, including CEQA findings.

Your Commission's motion should include the following:

1. Select the methodology for incorporating basement floor area into the house net floor area, either the Proportional Method (Attachment D) or the 800 Square Feet + 50% Method (Attachment E), and direct staff to incorporate the selected methodology into Sections III.B.3.a and IV.D of the *Montecito Architectural Guidelines and Development Standards*, prior to proceeding to the Board of Supervisors.
2. Make the required findings for approval (Attachment A), including CEQA findings, and recommend that the Board of Supervisors make the required findings for approval of the proposed amendments to the *Montecito Architectural Guidelines and Development Standards*, Montecito Land Use and Development Code, and Santa Barbara County Coastal Zoning Ordinance.
3. Recommend that the Board of Supervisors determine the project is exempt from CEQA pursuant to CEQA Guidelines Section 15061(b)(3) (Attachment B).
4. Adopt a Resolution (Attachment C) recommending that the Board of Supervisors take the following actions:
 - a. Adopt a Resolution amending the *Montecito Architectural Guidelines and Development Standards* (Attachment C-1);
 - b. Adopt an Ordinance amending the zoning regulations of the Santa Barbara County Montecito Land Use and Development Code (Case No. 16ORD-00000-00002), Section 35-2 of Chapter 35, Zoning, of the Santa Barbara County Code (Attachment C-2); and
 - c. Adopt an Ordinance amending the zoning regulations of the Santa Barbara County Coastal Zoning Ordinance (Case No. 16ORD-00000-00003), Article II of Chapter 35, Zoning, of the Santa Barbara County Code (Attachment C-3).

Refer back to staff if the Montecito Planning Commission takes other than the recommended action for appropriate findings.

3.0 JURISDICTION

This project is being considered by the Montecito Planning Commission based on the following:

1. Section 35.490.040 of the Montecito Land Use and Development Code, which states that the Montecito Planning Commission reviews Development Code Amendments and provides a recommendation to the County Board of Supervisors.

2. Section 35-57C of the Coastal Zoning Ordinance, Article II of Chapter 35 of the Santa Barbara County Code, which states that the Planning Commission reviews Local Coastal Program Amendments and provides a recommendation to the County Board of Supervisors.

3. Government Code Sections 65854 and 65855, which state:

The planning commission shall hold a public hearing on the proposed zoning ordinance or amendment to a zoning ordinance ... After the hearing, the planning commission shall render its decision in the form of a written recommendation to the legislative body...

4. Sections 2-25.2(a) and (b)(1) of Chapter 2 – Administration of the County Code, which states in part:

(a)... the Montecito planning commission shall assume the powers and duties given to the planning commission in chapter 21 and articles II and IV of chapter 35 of this code within the Montecito planning area...

(b)...the following shall remain within the jurisdiction of the county planning commission...

(1) Recommendations regarding proposed amendments to articles I, II, III, V, and VII of chapter 35 of the county Code unless the property affected by a proposed amendment to article II is solely located within the Montecito planning area ...

4.0 ISSUE SUMMARY

The Board of Supervisors directed Planning and Development to conduct a limited update of the *Montecito Architectural Guidelines and Development Standards (Guidelines)* to address five interrelated issues and how they affect the visual appearance, height, size, bulk, and scale of residential development, especially where it occurs on ridgelines and hillsides. After public outreach and five meetings with the Montecito Board of Architectural Review (MBAR), staff and the MBAR reached consensus on all but one of several amendments to the *Guidelines* and the Montecito Land Use and Development Code (MLUDC) and the Coastal Zoning Ordinance (Article II). The one amendment that requires the Montecito Planning Commission's focused attention is a choice between two methods for calculating basement floor area (see Section 6.1 of this staff report).

Two issues arose late in the process that were identified as potential unintended consequences of the proposed amendments: (1) the possible proliferation of detached accessory structures and (2) the use of Residential Second Units (RSUs) as ways to increase residential floor area without accounting for it under the net floor area of the *Guidelines*. The current budget and schedule are limited and, therefore staff cannot address these issues as part of the current project. However, these items may be worthy of a future work effort and are being forwarded to the Board of Supervisors for consideration in the Long Range Planning Division's Fiscal Year 2016-2017 work program.

5.0 INTRODUCTION AND BACKGROUND

5.1 Introduction

The Board of Supervisors adopted the Montecito Community Plan (MCP) in 1992. The MCP includes policy and action items for adoption and implementation of architectural guidelines and development standards to “*preserve, protect and enhance the semi-rural environment of Montecito and the natural mountainous setting.*” [MCP Policy LU-M-1.1] Consistent with this direction, the Board of Supervisors adopted the *Guidelines* in 1995. Since adoption, the *Guidelines* have been implemented for all new development and redevelopment in the MCP area, serving as a guide to architects, property owners, and the MBAR to ensure that new development is consistent with the MCP and compatible with the community character.

5.2 Background

Experience with the *Guidelines* over the past 20 years demonstrates that some provisions have resulted in unintended consequences leading to residential development that may appear substantially larger and taller than surrounding homes, especially on ridgeline and hillside properties. This may occur when homes have large, habitable basements that daylight on the downhill side, and in some circumstances, appear as an additional story. Such development may require extensive grading, often performed in a way that may not respect natural features and contours of a site. As a consequence, concern has been raised regarding how guidelines that address the size, bulk, and scale of homes ensure greater compatibility with surrounding properties or the community-wide character of Montecito.

To address these concerns, the Board of Supervisors approved a work program, limited in scope, to commence during Fiscal Year 2014-2015. The work program included a limited update of the *Guidelines* and associated ordinance amendments to address five issues: (1) Basement Definition, (2) Floor Area Definition, (3) Hillside Height Limits for Buildings and Retaining Walls, (4) Height Definition, and (5) Height Measurement Methodology. These issues are interrelated, especially when development occurs on ridgeline and hillside locations.

P&D staff reviewed the issues and related definitions, calculations, and methodologies; attended public meetings; and held a public workshop to better understand community concerns and solicit potential solutions. The recommendations within this staff report are designed to work together with the other requirements of the *Guidelines* to address the issues such that new development in Montecito will be compatible with its neighborhood and the community, and will protect and enhance the semi-rural environment of Montecito, the natural mountainous setting, and public views of the mountains.

5.3 Public Outreach and MBAR Review

Staff commenced public outreach efforts in May 2015, making presentations to the Montecito Association Land Use Committee (May 5 and December 1, 2015) and the MBAR (May 4 and June 1, 2015) to identify the issues and solicit potential solutions. On July 14, 2015, staff held a public workshop in Montecito. Approximately 20 people attended the workshop, including architects,

designers, and several community members. These outreach efforts identified four methodologies for including basements in the net floor area and four methodologies for addressing height concerns. The MBAR considered the methodologies and recommendations at three subsequent meetings (December 14, 2015, and January 25 and February 8, 2016). With the exception of the basement floor area methodology, MBAR concurred with staff's recommendations. Refer to Attachment F for minutes of the MBAR meetings.

6.0 PROJECT INFORMATION

6.1 Basement Definition and Floor Area Definition (Recommended Maximum House Net Floor Area)

Issues

Basements

Subsection III.B.3.a of the *Guidelines* states, "The floor area of a proposed house should be in scale with development on similar sized parcels in the immediate area." Subsection IV.D states the same but refers to a "hillside house." To this end, Subsections III.B.3.a and IV.D define net floor area and Table 1 and Table 2 of the *Guidelines* provide Recommended Maximum House Net Floor Areas (net floor area) for proposed residences and residential additions.¹ These net floor areas vary by lot size. The *Guidelines* exclude "basements" from the net floor area definition. The original intent was to exclude basements that were wholly underground. However, the MLUDC and Article II define a basement as "a story partly or wholly underground." As the *Guidelines* do not currently distinguish between basements partly or wholly underground, standard practice has been to exclude all basements from net floor area under these two guidelines.

Recent development trends indicate that proposed projects are more frequently incorporating partly underground basements (daylight basements) into residences on hillside properties. However, the *Guidelines* exclude basements from the definition of net floor area. In addition, these basements are not counted as stories even though they may appear as stories on the downhill side (see Figure 1 next page). As a result, under Subsections III.B.3.a and IV.D, the net floor area understates the size of the residence with a daylight basement.

Attached Accessory Structures

Sections III.B.3.a and IV.D of the *Guidelines* define the net floor area as the "total area of all floors of a building" but explicitly exclude attached garages of 800 square feet or less. The square footage of attached garages in excess of 800 square feet is included in the net floor area. However, these two sections do not explicitly state whether the net floor area includes or excludes other attached accessory structures. County planners and MBAR have typically excluded other attached accessory structures from the net floor area. This practice may allow larger homes since the square footage of other attached accessory structures is not counted toward the net floor area" in Tables 1 and 2 of the *Guidelines*, and

¹ Subsection IV.D and Table 2 address size, bulk, and scale and provide recommended maximum floor areas applicable only to residential development within the Montecito Hillside Overlay Zone. Subsection III.B.3.a and Table 1 provide recommended maximum floor areas applicable to residential development everywhere else.

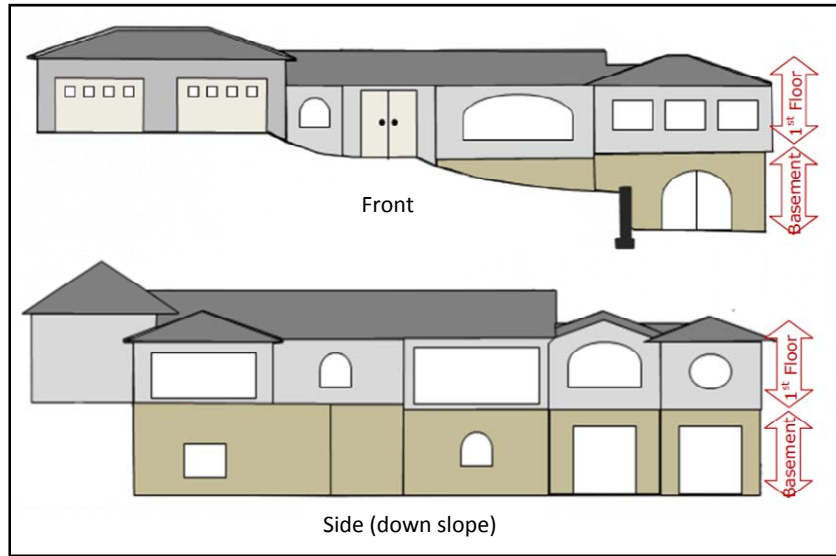


Figure 1: Example of Residence on Sloping Lot with Basement

recent development trends indicate an increase in the use of these attached accessory structures. Attached accessory structures consist of uses often found within residences (e.g., guest house, guest room, cabana, home/personal office, exercise room/gym). Attached accessory structures are part of the residential building (i.e., house), not separate structures, and they contribute to the building's overall size, bulk, and scale.

Recommendations

Basements

Staff and the MBAR recommend that basement floor area be included in the floor area definitions of Section III.B.3.a and Section IV.D of the *Guidelines*. Public outreach efforts identified the following four methodologies for calculating basement floor area:

1. Include basement floor area as a direct proportion of the exposed (visible, above grade) basement wall area.
2. Include 100% of basement floor area regardless of how much of the basement wall area is exposed.
3. Include the first 800 square feet of basement floor area plus 50% of any remaining basement floor area. Add criteria to the *Guidelines* to determine when this calculation would apply (e.g., any basement with a floor-to-ceiling height of 6.5 feet or more and an exposed exterior wall surface with a height of four feet or more above the adjacent finished grade on one or more sides of the structure).
4. Multiply the length of the longest exposed basement wall by a depth of 24 feet and include the result in the net floor area of the residential structure. As with the third method above, add criteria to the *Guidelines* to determine when this calculation would apply.

Staff tested these methodologies using six actual projects either approved or undergoing permit and design review to determine how the alternatives might affect project size or design. All four methods would increase the net floor area compared to the current definition. Staff considered the test results, the complexity of the calculation (with a goal to develop a relatively easy-to-apply methodology), perceived fairness, and alignment with the intent of certain guidelines (e.g., maintaining the exclusion of wholly underground basements from the net floor area). Subsequently, staff returned to the MBAR with a recommendation for Method 1.

The MBAR reviewed and considered the four methodologies on December 14, 2015, and January 25 and February 8, 2016. On February 8, 2016, two methodologies emerged as preferable, Methods 1 and 3. Two MBAR members preferred Method 1. Four MBAR members preferred Method 3. Members of the Montecito Association Land Use Committee attending the February 8 hearing also preferred Method 3. MBAR did not consider Method 2 further because it would not meet the original intent of the *Guidelines* to exclude wholly underground basements as they do not contribute to potential visual impacts on the community. Some members observed that Method 4, which has been used by other jurisdictions, can be more easily manipulated; therefore, reducing its efficacy.

Each of the preferred methodologies has its own advantages and disadvantages, as presented in Table 1 below. Proposed draft language of each methodology is provided in Attachments D and E.

Table 1: Advantages and Disadvantages of the Preferred Methods

Method 1 Proportional Method	Method 3 First 800 Sq. Ft. + 50% Remaining Basement
<i>Advantages</i>	
Direct relationship between exposure of basement wall area and basement floor area to incorporate	Greater amount of basement floor area would be included in net floor area
Most equitable approach regardless of design	Simple calculation
	Minimal chance for misinterpretation or inconsistent results
	Easier for applicants to apply when preparing a neighborhood study
<i>Disadvantages</i>	
Calculation somewhat complex; complexity increases with complexity of building design	Applicability may seem arbitrary as calculation applies when any one basement elevation has four feet of wall exposed above adjacent grade
May encourage manipulation of grade to hide daylight basements with large amounts of fill and tall retaining walls to reduce basement floor area	No direct relationship between amount of basement exposure and basement floor area inclusion
Does not give greater weight to a fully exposed façade on downhill side	

The choice between these two methods is a policy decision for your Commission and the Board of Supervisors. Both would accomplish the goals of the project by incorporating basement floor area into the house net floor area, thereby improving the usefulness of this size, bulk, and scale guideline.

Method 1, the proportional method, addresses the issue from a design perspective. It provides a direct link between the exposure and visibility of basement walls and the amount of basement floor area to include in the net floor area. This approach directly relates a basement's contribution to the size, bulk, and scale of the residence to the basement's overall visibility.

Method 3 would address community concerns raised during the process that residences are becoming too large, and that Method 1 does not sufficiently address a basement that has a full daylight elevation on the downhill side of a sloping lot. Method 3 more directly addresses overall size (floor area) of a residence and includes more basement floor area when basement walls are partially exposed. This method provides a more general mechanism than the proportional method to address size, bulk, and scale.

Regardless of which method is selected, the net floor area is only one of many guidelines that the MBAR can apply during design review. The proposed amendments to the *Guidelines* are designed to work in concert with the proposed maximum height reduction in the MLUDC and Article II (see Section 6.2 of this staff report) and the other existing guidelines to minimize grading and the visual impacts of new development on ridgelines and hillsides.

Attached Accessory Structures

Staff and the MBAR recommend that attached accessory structures be included in the net floor area definition. These attached accessory "structures" typically include uses that are indistinguishable from uses that are typically part of a residence. However, they are only considered attached "structures" because there is no internal access between the primary residence and the accessory use. If internal access were provided, the "structure" would be considered part of the residence and included in the residence net floor area. Thus, these attached accessory "structures" are part of the same residential structure and contribute to its overall size, bulk, and scale.

Staff also recommends maintaining current exclusions for attached garages and attached RSUs. The exclusion of the first 800 square feet of attached garage is long-standing. There have been no issues with its implementation over the lifetime of the *Guidelines*, and the MBAR concurs with this recommendation. State law requires that RSUs be considered ministerially and without a discretionary review or a hearing (Government Code 65852.2). The MLUDC and Article II currently exempt RSUs from MBAR review (35.472.070.C.7; 35-184.3.1.g), consistent with state law. Unlike a fixed zoning regulation, such as a maximum height limit, the recommended maximum net floor area is a guideline, subject to discretionary review by the MBAR; therefore, RSUs should not be included in the net floor area. Some MBAR members disagree with staff's recommendation and prefer that attached RSUs be included.

6.2 Height Definition, Height Measurement Methodology, and Hillside Height Limits for Buildings and Retaining Walls

Issues

Current zoning regulations establish a *height limit* – the maximum allowed height for structures; and *height measurement methodology* – the height of a structure measured from the existing grade to the uppermost point of the structure directly above the grade. The height limit is established by zoning designation: 35 feet in the Inland Area and 25 feet in the Coastal Zone for residential zones. In ridgeline and hillside locations, these height limits are reduced to 25 feet for urban areas and 16 feet for rural areas, regardless of whether development is inland or coastal.

Current zoning regulations also include a *maximum height* of 32 feet for structures located in all ridgeline and hillside locations (i.e., Montecito Hillside Overlay Zone of the MLUDC and the Ridgeline and Hillside Development Guidelines of the MLUDC and Article II). The maximum height of structures in such locations is measured from the highest part of the structure to the lowest point of the structure where an exterior wall intersects existing or finished grade, whichever is lower. This maximum height is intended to prevent unlimited cut into a hillside to lower the finished grade and construct excessively tall buildings. These height limits, combined with policies and guidelines to minimize grading, are intended to encourage construction of homes in a stair-step approach when located on hillsides.

Recent development trends indicate that the maximum height has not accomplished this intent and an unintended consequence has been deeper cuts into the hillside to create large, level building pads and taller homes with flat, unbroken façades. In addition, development in ridgeline and hillside locations often includes retaining walls adjacent to the house, which may contribute to the structure’s overall appearance of height, size, bulk, and scale as viewed from the downhill side; however, these walls are not included in the maximum height (see Figure 2 below).

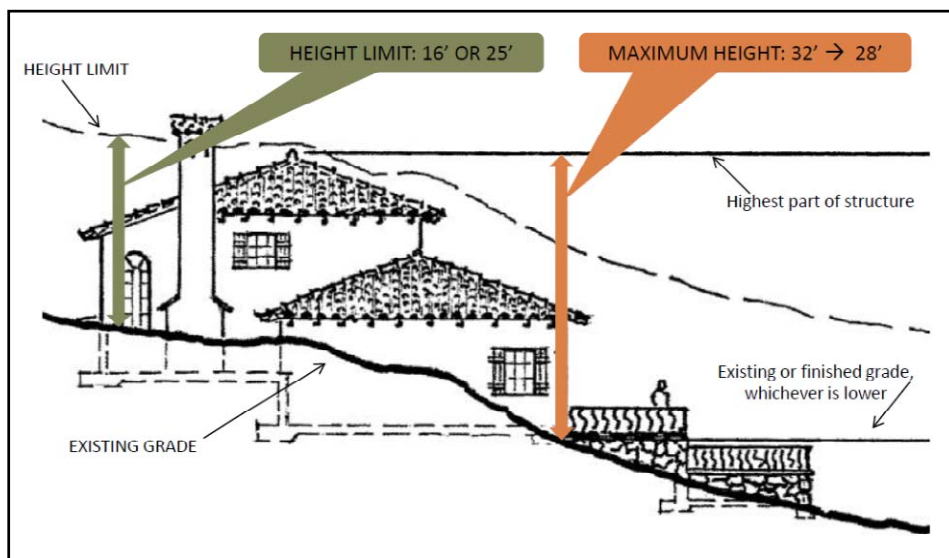


Figure 2: Height Limit and Maximum Height in Ridgeline and Hillside Locations

Recommendations

Staff recommends reducing the maximum height from 32 feet to 28 feet (see also Attachments C-2 and C-3 and Figure 2 above). Reducing the maximum height by four feet would further limit the overall height that could be achieved on ridgelines and hillsides while still meeting the applicable height limit. It may also eliminate the potential for a three-story appearance created by daylight basements. Finally, the maximum height reduction would reduce overall grading. The maximum height reduction is designed to be used in conjunction with the revised net floor area definition proposed for the *Guidelines*. Together, these tools would reduce the visual appearance and size, bulk, and scale of new development on ridgelines and hillsides, resulting in development at a scale more compatible and consistent with the community and the MCP, improving neighborhood compatibility and reducing visual impacts. The MBAR concurs with this recommendation.

Some retaining walls adjacent to a building on the downhill side might still occur, as landowners often desire some useable outdoor living space. Staff and the MBAR considered a proposal to include adjacent retaining walls in the maximum height but were unable to establish criteria that could not easily be bypassed in the design process. Staff and the MBAR concurred that the maximum height reduction would be a more effective tool for addressing the overall height of buildings on hillsides and recognized that a number of other guidelines and development standards are available to address this particular concern.

6.3 Additional Recommendations

Freestanding Retaining Walls

Subsection IV.C.10 of the *Guidelines* includes a standard for development in the Montecito Hillside Overlay Zone that recommends freestanding retaining walls “should avoid” heights over eight feet. The MCP and the *Guidelines* include goals to preserve, enhance, and protect the visual resources of Montecito hillsides and ridgelines. Staff recommends revising Subsection IV.C.10 to clarify that the eight-foot height is a maximum and define its measurement to be from the natural or finished grade at the base of the lower side of the wall to the top edge of the wall. In addition, staff recommends incorporating this development standard into the Hillside Guidelines (Subsection IV.E) for development on other ridgeline and hillside locations. The MBAR concurs with these recommendations. Please refer to Attachment C-1, Exhibit 1.

