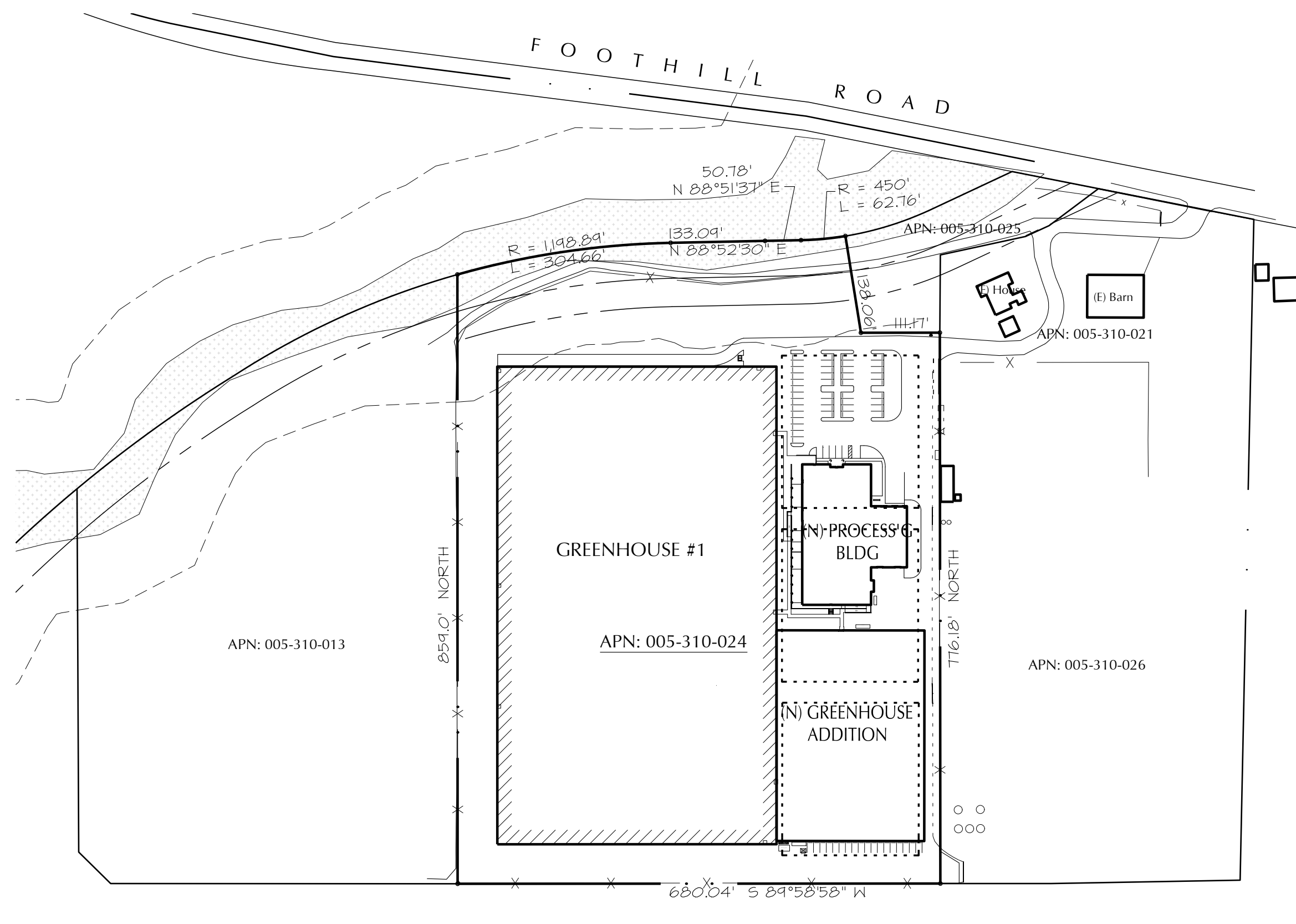


SITE ELEVATION - NORTH

1"=75'



PLOT PLAN

1"=150'

SLO CULTIVATION

ABBREVIATIONS

@	AT	FIN	FINISH	PLAM	PLASTIC LAMINATE
d	PENNY	FL	FLOW LEVEL	PLAS	PLASTER
0z	POUND	FLG	FLASHING	PLYWD	PLYWOOD
AB	ANCHOR BOLT	FLR	FLOOR	PNT	PAINT
AC	ASPHALTIC	FN	FIELD NAILING	PR	PAIR
	CONCRETE	FOC	FACE OF CONCRETE	PTDF	PRESSURE TREATED
A/C	AIR CONDITIONING				
ALUM	ALUMINUM	FOF	FACE OF FINISH	RD	DOUGLAS FIR
ANOD	ANODIZED	FOM	FACE OF MASONRY	RO	ROUGH OPENING
BD	BOARD	FOP	FACE OF PLYWOOD	RH	ROUND HEAD
BLDG	BUILDING	FOS	FACE OF STUD	RM	ROOM
BLK'G	BLOCKING	FT	FACE OF STUD	RO	ROUGH OPENING
BN	BOUNDARY	GA	GAUGE	RWD	REDWOOD
	NAILING	GALV	GALVANIZED	S	SCHEDULE (D)
BOT	BOTTOM	GYP	GYPSPUM	S	SOUTH
CB	CATCH BASIN	HB	HOSE BIBB	SF	SQUARE FEET
CI	CAST IRON	HP	HORSE POWER	SHTG	SHEATHING
CJ	CEILING JOIST	HR	HOUR	SIM	SIMILAR
CLG	CEILING	HTR	HEATER	SPEC	SPECIFICATION
CLR	CLEAR	HVAC	HEATING/VENTILATION/AIR CONDITIONING	SQ	SQUARE
CMU	CONCRETE MASONRY UNIT			SSTL	STAINLESS STEEL
	CLEAN OUT			STD	STANDARD
CO	COLUMN	HWIR	HOT WATER RETURN	STL	STEEL
CONT	CONTINUOUS			TC	TOP OF CURB OR TOP OF CONCRETE
CSK	COUNTERSINK	INV	INVERT	TCV	TOP OF CATCH BASIN
DF	DOUGLAS FIR	LAM	LAMINATE	T&G	TONQUE AND GROOVE
DIA	DIAMETER	LAG	LAG BOLT		
DN	DOWN	LT	LIGHT	TP	TOP OF PAVING
DS	DOWNSPOUT	MAS	MASONRY	TW	TOP OF WALL
DWG	DRAWING	MATL	MATERIAL	TYP	TYPICAL
E	EAST	MAX	MAXIMUM	UNO	UNLESS NOTED OTHERWISE
(E)	EXISTING	MB	MACHINE BOLT	VCT	VINYL COMPOSITION TILE
EJ	EXPANSION JOINT	MECH	MECHANICAL	VERT	VERTICAL
ELEV	ELEVATION	MEMB	MEMBRANE	VGDF	VERTICAL GRAIN
EN	EDGE NAIL	MET	METAL		
EQ	EQUAL	MFR	MANUFACTURER		
EQUIP	EQUIPMENT	MIN	MINIMUM		
FAU	FORCED AIR UNIT	MISC	MISCELLANEOUS		
FBO	FURNISHED BY OWNER OR OTHERS, TO BE INSTALLED BY CONTRACTOR	(N)	NEW		
FD	FLOOR DRAIN	NTS	NOT TO SCALE	W	WEST
FE(C)	FIRE EXTINGUISHER (& CABINET)	NO#	NOT IN CONTRACT NUMBER	WC	WATER CLOSET
		OC	ON CENTER	WH	WATERHEATER
		OH	OVAL HEAD OR OVER HEAD	WP	WATERPROOF
		OPNG	OPENING	WS	WOOD SCREW
FF	FINISH FLOOR	(P)	PROPOSED	WWF	WELDED WIRE FABRIC
FG	FINISHED GRADE	PL	PLATE OR PROPERTY LINE	W/	WITH
FH	FLAT HEAD			W/O	WITHOUT