Montecito Hillside Overlay Zone Development Standards

MLUDC Subsection 35.428.070.C refers to the Hillside Development Standards in Subsection IV.C of the *Guidelines* and requires that projects comply with these standards. However, compliance with these standards has been inconsistent because they only appear in the *Guidelines*. Staff recommends incorporating these development standards directly into the MLUDC. Specifically listing the standards in the MLUDC is intended to ensure implementation and compliance with future projects. The MBAR concurs with this recommendation. Please refer to Attachment C-2.

Section IV Hillside Guidelines and Development Standards

As currently written, the introductory language of Section IV of the *Guidelines* leads to confusion as to which guidelines and standards apply to all ridgeline and hillside development and which only apply to the Montecito Hillside Overlay Zone. Staff recommends amending the introductory language of Section

IV to clarify the applicability of the Hillside Guidelines and of the Hillside Development Standards. The MBAR concurs with this recommendation. Please refer to Attachment C-1, Exhibit 1.

Update Guidelines Language

In 2002, the Board of Supervisors established the Montecito Planning Commission and the MBAR as the decision makers for the Montecito Community Plan area. The Montecito Planning Commission and MBAR commenced work in 2003. In 2007, the MLUDC replaced the Article IV Montecito Zoning Ordinance as part of the countywide zoning ordinance reformatting project. The 1995 *Guidelines* reference previous decision makers, planning documents, and review procedures that have been superseded by the Montecito Planning Commission, MBAR, and MLUDC. Staff recommends updating language throughout the *Guidelines* to correct references to these outdated planning documents, decision making bodies and review procedures (including findings and levels of review). The MBAR concurs with this recommendation. Please refer to Attachment C-1, Exhibit 1.

Effective Date of the Limited Update

For the Inland Area, staff recommends that the *Guidelines* amendments take effect 30 days after the Board of Supervisors approves the amendments. This effective date would be consistent with the effective date of the MLUDC ordinance amendments.

For the Coastal Zone, staff recommends that the *Guidelines* amendments take effect after the California Coastal Commission certifies the amendments. This effective date would be consistent with the effective date of the Article II ordinance amendment, which must be certified by the Coastal Commission.

7.0 ENVIRONMENTAL REVIEW

The project is exempt from California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15061(b)(3), (No Possibility of Significant Effect), with states that “the activity is covered by the general rule that CEQA only applies only to projects which have the potential for causing a significant impact on the environment.” Please refer to the Notice of Exemption in Attachment B.

8.0 COMPREHENSIVE PLAN CONSISTENCY

Staff reviewed the project for consistency with the applicable policies of the Comprehensive Plan, including the Coastal Land Use Plan (CLUP) of the Local Coastal Program, and the Montecito Community Plan (MCP). The policy consistency analysis is presented below.

REQUIREMENT	DISCUSSION
Land Use	
MCP GOAL LU-M-1: <i>In Order To Protect The Semi-Rural Quality Of Life, Encourage Excellence In Architectural And Landscape</i>	Consistent. <i>The Montecito Architectural Guidelines and Development Standards (Guidelines) include guidelines to address:</i>

REQUIREMENT	DISCUSSION
<p><i>Design. Promote Area-Wide And Neighborhood Compatibility; Protect Residential Privacy, Public Views, And To The Maximum Extent Feasible, Private Views Of The Mountains And Ocean.</i></p> <p>MCP Policy LU-M-1.1: <i>Architectural and development guidelines shall be adopted, implemented, and enforced by the County in order to preserve, protect and enhance the semi-rural environment of Montecito and the natural mountainous setting.</i></p> <p>MCP Action LU-M-1.1.1: <i>Architectural Guidelines and Development Standards shall be developed by the County in consultation with the Montecito Association, and the General Plan Advisory Committee and adopted by the County Board of Supervisors ... in order to preserve, protect and enhance the semi-rural environment of Montecito. ... These guidelines shall address (but not be limited to):</i></p> <ul style="list-style-type: none"> <i>a. Residential floor area allowed based on lot size;</i> <i>b. Potential visual impacts resulting from project design and neighborhood compatibility issues;</i> <i>c. Site planning (e.g. location of easements; impacts to sensitive habitats; amount and extent of grading; size, mass, scale, height of structure);</i> <i>d. Impacts to public and private views and of the mountains and ocean; ...</i> <p><i>The County (with assistance from the Montecito community) shall periodically review and update the Architectural Guidelines and Development Standards to strive to ensure their continued effectiveness.</i></p> <p>MCP Action LU-M-1.1.6: <i>The Architectural Guidelines and Development Standards shall</i></p>	<p>residential floor area based on lot size; neighborhood compatibility; size, bulk, mass, scale, and height; protection of the semi-rural environment and the natural mountainous setting; and protection of public views of the mountains. Action LU-M-1.1.1 also directs the County (with assistance from the Montecito community) to periodically review and update the <i>Guidelines</i> to ensure continued effectiveness. The project is consistent with this action because the Limited Update of the <i>Guidelines</i> has been prepared working with the Montecito Association and the community through meetings with the Association’s Land Use Committee, a public community workshop and several public meetings of the MBAR. The Limited Update enhances the effectiveness of the <i>Guidelines</i> by amending guidelines that address floor area of a residence, retaining walls, and applicability of hillside guidelines and development standards; reducing the maximum height applicable to ridgeline and hillside development in the MLUDC and Article II; and updating <i>Guidelines</i> language to reflect current decision makers, zoning codes, and administrative practices. As a result, the Limited Update will result in more effective tools to ensure that new residential development in Montecito will be compatible with their neighborhoods and consistent with the policies and development standards of the Montecito Community Plan.</p>

REQUIREMENT	DISCUSSION
<p><i>establish clear and objective standards for review of both the applicant and the Board of Architectural Review by developing a residential Floor Area Ratio (F.A.R.) in combination with height limitations, structural setbacks, and other standards related to the size, mass, scale, and bulk of residential units. In addition, specifications for limitations and exceptions to the residential F.A.R. shall be included.</i></p>	
Visual Resources	
<p><i>Coastal Act 30251:</i> <i>The scenic and visual qualities of coastal areas shall be considered and protected as a resource of public importance. Permitted development shall be sited and designed to protect views to and along the ocean and scenic coastal areas, and, where feasible, to restore and enhance visual quality in visually degraded areas. ...</i></p> <p><i>CLUP Policy 4-1:</i> <i>Areas within the coastal zone which are now required to obtain approval from the County Board of Architectural Review, because of the requirements of the “D”-Design Supervision Combining Regulations or because they are within the boundaries of Ordinance #453, shall continue to be subject to design review. ...</i></p> <p><i>CLUP Policy 4-3 and Land Use Element Visual Resources Policy 2:</i> <i>In areas designated as rural on the land use plan maps, the height, scale, and design of structures shall be compatible with the character of the surrounding natural environment, except where technical requirements dictate otherwise. Structures shall be subordinate in appearance to natural landforms; shall be designed to follow the natural contours of the landscape; and shall be sited so as not to intrude into the skyline as seen from public viewing places.</i></p>	<p>Consistent. The California Coastal Act and the County’s certified Local Coastal Program govern development within the Coastal Zone of the MCP area. Projects within Montecito have been required to undergo design review (i.e., obtain approval from the Board of Architectural Review) for more than 35 years.</p> <p>The Limited Update enhances the effectiveness of the <i>Guidelines</i> by reducing the maximum height in ridgeline and hillside locations (MLUDC and Article II amendments), and by amending guidelines that address floor area of a residence, retaining wall height, and applicability of hillside guidelines and development standards. Combined, the amendments resulting from the Limited Update are consistent with these visual resources protection policies because they promote good design and protect of public views, reduce maximum height, and improve existing guidelines regarding size, bulk, and scale to ensure compatibility of new development with the character of the surrounding terrain in rural areas and the scale and character of the existing community in urban areas. The amendments also improve guidelines to ensure structures are subordinate in appearance to natural landforms and the natural open space characteristics of the mountains, follow the natural contours of the landscape, and do not intrude into the skyline.</p>

REQUIREMENT	DISCUSSION
<p>CLUP Policy 4-4 and Land Use Element Visual Resources Policy 3: <i>In areas designated as urban on the land use plan maps and in designated rural neighborhoods, new structures shall be in conformance with the scale and character of the existing community. Clustered development, varied circulation patterns, and diverse housing types shall be encouraged.</i></p> <p>MCP GOAL VIS-M-1: <i>Protect The Visual Importance Of The Santa Ynez Mountain Range And Ocean Views As Having Both Local And Regional Significance And Protect From Development Which Could Adversely Affect This Quality.</i></p> <p>MCP Policy VIS-M-1.1: <i>Development shall be subordinate to the natural open space characteristics of the mountains.</i></p> <p>MCP Policy VIS-M-1.3: <i>Development of property should minimize impacts to open space views as seen from public roads and viewpoints.</i></p>	

ATTACHMENTS

- A. Findings
- B. CEQA Notice of Exemption
- C. Montecito Planning Commission Resolution
 - C-1. Draft Board of Supervisors Resolution (includes Exhibit 1, amendments to the *Montecito Architectural Guidelines and Development Standards*)
 - C-2. Draft MLUDC Ordinance Amendment
 - C-3. Draft Article II Ordinance Amendment
- D. Method 1 for Basement Floor Area Calculation – Proportional Method
- E. Method 3 for Basement Floor Area Calculation – 800 Square Feet + 50%
- F. MBAR Minutes

ATTACHMENT A

FINDINGS FOR APPROVAL

Montecito Architectural Guidelines and Development Standards Limited Update and Amendments to the Montecito LUDC and Article II Coastal Zoning Ordinance

1.0 CEQA FINDINGS

1.1 CEQA EXEMPTION

1.1.1 The Montecito Planning Commission finds that the proposed project is exempt from environmental review under the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15308. Please see Attachment B, Notice of Exemption.

2.0 ADMINISTRATIVE FINDINGS

2.1 AMENDMENTS TO THE MONTECITO LAND USE AND DEVELOPMENT CODE, ARTICLE II COASTAL ZONING ORDINANCE, AND THE *MONTECITO ARCHITECTURAL GUIDELINES AND DEVELOPMENT STANDARDS*

Findings required for all amendments to the Montecito Land Use and Development Code, Article II Coastal Zoning Ordinance, and the *Montecito Architectural Guidelines and Development Standards*. In compliance with Section 35.494.060 of the Montecito Land Use and Development Code (MLUDC), and Section 35-180.6 of the Article II Coastal Zoning Ordinance, prior to the approval or conditional approval of an Amendment to the MLUDC, the Article II Zoning Ordinance, Local Coastal Program or the County Zoning Map the review authority shall first make all of the following findings:

2.1.1 The request is in the interest of the general community welfare.

The Board of Supervisors adopted the *Montecito Architectural Guidelines and Development Standards (Guidelines)* in 1995. The *Guidelines* were developed consistent with the policies and direction of the Montecito Community Plan (MCP, adopted in 1992) in consideration of the community's circumstances, needs, and desires to preserve, protect, and enhance the semi-rural environment and the natural mountainous setting of Montecito [MCP Policy LU-M-1.1]. Since 1995, the *Guidelines* have provided guidance and direction to architects, property owners, and the Montecito Board of Architectural Review (MBAR) for the design and review of residential and commercial development and additions to existing buildings within the MCP area. They are intended to provide clear and concise standards and guidelines for the design process, and encourage the best professional design practices of architecture and landscape architecture to enhance the visual quality of the environment.

Experience with the *Guidelines* over the past 20 years demonstrates that some provisions have resulted in unintended consequences leading to residential development that is substantially larger and taller than surrounding homes, especially on hillside and ridgeline

properties. Of particular concern are how the following definitions, calculations, and methodologies of the MLUDC and the *Guidelines* have been implemented to achieve neighborhood and community compatibility: (1) Basement Definition, (2) Floor Area Definition, (3) Hillside Height Limits for Buildings and Retaining Walls, (4) Height Definition, and (5) Height Measurement Methodology.

As discussed below and in the staff report to the Montecito Planning Commission dated March 3, 2016, herein incorporated by reference, the amendments of the *Guidelines* and the accompanying amendments to the MLUDC and Article II are in the interest of the general community welfare. Along with amendments fully detailed in Exhibit 1 of Attachment C-1 to the staff report dated March 3, 2016 (herein incorporated by reference), the amended *Guidelines* will account for daylight basements and attached accessory structures in the Recommended Maximum House Net Floor Area, clarify administrative references and procedures, and provide decision makers, property owners, and architects with clearer design guidelines for orderly development within the MCP area. Amendments to the MLUDC and Article II will reduce the maximum height applicable to ridgeline and hillside development. An additional amendment to the MLUDC will incorporate the Hillside Development Standards of the *Guidelines* rather than reference them. Together, the amendments to the *Guidelines*, MLUDC, and Article II will provide greater visual resource protection, will better preserve, protect and enhance the semi-rural environment of Montecito and the natural mountainous setting, and will ensure neighborhood compatibility of all projects.

2.1.2 The request is consistent with the Comprehensive Plan, the Local Coastal Program, including the Coastal Land Use Plan and the Montecito Community Plan, the requirements of State planning and zoning laws, the Montecito Land Use and Development Code and the Article II Coastal Zoning Ordinance.

As discussed in Section 8.0 of the staff report to the Montecito Planning Commission, dated March 3, 2016, herein incorporated by reference, the project is consistent with the Comprehensive Plan and the Local Coastal Program, including the Coastal Land Use Plan and the Montecito Community Plan, the MLUDC and Article II. The *Montecito Architectural Guidelines and Development Standards Limited Update* is focused in scope, fine tuning issues addressed by the previously adopted 1995 *Guidelines*. Amendments to the *Guidelines* also clarify administrative references and procedures that ensure consistency with the MLUDC and Article II. Amendments to the MLUDC and Article II that reduce the maximum height applicable to ridgeline and hillside development provide greater visual resource protection consistent with policies of the Comprehensive Plan, Local Coastal Program and Montecito Community Plan, cited in Section 8.0 of the staff report and herein incorporated by reference, especially MCP Policy LU-M-1.1, CLUP Policies 4-3 and 4-4, and Land Use Element Visual Resources Policies 2 and 3. Finally, amendments to the Montecito Hillside Overlay Zone of the MLUDC ensure consistency between the MLUDC and the *Guidelines*.

2.1.3 The request is consistent with good zoning and planning practices.

The project is consistent with sound zoning and planning practices that regulate land uses for the protection of the visual environment and community values. The project updates select design guidelines and standards of the *Montecito Architectural Guidelines and Development Standards* applicable to future development, which provide guidance to architects, property owners, and decision makers for the design and review of projects within the MCP Area. Along with amendments fully detailed in Exhibit 1 of Attachment C-1 to the staff report dated March 3, 2016 (herein incorporated by reference), the amended *Guidelines* will account for daylight basements and attached accessory structures in the Recommended Maximum House Net Floor Area, clarify administrative references and procedures, and provide clearer design guidelines for orderly development within the MCP area. Amendments to the MLUDC and Article II will reduce the maximum height applicable to ridgeline and hillside development. An additional amendment to the MLUDC will incorporate the Hillside Development Standards of the *Guidelines* rather than reference them.

Together, the amendments to the *Guidelines*, MLUDC, and Article II strengthen the existing development procedures and provisions that promote consistency with MCP Policy LU-M-1.1 “to preserve, protect and enhance the semi-rural environment of Montecito and the natural mountainous setting,” and the *Guidelines* goal to “ensure neighborhood compatibility of all projects.” The amended *Guidelines* ensure new development is compatible with its neighborhood, and the natural and built environments. Therefore, the amendments are consistent with good zoning and planning practices. In addition, as discussed in Section 8.0 of the staff report to the Montecito Planning Commission, dated March 3, 2016, herein incorporated by reference, the project is consistent with the Montecito Community Plan and, therefore, consistent with good zoning and planning practices.

ATTACHMENT B

NOTICE OF EXEMPTION

TO: Santa Barbara County Clerk of the Board of Supervisors

FROM: Long Range Planning Division, Planning and Development Department

The project or activity identified below is determined to be exempt from further environmental review requirements of the California Environmental Quality Act (CEQA) of 1970, as defined in the State and County Guidelines for the implementation of CEQA.

Case Nos.: 16ORD-00000-00002 and 16ORD-00000-00003

APN(s): Not applicable

Location: Montecito Community Plan Area

Project Title: *Montecito Architectural Guidelines and Development Standards* Limited Update

Project Description: The project consists of two components. The first component is a limited update of the *Montecito Architectural Guidelines and Development Standards (Guidelines)* to:

- a. Amend two guidelines that address the floor area definition regarding basements and attached accessory structures, and adding a specific method for incorporating basement floor area into the recommended maximum house net floor area.
- b. Amend a development standard and guideline to limit the maximum height of freestanding retaining walls.
- c. Clarify the introductory language of Section IV regarding the applicability of Hillside Guidelines and Hillside Development Standards.
- d. Amend language throughout to update references to current planning documents, administrative procedures, and decision making bodies.

The second component consists of two minor ordinance amendments. First, the Montecito Land Use and Development Code (MLUDC, Case No. 16ORD-00000-00002) and the Article II Coastal Zoning Ordinance (Article II, Case No. 16ORD-00000-00003) would be amended to reduce the maximum height of development in ridgeline and hillside locations from 32 feet to 28 feet. Second, the Montecito Hillside Overlay Zone of the MLUDC would be amended to list the specific Hillside Development Standards included in the *Guidelines* that currently apply to new development within this overlay. Currently, the MLUDC requires compliance with these standards but only references them.

Name of Public Agency Approving Project: County of Santa Barbara

Name of Person or Agency Carrying Out Project: County of Santa Barbara

Exempt Status: (Check one)

- Ministerial
- Statutory Exemption
- Categorical Exemption
- Emergency Project
- No Possibility of Significant Effect 15061(b)(3)

Cite specific CEQA and/or CEQA Guideline Section: 15061(b)(3) – No possibility of significant effect.

CEQA Guidelines Section 15061(b)(3) states that “the activity is covered by the general rule that CEQA applies only to projects which have the potential for causing a significant effect on the environment. Where it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the activity is not subject to CEQA.”

Reasons to support exemption findings: The following provides a brief discussion of the proposed amendments.

The *Guidelines* were adopted in 1995 in compliance with direction of the Montecito Community Plan (MCP). The *Guidelines* provide guidance to architects, property owners, and the Montecito Board of Architectural Review (MBAR) for the design and review of projects within the MCP Area. The *Guidelines* protect the environment by ensuring new development is compatible with its neighborhood and the natural and built environments. The proposed amendments to the *Guidelines*, the MLUDC, and Article II would strengthen the existing development procedures and provisions that promote consistency with MCP Policy LU-M-1.1 “to preserve, protect and enhance the semi-rural environment of Montecito and the natural mountainous setting,” and the *Guidelines* goal to “ensure neighborhood compatibility of all projects.”

The most substantive change to the *Guidelines* would amend two guidelines that address size, bulk, and scale by revising the floor area definition used for calculating the Recommended Maximum House Net Floor Area (net floor area). The existing definition explicitly excludes basements and is vague with respect to other attached accessory structures. However, houses on ridgelines and hillsides may include a “daylight” basement, a basement that is partly underground and partly exposed but which still meets the ordinance definition of basement. Because an exposed basement is still a basement, its floor area has been excluded from the net floor area. However, a “daylight” basement can add to the mass of the structure and result in larger, taller homes while complying with the recommended maximum house net floor area. In addition, attached accessory structures can contribute to the overall size, bulk, and scale of the residence while not being included in the net floor area. The amended *Guidelines* require inclusion of “daylight” basements and attached accessory structures in the net floor area. These revisions would provide a more accurate description of the overall size of a proposed residence for use by the MBAR. As a result, the potential for construction of homes significantly larger than the recommended maximum house net floor area may be reduced.

The limited update also amends the *Guidelines* to limit the maximum height of freestanding retaining walls, amends language to clarify the applicability of Hillside Guidelines and Hillside Development

Standards, and updates language throughout the *Guidelines* to correct references to the current planning documents and decision making bodies.

The amendments to the MLUDC and Article II would lower the maximum height from 32 feet to 28 feet for new development in ridgeline and hillside locations. In addition, the Montecito Hillside Overlay Zone of the MLUDC would be amended to list the specific Hillside Development Standards included in the *Guidelines* that currently apply to new development within this overlay. Currently, the MLUDC requires compliance with these standards but only references them. This amendment would ensure consistency of the applicability of the Hillside Development Standards between the MLUDC and the *Guidelines*.

In conclusion, these amendments serve to clarify and revise existing regulations, strengthen existing development standards, enhance the visual resources of the MCP Area, and minimize potential adverse impacts to the surrounding area. These changes will not result in an increase in permitted densities or modifications to resource protection policies. The amendments are not related to any particular development projects and future individual projects would be subject to compliance with CEQA, as applicable. Therefore, it can be seen with certainty that there is no possibility that this activity may have a significant effect on the environment.

Lead Agency Contact Person: Julie Harris Phone #: (805) 568-3543

Department/Division Representative: _____ Date: _____

Acceptance Date: _____

Distribution: Hearing Support Staff
Case File:

Date Filed by County Clerk: _____

ATTACHMENT C

**RESOLUTION OF THE MONTECITO PLANNING COMMISSION
COUNTY OF SANTA BARBARA, STATE OF CALIFORNIA**

IN THE MATTER OF RECOMMENDING TO THE)	RESOLUTION NO. 16- ____
BOARD OF SUPERVISORS THE ADOPTION OF)	
SPECIFIC AMENDMENTS TO THE MONTECITO)	Case Nos.
ARCHITECTURAL GUIDELINES AND)	16ORD-00000-00002 and
DEVELOPMENT STANDARDS, AND THE)	16ORD-00000-00003
ADOPTION OF AMENDMENTS TO THE SANTA)	
BARBARA COUNTY MONTECITO LAND USE)	
AND DEVELOPMENT CODE AND THE ARTICLE II)	
COASTAL ZONING ORDINANCE, OF CHAPTER)	
35, ZONING, OF THE SANTA BARBARA COUNTY)	
CODE)	

WITH REFERENCE TO THE FOLLOWING:

- A. On July 19, 1982, by Ordinance 3312, the Board of Supervisors adopted the Coastal Zoning Ordinance, Article II of Chapter 35 of the Santa Barbara County Code.
- B. On May 16, 1995, by Resolution 95-245, the Board of Supervisors adopted the *Montecito Architectural Guidelines and Development Standards* to provide guidance on locally appropriate architectural and landscape design to ensure compatibility with the semi-rural character of Montecito.
- C. On November 27, 2007, by Ordinance 4660, the Board of Supervisors adopted the Montecito Land Use and Development Code, Section 35-2 of Chapter 35 of the Santa Barbara County Code.
- D. In June 2014, the Board of Supervisors directed staff to prepare a limited update of the *Montecito Architectural Guidelines and Development Standards* focusing on five specific issues, including amendments to the Montecito Land Use and Development Code and the Article II Coastal Zoning Ordinance, as necessary to improve guidelines addressing size, bulk, and scale, retaining walls, and height.
- E. From May 2015 to December 2015, staff solicited input from the public and community at two meetings of the Montecito Association Land Use Committee and a public workshop.
- F. From May 2015 to February 2016, the Montecito Board of Architectural Review held five hearings to advise staff on the preparation of the limited update of the *Montecito Architectural Guidelines and Development Standards* and review draft recommended amendments.
- G. Citizens, California Native American Indian tribes, public agencies, and civic, education, and other community groups have been provided opportunities to be involved in the

preparation of the limited update of the *Montecito Architectural Guidelines and Development Standards* in duly noticed public hearings and meetings.

- H. The Montecito Planning Commission has held a duly noticed public hearing, as required by Section 65854 of the Government Code, on the proposed amendments, at which hearing the amendments were explained and comments invited from the persons in attendance.
- I. The Montecito Planning Commission has determined that the proposed amendments are consistent with the Coastal Act of 1976, the Santa Barbara County Comprehensive Plan, including the Coastal Land Use Plan and the Montecito Community Plan, and provide the greatest community welfare without compromising community values, environmental quality, or the public health and safety, as included in the findings in Attachment A of the Montecito Planning Commission staff report dated March 3, 2016, which is included by reference.

NOW, THEREFORE, IT IS HEREBY RESOLVED as follows:

- 1. The above recitations are true and correct.
- 2. In compliance with Government Code Section 65855, the Montecito Planning Commission finds that it is in the interest of the orderly development of Montecito and important to the preservation of the health, safety, and general welfare of the residents of Montecito to recommend that the Board of Supervisors adopt the following Resolution and Ordinances that would update the *Montecito Architectural Guidelines and Development Standards* and amend the height provisions of the Montecito Land Use and Development Code and Article II Coastal Zoning Ordinance, thereby furthering the goals, policies, and development standards of the Montecito Community Plan:
 - a. A Resolution amending the *Montecito Architectural Guidelines and Development Standards* (Attachment C-1);
 - b. An Ordinance amending the Montecito Land Use and Development Code (Case No. 16ORD-00000-00002), Section 35-2 of Chapter 35, Zoning, of the Santa Barbara County Code (Attachment C-2); and
 - e. An Ordinance amending the Article II Coastal Zoning Ordinance (Case No. 16ORD-00000-00003) of Chapter 35, Zoning, of the Santa Barbara County Code (Attachment C-3).
- 3. This Montecito Planning Commission recommends that the Board of Supervisors of the County of Santa Barbara, State of California, following the required noticed public hearing, approve and adopt the above mentioned recommendation of this Montecito Planning Commission, based on the findings included as Attachment A of the Montecito Planning Commission staff report dated March 3, 2016.

4. A certified copy of this Resolution shall be transmitted to the Board of Supervisors in compliance with Government Code Section 65855.
5. The Chair of this Montecito Planning Commission is hereby authorized and directed to sign and certify all documents and other materials in accordance with this Resolution to show the above mentioned action by the Montecito Planning Commission.

PASSED, APPROVED AND ADOPTED this March 23, 2016 by the following vote:

AYES:

NOES:

ABSTAIN:

ABSENT:

MICHAEL PHILLIPS, Chair
Montecito Planning Commission

ATTEST:

DIANNE M. BLACK
Secretary to the Montecito Planning Commission

APPROVED AS TO FORM:

MICHAEL C. GHIZZONI
COUNTY COUNSEL

By _____
Deputy County Counsel

ATTACHMENTS:

- C-1. Board of Supervisors Resolution Amending the *Montecito Architectural Guidelines and Development Standards*
- C-2. Board of Supervisors Ordinance Amending the Montecito Land Use and Development Code (Case No. 16ORD-00000-00002)
- C-3. Board of Supervisors Ordinance Amending the Article II Coastal Zoning Ordinance (Case No. 16ORD-00000-00003)

ATTACHMENT C-1

RESOLUTION OF THE BOARD OF SUPERVISORS
COUNTY OF SANTA BARBARA, STATE OF CALIFORNIA

IN THE MATTER ADOPTING SPECIFIC AMENDMENTS) RESOLUTION NO. 16-____
TO THE MONTECITO ARCHITECTURAL GUIDELINES)
AND DEVELOPMENT STANDARDS)

WITH REFERENCE TO THE FOLLOWING:

- A. On May 16, 1995, by Resolution 95-245, the Board of Supervisors adopted the *Montecito Architectural Guidelines and Development Standards* to provide guidance on locally appropriate architectural and landscape design to ensure compatibility with the semi-rural character of Montecito.
- B. In June 2014, the Board of Supervisors directed staff to prepare a limited update of the *Montecito Architectural Guidelines and Development Standards* focusing on five specific issues, including amendments to the Montecito Land Use and Development Code and the Article II Coastal Zoning Ordinance, as necessary to improve guidelines addressing size, bulk, and scale, retaining walls, and height.
- C. From May 2015 to December 2015, staff solicited input from the public and community at two meetings of the Montecito Association Land Use Committee and a public workshop.
- D. From May 2015 to February 2016, the Montecito Board of Architectural Review held five hearings to advise staff on the preparation of the limited update of the *Montecito Architectural Guidelines and Development Standards* and review draft recommended amendments.
- E. Citizens, California Native American Indian tribes, public agencies, and civic, education, and other community groups have been provided opportunities to be involved in the preparation of the limited update of the *Montecito Architectural Guidelines and Development Standards* in duly noticed public hearings and meetings.
- F. The Montecito Planning Commission has held a duly noticed public hearing on the proposed amendments, at which hearings the amendments were explained and comments invited from the persons in attendance.
- G. The Montecito Planning Commission, after holding a duly noticed public hearing on the above described amendments, endorsed and transmitted to the Board of Supervisors said recommended amendments by resolution.
- H. The Board of Supervisors received and considered the Montecito Planning Commission's recommended actions and held a duly noticed public hearing on the proposed amendments

at which hearing the amendments were explained and comments invited from the persons in attendance.

NOW, THEREFORE, IT IS HEREBY RESOLVED as follows:

1. The above recitations are true and correct.
2. The Board of Supervisors now finds, consistent with its authority in Government Code Section 65358, that it is in the public interest to provide orderly development of the County and important to the preservation of the health, safety, and general welfare of the residents of the County to adopt amendments to the *Montecito Architectural Guidelines and Development Standards* as provided in Exhibit 1 (underline = new text; ~~striketrough~~ = deleted text).
3. Inland Area: This resolution and the amendments to the *Montecito Architectural Guidelines and Development Standards* shall take effect and be in force 30 days from the date of its passage.
4. Coastal Zone: This resolution and the amendments to the *Montecito Architectural Guidelines and Development Standards* and any portion of this resolution approved by the Coastal Commission shall take effect and be in force 30 days from the date of its passage or upon the date that it is certified by the Coastal Commission pursuant to Public Resources Code 30514, whichever occurs later.
5. The Chair and the Clerk of this Board are hereby authorized and directed to sign and certify all documents and other materials in accordance with this Resolution to reflect the above described action by the Board.

PASSED, APPROVED, AND ADOPTED by the Board of Supervisors of the County of Santa Barbara, State of California, this _____ day of _____, 2016, by the following vote:

AYES:

NOES:

ABSTAIN:

ABSENT:

PETER ADAM, CHAIR
BOARD OF SUPERVISORS

ATTEST:

MONA MIYASATO, COUNTY EXECUTIVE OFFICER
CLERK OF THE BOARD

By _____
Deputy Clerk

APPROVED AS TO FORM:

MICHAEL C. GHIZZONI
COUNTY COUNSEL

By _____
Deputy County Counsel

EXHIBIT:

1. *Montecito Architectural Guidelines and Development Standards* with amendments

EXHIBIT 1

MONTECITO

Architectural Guidelines and Development Standards



Architect: Alexander Bertrand Harmer, 1931

Watercolor: John Watson

Planning and Development Department
Adopted 1995 | Limited Update 2016

ACKNOWLEDGEMENTS 2016

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ACKNOWLEDGEMENTS 1995

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I. INTRODUCTION

A. BACKGROUND

Montecito's physical characteristics are unique among the communities located on the south coast of Santa Barbara County. The unincorporated planning area of Montecito encompasses both a flat, older residential area and more recent residential development along the lower elevations of the south facing slopes of the Santa Ynez Mountain Range. The community is generally characterized by its semi-rural residential densities, extensive landscaping along narrow roads, and structures that remain hidden from public view. Inherent in the character of the community is the mixture of small cottages, distinct residential neighborhoods, and historic large estates with accompanying large open areas surrounding buildings. The generous amount of land relative to house size and the lack of sidewalks and street lights further define the community character.

Changes in the fabric of older, nearly built-out neighborhoods and hillside development that has failed to recognize the importance of the hillsides as a local and regional visual resource have raised concerns in recent years in the community of Montecito. These concerns involve new, remodeled, and replacement homes that are substantially larger than surrounding homes, use materials and designs incompatible with the natural surroundings, invade the privacy of older properties and are sited to block both private and public views.

The Montecito Community Plan, adopted in December of 1992, acknowledges and protects the unique residential characteristics of the area through adopted polices with implementation regulations found in [the Article II Coastal Zoning Ordinance \(Article II\)](#) and [Article IV the Montecito Land Use and Development Code \(MLUDC\)](#) of the Santa Barbara County [Code, Zoning Ordinance](#). These guidelines have been developed to assist in the implementation of these regulations.

All projects approved in the Montecito Planning Area must be consistent with the guidelines contained [within herein](#), pursuant to [Article IV Section 35-491 MLUDC Section 35.472.070](#) and Article II Section 35-184. They have been adopted in accordance with [Article IV Section 35-473 MLUDC Subsection 35.472.070.G](#) and Article II Section 35-144A. They are identified as guidelines because they contain permissive in addition to mandatory requirements. The guidelines are provided to assist the [Montecito](#) Board of Architectural Review in making the findings required under [Article IV Section 35-491.6 MLUDC Subsection 35.472.070.F](#) and Article II Section 35-184.6 and to comply with the Montecito Hillside [\(H-MON\) District Ordinance Overlay Zone](#) of [Article IV Section 35-432.B MLUDC Section 35.428.070](#).

B. PURPOSE

The purpose of this document is to assist the property owner, homeowner, architect, developer and builder in designing projects that will be harmonious with the existing character of Montecito. These Architectural Guidelines and Development Standards also serve as a guide for [County Montecito](#) Board of Architectural Review, County staff and decision makers in the design review process. The design concepts and implementation techniques set forth in these Guidelines are not meant to discourage unique and innovative design solutions. Rather, they embody the intent of the findings that must be made for design review applications and serve as the basis on which decision-making bodies make their design-related decisions in addition to Article II or [Article IV Zoning Ordinance MLUDC zoning](#) requirements.

C. GOALS

The goal of these Guidelines is to ensure that every residential development will carefully consider the community context in which it takes place and have a compatible relationship to neighboring properties and the community design goals. The design review process is one of several procedures used by the County to protect the public welfare and the natural setting of a community. The process is a comprehensive evaluation of the aesthetic characteristics of residential development that have an impact on neighboring properties and the community as a whole. The design review process makes a careful examination of a project's quality of site planning, architecture, landscape design and important details such as retaining walls, fences, and lighting.

The following goals shall guide the planning, design and approval of all new and remodeled structures, all replacement structures and all structural additions:

1. To preserve, protect and enhance the existing semi-rural environment of Montecito.
2. To enhance the quality of the built environment by encouraging high standards in architectural and landscape design.
3. To ensure neighborhood compatibility of all projects.
4. To respect public views of the hillsides and the ocean and to be considerate of private views.
5. To ensure that architecture and landscaping respect the privacy of immediate neighbors.

6. To ensure that grading and development are appropriate to the site and that long term visible scarring of the landscape is avoided where possible.
7. To maintain the semi-rural character of the roads and lanes.
8. To preserve and protect native and biologically and aesthetically valuable nonnative vegetation or to ensure adequate and appropriate replacement for vegetation loss.

D. GOOD NEIGHBOR POLICIES

Before designing a new project or remodeling an existing one, the following "Good Neighbor Policies" should be considered:

1. Consider proposed house design within the context of the neighborhood.
2. Show proposed plans to neighbors.
3. Consider mutual neighborhood privacy in all aspects of the house design and site layout, including noise and lighting.
4. Consider your neighbors' views and privacy in the placement and architectural appearance of your house or addition.

E. REQUIRED FINDINGS

Prior to approving any BAR application, the [Montecito](#) Board of Architectural Review shall make the ~~following~~ findings [pursuant to MLUDC Subsection 35.472.070.F and Article II Section 35-213.:](#)

- ~~1. Overall building shapes, as well as parts of any structure (buildings, walls, fences, screens, towers, or signs) shall be in proportion to and compatible with the bulk and scale of other existing or permitted structures on the same site and in the neighborhood surrounding the property.~~
- ~~2. Mechanical and electrical equipment shall be well integrated in the total design concept.~~
- ~~3. There shall be harmony of material, color, and composition of all sides of a structure or building.~~
- ~~4. A limited number of materials will be on the exterior face of the building or structure.~~

- ~~5.— There shall be a harmonious relationship with existing developments in the surrounding neighborhood, avoiding excessive variety and monotonous repetition, but allowing similarity of style, if warranted.~~
- ~~6.— Site layout, orientation, location and sizes of all structures, buildings, and signs on a property shall be in an appropriate and well designed relationship to one another, and to the environmental qualities, open spaces, and topography of the property with consideration for public views of the hillsides and the ocean and the semi rural character of the community as viewed from scenic view corridors as shown on Figure 37, Visual Resources Map in the Montecito Community Plan EIR (92 EIR 03).~~
- ~~7.— Adequate landscaping shall be provided in proportion to the project and the site with regard to preservation of specimen and landmark trees, existing vegetation, selection of planting which will be appropriate to the project, and adequate provision for maintenance of all planting.~~
- ~~8.— Signs including their lighting, shall be well designed and shall be appropriate in size and location.~~
- ~~9.— Grading and development shall be designed to avoid visible scarring and shall be in an appropriate and well designed relationship to the natural topography with regard to maintaining the natural appearance of ridgelines and hillsides.~~
- ~~10.— The proposed development is consistent with any additional design standards as expressly adopted by the Board of Supervisors for a specific local community, area, or district pursuant to Sec. 35-473 (General Regulations) of this Article.~~

II. GENERAL INFORMATION AND PROCEDURES

A. APPLICABILITY

These guidelines apply to all parcels in all zone districts of Articles II and ~~IV~~ the MLUDC in the Montecito Planning Area. The Montecito Planning Area is bounded on the south by the Pacific Ocean, on the west by the City of Santa Barbara, on the north by East Camino Cielo, and on the east generally by Ortega Ridge Road and Buckthorn Creek.

The guidelines address site design, access, size, bulk and scale, architecture and landscape architecture. The guidelines apply to all construction (new buildings and structures, replacement buildings and structures, additions to buildings and structures, and signs) except as exempted in ~~Article IV, Section 35-491.3~~ MLUDC Subsection 35.472.070.C and Article II, Section 35-184.3. Housing built under the provisions of the Affordable Housing Overlay and projects which have received preliminary or final approval from the County Board of Architectural Review are also exempt from these guidelines. Certain settlement agreements, development agreements, and tentative vesting maps may not be subject to these guidelines. These will need to be addressed on a case-by-case basis.

~~The County Montecito Board of Architectural Review (MBAR) is responsible for administering the Montecito Architectural Guidelines and Development Standards. The Architectural Review Committee (ARC) of the Montecito Association also uses the Montecito Architectural Guidelines and Development Standards and forwards its comments regarding the project to the County BAR. If requested by the applicant, review at the community level allows the applicant and the ARC an opportunity to discuss the project. While not mandatory, it is suggested as a means for the ARC to provide input from design professionals and lay members of the Montecito community. ARC approval of a project is a good indicator to the County BAR that the project is sensitive to and considerate of the Montecito community.~~

B. USE OF ARCHITECTURAL GUIDELINES

The Architectural Guidelines were prepared to assist property owners and architects in designing projects that will be compatible with the existing community and the neighborhood in which they are sited. These are not mandatory requirements, but will be used by the County MBAR to assist in considering projects in light of the required County MBAR findings. They are comprised of a series of interrelated design techniques. Although they are meant to be used as an integrated package, not all of the suggested guidelines will be appropriate for or applicable to all projects. Any of the recommended guidelines may be used to offset the effects of any design element. For example, an otherwise obtrusive gable end might be screened by the location of a large tree, or a large building might be offset by a

low roofline or setbacks that are deeper than required. The possible combinations are as endless as the elements of good design.

In order to be approved, a project must be presented in a manner that demonstrates to the ~~County~~ MBAR that all elements of the Architectural Guidelines and Development Standards have been considered. In addition, prior to approving any application, the ~~County~~ MBAR must make the required findings contained in the zoning ordinances ~~and Section I.E. (Required Findings)~~.

C. LEVELS OF REVIEW

~~Three levels of review (Conceptual, Preliminary and Final) are required for projects undergoing design review by the MBAR. These levels of review are described briefly below and in more detail in the MBAR application. The MBAR application also lists submittal requirements for each level of review and is available on the Planning and Development website: <http://sbcountyplanning.org/forms/PermitAppHndt/AppsForms.cfm>.~~

1. Conceptual Review

This is a required review step which allows the applicant and the ~~County~~ MBAR to participate in an informal discussion about the proposed project. Applicants are encouraged to initiate this review as early in the design process as possible. It is intended to provide the applicant with good direction early in the process to avoid spending unnecessary time and money by developing a design concept that may be inconsistent with these architectural guidelines and development standards. When a project is scheduled for conceptual review, the ~~County~~ MBAR may grant it preliminary approval if the required information is provided and the design and details are acceptable.

~~Information required for Conceptual Review includes:~~

- ~~a.—Photographs which show the site from 3 to 5 vantage points or a panorama from the site and of the site as seen from the street, and photographs of the surrounding neighborhood. Aerial photographs are helpful if available.~~
- ~~b.—Site plan showing vicinity map, topography, location of existing and proposed structures and driveways, and locations of all adjacent neighboring structures of the proposed structure. The site plan should also indicate an approximate idea of proposed grading, and existing vegetation to be removed or retained.~~
- ~~c.—Site statistics including all proposed structures, square footage by use, and number of covered and uncovered parking spaces.~~

- ~~d.—Schematics of proposed project should include rough floor plan and at least two elevations indicating height of proposed structures. Perspective sketches of the project are also acceptable. Proposed materials and colors should be indicated. (Schematics and sketches may be rough as long as they describe the proposed development accurately and sufficiently well to allow review and discussion.)~~
- ~~e.—Preliminary grading plan (may be combined with the site plan) showing proposed grading, cut and fill calculations, drainage, paving and retaining walls.~~

2. Preliminary Review

This required level of review involves substantive analysis of a project's compliance with Montecito's Architectural Guidelines and Development Standards. Preliminary approval of project design is deemed a "go-ahead" for working drawings. Fundamental design issues such as precise size of all built elements, site plan, elevations and landscaping are resolved at this stage of review. The ~~County~~ MBAR will identify to the applicant those aspects of the project that are not in compliance with these guidelines and the findings that the ~~County~~ MBAR is required to make.