GENERAL NOTES

- ALL CONSTRUCTION SHALL CONFORM TO ALL CURRENT BUILDING, ELECTRICAL, MECHANICAL AND PLUMBING CODES AND ALL OTHER STATE, COUNTY AND CITY ORDINANCES AND REGULATIONS.
- THE CONTRACTOR SHALL INVESTIGATE, VERIFY AND BE RESPONSIBLE FOR ALL CONDITIONS AND DIMENSIONS OF THE PROJECT AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES AND INCONSISTENCIES BETWEEN DRAWINGS, SPECIFICATIONS AND EXISTING CONDITIONS PRIOR TO SUBMITTING BID.
- CONTRACTOR SHALL NOTIFY THE ARCHITECT ABOUT ANY CONDITIONS REQUIRING A MODIFICATION OR CHANGE BEFORE PROCEEDING WITH THE WORK.
- REFER TO STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR OTHER GENERAL REQUIREMENTS AND COORDINATE WITH THE ARCHITECTURAL DRAWINGS.
- ALL CONSTRUCTION TO PROVIDE A WATERPROOF, WEATHER TIGHT BUILDING. CONTRACTOR SHALL FLASH AND CAULK AS NECESSARY TO ACHIEVE THIS REQUIREMENT.

APPROVAL NOTES:

AT THE TIME OF FINAL INSPECTION, A MANUAL, COMPACT DISK OR WEB BASED REFERENCE SHALL BE PLACED IN THE BUILDING AND SHALL INCLUDE ALL OF THE ITEMS LISTED IN CGBSC SECTION 4.410.1. CONTRACTOR OR OWNER SHALL SUBMIT AN AFFIDAVIT THAT CONFIRMS THE DELIVERY OF SUCH.

PROJECTS WITH A MODIFICATION OR WITHIN 12" OF SETBACKS AND/OR PROPERTY LINES MAY REQUIRE A SURVEY.

THE APPROVED COUNTY SORTING/RECYCLING FACILITY TO BE: MARBORG INDUSTRIES CONSTRUCTION AND DEMOLITION FACILITY, 119 N. QUARANTINA STREET, SANTA BARBARA, CA 93103

A PLUMBING FIXTURE CERTIFICATION MUST BE COMPLETED AND SIGNED BY EITHER A LICENSED GENERAL CONTRACTOR, A PLUMBING SUBCONTRACTOR OR THE BUILDING OWNER CERTIFYING THE FLOW RATE OF THE FIXTURES INSTALLED

SPECIAL INSPECTIONS

SEE SHEET S-1.0 FOR LIST OF SPECIAL INSPECTIONS REQUIRED

PROFESSIONALS

ARCHITECT: BBP ARCHITECTURE
924 Anacapa Street, Ste 2-U
Santa Barbara, CA 93101
805-564-6074
tracy@bbp-arch.com

PLANNING/PROCESSING: SCS ENGINEERS
2370 Skyway Drive, Ste 101
Santa Maria, CA 93455
805-346-6591
NEady@scsengineers.com

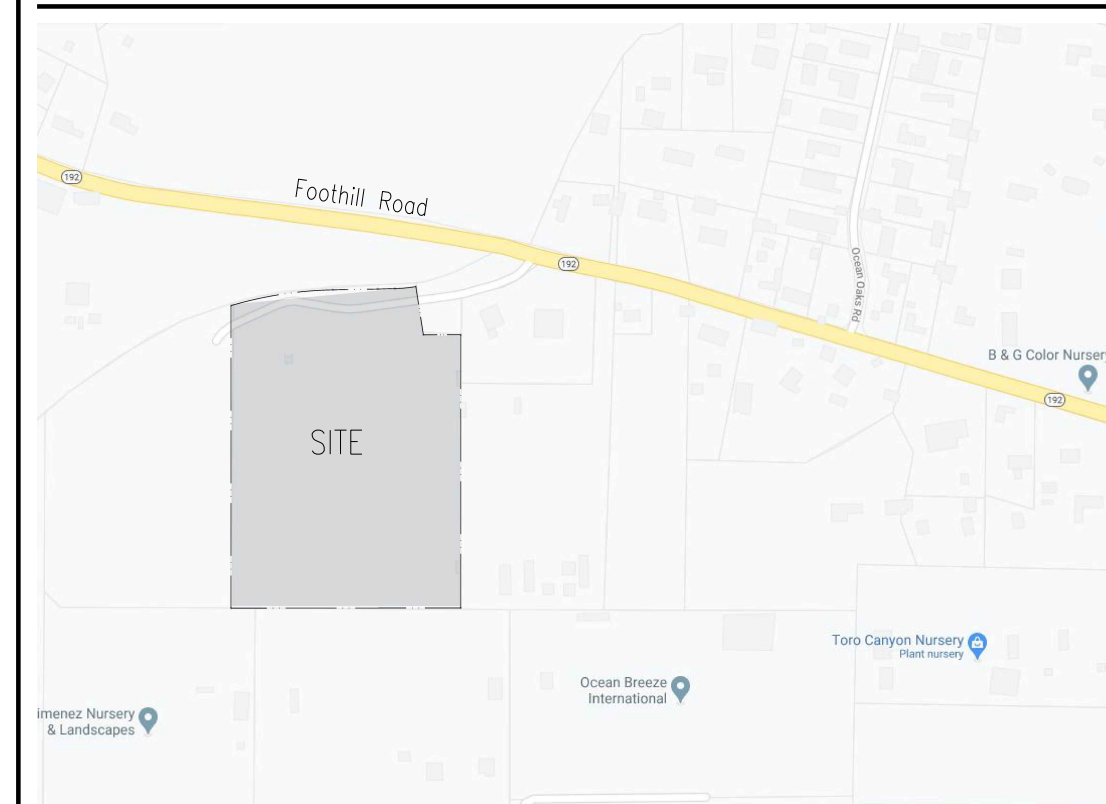
CIVIL ENGINEER: DPSI
705 Fiero Lane, Ste 10
San Luis Obispo, CA
805-250-2891
alopez@dpsinc.com

LANDSCAPE ARCHITECT: PLEINAIRE DESIGN GROUP
3203 Lightning St., Ste 201
Santa Maria, CA 93455
805-349-9695

GOVERNING CODES

CALIFORNIA BUILDING CODE	2019 EDITION
CALIFORNIA ELECTRICAL CODE	2019 EDITION
CALIFORNIA PLUMBING CODE	2019 EDITION
CALIFORNIA MECHANICAL CODE	2019 EDITION
CALIFORNIA ENERGY CODE	2019 EDITION
CALIFORNIA GREEN BUILDING STANDARDS CODE	2019 EDITION
CALIFORNIA FIRE CODE	2019 EDITION

VICINITY MAP



PROJECT DATA

OWNER: SLO Cultivation, Inc. dba Cresco California
3861 Foothill Road
Carpinteria, CA 93013
(805) 346-6591

PROJECT ADDRESS: 3861 FOOTHILL RD
CARPINTERIA, CA

A.P.N.: 005-310-024

ZONE: AG-1-10

OCCUPANCY: U

CONSTRUCTION TYPE: V-B

SPRINKLERED: NO

SQUARE FOOTAGE:

LOT:	13.66 AC
EXISTING BUILDING FOOTAGE:	
GREENHOUSE #1	CROSS 264,500 SF
GREENHOUSE #2	40,700 SF
GREENHOUSE #3	40,700 SF
GREENHOUSE #4	40,700 SF
TOTAL BUILDING FOOTAGE:	386,600 SF
EXISTING LOT COVERAGE:	
BUILDING COVERAGE:	386,600 SF (65%)
HARDSCAPE/IMPERMEABLE:	18,178 SF (3%)
LANDSCAPING/UNDEVELOPED:	190,252 SF (32%)
TOTAL:	595,030 SF (100%)
PROPOSED BUILDING FOOTAGE:	
GREENHOUSE #1	264,500 SF
ADDITION TO GREENHOUSE #1:	61,840 SF
GREENHOUSE #1 NEW TOTAL:	326,340 SF
PROCESSING BUILDING:	
FIRST FLOOR:	22,633 SF
SECOND FLOOR:	2,118 SF
PROCESSING BUILDING TOTAL:	24,751 SF
TOTAL BUILDING FOOTAGE:	351,091 SF
PROPOSED LOT COVERAGE:	
BUILDING COVERAGE:	350,983 SF (59%)
HARDSCAPE/IMPERMEABLE:	30,916 SF (5%)
LANDSCAPING/UNDEVELOPED:	213,131 SF (36%)
TOTAL:	595,030 SF (100%)
GRADING PROPOSED:	
CUT:	6,030 CY
FILL:	3,950 CY
EXPORT:	2,080 CY
DISTURBED AREA:	215,160 SQ FT (4.93 AC)

PARKING:

Per Santa Barbara Coastal Development Code Section 35-113: 2 spaces per acre of cultivation use.

ACRES OF CULTIVATION:	7.5 AC
SPACES REQUIRED (7.5 x 2 = 15):	15 SPACES
PROCESSING BUILDING: (R&D: 1 per 500 SF: 24,751/500)	50 SPACES
TOTAL PARKING REQUIRED:	65 SPACES
TOTAL PARKING PROVIDED:	65 SPACES

SCOPE OF WORK

Remove (3) existing Japanese greenhouses. Permit existing greenhouse #1 (264,500 SF, 17'-7" height). Construct addition to greenhouse #1 (61,840 SF, 17'-7" height). Construct new cannabis processing building (24,751 SF, 26'-0" height). Provide (65) parking spaces on permeable surface. Add 26,215 SF landscape screening focused primarily to parking lot and to processing building. Remove unpermitted shipping containers. Construct expansion storm water basins. Install cannabis irrigation systems. Install greenhouse odor mitigation system. Install security fencing, lighting and cameras as required. Install fire department hammerhead turn-around.

SHEET INDEX

G-0	Cover Sheet
G-2.2	Photo Exhibit (Photo Rendering)
A-1	Site Plan
A-1.1	Security & Fencing Site Plan
A-1.2	Site Lighting Plan
A-1.3	Odor Control Plan
A-2	Processing Building Floor Plans
A-3	Processing Building Elevations
GH-1	Greenhouse 1 Existing Plans
GH-2	Greenhouse Addition Plans & Elevations
L-1.0	Landscape Fencing
L-1.1	Screening Plan Existing Photos
L-1.2	Tree Inventory Plan
L-1.3	Landscape Screening and Detention Basin Enlargement
L-1.4	Rendered Existing Landscaping
L-1.5	Rendered Proposed Landscaping
C-1	Preliminary Grading Plan

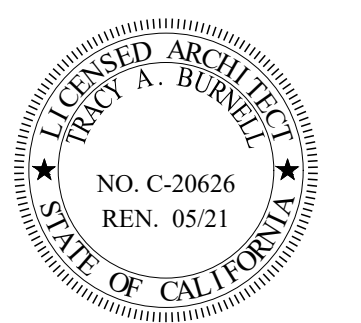
TOTAL - 15



ARCHITECTURE

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suite: 2-U
santa barbara, ca
93101
805.564.6074

SLO CULTIVATION
3861 Foothill Rd
Carpinteria, CA



sheet description
COVERSHEET

date:

8-7-2020
8-20-2020
8-28-2020
9-3-2020
9-9-2020
9-17-2020
12-9-2020
12-18-2020
12-29-2020
1-13-2021
2-3-2021
2-9-2021
2-10-2021
2-18-2021
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7-6-2021
9-15-2021
10-1-2021

sheet no:

G-0



PHOTO RENDERING FROM FOOTHILL (Exist'g Condition)

Only existing landscaping shown. Proposed Processing Building upper roof partially seen from Foothill Road.



PHOTO RENDERING FROM FOOTHILL (+ Project Landscaping)

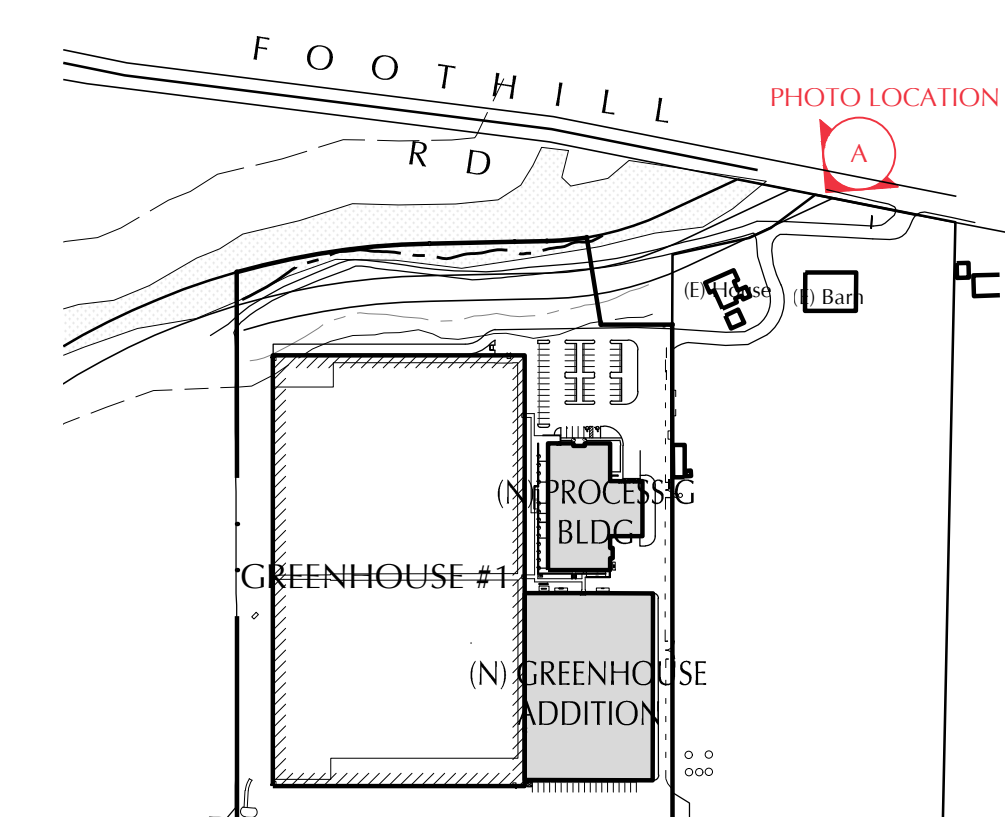
With proposed project landscaping, no aspect of the project can be seen from Foothill Road.



PHOTO RENDERING FROM FOOTHILL (+ Project Landscaping and Caltrans Landscaping)

By further adding landscaping proposed by Caltrans, existing fence also becomes screened.