~~Information required for Preliminary Review, in addition to the information required for Conceptual Review, includes:~~

- ~~a.—Complete site plan showing all existing structures, proposed improvements, proposed grading, including cut and fill calculations, lot coverage statistics (i.e. building, paving, usable open space and landscape areas), vicinity map, and topography.~~
- ~~b.—Floor plans and roof plans (1/8" scale minimum).~~
- ~~c.—All elevations (1/8" scale minimum) with heights, materials and colors specified.~~
- ~~d.—Preliminary landscape plan, when required by the County BAR, showing existing and proposed trees and shrubs, including any existing vegetation to be removed. This landscape plan should also include all retaining and free-standing walls, fences, gates and gateposts and proposed paving and should specify proposed materials and colors of all of these items.~~
- ~~e.—Site Section for projects on slopes of 20 percent or greater.~~

3. Final Review

This required review confirms that the working drawings are in conformance with the project that received preliminary approval. In addition to reviewing site plan and

elevations for conformance, building details and the landscape plan will be reviewed for acceptability.

~~Information required for Final Review, in addition to the previous requirements, includes:~~

- ~~a. Complete set of construction drawings which must include window, eave & rake, chimney, railing and other pertinent architectural details, including building sections with finished floor, plate, and ridge heights indicated.~~
- ~~b. 8 1/2" X 11" materials sample board of materials and colors to be used, as well as an indication of the materials and colors on the drawings. Sheet metal colors (for vents, exposed chimneys, flashing, etc.) shall also be indicated. All this information should be included on the working drawings.~~
- ~~c. Final site grading and drainage plan when required, including exact cut and fill calculations.~~
- ~~d. Final landscape drawing when required, showing the dripline of all trees and shrubs, and all wall, fence, and gate details. The drawing must show the size, name and location of plantings which will be visible from the street frontage, landscape screening which will integrate with the surrounding neighborhood, and written information on irrigation for landscape screening.~~

D. APPEALS

Decisions (approval or disapproval) of the ~~County Board of Architectural Review~~MBAR ~~may be appealed~~ are first appealable to the ~~County~~ Montecito Planning Commission, and then to the Board of Supervisors, as outlined in ~~Article IV, Section 35-489~~MLUDC Chapter 35.492 and Article II, Section 35-182, of Chapter 35 of the County Code.

E. APPLICATION OF ARCHITECTURAL & LANDSCAPE GUIDELINES

In reviewing development in Montecito, the ~~Board of Architectural Review~~MBAR, and the Montecito Planning Commission and Board of Supervisors, on appeal, shall apply the Guidelines and Development Standards hereinafter set forth. Development which does not comply with the Guidelines and Development Standards may be approved upon a showing by the applicant that allowing greater flexibility would better serve the interests of good design, without negatively affecting neighborhood compatibility or surrounding public view shed.

III. GENERAL INFORMATION AND PROCEDURES

A. NEIGHBORHOOD COMPATIBILITY

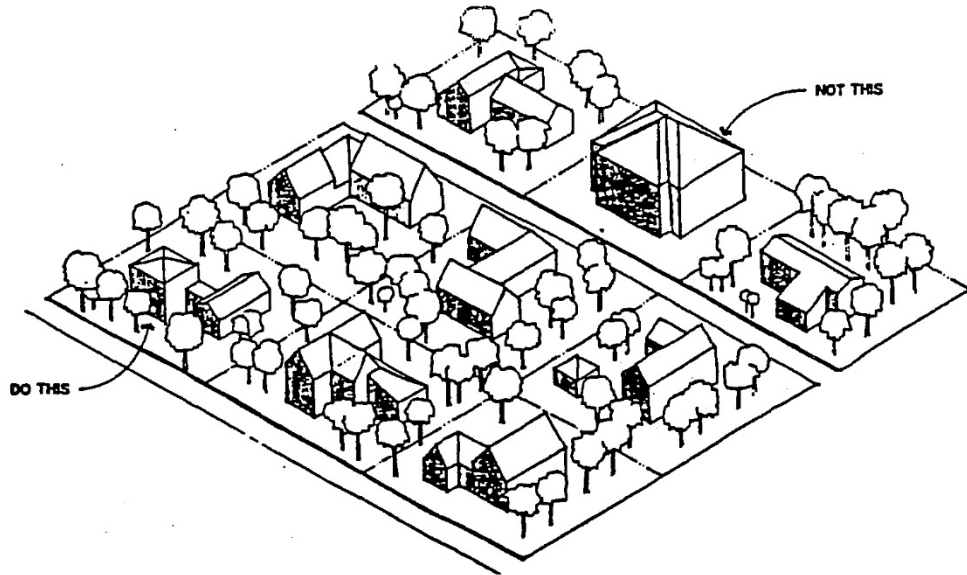
1. **Definition:** "Neighborhood compatibility" is the relationship between surrounding structures and their settings so that the effect of all structures taken together is aesthetically pleasing, keeping the neighborhood in harmony and balance.
2. **General Statement:** The community of Montecito is comprised of many distinctly different neighborhoods. The size and style of the buildings vary greatly within individual neighborhoods as well as between one neighborhood and another. In order to preserve the fabric of the community as a whole, it is necessary for projects to be reviewed in the context of the individual neighborhood, as well as the community at large.

The applicant should consider design methods that minimize the visual impacts of development from roads, lanes and adjoining properties such as siting projects to conceal them from roadways and/or providing landscaping to screen development.

In those neighborhoods where neither the physical boundaries of the neighborhood nor the image is clearly defined, it is incumbent upon the ~~County~~ MBAR, after evaluation of the project in the context of its site and environs, to determine whether the design is compatible with the existing character of the neighborhood. It is not the intent of these Guidelines to encourage uniformity of design; however, in a few neighborhoods which are stylistically consistent, special regard for design compatibility is necessary.

3. **Guidelines:** In order to evaluate a project's neighborhood compatibility, the overall relationship of the following elements shall be considered:
 - a. Parcel Size
 - b. Topography of the neighborhood and how structures are sited on the topography

- c. Size, mass, bulk and scale of existing and proposed structures in relation to parcel size and development on adjacent properties



- d. Setbacks and location of buildings in relation to parcel size and development on adjacent properties
- e. Height and visibility of buildings from roads
- f. Location of parking and the approach to it from the road
- g. Relation of roofs to buildings
- h. Relation of architectural details (such as color, texture, material) to the building

B. SIZE, BULK AND SCALE

1. **Definition:** The volume of a structure in relation to its setting.
2. **General Statement:** The Montecito community is concerned about the mass of a structure as it appears to the community, particularly in relation to the surrounding open space and structures in the neighborhood. In order to ensure that development will be compatible with the community, the size of homes will be reviewed in relation to other homes on similar sized lots in the surrounding neighborhood.

3. **Guidelines:**

- a. The floor area of a proposed house should be in scale with development on similar sized parcels in the immediate area.

(Please refer to Attachments D and E of the staff report to the Montecito Planning Commission, dated March 3, 2016, for two alternative methods for revising this guideline. The *Guidelines* forwarded to the Board of Supervisors for final action will include the methodology recommended by the Montecito Planning Commission to revise this guideline (B.3.a) pursuant to the edits depicted in the attachment.)

Table 1 shall serve as a reference for this purpose. A project with a floor area (size) substantially in excess of the floor area of the immediately surrounding properties will have the burden of demonstrating that the project cannot be viewed by surrounding property owners due to siting or that its spatial volume (mass, bulk and scale) when taken together with its lot size, setbacks and landscaping does not make it incompatible with similar surrounding properties. Floor area is defined as the total area of all floors of a building as measured to the interior surface of walls, excluding attics, basements and unenclosed porches, balconies, decks, garages and attached garages of 800 square feet or less. For attached garages of greater than 800 square feet, the square footage in excess shall be included as part of the floor area of the structure.

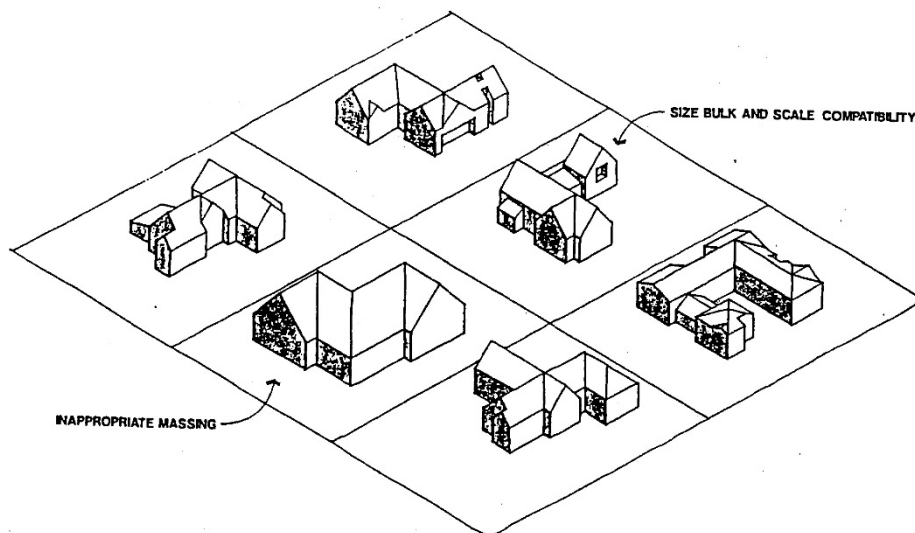
TABLE 1

Size of Lot (Gross Acres)	Recommended Maximum House Net Floor Area (Square Feet)
less than 1 acre	1,800 + (2,500 x L) where L is parcel area in acres
1 acre	4,300
1.5	5,150
2	6,000
2.5	6,850
3	7,700
3.5	8,550
4	9,400
4.5	9,725
5	10,050
5.5	10,375
6	10,700

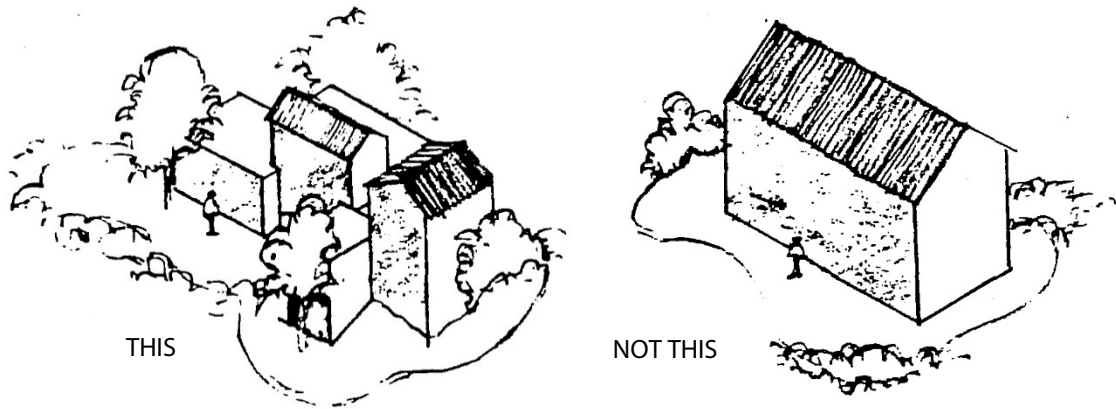
For intermediate and values beyond those included in Table 1, the following formulas should be used:

- > 1 acre to 4 acres: 4,300 + 1,700 for each acre over one
- > 4 acres to 16 acres: 9,400 + 650 for each acre over four
- > 16 acres: 17,200 + 430 for each acre over sixteen

Note: In certain neighborhoods, the recommended maximum size in Table 1 may not reflect the appropriate level of development. In those cases, neighborhood compatibility shall be the determining factor.



- b. Mass of a building should be broken up in order to create interplay between the various building elements in a manner consistent with its architectural style.



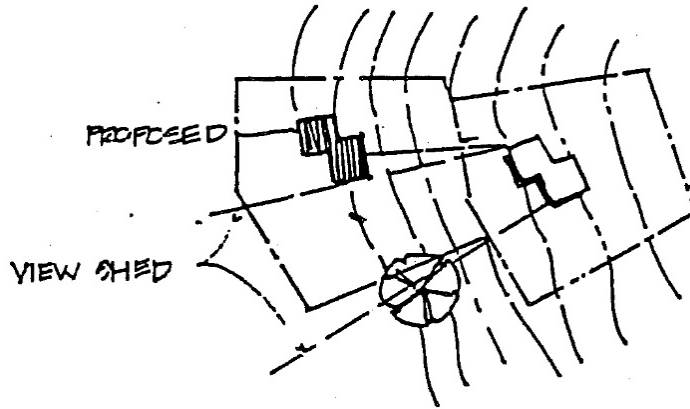
- c. Recesses and projections should be used to create visual interest.
- d. Bulk reducing patterns should be created using doors and windows where possible and consistent with the architectural style.
- e. The highest portions of a structure should be set back from parcel lines to reduce the appearance of bulk.
- f. The height of building elements should be varied where appropriate to the design.
- g. Roof lines should be varied where appropriate to the design.

C. VIEW AND PRIVACY PROTECTION

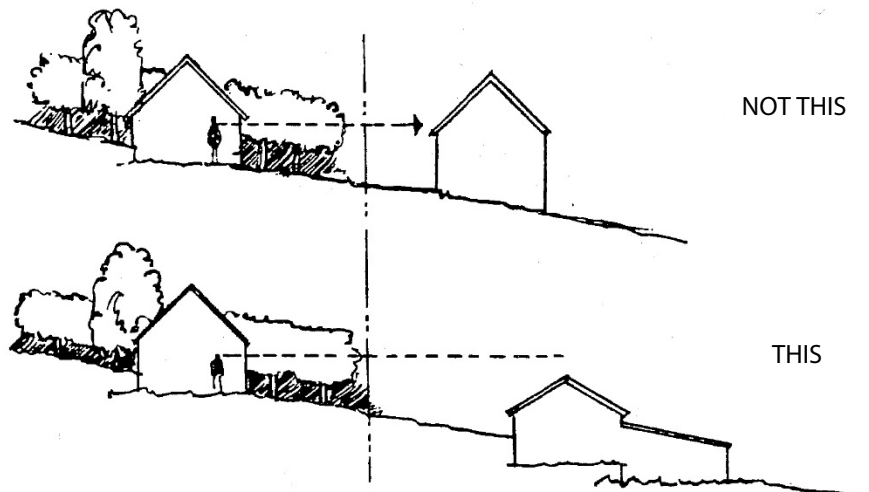
1. **Definition:** "View" shall mean the ability to see the ocean and/or mountains from a particular site, public roadway, public trail, or community area. "Privacy" is defined as the enjoyment of an individual property where visual intrusion has been minimized.
2. **General Statement:** The community of Montecito has a commitment to the protection of public views and the consideration for private views, both from the hillsides to the ocean and from the lower elevations of the community to the hillsides. Residential privacy is a key ingredient in the quality of life in Montecito. Historically, these two elements have been important considerations in land development. Although there are no laws that ensure a property owner the right to views and privacy, the [County MBR](#) and applicant shall consider the following guidelines when the proposed construction creates view and privacy problems.

3. Guidelines:

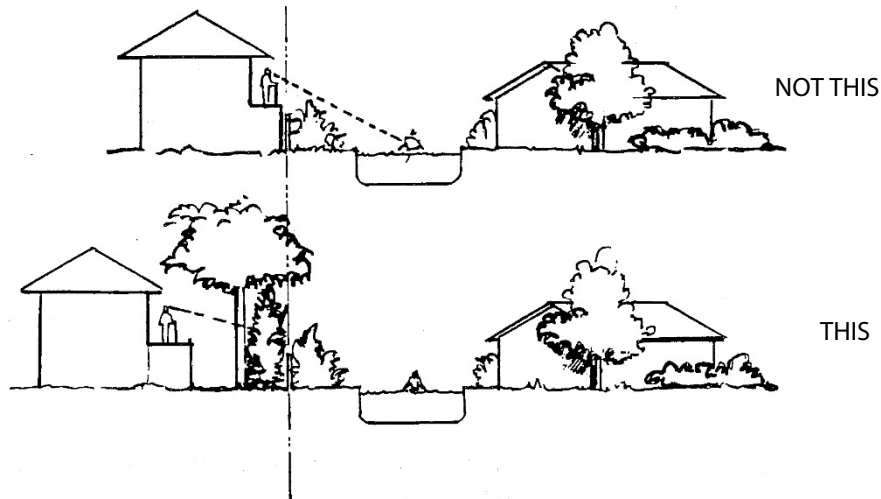
- a. The siting of new structures in relationship to existing structures should take into account the impact upon views from neighboring sites.



- b. The height and roof pitch of structures should take into account their impact upon views from neighboring sites.
- c. Variations in roof mass and pitch should be considered to avoid unreasonably impairing views from neighboring sites.
- d. Setback changes should be considered to reduce viewshed conflicts.
- e. The use of grading may be used to alter the building site elevation and reduce viewshed conflicts.
- f. Structures should be located and designed to avoid obstructing views from living areas of adjacent properties.



- g. Structures should be located and designed to avoid placement of windows, decks, and balconies which look directly onto private areas of adjacent properties.

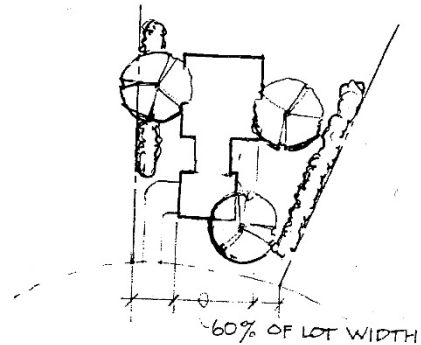
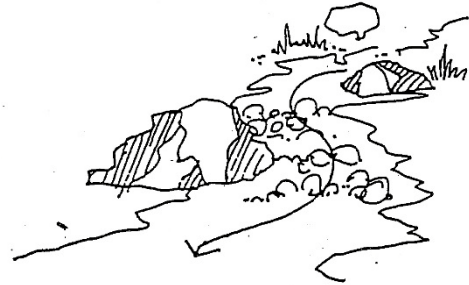


- h. Noise-producing elements (air conditioners, condensers, pool equipment, etc.) should be located or buffered to minimize noise impacts on adjacent properties.

D. SITE DESIGN

1. **Definition:** "Site Design" is the layout of development on the property, including placement and orientation of structures, roadways, landscape and hardscape.
2. **General Statement:** The unique quality of each site needs to be considered when designing projects. Careful consideration should be given to site specific qualities of natural topography, existing vegetation, drainage and site access. A project should demonstrate an effort to preserve and protect natural features through the design of building location, driveways, parking areas, and accessory buildings.
3. **Guidelines:**
 - a. Grading
 - 1) Residential projects should be designed to minimize grading and alterations of natural landforms as well as comply with the grading standards in County ordinances and the Montecito Community Plan.
 - 2) All disturbed areas should be final graded to a natural appearing configuration and be planted or seeded to prevent erosion.

- 3) Natural drainage courses should be preserved as close as possible to their natural location and appearance.
- b. Existing Vegetation
- 1) Residential projects should be designed to preserve significant and unique vegetation groupings which contribute to the character of the site and the neighborhood.
 - 2) Site plans should demonstrate a diligent effort to retain as many "significant trees" as possible. Note: "Significant Tree" means any tree which is in good health and is more than 12 inches in diameter as measured 4 feet 6 inches above the root crown. Any tree of the *Quercus* (oak) genus which is in good health and is more than 6 inches in diameter as measured 4 feet 6 inches above the root crown is considered a "significant tree."
- c. Topography
- 1) Site design should make use of existing topographic features such as rock outcroppings, swales, and mature foliage.
- d. Drainage
- 1) On-site areas of impervious surfaces should be minimized to reduce run-off. Water permeable paving, gravel and retention basins are encouraged.
 - 2) Natural drainage courses to carry water should be used when possible. Drainage improvements should be designed to create a natural rather than a manufactured appearance.
- e. Setbacks
- 1) New structures on parcels of one-half acre or more should not occupy more than 60 percent of the lot width depending on the structure's location. If the structure is not visible from the street, this guideline does not apply.



f. Spatial Relationship of Structures

- 1) Each structure on a site should be situated in a way that makes it harmonize with the project as a whole.

E. ACCESS

1. **Definition:** Access is defined as a driveway from a public or private roadway.
2. **General Statement:** The character of the roads is an important aesthetic element that helps to define the semi-rural character of Montecito and contribute to the ambiance created by the many trees and thick vegetation. The existing nature of the roads (no curbs, sidewalks, and gutters) contributes to the semi-rural character of the community. The following guidelines are designed to reduce the impact of parking and driveways on the character of Montecito roads.
3. **Guidelines:**
 - a. Access to a property should be consistent with the architectural style of the project. Every attempt should be made to harmonize the entry and exit points and driveways, gates, etc. with those of the neighborhood.
 - b. The view from the road should be of relatively unbroken landscaping, with short glimpses of driveways.
 - c. The number of driveway cuts should be minimized.
 - d. The driveway openings should be as narrow as allowed by fire code and safety.
 - e. The amount of paving used for access and parking which is visible from the road should be only the amount that is needed for parking, turning, and ingress and egress.
 - f. Driveway entrances should be of simple, subdued materials.