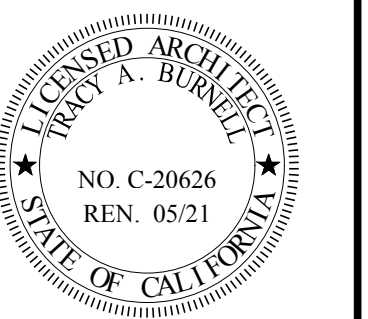
PHOTO POSITION



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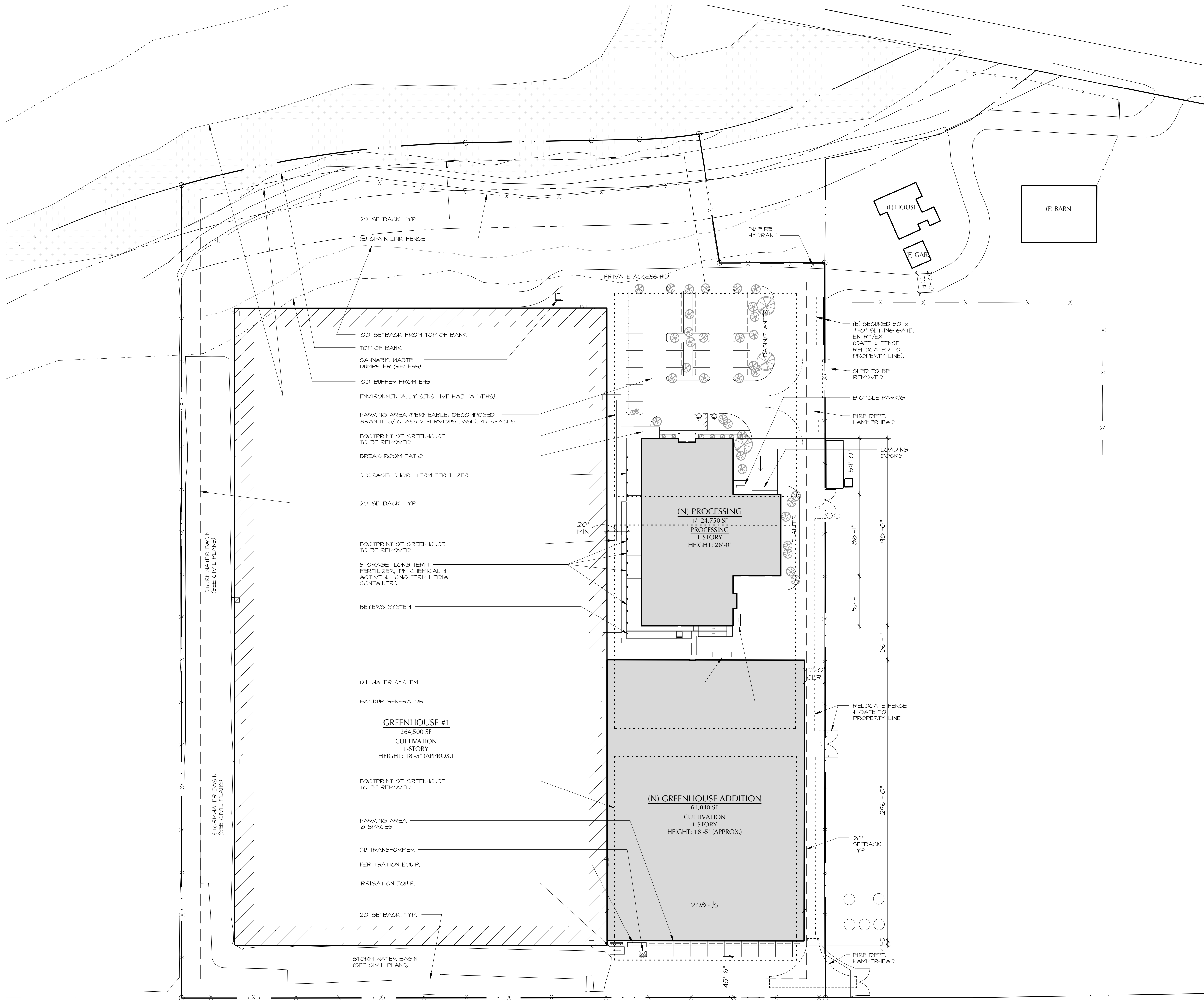
SLO CULTIVATION
3861 Foothill Rd
Carpinteria, CA



sheet description
PHOTO EXHIBIT
LANDSCAPING

- date:
- 8-7-2020
 - 8-20-2020
 - 8-28-2020
 - 9-3-2020
 - 9-9-2020
 - 9-17-2020
 - 12-9-2020
 - 12-18-2020
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 - 2-3-2021
 - 2-9-2021
 - 2-10-2021
 - 2-18-2021
 - 4-27-2021
 - 6-1-2021
 - 7-6-2021
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sheet no:
G-2.2



SITE PLAN

1"=50'



SITE PLAN GENERAL NOTES:

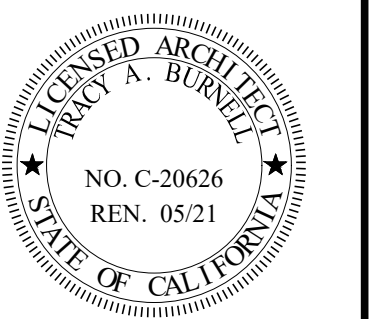
1. This plan is for architectural reference. See civil plans for specific grading and drainage information.
2. Positive drainage shall be provided away from the structure at a minimum slope of 5% for 10 feet.
3. Contractor shall verify location of all underground utilities prior to excavation.
4. Rain gutters and downspouts shall collect and discharge roof rain water run-off through an approved storm drain system. See civil plans for additional information.
5. Verify depth & separation of utilities within trenches w/ governing jurisdiction and comply w/ all applicable codes. Architect to be notified of any conflicts.



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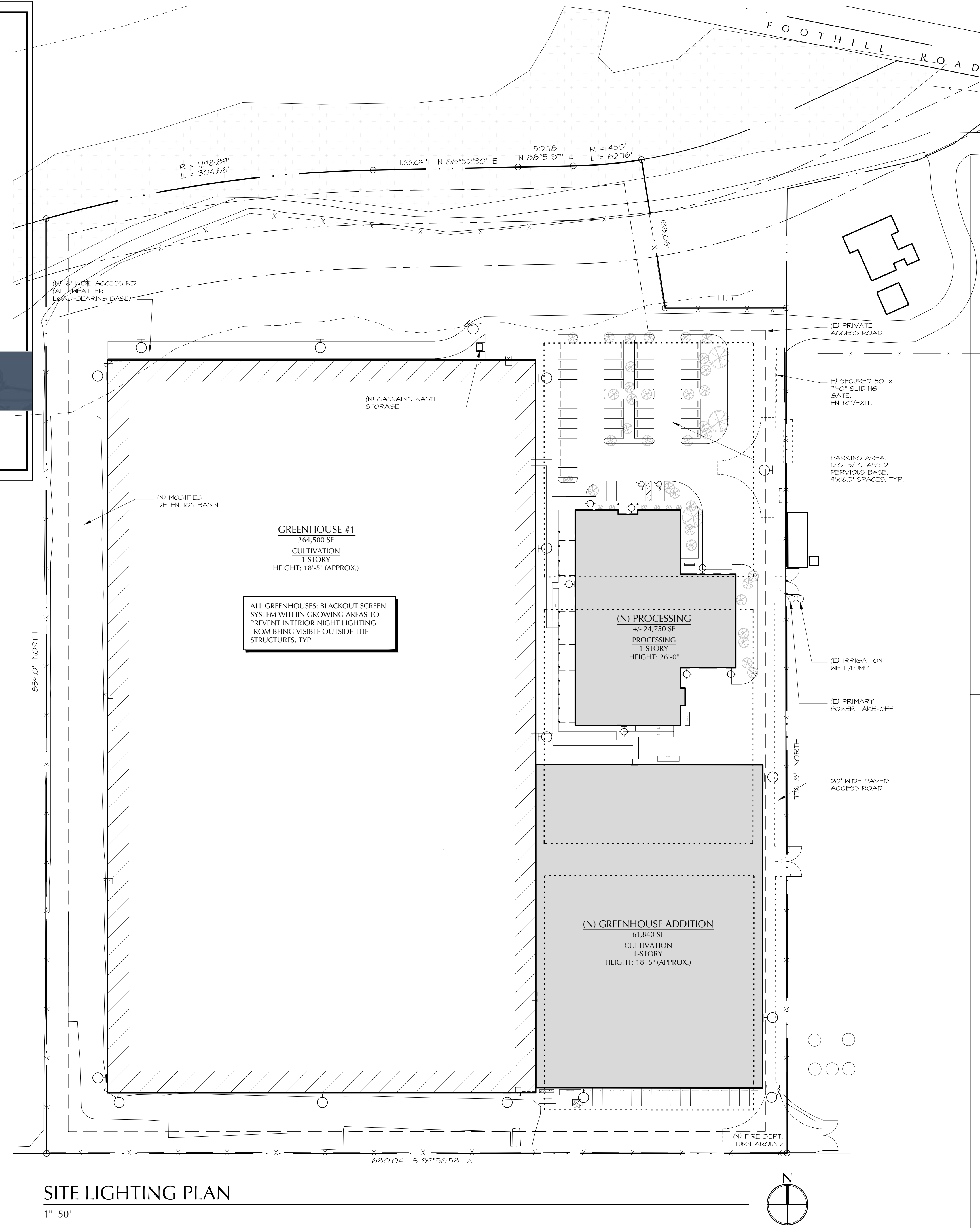
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SITE PLAN