F. ARCHITECTURAL STYLE

1. **Definition:** Architectural style is defined as a consistent design theme that is manifested on the exterior form and decorative elements of the project.
2. **General Statement:** The variety of styles is a contributing factor to the visual appeal of the community. Projects should be consistent with the high building standards and excellence of existing Montecito styles which are known for quiet restraint.

In determining acceptable architectural style the following guidelines should be considered.

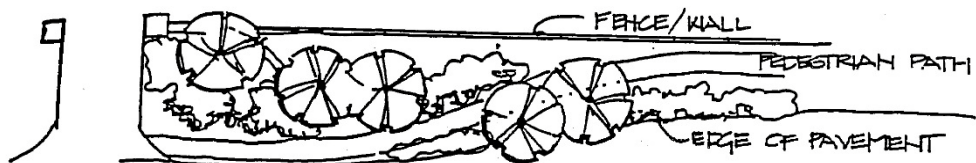
3. **Guidelines:**

- a. Design elements should be consistent within the project.
- b. Building height and scale should be compatible with the style of the house.
- c. Additions to existing structures and the construction of secondary buildings on already improved properties should be in an appropriate and well designed relationship with existing buildings.

G. ARCHITECTURAL FEATURES, MATERIALS AND COLORS

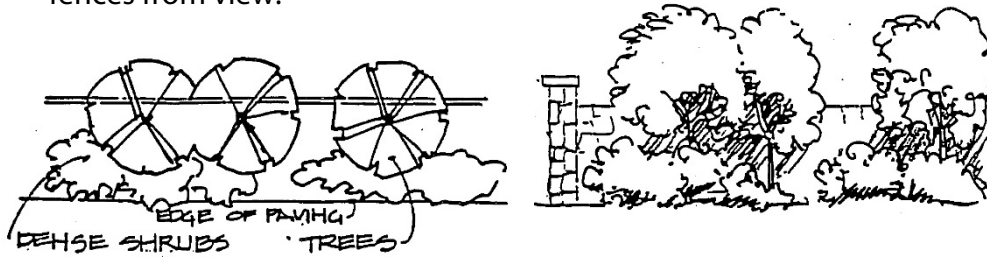
1. **Definition:** Architectural features, materials and colors shall mean exterior elements that embellish or decorate a building including terraces, porches, chimneys, dormers, skylights, railings, balconies, doors, windows, and architectural trim. Materials shall mean visible building materials creating the exterior colors and textures of the building. Colors means exterior colors of the building.
2. **General Statement:** The features, materials and colors of each style should be compositionally consistent with the mass, bulk and scale of the building.
3. **Guidelines:**
 - a. Building materials and colors should minimize the visual impact of the structure from public roads and lanes, blend with existing land forms and vegetative cover, be compatible with others in the neighborhood, and not attract attention to themselves.
 - 1) There should be consistency of materials, color, and composition on all sides of a structure.
 - 2) Materials with a high reflectivity value (excluding windows) should be avoided.
 - 3) Various elements of a project should be harmonious in architectural detail, color and material.

- b. Mechanical and electrical equipment should be integrated into the total design concept.
 - 1) Outside mechanical equipment, including solar collectors and air conditioning equipment, should be architecturally integrated into building or site design.
 - 2) Freestanding solar panels and satellite dishes should be fully screened from roads and neighboring properties.
- c. Skylights should be consistent with and complementary to overall design of building.
 - 1) Aluminum skylight frames shall be bronze anodized or otherwise treated to minimize light reflection.
 - 2) Skylights should be sited to avoid creating daytime glare or substantial night light visible from surrounding properties and from public view.
- d. Walls, fences, and entrance gates should not be visually intrusive to the neighborhood.
 - 1) Walls, fences, entrance gates and associated landscaping should be designed to respect vehicular and pedestrian access and circulation.



- 2) Where walls, fences, and entrance gates are visually proximate to structures on the site, they should be compatible with the design of the residential building.
- 3) Walls generally should be recessive in color.

- 4) Landscaping should be designed to partially or completely screen walls and fences from view.



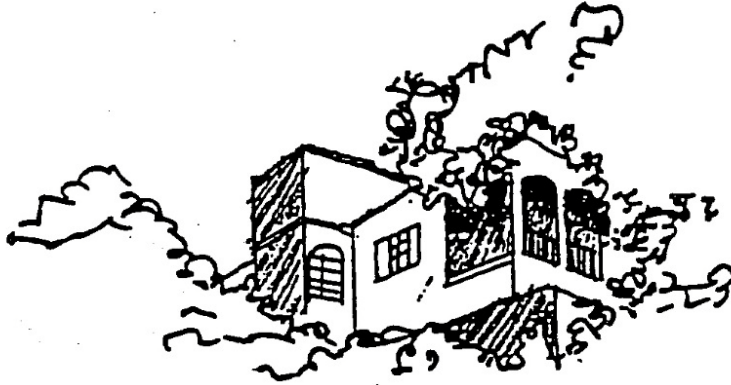
- 5) Walls and fences located adjacent to roadways should be located so that landscaping can be integrated into the design.
- e. Site Exterior Lighting: Low level lighting in the community contributes to the semi-rural character of Montecito and allows nighttime viewing of the stars.
- 1) Site lighting should be minimized and used efficiently to aid safety and security and complement the architectural character of buildings.
 - 2) The lighting of driveway entrances should be compatible with the surrounding street levels of illumination.
 - 3) The number of lighting fixtures placed at driveway entrances should be minimized.
 - 4) Exterior landscape lighting should be designed to eliminate glare and annoyance to adjacent property owners.
 - 5) Recreational court lighting is prohibited in residential neighborhoods.

H. LANDSCAPE

1. **Definition:** Landscape is the natural and introduced vegetation on a site.
2. **General Statement:** To maintain the semi-rural character of Montecito, the natural landscape must continue to be the dominant feature of the community.

3. **Guidelines:** All properties shall be landscaped so that the landscape design is consistent with the design of the project and with the following guidelines:

- a. The appearance of architectural features should be blended or softened with landscaping.



- b. Plantings should enhance the architecture and be appropriately designed to the style of architecture.



- c. Privacy between adjoining properties should be maximized.
- d. New structures, trash areas and large parking areas shall be screened from offsite view using earth berms, plant materials, and/or fences to the maximum extent feasible.
- e. Landscape planting designs should reinforce the dominant vegetative patterns that define the natural oak woodland and ornamental urban forest that is characteristic of Montecito.

- f. Plantings should be compatible with the character of the site, the project, and surrounding properties.
- g. Landscape plans should consider water conservation, fire resistance, and erosion control.
- h. Landscape plans should include appropriate planting to repair, reseed, and/or replant all grading cuts to prevent erosion.
- i. Significant trees are important aesthetic and ecological resources that contribute to Montecito's distinctive character. Site development plans should demonstrate a diligent effort to retain as many significant trees as possible.

IV. HILLSIDE GUIDELINES AND DEVELOPMENT STANDARDS

A. DEFINITION / APPLICABILITY

The ~~following~~ Hillside Guidelines (Subsection E below) apply to all properties where one or more of the following applies:

- ~~The~~ average slope of the developed area of the parcel is 20 percent or greater.₂
- ~~The~~ Ridgeline ~~&and~~ Hillside Development Guidelines of the MLUDC and Article II apply.₂
- ~~and/or~~ The Montecito Hillside District (H-MON) Overlay Zone applies.

The Montecito Hillside (H-MON) Overlay Zone District boundaries are attached as Figure 1.

The Hillside Development Standards (Subsection C below) and the Size, Bulk, and Scale Guidelines (Subsection D below) apply only to the properties where the Montecito Hillside (H-MON) Overlay Zone applies.

Additional regulations found in the Ridgeline ~~&and~~ Hillside Development Guidelines (Section 35-144 of Article II and Section ~~35-472 of Article IV~~35.452.040 of the MLUDC), the Montecito Hillside District (H-MON) Overlay Zone (Section ~~35-432.B of Article IV~~35.428.070 of the MLUDC), the County Grading Ordinance No. ~~4766-3937~~, and requirements of the Montecito Community Plan concerning grading, siting, and visibility from the community may also apply.

B. GENERAL STATEMENT

The intent of the above-referenced regulations and the following and guidelines and development standards is to preserve, enhance and protect the visual and biological importance of Montecito hillsides and ridgelines. All development proposals should be thoroughly analyzed in regard to the site's physical conditions, natural features, visual character, unique qualities and surrounding environment. This analysis should be reflected in the design proposal, resulting in projects designed in harmony with their sites' special characteristics.

C. HILLSIDE DEVELOPMENT STANDARDS

The following Hillside Development Standards apply to all properties within the Montecito Hillside ~~District~~(H-MON) Overlay Zone. The ~~Board of Architectural Review~~MBAR shall interpret and apply the Hillside Development Standards.

1. The visual bulk of residential structures shall be minimized as viewed from scenic view corridors as shown on Figure 37, Visual Resources Map in the Montecito Community Plan EIR (92-EIR-03).
2. The ~~average~~ height of the primary residence should not exceed 16 feet.
3. No elevation, including retaining walls adjacent to the structure, shall exceed an average height of twenty (20) feet as measured at five-foot intervals from ~~average~~ finished grade to the average height of the highest gable roof or to the top of the parapet of a flat roof. At no point shall the structure exceed ~~thirty-two (32) twenty-eight (28)~~ feet in height from any finished grade or existing grade, whichever is lower, to the highest gable, except for architectural features.
4. Accessory structures except barns and stables shall not exceed sixteen (16) feet in height.
5. Accessory structures, excluding barns and stables, containing one or more accessory ~~uses~~ shall not exceed a building footprint area of 800 square feet.
6. The floor area of guest houses, artist studios, or pool house/cabana shall not exceed 800 square feet; however, such structures may be attached to an accessory structure provided the building footprint of the combined structure does not exceed 800 square feet.
7. Project grading shall not exceed 1,500 cubic yards of cut or fill, unless additional grading is necessary to allow reasonable development of the property or to achieve reasonable vehicular access. Exception: Excavation not apparent from the exterior, such as for basements entirely below grade, crawl spaces, swimming pools, underground water storage tanks, etc., shall not be included in the grading calculations under this provision. Grading may exceed 1,500 cubic yards if MBAR can make all of the following findings:
 - a. The proposed grading respects the significant natural land forms of the site and blends with adjacent properties.
 - b. The graded slopes relate to the natural contours of the site.

- c. The length and height of retaining walls have been minimized to the maximum extent feasible.
 - d. There are no other suitable alternative building sites available on the property that could be utilized with significantly less required grading for the primary residence and/or access road.
8. Fill for residential structures on downslope areas shall not exceed 10 feet in height at the highest point (top of slope).
 9. Cut over thirty (30) feet in total height shall be avoided to the extent feasible.
 10. Freestanding vertical retaining walls over eight (8) feet in height ~~should~~ shall be avoided ~~to the extent feasible~~. The height of the wall shall be measured from the natural or finished grade at the base of the lower side of the wall to the top edge of the wall material.
 11. Building materials and color schemes of structures, walls and roofs shall blend with predominant colors and values of the surrounding natural landscape.
 12. The design of new development shall protect, to the extent feasible, unique or special features of the site, such as landforms, rock outcroppings, mature trees, unique vegetative groupings, drainage courses, hilltops and ridgelines.
 13. Landscape plans shall include appropriate planting to reduce fire hazard, stabilize cut/fill slopes, reduce erosion, retain moisture, repair areas of required fire department brush removal, and integrate architectural components.
 14. Calculation of runoff from impervious surfaces shall be made by a licensed civil engineer prior to issuance of any permits for new residences or additions which exceed fifty (50) percent of existing floor area of the principal structure. Project review will include consideration of any increased runoff and its impact on offsite drainage courses. These calculations will be retained in County records for use in preparing a Master Drainage Plan.

MBAR Adjustments: Adjustments to the development standards may be granted by the MBAR, not to exceed the regulations of the zoning ordinance, if all of the following criteria are met:

- a. Allowing greater flexibility would better serve the interests of good design, without negatively affecting neighborhood compatibility or the surrounding viewshed.

- b. The project is not within 100 feet of an Environmentally Sensitive Habitat area as delineated on the County Zoning Map or the project complies with the requirements of Article IV, the MLUDC sSection 35.428.040, s 35-430.1 through 35-430.10.
- c. Drainage plans have been prepared which minimize erosional impacts.
- d. The project includes fire-retardant landscaping.

D. SIZE, BULK AND SCALE GUIDELINES FOR PROPERTIES IN THE MONTECITO HILLSIDE (H-MON) OVERLAY ZONE ~~DISTRICT~~

(Please refer to Attachments D and E of the staff report to the Montecito Planning Commission, dated March 3, 2016, for two alternative methods for revising this guideline. The Guidelines forwarded to the Board of Supervisors for final action will include the methodology recommended by the Montecito Planning Commission to revise this guideline (IV.D) pursuant to the edits depicted in the attachment.)

The floor area of a proposed hillside house should be in scale with development on similar sized parcels in the immediate area. Table 2 shall serve as a reference for this purpose. A project with a floor area (size) substantially in excess of the floor area of the immediately surrounding properties will have the burden of demonstrating that the project cannot be viewed by surrounding property owners due to siting or that its spatial volume (mass, bulk and scale) when taken together with its lot size, setbacks and landscaping does not make it incompatible with similar surrounding properties. Floor area is defined as the total area of all floors of a building as measured to the interior surface of walls, excluding attics, basements and unenclosed porches, balconies, decks, garages and attached garages of 800 square feet or less. For attached garages of greater than 800 square feet, the square footage in excess shall be included as part of the floor area of the structure.

TABLE 2

Size of Lot (Gross Acres)	Recommended Maximum House Net Floor Area (Square Feet)
less than 1 acre	1,400 + (2,100 x L) where L is parcel area in acres
1 acre	3,500
1.5	3,900
2	4,300
2.5	4,700
3	5,100
5	5,500
4	5,900
5	6,083
6	6,266
7	6,449
8	6,632
9	6,815
10	6,998

Maximum not to exceed 7,000 square feet.

For intermediate and values beyond those included in Table 2, the following formulas should be used:

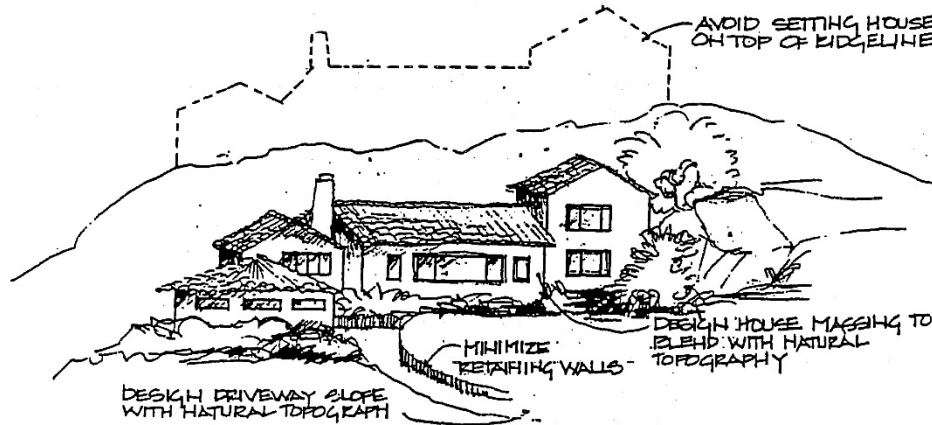
- > 1 acre to 4 acres: 3,500 + 800 for each acre over one
- > 4 acres: 5,900 + 183 for each acre over four

E. HILLSIDE GUIDELINES

1. Site Design

- a. Unique or special features of the site, such as land forms, rock outcroppings, mature trees, unique vegetation groupings, drainage courses, hilltops and ridgelines should be preserved and protected.
- b. Projects should be designed to be compatible with the natural features, building locations and existing open spaces of neighboring properties.
- c. Projects should be designed to be considerate of existing views, privacy, access to light and safety of neighboring properties.

- d. Siting of structures on top of prominent hilltops and ridgelines shall be discouraged when suitable alternative locations are available on the parcel.

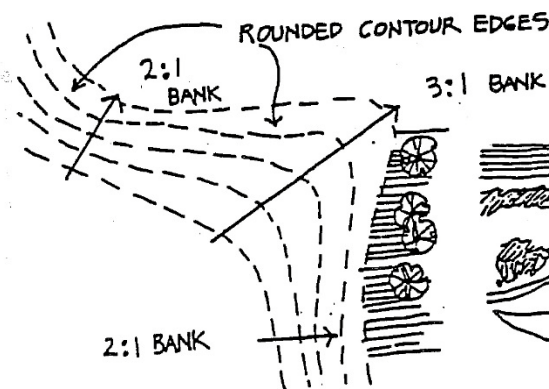


- e. Buildings should be set back 16 feet from the top of slope or edge of pad on the downslope sides.

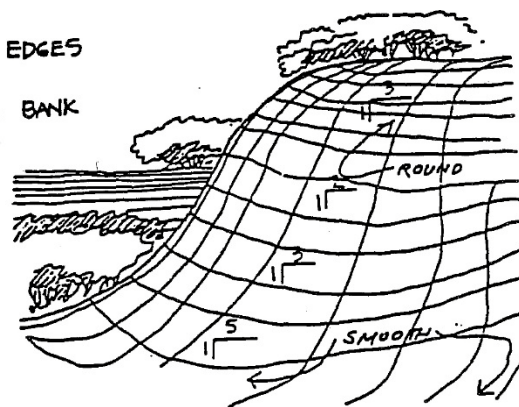
2. Grading

- a. Grading for all development, including all primary and accessory structures, access roads (public and private), and driveways, should be kept to a minimum and should be performed in a way that respects the significant natural features of the site and visually blends with adjacent properties.
- b. Grading should be limited to that which is necessary for access and foundations of proposed structures.
- c. Building pads should be designed to minimize disturbance to natural contours.
- 1) Balanced cut and fill volumes are desirable.
 - 2) Use of imported fill that interrupts the natural topography of natural land forms on the site should be avoided.
- d. Pads should be of a size to accommodate the structure and a reasonable amount of open space.
- e. New building sites should be graded so they appear to emerge from the slope. Creation of flat areas should be minimized.

- f. Geotechnical site constraints should be addressed without creating negative visual impacts to the natural hillside character.
- g. Graded areas should be designed with manufactured slopes located on the uphill side of structures in order to reduce visibility from the community.
- h. Building pads should be graded with a minimum of fill slope on downslope side.
- i. Driveways should be designed to minimize visibility from the community by siting structures to minimize length of driveway required and by designing driveway slopes to follow the natural topography to the extent feasible.
- j. Use planting, wall materials, and colors to minimize visual effects of driveway cuts.
- k. When grading is necessary, the principles of contour grading should be employed.
 - 1) Graded slopes should relate to the natural contour of the land.
 - 2) In order to avoid the appearance of manufactured slopes, grading techniques should include a variety of slopes in the range of 2:1 to 5:1 run to rise ratio and be in conformance with the County Grading Ordinance.
 - 3) Slope direction should be graded in a three dimensional undulating pattern similar to existing, adjacent terrain.
 - 4) Sharp cuts and fills and long linear slopes that have uniform grade should be avoided.



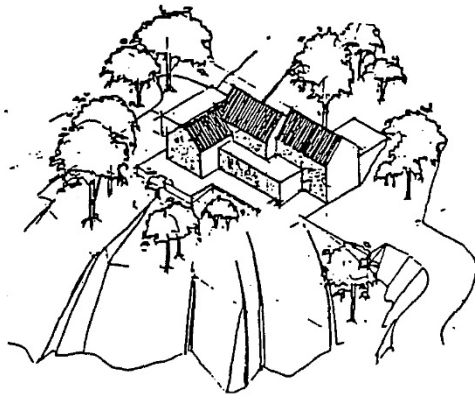
Variety in slope bank gradients creates a natural appearance more resembling a natural form



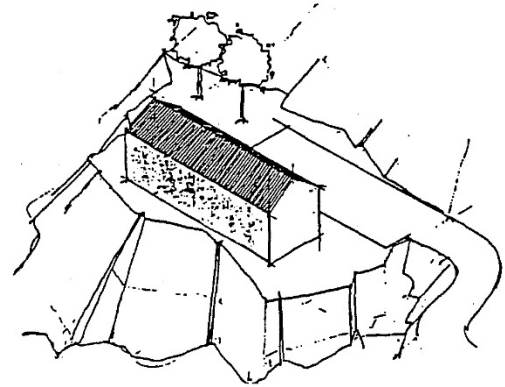
Slope banks can be softened by contoured grading at the top and the toe of the slope.

3. Architecture

- a. The location, form and volume of residential structures and surrounding improvements should be designed to blend into the natural terrain and preserve the character and profile of the slope and its native vegetation.
- b. Large expanses of any material in a single plane should be avoided.
- c. Structures should integrate with the natural slope and contour.

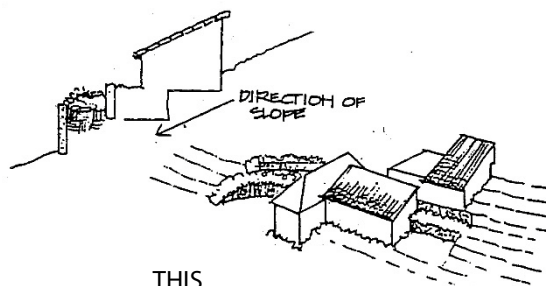


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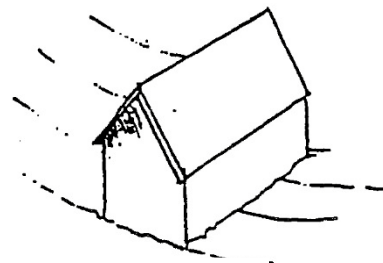


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- d. The visual bulk of hillside structures, as they appear from a distance, from below or from above, should be minimized.
 - 1) Split pads, stepped footings, pier and grade beam foundations to permit structures to step up or down the slope should be used.
 - 2) Large understories, exposed foundations and undersides should be minimized.
 - 3) Building height as seen from below should be minimized.
 - 4) Use of large gable ends on downhill elevation should be avoided. Roof slope should be oriented in the same direction as the existing slope of ground.

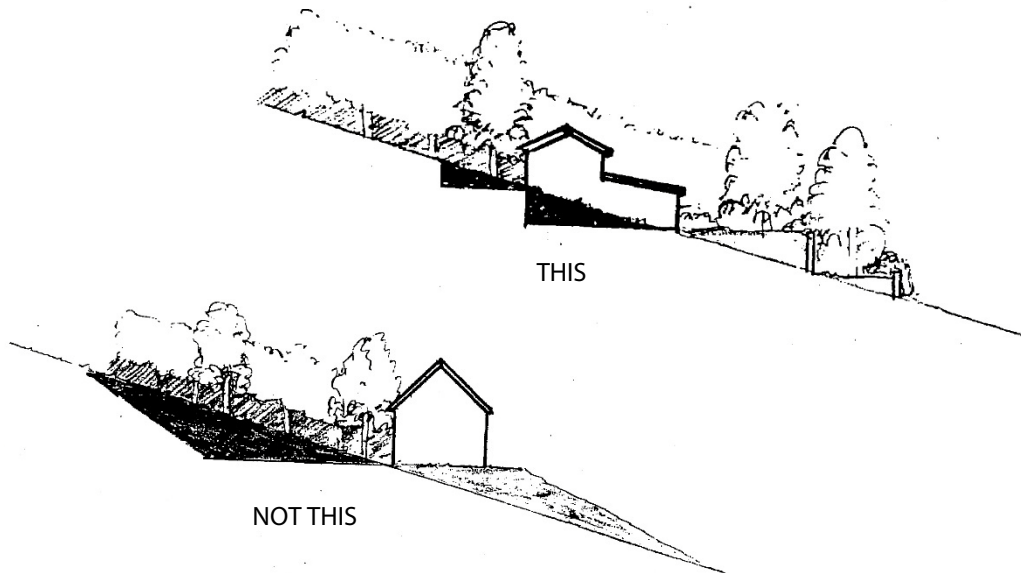


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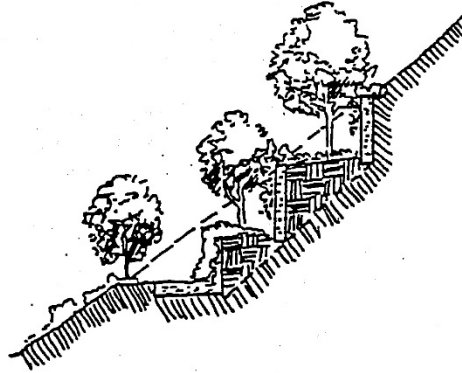
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- 5) Avoid cantilevers, overhangs on downhill elevations.
- 6) Roofs of lower levels should be used as decks, where desired.
- e. Building volumes should be broken up both vertically and horizontally.
- f. All buildings should have shadow relief created by overhangs, projections, recesses and plan offsets.
- g. Building and roof forms should be broken into compositions of smaller components to reflect the irregular forms of hillside settings.
- h. Building forms should be "stepped" to conform to the site topography. Various levels should be broken with extended roof forms.



- i. Color selections should be muted and show evidence of coordination with the predominant colors and values of the surrounding landscape. Roof colors should tend toward darker earth tones in order to be less conspicuous when viewed from a distance.

- j. As few retaining walls as possible should be used. Retaining walls should be colored to match adjacent soils or stone, and visually softened with landscaping.



k. Freestanding vertical retaining walls over eight (8) feet in height shall be avoided. The height of the wall shall be measured from the natural or finished grade at the base of the lower side of the wall to the top edge of the wall material.

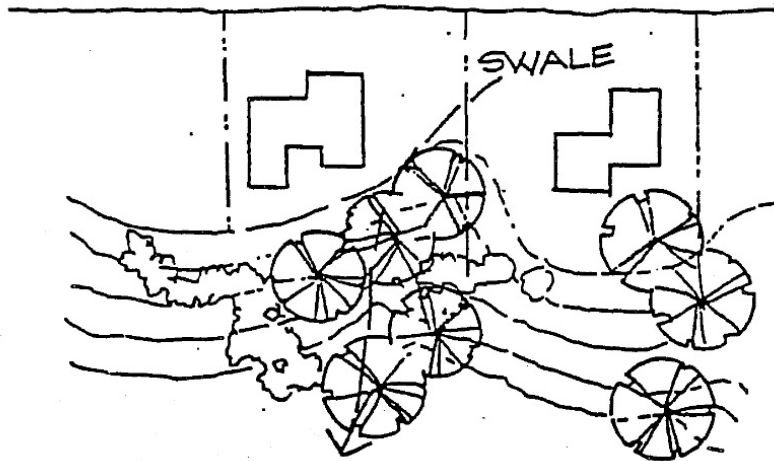
k.l. Exposed walls should be designed, stepped back and colored to soften their visual impact.

l.m. The visual impact of structures should be minimized with landscaping.

4. Hillside Landscaping

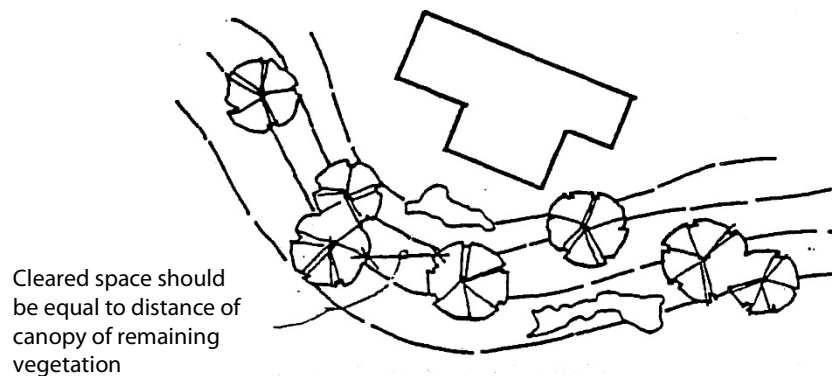
- a. Existing tree groupings and specimen trees should be retained and incorporated into new development. When native vegetation and tree groupings must be removed, hillsides should be replanted with irregularly grouped tree species that have similar appearance to removed materials when seen from a distance.
- b. Plant materials should be selected for their effectiveness in respect to erosion control, fire resistance and drought tolerance. Plants should be chosen based upon the following criteria:
- 1) Appropriateness for Santa Barbara's climate zone
 - 2) Drought and fire resistance
 - 3) Form considerations: height, branching patterns, density
 - 4) Maintenance
 - 5) Aesthetic considerations: flowering, fruiting, leaf color

- c. On slopes with a run to rise ratio of 2:1 or greater, plant materials with deep rooting characteristics should be selected to minimize erosion and reduce surface runoff.
- d. Planting design for slope areas should include a variety of plants and be planned for both short and long term effects, including as many of the following concepts as appropriate.
 - 1) Rapid-growing plants should be used for quick slope coverage to prevent surface erosion.
 - 2) Wide spreading deep rooted spreading shrubs and mounding trees should be used to provide surface coverage and stabilize lower soil levels.
 - 3) Irregular plant spacing should be used to achieve a natural appearance on graded slopes. Trees should be planted along contour lines in undulating groups to create grove effects which blur the distinctive line of the graded slope. Shrubs of varying height may be planted between tree stands.
 - 4) When grading affects bedrock or consolidated subsoils, cut slopes should be constructed with contoured shapes and have rough, irregular finish surfaces, which provide niches for soil and moisture collections.
 - 5) When possible, trees should be planted in swale areas to more closely reflect natural conditions and gather surface runoff for plant irrigation.



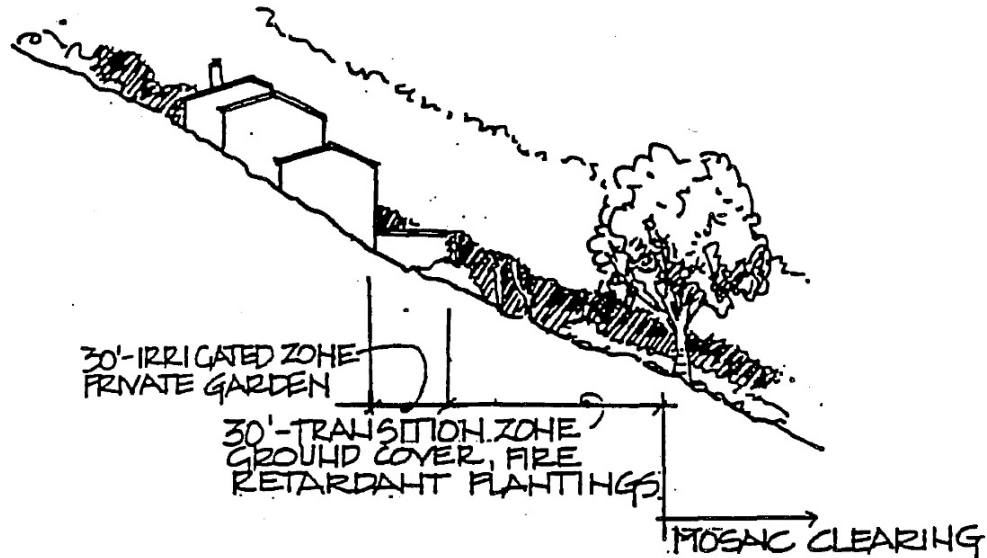
5. Hillside Brush Removal, Planting and Revegetation to Reduce Fire Hazard

- a. Landscaping and revegetation should be designed to mitigate the visual impacts of grading and clearing, to replace valuable watershed vegetation, and to control erosion.
- b. Plant materials should be selected to minimize fire hazards to all structures. In high fire hazard hillside areas, appropriate "greenbelting" and "zone concept" planting, as described in c below, is encouraged.
- c. A transitional zone between ornamental landscaping and native vegetation may be created by selective pruning and thinning of native plants and revegetation with low fuel volume plants. The goal of establishing transitional plantings is to slow approaching fire by reducing the fire's fuel supply. The following techniques may be used to accomplish this goal.
 - 1) Evaluate existing plant materials in the transitional zone for fuel volume and health. Remove plants of particularly high fuel volume from this area. Chaparral clearing performed to meet Fire District requirements shall be accomplished by "mosaic" clearing methods only.



- 2) Retain low fuel volume native plants in thinned out groupings.
- 3) Clear away all dead leaves and branches in this area annually. Thin native plants by pruning to reduce the fuel volume.
- 4) Irrigate this zone monthly if water supply permits during summer months to retain a high level of moisture in plant leaves.

- 5) Landscapes should be divided into three zones which represent different types of vegetation. The following dimensions are recommended subject to Fire ~~Department~~ District approval.



Zone #1: Minimum 30 feet around residences the landscape zone may contain traditional trees, shrubs, groundcovers and lawn. Plants with high moisture content are recommended for this zone. Removal of all native brush, weeds, grass and hazardous vegetation is required.

Zone #2: 30 to 100 feet away from the house should include low plants, up to 18 inches high, such as fire resistant groundcovers to act as a fuel break and prevent the spread of ground fires. Plants with high fuel volume are discouraged. Native vegetation should be selectively pruned and thinned.

Zone #3: A variable distance is the fringe area adjacent to wildland or open space. The synthetic wildland, a mixture of native and introduced vegetation, should be trimmed and thinned. This area should be maintained regularly to eliminate build up of dry brush and litter. Native brush should be selectively pruned and thinned in a mosaic pattern.

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V. OTHER CATEGORIES

A. NEIGHBORHOOD COMMERCIAL

1. **Definition:** The purpose of the Neighborhood Commercial district is to provide areas within residential neighborhoods for local retail businesses to serve the daily needs such as food, drugs, gasoline, and other incidentals of residents in the immediate area. The intent is to provide local serving commercial establishments while preserving the residential character of the area.
2. **General Statement:** All commercial projects in Montecito should strive to respect the scale and character of surrounding residential neighborhoods. Projects should comply with the guidelines set forth in this document with respect to design, landscaping and architectural sensitivity to the Montecito area and history. Mixed use developments are encouraged.
3. **Guidelines:**
 - a. Projects should be designed as a series of individual shops with varying storefronts and volumes, architectural images and designs which do not appear as a single building.
 - b. New development should be compatible with the existing scale and character of surrounding commercial and residential development.
 - c. Landscaping should be provided in proportion to the project and site with preservation of specimen trees and existing vegetation encouraged.

B. VISITOR-SERVING COMMERCIAL

1. **Definition:** The purpose of the visitor-serving commercial district is to provide for tourist recreational development in areas of unique scenic and recreational value. It is the intent of this district to provide for facilities that are compatible with and subordinate to the recreational setting and to allow maximum public access, enjoyment, and use of an area's scenic, natural, and recreational resources while ensuring preservation of such resources.
2. **General Statement:** All commercial development in Montecito should strive to respect the scale and character of surrounding residential neighborhoods. Projects should comply with the guidelines set forth in this document, with respect to design, landscaping and architectural sensitivity to the Montecito area and history.

3. **Guidelines:**

- a. Improvements to resort visitor-serving hotels shall be designed to be consistent with the existing historic "Cottage Type Hotel" tradition from the early days of Montecito.
 - 1) New or reconstructed cottages shall be limited to six units (keys) per cottage.
 - 2) Two thirds of any new or reconstructed buildings which are guest rooms shall be limited to sixteen (16) feet in height.
- b. Visitor resort facilities shall be compatible in mass, bulk, scale and design with the residential character of the surrounding neighborhoods.
- c. Cottage units shall be separated by landscaping to minimize the bulk and scale of development.
- d. Parking areas shall be broken into small groupings of parking spaces and shall be fully landscaped.

C. EDUCATIONAL, INSTITUTIONAL AND OTHER PUBLIC AND QUASI-PUBLIC USES

- 1. **Definition:** Educational uses include all existing schools from elementary through college level. Institutional, public and quasi-public uses are institutional, academic, governmental, and community service uses, either publicly owned or operated by nonprofit organizations.
- 2. **General Statement:** All educational, institutional and other public and quasi-public uses in Montecito shall strive to respect the scale and character of existing surrounding residential neighborhoods.
- 3. **Guidelines:**
 - a. All educational, institutional and other public and quasi-public uses should be developed in a manner compatible with the community's residential character.

D. DESIGN RESIDENTIAL AND PLANNED RESIDENTIAL DEVELOPMENT

- 1. **Definition:** The purpose of the Design Residential and Planned Residential Development zones ~~s-districts~~ is to provide flexibility and encourage innovation and

diversity in the design of residential developments. The intent is to ensure comprehensively planned, well designed projects.

2. **General Statement:** All residential development in Montecito shall strive to respect the scale and character of existing surrounding residential neighborhoods. In reviewing a project's consistency with scale and character, the emphasis should not be strictly on house size and lot size. The intent of the Design Residential and Planned Residential ~~zones Zone Districts~~ is to allow flexibility and encourage innovation and diversity in developments in order to provide desirable aesthetic and efficient use of space and to preserve significant natural, scenic, cultural, and open space resources of a site.
3. **Guidelines:**
 - a. All Design Residential and Planned Residential Development projects should be designed in a manner compatible with the community's residential character.
 - b. Building orientation and landscape screening should be used to integrate Design Residential and Planned Residential Development projects with the surrounding neighborhood.
 - c. Residential projects should comply with the guidelines set forth in Section III of this document (Residential Architectural & Landscape Design Guidelines) with the exception of Section III.B.3.a (Recommended Maximum House ~~Net Floor Area~~Size).
 - d. Design Residential and Planned Residential Development projects with a mix of housing types (e.g., single family and duplexes) should be designed so that housing types are integrated with one another and internally consistent.

E. SIGNAGE

1. **Definition:** Signage is any device or projected image which is used to advertise, identify, direct or inform persons concerning enterprises, products, goods or services.
2. **General Statement:** Signs have a strong visual impact on the character of the community. As a prominent part of the scenery, signs attract or repel the viewing public, affect the safety of vehicular traffic, and help set the tone of the neighborhood when they are suitable and appropriate.

The following guidelines are intended to protect and enhance the residential and pedestrian character of the community. Limits on the size, type, and location of signs minimize their distracting effect on both pedestrians and drivers.

Signs should serve primarily to identify an establishment, organization, institution, or enterprise. Signs should not subject people to excessive competition for visual attention. Signs should harmonize with buildings and the neighborhood.

In addition to these Guidelines, signs are subject to the requirements of the County's Chapter 35, Article I Sign Ordinance [in the Coastal Zone and Chapter 35.438 of the MLUDC in the Inland Area](#).

3. **Guidelines:**

- a. No signs except public road, directional, and ground entrance signs shall be installed on parkways or road sides.
- b. Signs shall not conflict with traffic control signs in color, shape, working, or location.
- c. The following signs are prohibited:
 - 1) Billboards
 - 2) Portable
- d. The following signs are discouraged:
 - 1) Signs which rotate, move, glare, flash, change, reflect, blink, or appear to do any of the above
 - 2) Sign poles
 - 3) Mobile signs
 - 4) Internally illuminated signs unless traditional materials and methods are used and approved by [County-MBAR](#)
- e. Signs or lettering on awnings and canopies shall be limited to the valance area.
- f. The following materials and methods are desirable:
 - 1) Sign face, supports, and standards of resawn or rough sawn wood and/or wrought iron with painted or stained background and lettering
 - 2) Sign face, supports, and standards of smooth wood trimmed with moldings of historically based design and lettering

- 3) Signs painted directly on the face of a building
 - 4) Wood cutouts, wrought iron or other metal silhouettes further identifying a business
 - 5) Lighting standards in style typical of a building's architecture and period
- g. The following materials and methods are not allowed:
- 1) Contemporary finish materials such as plastic, aluminum, and stainless steel
 - 2) Imitation wood or imitation marble
 - 3) Fluorescent paint
 - 4) Exposed spot lights, exposed neon tubing, and exposed lights or electrical conduits

F. HISTORIC STRUCTURES

1. **Definition:** Historic structures are those structures officially designated as structures of historic merit or historic landmarks, either nationally or by the County of Santa Barbara.
2. **General Statement:** Goal CR-M-1 of the Montecito Community Plan states "Preserve and protect properties and structures with historic importance in the Montecito community to the maximum extent feasible." Historic architecture which has been officially designated as an historic landmark, either nationally or by the County of Santa Barbara, should be given special consideration during the design review process.
3. **Guidelines:**
 - a. Consistent with landmark regulations, ~~County~~MBAR and the community should work closely with, and assist owners of, historic landmarks or structures of historic merit to maintain the original character while providing for new needs.
 - b. Consistent with landmark regulations, changes and/or additions to landmarks should be done in a way that generally does not compromise the original design.
 - c. Consistent with landmark regulations, materials and details should be generally consistent with the original structure.