- date:**
- 8-7-2020
 - 8-20-2020
 - 8-28-2020
 - 9-3-2020
 - 9-9-2020
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 - 9-15-2021
 - 10-1-2021

sheet no:
A-1



THE ORIGINAL™ LED WALL SCONCE



SITE LIGHTING PLAN

1"=50'

LIGHTING SYMBOLS:

-
-
-

CIMARRON LED CL1S	Cat.#	Job	Type	HUBBELL Outdoor Lighting
				Approvals

SPECIFICATIONS

Construction:

- Stylish vertically flared die-cast solid top housing for maximum heat dissipation. Stops collection of unsightly debris.
- Rugged lower die-cast aluminum heat sink optimizes thermal management and optical performance.
- One piece die-cut silicone gasket with mechanically compressed stainless steel bezel ensures weather proof seal around each individual LED for IP65 rating.
- Backlight Control (BC) option available for 82% spill light reduction, does not change future appearance or EPA, recommended for Type II and Type IV distributions.
- Weight - 19 pounds, EPA - 45 Ft

Optics:

- Choice of 126 high brightness LED configurations with individual acrylic lenses specially designed for IES Type II, III, IV and V distributions.

Electrical:

- 300K, 70 CR, 400K, 70 CR, 500K, 70 CR, 700mA drive current standard, 350mA and 525mA options available with 32L and 48L LED models.
- LED drivers have output power over-voltage, over-current protection and short circuit protection with auto recovery.
- Surge protection - 20KA. Turns future off at end of life; includes LED for end of life indication (see surge suppressor page 3).
- Optional 0-10VDC continuous dimming to 10%.
- Automatic thermal self-protection.
- LED electrical assembly, including PFC devices, consumes no power in the "off" state.

Control:

- Drivers are 0-10V dimming standard. Photocell and occupancy sensors available for complete on/off and dimming control.

Installation:

- Quick-mount plate included for easy installation.
- The decorative integral arm houses two stage hinge mechanism.
- Safety latch holds luminaire door to prevent "free swing".
- Quick-connect wiring for simplified, hassle-free installation.
- Suitable for applications requiring 3G testing prescribed by ANSI @136.31

Finish:

- TGC thermoset polyester powder paint finish applied at nominal 2.5 mil thickness.

Warranty:

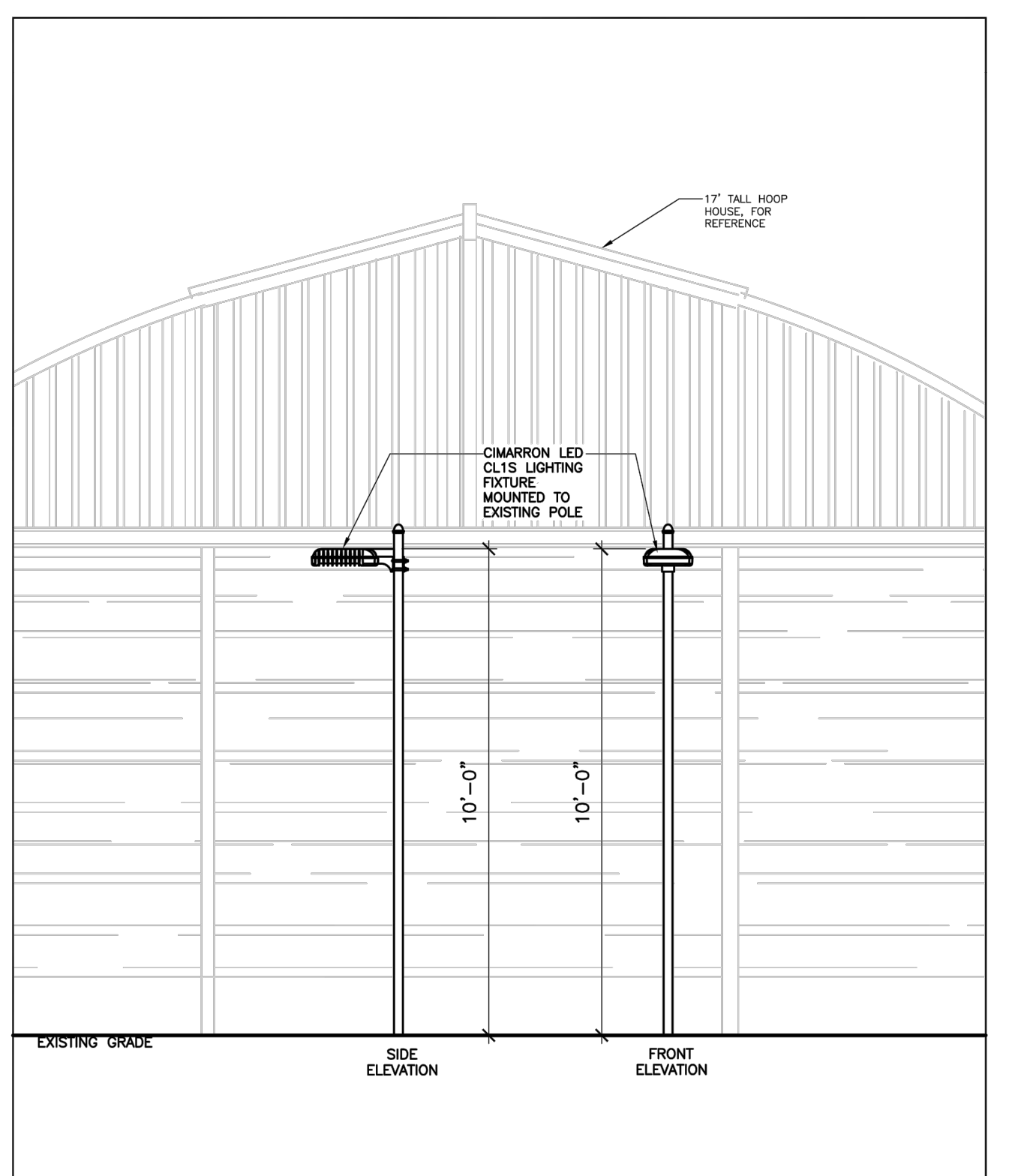
- Five year limited warranty, for more information visit: <http://www.hubbelloutdoor.com/resources/warranty/>
- 700mA models meet DesignLights Consortium (DLC) qualifications, consult DLC website for more details: <http://www.designlights.org/DLC>.
- DA approved.
- IP66.

Product Images:

Dimensions:

CERTIFICATIONS/LISTINGS:

Hubbell Outdoor Lighting • 701 Millennium Boulevard • Greenville, SC 29607 • Phone: 864-678-1000
Due to our continued efforts to improve our products, product specifications are subject to change without notice.
© 2018 HUBBELL OUTDOOR LIGHTING, All Rights Reserved • For more information visit our website: www.hubbelloutdoor.com • Printed in USA. CL1S-SPEC August 08, 2018 4:58 PM



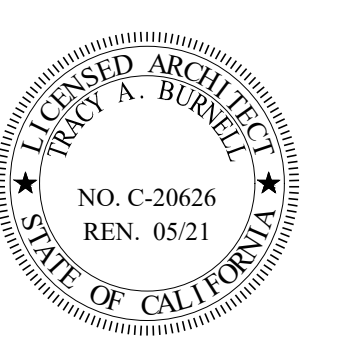
SCS ENGINEERS 2370 SKYWAY DR. STE 101 SANTA MARIA, CA 93455 FEBRUARY 2021	SLO CULTIVATION 3861 FOOTHILL RD. CARPINTERIA, CA 93103	LIGHTING ELEVATION
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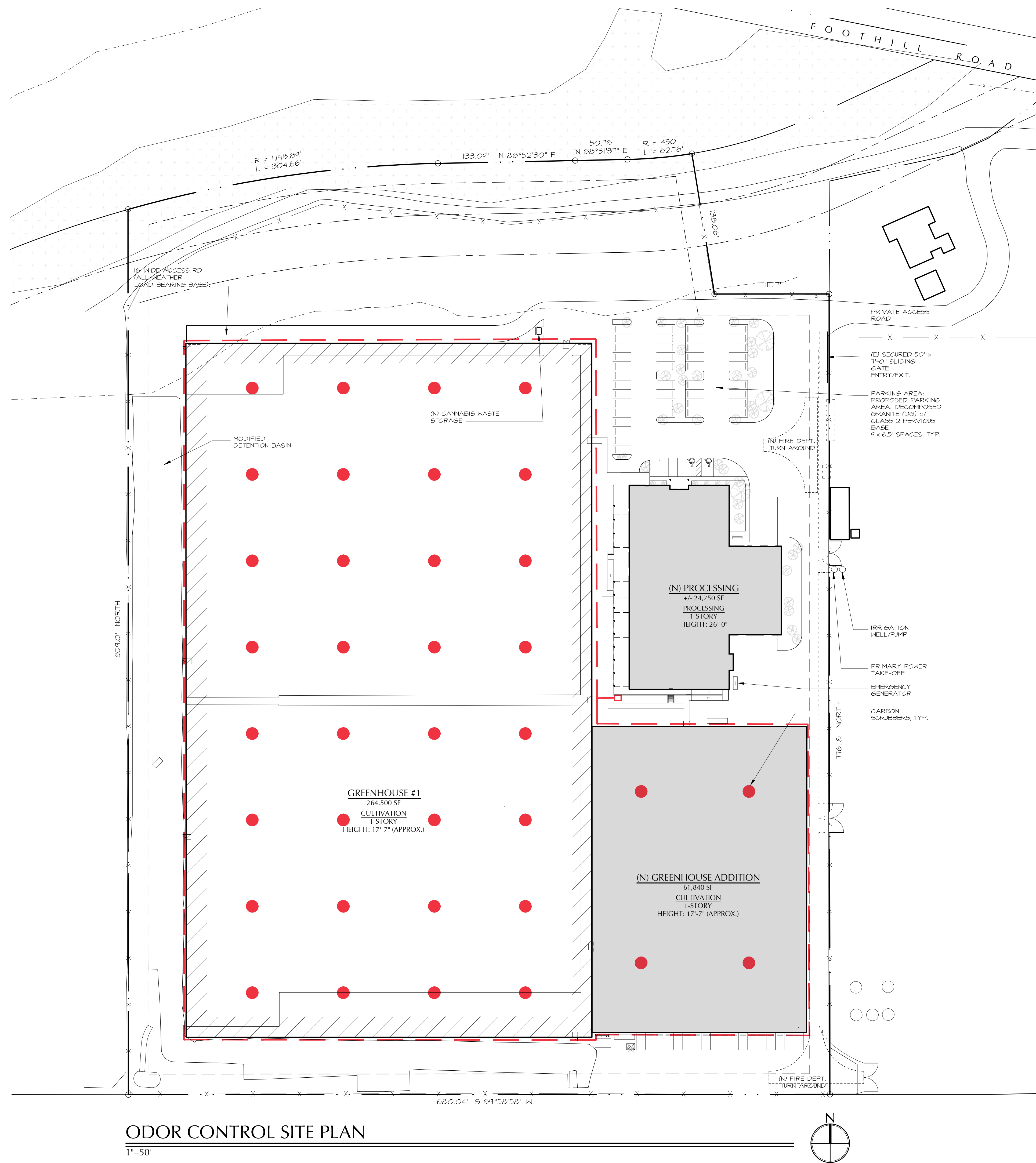
SLO CULTIVATION
3861 Foothill Rd
Carpinteria, CA



sheet description
SITE LIGHTING PLAN

- date:**
- 8-7-2020
 - 8-20-2020
 - 8-28-2020
 - 9-3-2020
 - 9-9-2020
 - 9-17-2020
 - 12-9-2020
 - 12-18-2020
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sheet no:
A-1.2



ODOR CONTROL SITE PLAN

1"=50'



ODOR CONTROL NOTES:

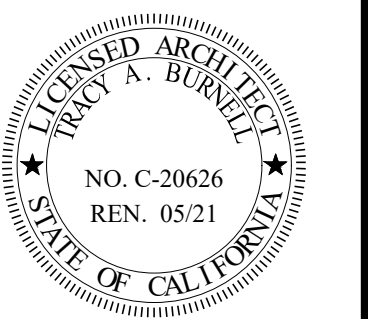
1. Odor Abatement: Dry Vapor Odor Control System (by Byers, U.N.O.) on Concrete Pad. See Odor Abatement Plan by SCS Engineers for Additional Information.
2. Locate Neutralizing Agent and Blower per MFR.
3. Distribution Pipe to be PVC, U.N.O.