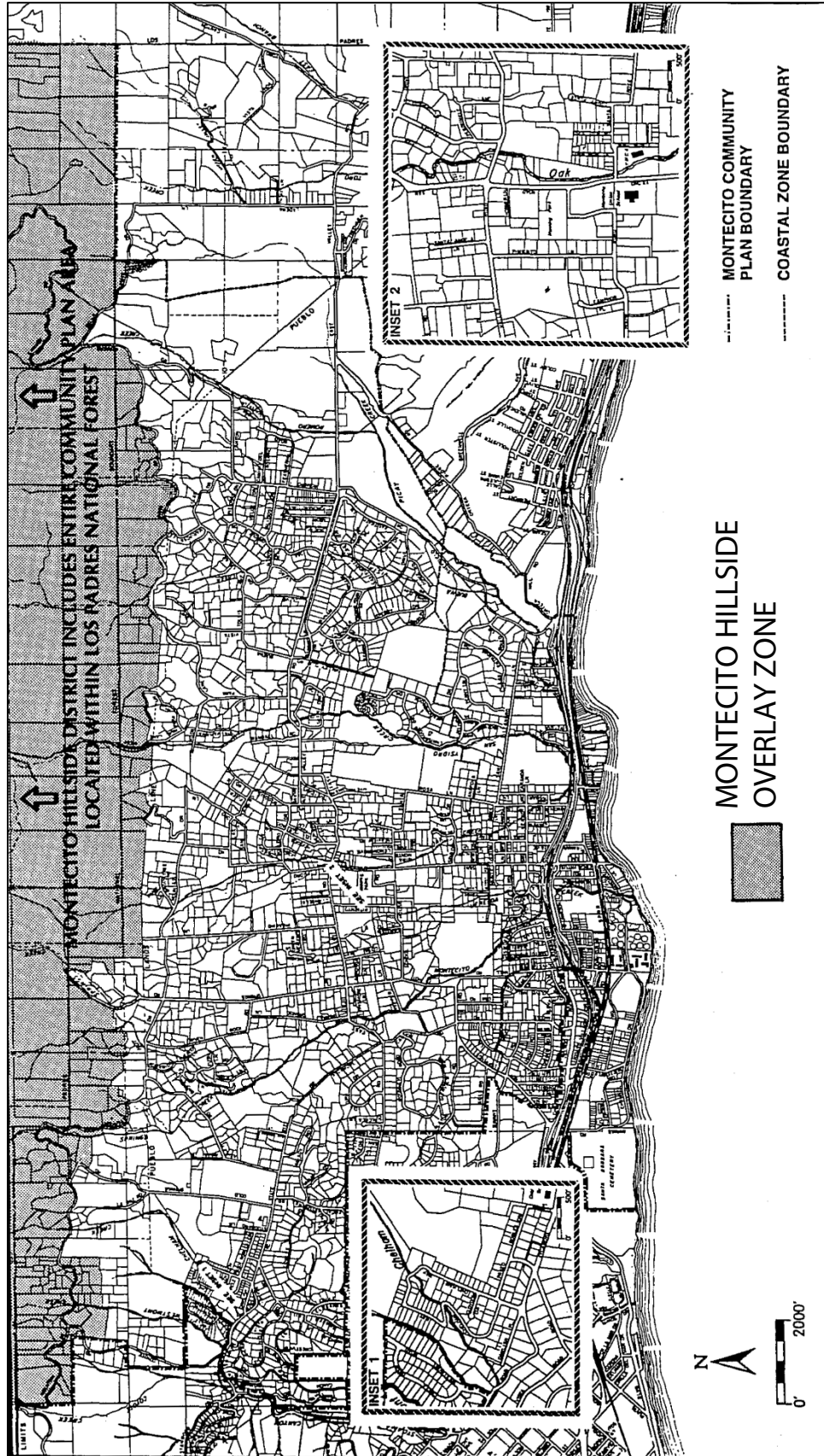


FIGURE 1

ATTACHMENT C-2

ORDINANCE NO. _____

AN ORDINANCE AMENDING SECTION 35-2, THE SANTA BARBARA COUNTY MONTECITO LAND USE AND DEVELOPMENT CODE, OF CHAPTER 35, ZONING, OF THE COUNTY CODE, BY AMENDING DIVISION 35.2, ZONES AND ALLOWABLE LAND USES, AND DIVISION 35.3, MONTECITO SITE PLANNING AND OTHER PROJECT STANDARDS, TO CLARIFY THE DEVELOPMENT STANDARDS APPLICABLE TO THE MONTECITO HILLSIDE OVERLAY ZONE AND TO AMEND THE MAXIMUM HEIGHT APPLICABLE TO STRUCTURES SUBJECT TO THE RIDGELINE AND HILLSIDE DEVELOPMENT GUIDELINES AND THE MONTECITO HILLSIDE OVERLAY ZONE.

Case No. 16ORD-00000-00002

The Board of Supervisors of the County of Santa Barbara, State of California, ordains as follows:

SECTION 1:

DIVISION 35.2, Zones and Allowable Land Uses, of Section 35-2, the Montecito Land Use and Development Code, of Chapter 35, Zoning, of the Santa Barbara County Code, is amended to amend Subsection C, Development Standards, of Section 35.428.070, Montecito Hillside (H-MON) Overlay Zone – Inland area, of Chapter 35.428, Montecito Overlay Zones, to read as follows:

- C. Development standards.** All residential development within the H-MON overlay zone shall comply with the development standards in Section IV.C (Hillside Development Standards) of the Montecito Architectural Guidelines and Development Standards, and as provided below:
1. The visual bulk of residential structures shall be minimized as viewed from scenic view corridors as shown on Figure 37, Visual Resources Map in the Montecito Community Plan EIR (92-EIR-03).
 2. The height of the primary residence should not exceed 16 feet.
 3. No elevation, including retaining walls adjacent to the structure, shall exceed an average height of twenty (20) feet as measured at five-foot intervals from finished grade to the average height of the highest gable roof or to the top of the parapet of a flat roof. At no point shall the structure exceed twenty-eight (28) feet in height from any finished grade or existing grade, whichever is lower, to the highest gable, except for architectural features.
 4. Accessory structures except barns and stables shall not exceed sixteen (16) feet in height.
 5. Accessory structures, excluding barns and stables, containing one or more accessory uses shall not exceed a building footprint area of 800 square feet.
 6. The floor area of guest houses, artist studios, or pool house/cabana shall not exceed 800 square feet; however, such structures may be attached to an accessory structure provided the building footprint of the combined structure does not exceed 800 square feet.
 7. Project grading shall not exceed 1,500 cubic yards of cut or fill, unless additional grading is necessary to allow reasonable development of the property or to achieve reasonable vehicular access. Exception: Excavation not apparent from the exterior, such as for basements entirely below grade, crawl spaces, swimming pools, underground water storage tanks, etc., shall not be included in the grading calculations under this provision. Grading may exceed 1,500 cubic yards if MBAR can make all of the following findings:

- a. The proposed grading respects the significant natural land forms of the site and blends with adjacent properties.
 - b. The graded slopes relate to the natural contours of the site.
 - c. The length and height of retaining walls have been minimized to the maximum extent feasible.
 - d. There are no other suitable alternative building sites available on the property that could be utilized with significantly less required grading for the primary residence and/or access road.
8. Fill for residential structures on downslope areas shall not be over 10 feet in height at the highest point (top of slope).
 9. Cut over thirty (30) feet in total height shall be avoided to the extent feasible.
 10. Freestanding vertical retaining walls over eight (8) feet in height shall be avoided. The height of the wall shall be measured from the natural or finished grade at the base of the lower side of the wall to the top edge of the wall material.
 11. Building materials and color schemes of structures, walls and roofs shall blend with predominant colors and values of the surrounding natural landscape.
 12. The design of new development shall protect, to the extent feasible, unique or special features of the site, such as landforms, rock outcroppings, mature trees, unique vegetative groupings, drainage courses, hilltops and ridgelines.
 13. Landscape plans shall include appropriate planting to reduce fire hazard, stabilize cut/fill slopes, reduce erosion, retain moisture, repair areas of required fire department brush removal, and integrate architectural components.
 14. Calculation of runoff from impervious surfaces shall be made by a licensed civil engineer prior to issuance of any permits for new residences or additions which exceed fifty (50) percent of existing floor area of the principal structure. Project review will include consideration of any increased runoff and its impact on offsite drainage courses. These calculations will be retained in County records for use in preparing a Master Drainage Plan.

MBAR Adjustments: Adjustments to the development standards may be granted by the MBAR, not to exceed the regulations of the zoning ordinance, if all of the following criteria are met:

- a. Allowing greater flexibility would better serve the interests of good design, without negatively affecting neighborhood compatibility or the surrounding viewshed.
- b. The project is not within 100 feet of an Environmentally Sensitive Habitat area as delineated on the County Zoning Map or the project complies with the requirements of the MLUDC Section 35.428.040.
- c. Drainage plans have been prepared which minimize erosional impacts.
- d. The project includes fire-retardant landscaping.

SECTION 2:

DIVISION 35.3, Montecito Site Planning and Other Project Standards, of Section 35-2, the Montecito Land Use and Development Code, of Chapter 35, Zoning, of the Santa Barbara County Code, is amended to amend Subsection C.2, Maximum height in ridgeline/hillside locations, of Section 35.430.090, Height Measurement, Exceptions and Limitations, of Chapter 35.430, Standards for All Development and Land Uses, to read as follows:

- 2. Maximum height in ridgeline/hillside locations.** In addition to the height limit applicable to a structure as described in Subsection C.1 (Height of structures) above, a structure subject to Chapter 35.452 (Montecito Ridgeline and Hillside Development) or Section 35.428.070 (Montecito Hillside Overlay Zone) shall not exceed a maximum height of ~~32~~28 feet as measured from the highest part of the structure, excluding chimneys, vents and noncommercial antennas, to the lowest point of the structure where an exterior wall intersects the finished grade or the existing grade, whichever is lower. In the case where the lowest point of the structure is cantilevered over the ground surface, then the calculated maximum height shall include the vertical distance below the lowest point of the structure to the finished grade or the existing grade, whichever is lower, See Figure 3-3 (Maximum Height).

SECTION 3:

All existing indices, section references, and figure and table numbers contained in Section 35-2, the Montecito Land Use and Development Code, of Chapter 35, Zoning, of the County Code, are hereby revised and renumbered as appropriate to reflect the revisions enumerated above.

SECTION 4:

Except as amended by this Ordinance, Divisions 35.2 and 35.3 of Section 35-2, the Montecito Land Use and Development Code, of Chapter 35, Zoning, of the County Code, shall remain unchanged and shall continue in full force and effect.

SECTION 5:

This ordinance shall take effect and be in force 30 days from the date of its passage and before the expiration of 15 days after its passage a summary of it shall be published once together with the names of the members of the Board of Supervisors voting for and against the same in the Santa Barbara News-Press, a newspaper of general circulation published in the County of Santa Barbara.

PASSED, APPROVED AND ADOPTED by the Board of Supervisors of the County of Santa Barbara, State of California, this _____ day of _____, 2016, by the following vote:

- AYES:
- NOES:
- ABSTAIN:
- ABSENT:

PETER ADAM, CHAIR
BOARD OF SUPERVISORS
COUNTY OF SANTA BARBARA

ATTEST:

MONA MIYASATO, COUNTY EXECUTIVE OFFICER
CLERK OF THE BOARD

By _____
Deputy Clerk

APPROVED AS TO FORM:

MICHAEL C. GHIZZONI
COUNTY COUNSEL

By _____
Deputy County Counsel

ATTACHMENT C-3

ORDINANCE NO. _____

AN ORDINANCE AMENDING ARTICLE II, THE SANTA BARBARA COUNTY COASTAL ZONING ORDINANCE, OF CHAPTER 35, ZONING, OF THE COUNTY CODE, BY AMENDING DIVISION 7, GENERAL REGULATIONS, TO AMEND THE MAXIMUM HEIGHT APPLICABLE TO STRUCTURES SUBJECT TO THE RIDGELINE AND HILLSIDE DEVELOPMENT GUIDELINES WITHIN THE MONTECITO COMMUNITY PLAN AREA.

Case No. 16ORD-00000-00003

The Board of Supervisors of the County of Santa Barbara, State of California, ordains as follows:

SECTION 1:

DIVISION 7, General Regulations, of Article II, the Santa Barbara County Coastal Zoning Ordinance, of Chapter 35, Zoning of the Santa Barbara County Code, is amended to amend Subsection 35-127.A.3 of Section 35-127, Height, to add a title to the subsection "Maximum Height" and to read as follows:

3. Maximum height.

- a. **Outside Montecito Community Plan Area.** In addition to the height limit applicable to a structure as described in Section 35-127.A.1, a structure subject to the Ridgeline/Hillside Development Guidelines shall not exceed a maximum height of 32 feet as measured from the highest part of the structure, excluding chimneys, vents and noncommercial antennas, to the lowest point of the structure where an exterior wall intersects the finished grade or the existing grade, whichever is lower. In the case where the lowest point of the structure is cantilevered over the ground surface, then the calculated maximum height shall include the vertical distance below the lowest point of the structure to the finished grade or the existing grade, whichever is lower. ~~Except for structures located within the Montecito Planning Area, t~~ This 32 foot limit may be increased by no more than three feet where the highest part of the structure is part of a roof element that exhibits a pitch of four in 12 (rise to run) or greater.
- b. **Within Montecito Community Plan Area.** In addition to the height limit applicable to a structure as described in Section 35-127.A.1, a structure subject to the Ridgeline/Hillside Development Guidelines shall not exceed a maximum height of 28 feet as measured from the highest part of the structure, excluding chimneys, vents and noncommercial antennas, to the lowest point of the structure where an exterior wall intersects the finished grade or the existing grade, whichever is lower. In the case where the lowest point of the structure is cantilevered over the ground surface, then the calculated maximum height shall include the vertical distance below the lowest point of the structure to the finished grade or the existing grade, whichever is lower.

SECTION 2:

All existing indices, section references, and figure and table numbers contained in Article II, the Santa Barbara County Coastal Zoning Ordinance, of Chapter 35, Zoning, of the Santa Barbara County Code, are hereby revised and renumbered as appropriate to reflect the revisions enumerated above.

SECTION 3:

Except as amended by this Ordinance, Division 7 of Article II, the Santa Barbara County Coastal Zoning Ordinance, of Chapter 35, Zoning, of the Santa Barbara County Code, shall remain unchanged and shall continue in full force and effect.

SECTION 4:

This ordinance and any portion of this ordinance approved by the Coastal Commission shall take effect and be in force 30 days from the date of its passage or upon the date that it is certified by the Coastal Commission pursuant to Public Resources Code 30514, whichever occurs later; and before the expiration of 15 days after its passage a summary of it shall be published once together with the names of the members of the Board of Supervisors voting for and against the same in the Santa Barbara News-Press, a newspaper of general circulation published in the County of Santa Barbara.

PASSED, APPROVED AND ADOPTED by the Board of Supervisors of the County of Santa Barbara, State of California, this _____ day of _____, 2016, by the following vote:

AYES:

NOES:

ABSTAIN:

ABSENT:

PETER ADAM, CHAIR
BOARD OF SUPERVISORS
COUNTY OF SANTA BARBARA

ATTEST:

MONA MIYASATO, COUNTY EXECUTIVE OFFICER
CLERK OF THE BOARD

By _____
Deputy Clerk

APPROVED AS TO FORM:

MICHAEL C. GHIZZONI
COUNTY COUNSEL

By _____
Deputy County Counsel

ATTACHMENT D

Method 1 – Proportional Method

Revise *Guidelines* Sections III.B.3.a and IV.D as follows: (~~strikethrough~~ = deleted text, underline = new text).

- a. The floor area of a proposed house (primary residential building) should be in scale with development on similar sized parcels in the immediate area.

Table 1 shall serve as a reference for this purpose. A project with a floor area (size) substantially in excess of the floor area of the immediately surrounding properties will have the burden of demonstrating that the project cannot be viewed by surrounding property owners due to siting, or that its spatial volume (mass, bulk and scale) when taken together with its lot size, setbacks, and landscaping does not make it incompatible with similar surrounding properties.

TABLE 1

Size of Lot (Gross Acres)	Recommended Maximum House Net Floor Area (Square Feet)
less than 1 acre	1,800 + (2,500 x L) where L is parcel area in acres
1 acre	4,300
1.5	5,150
2	6,000
2.5	6,850
3	7,700
3.5	8,550
4	9,400
4.5	9,725
5	10,050
5.5	10,375
6	10,700

For intermediate and values beyond those included in Table 1, the following formulas should be used:

- > 1 acre to 4 acres: $4,300 + 1,700$ for each acre over one
- > 4 acres to 16 acres: $9,400 + 650$ for each acre over four
- > 16 acres: $17,200 + 430$ for each acre over sixteen

Note: In certain neighborhoods, the recommended maximum size in Table 1 may not reflect the appropriate level of development. In those cases, neighborhood compatibility shall be the determining factor.

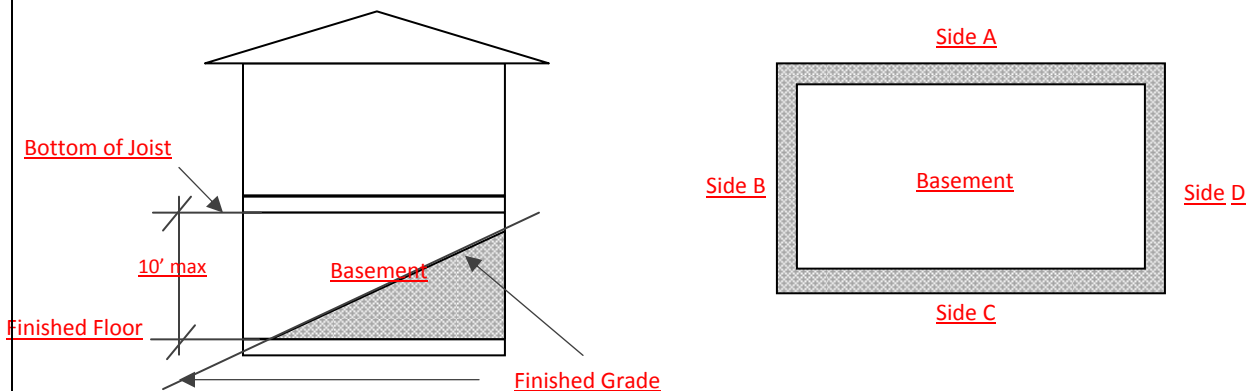
For this guideline, net floor area is defined as the total area of all floors of a the house (primary residential building) as measured to the interior surfaces of the exterior walls, excluding attics, basements that are wholly underground (i.e., entirely below finished grade), and unenclosed porches, balconies, decks, attached residential second units, garages and attached garages of 800 square feet or less. For attached garages of greater than 800 square feet, the square footage in excess shall be included as part of the net floor area of the house structure. The net floor area shall include basements that are partly underground (i.e., partly below finished grade) and attached accessory structures. The net floor area of the house shall not include detached accessory structures.

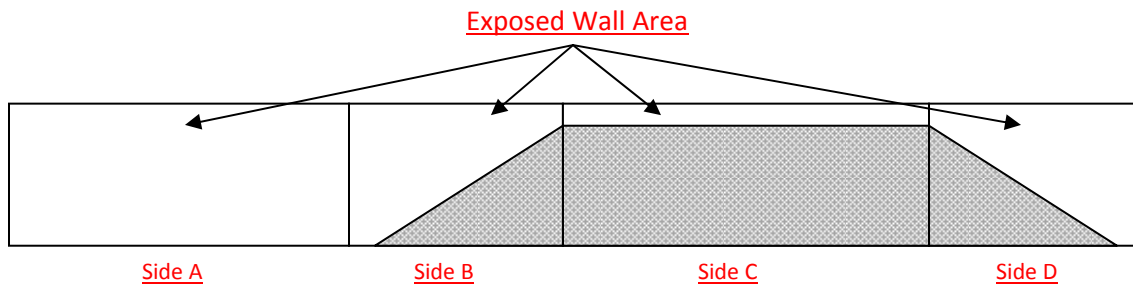
The following equation shall be used to calculate the square footage of the basement floor area to include in the house net floor area:

$$\text{Basement Area to Include} = \frac{\text{Exposed Wall Area}}{\text{Total Wall Area}} \times \text{Total Basement Floor Area}$$

“Total Wall Area” is the sum of the area of each exterior basement wall surface whether buried or above grade or any combination thereof. The height of the wall area used to determine the total wall area is measured from the finished floor of the basement to the bottom of the floor joist supporting the floor above. In no case shall the height used to determine the total wall area exceed 10 feet.

“Exposed Wall Area” is the sum of the exposed areas of each exterior basement wall surface. The height of the exposed exterior wall area used to determine the total exposed wall area is measured from the finished grade adjacent to the exterior wall to the bottom of the floor joist supporting the floor above. If the grade adjacent to any exterior wall slopes downward, the height of the exposed wall shall be calculated from a point located six feet away from the exterior wall surface to the bottom of the floor joist supporting the floor above.





Development shall not manipulate existing or finished grade in order to reduce the net floor area of a basement and/or conceal the actual size, bulk, and scale of the proposed house.

Note: In certain neighborhoods, the recommended maximum size in Table 1 may not reflect the appropriate level of development. In those cases, neighborhood compatibility shall be the determining factor.

For this guideline, net floor area is defined as the total area of all floors of ~~a~~ the house (primary residential building) as measured to the interior surfaces of the exterior walls, excluding attics, basements that are wholly underground (i.e., entirely below finished grade), ~~and~~ unenclosed porches, balconies, decks, attached residential second units, garages and attached garages of 800 square feet or less. For attached garages of greater than 800 square feet, the square footage in excess shall be included as part of the net floor area of the house structure. The net floor area shall include basements that are partly underground (i.e., partly below finished grade) and attached accessory structures. The net floor area of the house shall not include detached accessory structures.

A partly underground basement shall mean any basement with a floor-to-ceiling height of 6.5 feet or more and an exposed exterior wall surface with a height of four feet or more (as measured from the adjacent finished grade to the bottom of the floor joist supporting the floor above) on one or more sides of the house. For partly underground basements the net floor area shall include the first 800 square feet of basement floor area plus 50% of any remaining basement floor area.

Development shall not manipulate existing or finished grade in order to reduce the net floor area of a basement and/or conceal the actual size, bulk, and scale of the proposed house.