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sheet description
ODOR CONTROL PLAN

date:

- 8-7-2020
- 8-20-2020
- 8-28-2020
- 9-3-2020
- 9-9-2020
- 9-17-2020
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sheet no:

A-1.3



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sheet description
PROCESSING BLDG
FLOOR PLANS

date:
8-7-2020
8-20-2020
8-28-2020
9-3-2020
9-9-2020
9-17-2020
12-9-2020
12-18-2020
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2-9-2021
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2-18-2021
4-27-2021
6-1-2021
7-6-2021
9-15-2021
10-1-2021

sheet no:
A-2

Preliminary: NOT FOR CONSTRUCTION



Processing Bldg North Elevation
3/32"=1'-0"



Processing Bldg East Elevation
3/32"=1'-0"



Processing Bldg South Elevation
3/32"=1'-0"



Processing Bldg West Elevation
3/32"=1'-0"

MATERIAL SCHEDULE:

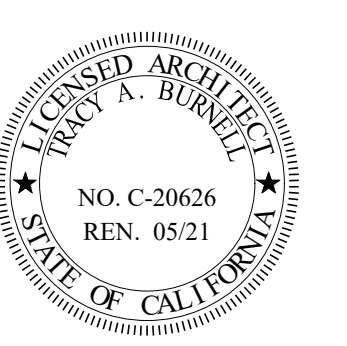
- Roof: Aluminum, Corrugated; AEP Span; Color: Cool Zinc Gray
- Walls: Aluminum, Batten Siding; AEP Span; Flex Siding, Color: Cool Parchement
- Doors: Aluminum Clad, Dark Bronze
- Windows: Aluminum Clad, Dark Bronze



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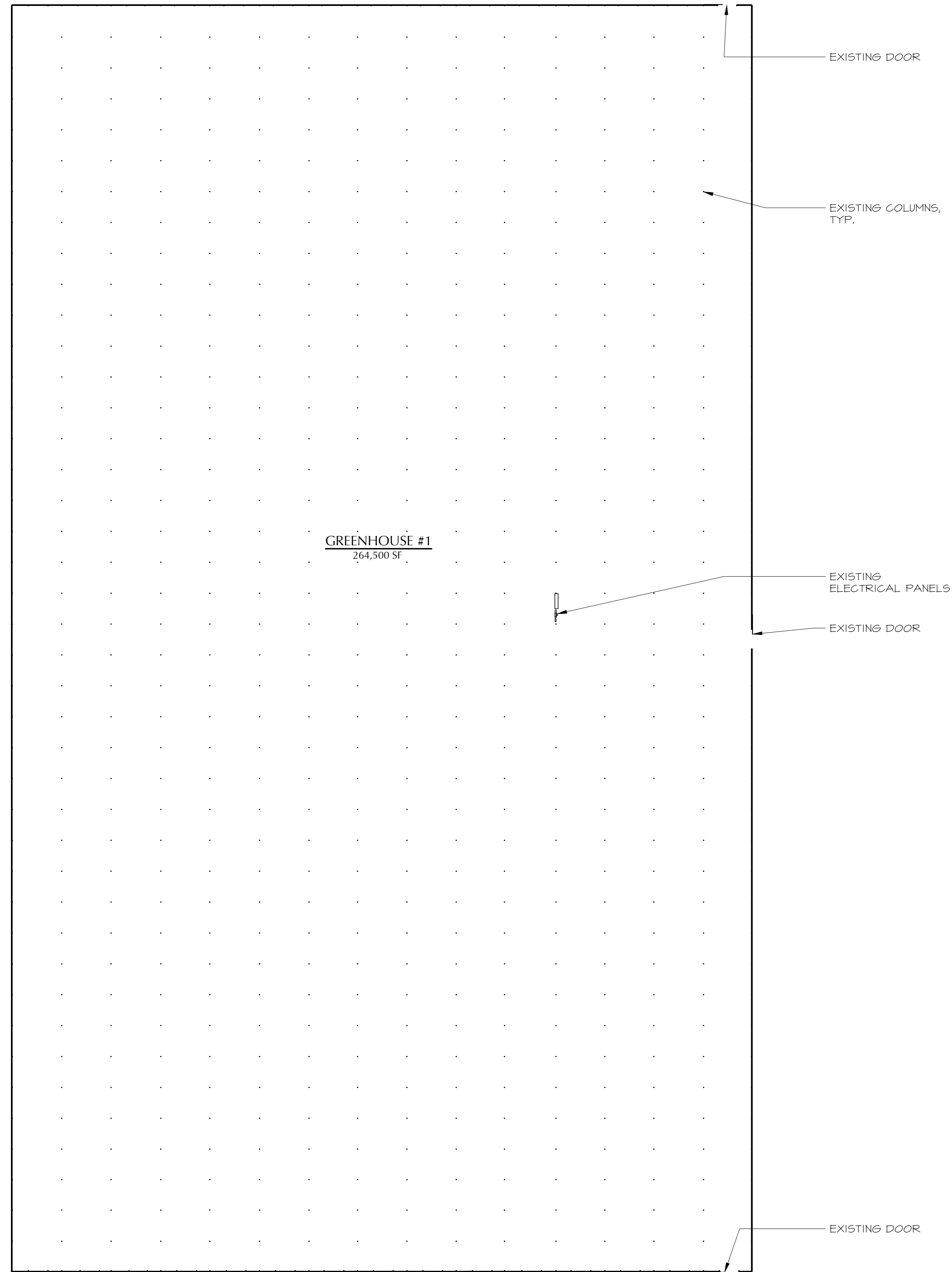


sheet description
PROCESSING
BLDG ELEVATIONS

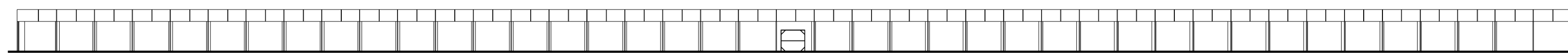
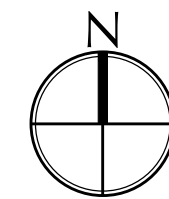
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 - 4-27-2021
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 - 7-6-2021
 - 9-15-2021
 - 10-1-2021

sheet no:
A-3

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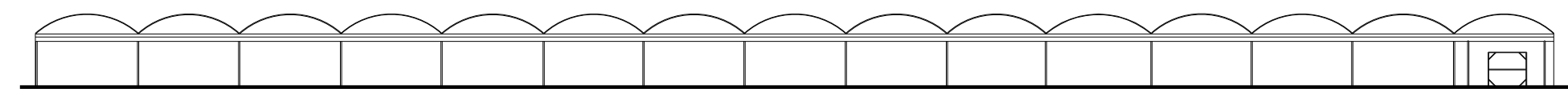


GREENHOUSE 1 EXISTING FLOOR PLAN
1"=40'



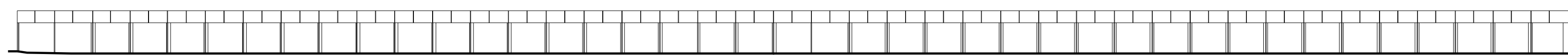
EXISTING EAST ELEVATION

1"=40'



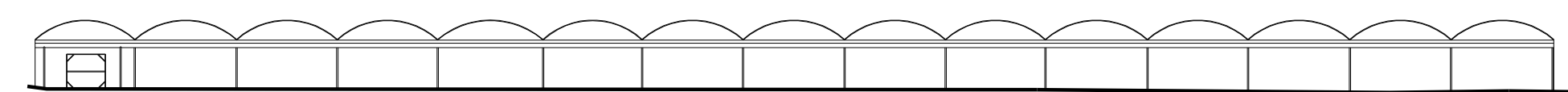
EXISTING SOUTH ELEVATION

1"=40'



EXISTING WEST ELEVATION

1"=40'



EXISTING NORTH ELEVATION

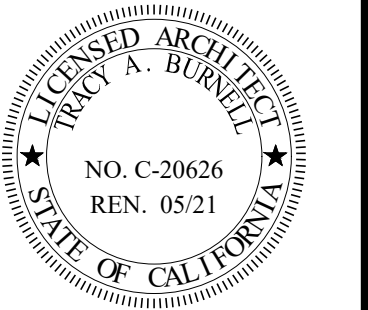
1"=40'



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3861 Foothill Rd
Carpinteria, CA