ATTACHMENT F

Action: Johnson moved, seconded by Sharpe and carried by a vote of 7-0 to grant preliminary/final approval on consent of 15BAR-00000-00032 with the applicant to change the roof material to weathered roof tiles. (Johnson, Sharpe & Gottsdanker present for the Consent Review)

**C-3. 11BAR-00000-00207 Dvorak Addition and New Garage 2024 Sandy Place
13LUP-00000-00409 (Tammy Weber, Planner 568-3017) Ridgeline: N/A**

Request of Shubin & Donaldson, architects for the owner, David Dvorak, to consider Case No. 11BAR-00000-00207 for **final approval on consent of the demolition of the existing tennis court & guesthouse allowing for a residential single-story addition of approximately 1,718 square feet, a new attached garage approximately 521 square feet, a new detached guesthouse of approximately 655 square feet, new 35' x 14' pool and exterior and interior renovations (window, door and wall replacements). The project requires approximately 118 cubic yards of cut and 189 cubic yards of fill.** The following structures currently exist on the parcel: a single family dwelling of approximately 2,900 square feet, a detached garage of approximately 450 square feet and a guesthouse of approximately 530 square feet. The proposed project will require approximately 3,840 cubic yards of cut and approximately 5,100 cubic yards of fill. The property is a 2.5 acre parcel zoned 2-E-1 and shown as Assessor's Parcel Number 007-390-028 & -007-390-029, located at **2024 Sandy Place** in the Montecito area, First Supervisorial District. (Continued from 10/21/13 11/18/13)

Action: Johnson moved, seconded by Sharpe and carried by a vote of 7-0 to grant final approval on consent of 14BAR-00000-00202. (Johnson, Sharpe & Gottsdanker present for the Consent Review)

STANDARD AGENDA:

DISCUSSION ITEM

1. Limited Montecito Architectural Guidelines Update
(Oksana Buck, Planner 568-3577)

The primary purpose of the Limited Montecito Architectural Guidelines Update is to provide a focused update of the following five topics that affect community character: (1) Height Definition, (2) Height Measurement Methodology, (3) Hillside Height Limits for Buildings and Retaining Walls, (4) Basement Definition, (5) Floor Area Definition. The project will also propose amendments to the [Montecito Land Use and Development Code](#) and [Article II-Coastal Zoning Ordinance](#) as necessary to provide consistency between the ordinances and the architectural guidelines.

Public Comment:

1. Tom Bollay- Representing the Montecito Association
2. Robert Senn
3. Kellam de Forest

Staff from Long Range Planning, Allen Bell, Oksana Buck and Julie Harris, came before the Montecito Board of Architectural Review Board to present and answer any questions from the members of MBAR and the public regarding the proposed updates.

MBAR Comments:

1. **Including retaining walls in the 32-foot height limit should only apply to walls within a certain distance of the structure.**
2. **One member suggested that inclusion of retaining walls should be left to the discretion of the MBAR.**

Due to the amount of discussion that could be generated from this it was decided that this update would be agendized for future meetings. (Watson absent from the discussion)

CONSENT AGENDA:

- C-1. 14BAR-00000-00137 Winkler New Two Story
Single Family Dwelling, Garage and Pool 4 Sunrise Hill Lane
14LUP-00000-00242 (J. Ritterbeck, Planner 568-3509) Ridgeline: N/A**

Request of Robert Senn, architect for the owner, Matthew and Margaret Winkler, to consider Case No. 14BAR-00000-00137 for **final approval on consent of a new two story single family dwelling with the first floor being of approximately 3,632 square feet, the second floor being approximately 1,177 square feet, decks of approximately 276 square feet, a loggia of approximately 320 square feet, an attached garage of approximately 725 square feet and a basement of approximately 980 square feet.** No structures currently exist on the parcel. The proposed project will require approximately 2,043 cubic yards of cut and approximately 603 cubic yards of fill. The property is a 3.94 acre parcel zoned 1-E-1and shown as Assessor's Parcel Number 013-210-049, located at **4 Sunrise Hill Lane** in the Montecito area, First Supervisorial District. (Continued from 7/14/14, 9/8/14, 5/4/15)

Watson moved, seconded by Gottsdanker and carried by a vote of 5-0 (Eichelberger & Johnson absent) to grant final on consent to 14BAR-00000-00137. (John Watson and Claire Gottsdanker were present for the review of the consent item)

- V. MBAR MEMBERS INFORMATIONAL BRIEFINGS: None**
- VI. STAFF UPDATE: None**
- VII. STANDARD AGENDA:**

The Representatives of the following items should be in attendance at this MBAR Meeting by 2:00 P. M.

DISCUSSION ITEM:

- 1. Limited Montecito Architectural Guidelines Update**
(Oksana Buck, Planner 568-3577)

The primary purpose of the Limited Montecito Architectural Guidelines Update is to provide a focused update of the following five topics that affect community character: (1) Height Definition, (2) Height Measurement Methodology, (3) Hillside Height Limits for Buildings and Retaining Walls, (4) Basement Definition, (5) Floor Area Definition. The project will also propose amendments to the Montecito Land Use and Development Code and Article II-Coastal Zoning Ordinance as necessary to provide consistency between the ordinances and the architectural guidelines. (Continued from 5/4/15)

Planning & Development Staff:
Alan Bell, Supervising Planner
Julie Harris, Planner III
Oksana Buck, Planner

Public Comment

1. Marc Phillips
2. Jack Overall
3. Victoria Greene – Montecito Association
4. J' Amy Brown
5. Kellam de Forest

MBAR Comments:

1. John Watson met with Bob Meghreblian about intent of the guidelines and prepared letter identifying key points.
2. One question is whether the MBAR would have discretion to approve well-designed projects that do not meet the guidelines.
3. Tighter limits on grading would be nice – are any thresholds proposed?
4. Could existing grading standards in the guidelines be used for non-hillside locations?
5. Grading has a huge impact on roads from truck trips. Fully buried basements can still have an impact for this reason due to the extensive excavation required.
6. Review of a project's grading has to go hand-in-hand with the architectural review and needs to apply in all situations (hillside and non-hillside).
7. Are the FARs related to building size as a visual impact or to density of use, or to both?
8. Alteration to the definition of basements has been used to significantly increase the floor area of homes.
9. Tightening the definitions of basements and FARs will address many of the problems associated with building height, grading, mass, bulk, and scale, and visual impacts from lighting.
10. There should be no advantage created by the guidelines in terms of hiding square footage or burying it or partially burying it in a basement.
11. Some members support keeping the existing grade as the appropriate baseline for measuring height rather than finished grade, since it provides greater flexibility on sloped sites.
12. The MBAR is concerned about adopting new limits that overly inhibit good design.
13. The guidelines should be clear in their intent while retaining flexibility for the MBAR in reviewing and approving projects.
14. Guidelines will never replace the role of the MBAR in approving well designed projects.
15. Toro Canyon is a good example in its treatment of retaining walls and grading.
16. How basements are currently treated with respect to FARs in the guidelines is a major loophole that is being exploited.
17. When the guidelines originally defined basements, the basements in mind were fully below ground.
18. Daylighted portions of basements should count towards FARs, including all portions of a room that daylight.
19. One member believes that all useable portions of basements should count towards FARs to eliminate any potential for gaming of the FAR rules.
20. A 5,000 s.f. house results in the same light reflection, whether it is built vertically or horizontally. Size, bulk, and scale become an issue when large, above-ground

- basements are constructed to gain “free” square footage and result in excessive grading.
21. The simpler the definitions and guidelines can be, the better.
 22. Use the MCP goal of “maintaining the low-intensity semi-rural character of Montecito” as the guide for reviewing projects.
 23. Landscaping is as an important design factor as the building design. Landscaping is an important factor in screening the size, bulk, and scale of a house.
 24. One member believes retaining walls should count towards overall building height, but other members prefer flexibility in treatment of retaining walls, similar to what is done for Toro Canyon, where there are separate standards for grading and retaining walls apart from the house.
 25. The guidelines already include a requirement that building facades cannot exceed 20 feet in height, including retaining walls, but only applies to designated Hillside areas (H-MON).
 26. A house can appear to be 3-stories if the first level is offset from the stories above. From a distance, it still appears as a 3-story house and this loophole should be eliminated.
 27. Color and material of walls affect their visibility and prominence.
 28. Materials discussed at the hearing can be found at the Long Range Planning P&D website.

CONCEPTUAL REVIEW

- | | | |
|----|---|------------------------------------|
| 2. | Rogers Cabana Remodel
& Roof Height Addition | 1711 Fernald Point Lane |
| | 15CDH-00000-00078 | Ridgeline: N/A |
| | 15CDH-00000-00011 | (Christine Louie Planner 568-3510) |

Request of Kurt Magness, architect for the owner, Mindy Rogers, to consider Case No. 15BAR-00000-00078 for **conceptual review of exterior changes to the existing deck at the cabana as well as raise a portion of the roof by 1 foot, reconfigure the bathroom at the cabana, change existing window and door to French doors.** The following structures currently exist on the parcel: a single family dwelling of approximately 5,221 square feet and a cabana of approximately 268 square feet. The proposed project will not require grading. The property is a 1.45 acre parcel zoned 1-E-1 and shown as Assessor’s Parcel Number 007-380-023, located at **1711 Fernald Point** in the Montecito area, First Supervisorial District. (Appearance by Kurt Magness)

Public Comment:

1. Kellam de Forrest

MBAR Comments:

1. Nice project.

The project received comments only. (Eichelberger & Johnson absent) The project may return for preliminary/final approval on consent with planner approval.

- | | | |
|----|--|------------------------------------|
| 3. | Rogers New Gate, Columns
Carport and Driveway | 1717 Fernald Point Lane |
| | 15CDH-00000-00079 | Ridgeline: N/A |
| | 15CDH-00000-00010 | (Christine Louie Planner 568-3510) |

Request of Kurt Magness, architect for the owner, Mindy Rogers, to consider Case No. 15BAR-00000-00079 for **conceptual review a new carport of approximately 441 square feet, a**

1. J' Amy Brown

MBAR Comments:

1. MBAR appreciates changes to project to address neighbor privacy by eliminating the 2nd story.
2. Some members do not support the side setback encroachments for this sized lot. Three members support the variable setbacks for this project, especially since they mostly affect corners of the building.
3. Architecture, and building materials and colors are nice.
- 4.

Action: Gottsdanker moved, seconded by Cung and carried by a vote of 7-0 to grant preliminary approval to 15BAR-00000-00051 with the applicant to restudy the setback encroachments. The project may return for final approval with the planner's consent.

2. Limited Montecito Architectural Guidelines Update

(Oksana Buck, Planner 568-3577)

The primary purpose of the Limited Montecito Architectural Guidelines Update is to provide a focused update of the following five topics that affect community character: (1) Height Definition, (2) Height Measurement Methodology, (3) Hillside Height Limits for Buildings and Retaining Walls, (4) Basement Definition, (5) Floor Area Definition. The project will also propose amendments to the Montecito Land Use and Development Code and Article II-Coastal Zoning Ordinance as necessary to provide consistency between the ordinances and the architectural guidelines. (Continued from 5/4/15, 6/1/15)

Public Comment:

1. Tom Bollay
2. Bob Kupiec

MBAR Comments:

1. MBAR likes the cleanliness of the exposed wall approach to counting basements towards FARs, but suggests weighting the basement floor area percentage to account for the more visible front wall basement areas.
2. Need to clarify what is considered exposed wall for basement calculation. One member thinks that minor wall exposure in basements for ventilation purposes should not count towards FARs.
3. MBAR would like to see the recommendations applied to test cases to see how they work.
4. Most members of the MBAR do not support regulating plate heights - need to leave flexibility for designers and not attempt to over regulate or define.
5. Architects are masters at finding loopholes in regulations. MBAR has to rely on their own design expertise to ensure properly designed and compatible homes.
6. MBAR supports reducing the overall height limit from 32 feet to 28 feet where it applies, but some members support the idea of treating rural/H-MON properties differently than urban Ridgeline/Hillside properties in terms of the overall height limit and not lowering the height limit to 28 feet in urban areas.
7. Need to clearly state how retaining wall heights are measured (i.e. finished grade to top of wall).
8. Some members expressed interest in addressing detached accessory structures, but understand that may need to be part of a future effort.
9. MBAR suggests taking the Montecito Association's recommendations prepared by Tom Bollay and Bob Kupiec into considerations and incorporating their recommendations to the extent feasible.
10. MBAR would like to see the recommendations again before they are presented to the MPC.

3. 14BAR-00000-00025 Westmont Master Plan/New Residence Hall 899 Cold Springs Road
14RVP-00000-00091 (Joyce Gerber, Planner 568-3518) Ridgeline: N/A

C-3. 14BAR-00000-00153 Sander's Addition 2222 Featherhill Road
15LUP-00000-00464 (Gabe Diaz Planner 568-3559) Ridgeline: N/A

Request of Chris Cottrel, architect for the owners, Corey & Stephanie Sanders, to consider Case No. 14BAR-00000-00153 for **preliminary/final approval on consent of an addition of approximately 400 square feet to the existing single family dwelling.** The following structures currently exist on the parcel: a single family dwelling of approximately 1,303 square feet and an attached garage of approximately 383 square feet. The proposed project will not require grading. The property is a 1.06 acre parcel zoned 2-E-1and shown as Assessor's Parcel Number 1550-050-014, located at **2222 Featherhill Road** in the Montecito area, First Supervisorial District. (Continued from 12/14/15)

ACTION: Watson moved, seconded by Sharpe and carried by a vote of 6-0 (Cung absent) to continue 15BAR-00000-00153 to the meeting of February 8, 2016 at the request of the applicant. Please see Agenda Status Update

C-4. 15BAR-00000-00205 Levin New Single Family Dwelling
15EXE-00000-00045 Covered Porch, Guest House 160 East Mountain Drive
(Sean Herron Planner 568-3510) Ridgeline: N/A

Request of Brian Banks, agent for the owner, Susan Levin, to consider Case No. 15BAR-00000-00205 for **final approval on consent of a new single family dwelling of approximately 1,658 net square feet with a new covered porch of approximately 488 square feet, a 400 square foot carport, and a new guesthouse of approximately 498 net square feet as replacements of a residence and guesthouse of similar size and location that were destroyed by the Tea Fire.** Grading would include less than 50 cubic yards of cut and 50 cubic yards of fill. No trees are proposed for removal. The parcel will continue to be served by a private well, a private septic system, and the Montecito Fire Protection District. Access will continue to be provided off of Mountain Drive. The property is a 9.53-acre parcel zoned 3-E-1 and shown as Assessor's Parcel Number 013-030-030, located at **160 East Mountain Drive** in the Montecito Community Plan Area, First Supervisorial District. (Continued from 11/9/15, 12/14/15)(Appearance by Brian Banks)

ACTION: Watson moved, seconded by Johnson and carried by a vote of 6-0 (Cung absent) to grant final approval on consent of 15BAR-00000-00205.

STANDARD AGENDA:

1. Limited Montecito Architectural Guidelines Update
(Julie Harris, Planner 568-3543)

The primary purpose of the Limited Montecito Architectural Guidelines Update is to provide a focused update of the following five topics that affect community character: (1) Height Definition, (2) Height Measurement Methodology, (3) Hillside Height Limits for Buildings and Retaining Walls, (4) Basement Definition, (5) Floor Area Definition. The project will also propose amendments to the Montecito Land Use and Development Code and Article II-Coastal Zoning Ordinance as necessary to provide consistency between the ordinances and the architectural guidelines. (Continued from 5/4/15, 6/1/15, 12/14/15)

Long Range Planning Staff:

Alan Bell
Julie Harris

Public Comments:

1. Steve Welton
2. Tom Bollay

MBAR Comments:

1. MBAR concurs with staff's recommendations regarding the 20-foot height limit for elevations and only applying it in the H-MON Overlay and not expand it to address Ridgeline/Hillside development.
2. MBAR concurs with staff's recommendation regarding reducing the overall height limit from 32 feet to 28 feet in all Ridgeline/Hillside and H-MON Overlay conditions.
3. Majority of MBAR would like to hear input from the Montecito Association Land Use Committee before commenting on the best approach for counting exposed basements towards FAR.
4. One member believes that taking a percentage of the exposed basement is much easier than trying to base it on the wall area exposed.
5. One member in favor of the approach that counts the first 800 square feet of exposed basements plus a percentage of the remainder; also likes the overall percentage approach.
6. One member likes the approach that takes the length of the wall multiplied by 25 feet. This member indicated the need to clarify between daylit and fully buried basements and would like to see a graphic depiction of the different options.
7. One member favors the approach that takes a proportion of the exposed basement and weighting the front wall appropriately. This member does not favor the alternative that would include a new restriction against any basement that, together with the main levels, would read as three stories due to its lack of clarity.

PRELIMINARY APPROVAL

- | | | | |
|----|--------------------------|---------------------------------------|----------------------|
| 2. | 15BAR-00000-00083 | Behrman Addition | 843 Park Lane |
| | 15DVP-00000-00011 | (Stephanie Swanson, Planner 568-3319) | Ridgeline: RMZ |

Request of Brian Banks, agent for the owners, Michael Behrman, to consider Case No. 15BAR-00000-00083 for **preliminary/final approval of an addition to the existing single family dwelling of approximately 600 square feet**. The following structures currently exist on the parcel: a two story single family dwelling with the first floor being approximately 1,392 square feet, the second story being approximately 3,468 square feet, a basement of approximately 1,668 square feet and an attached garage of approximately 800 square feet and a detached guesthouse of approximately 488 square feet. The proposed project will require approximately 16 cubic yards of cut and no fill. The property is a 4.42 acre parcel zoned RMZ-40 and shown as Assessor's Parcel Number 007-030-019, located at **843 Park Lane** in the Montecito area, First Supervisorial District. (Continued from 6/1/15)(Appearance by Brian Banks)

MBAR Comments:

1. Nice project.

ACTION: Watson moved, seconded by Sharpe and carried by a vote of 6-0 (Cung absent) to grant preliminary/final approval of 15BAR-00000-00083 as submitted.

CONCEPTUAL REVIEW

- | | | | |
|----|--|---|----------------------------|
| | Webb New Single Family Dwelling | | |
| 3. | 15BAR-00000-00240 | Guesthouse, Two Detached Garages, Pool Cabana & Pool | 860 San Ysidro Road |
| | 16LUP-00000-00009 | (Paul Dan, Planner 568-3573) | Ridgeline: N/A |

Request of Tom Ochsner, architect for the owner, Robert Webb, to consider Case No. 15BAR-00000-00240 for **further conceptual review of a new two story single family dwelling, with the first floor being approximately 4,385 square feet, the second floor being approximately 2,640 square feet, a basement of approximately 1,390 square feet, a detached three care garage of approximately 800 square feet, a detached two car garage of approximately 595 square feet, a guesthouse of approximately 800 square feet, a detached cabana of approximately 600 square feet.**

C-3. 15BAR-00000-00239 Montecito Village Bathroom Addition 1482 East Valley Road
15LUP-00000-00488 (Paul Dan Planner 568-3573) Ridgeline: N/A

Request of, Jeff Gorrell, architect for the owners, Norm Borgatello, Valley Improvement , to consider Case No. 15BAR-00000-00239 for **preliminary/final approval on consent for construction of a 179 square foot public restroom facility attached to an existing building.** The following structures currently exist on the parcel: 9 existing commercial buildings totaling 73,46 square feet. The proposed project will not require grading. The property is a 4.64 acre parcel zoned CN and shown as Assessor's Parcel Number 011-200-081 & 011-200-021, located at **1482 East Valley Road** in the Montecito area, First Supervisorial District. (Continued from 1/11/16)

ACTION: Watson moved, seconded by Sharpe and carried by a vote of 6-0 (Eichelberger absent) to drop 15BAR-00000-00239 at the request of MBAR. Please see Agenda Status Update

STANDARD AGENDA:

1. Limited Montecito Architectural Guidelines Update
(Julie Harris, Planner 568-3543)

The primary purpose of the Limited Montecito Architectural Guidelines Update is to provide a focused update of the following five topics that affect community character: (1) Height Definition, (2) Height Measurement Methodology, (3) Hillside Height Limits for Buildings and Retaining Walls, (4) Basement Definition, (5) Floor Area Definition. The project will also propose amendments to the Montecito Land Use and Development Code and Article II-Coastal Zoning Ordinance as necessary to provide consistency between the ordinances and the architectural guidelines. (Continued from 5/4/15, 6/1/15, 12/14/15, 1/25/16)

Long Range Planning Staff:

Allen Bell
Julie Harris

Public Comment:

1. Cori Hayman
2. Tom Bollay
3. Victoria Greene

MBAR Comments:

1. **Four MBAR members support Option #3 identified by staff for the treatment of basements in FAR calculations (first 800 s.f. + 50% of remainder) due to its simplicity.**
2. **Option #3 would make it easier to compare projects in terms of neighborhood compatibility.**
3. **Two MBAR members support Option #1 identified by staff (proportion of the area of exposed walls) because it is more closely tied to mass, bulk, and scale, with one member in favor of adding greater weight to the front wall.**
4. **One member believes that daylighted basements should be considered a story.**
5. **Support further study on whether attached RSUs can count towards FARs, with at least two members supporting their inclusion in FAR calculations because they contribute to mass, bulk, and scale.**
6. **Support further study of options for addressing detached accessory structures.**