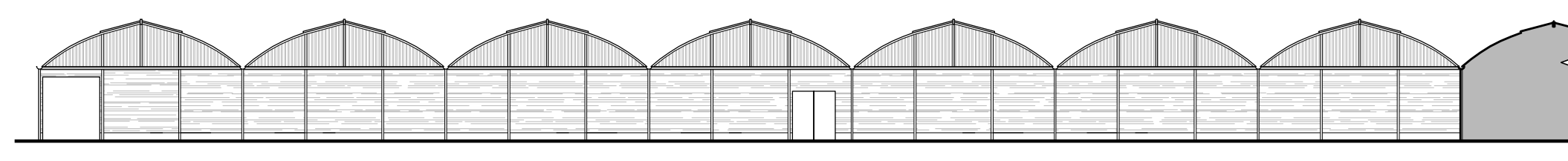
sheet description
GREENHOUSE 1
EXIST'G FLR PLAN

date:

- 8-7-2020
- 8-20-2020
- 8-28-2020
- 9-3-2020
- 9-9-2020
- 9-17-2020
- 12-9-2020
- 12-18-2020
- 12-29-2020
- 1-13-2021
- 2-3-2021
- 2-9-2021
- 2-10-2021
- 2-18-2021
- 4-27-2021
- 6-1-2021
- 7-6-2021
- 9-15-2021
- 10-1-2021

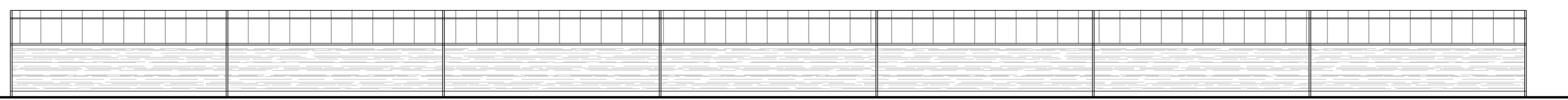
sheet no:

GH-1



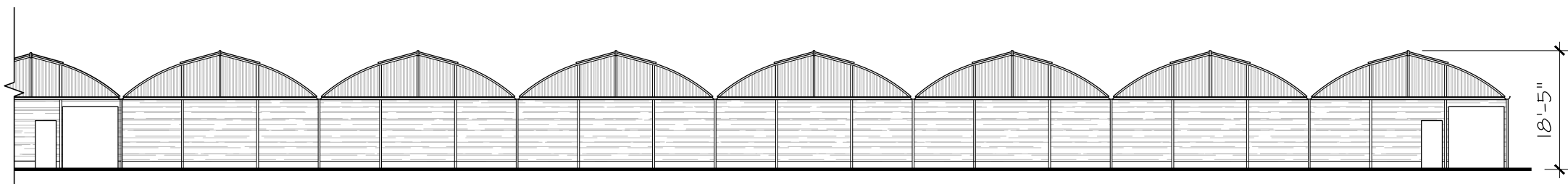
NORTH ELEVATION

1"=20'



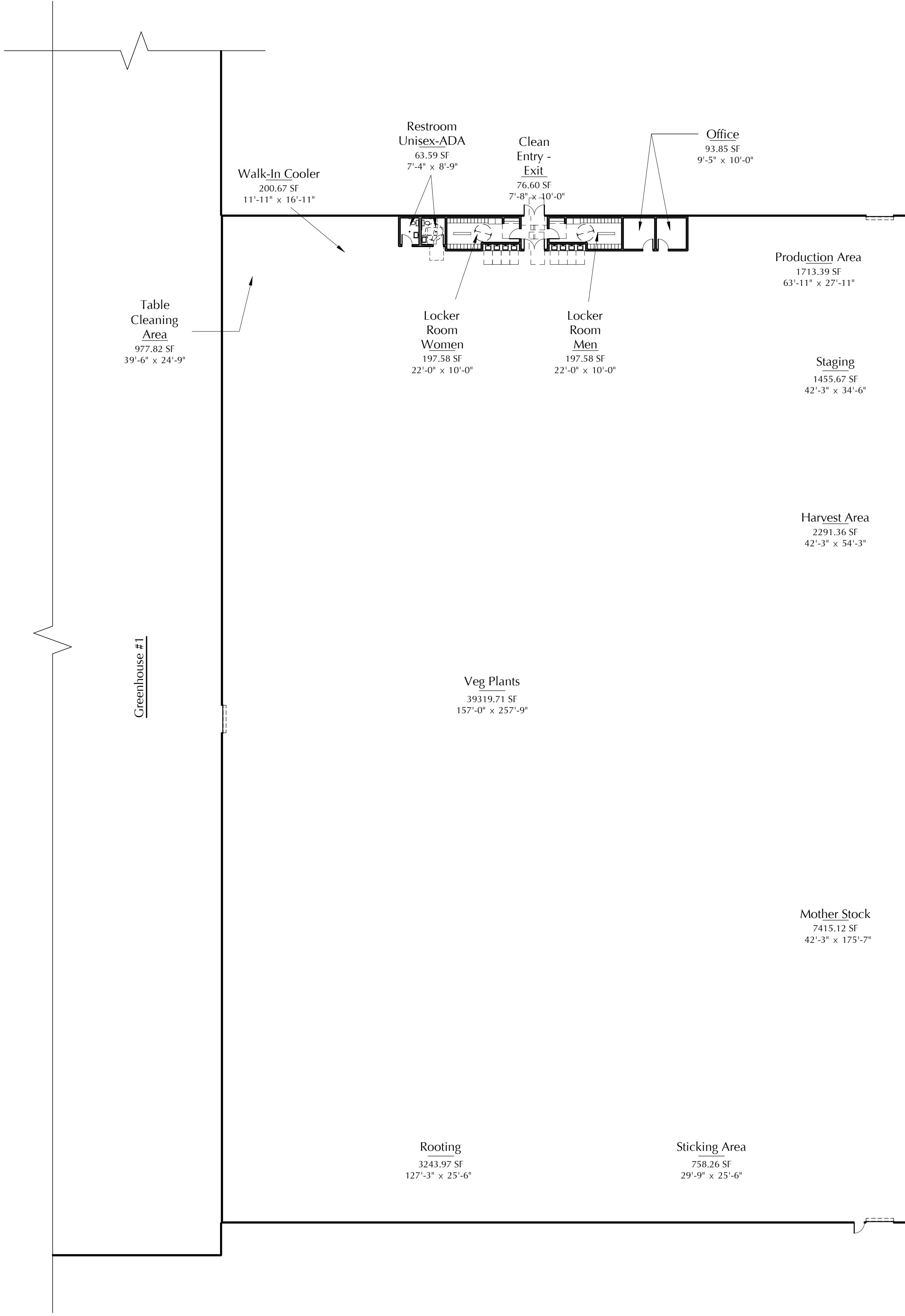
EAST ELEVATION (WEST ELEV = GREENHOUSE #1)

1"=20'



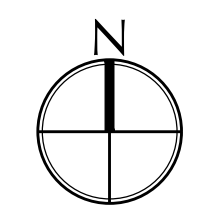
SOUTH ELEVATION

1"=20'



FLOOR PLAN

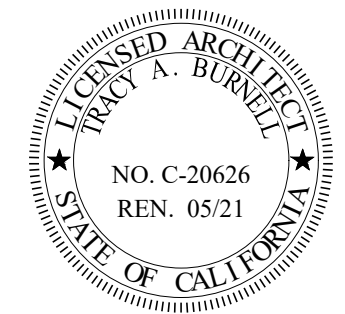
1"=20'



ARCHITECTURE

924 anacapa st
suite: 2-U
santa barbara, ca
93101
805.564.6074

SLO CULTIVATION
3861 Foothill Rd
Carpinteria, CA



sheet description
GREENHOUSE ADDITION

date:

- 8-7-2020
- 8-20-2020
- 8-28-2020
- 9-3-2020
- 9-9-2020
- 9-17-2020
- 12-9-2020
- 12-18-2020
- 12-29-2020
- 1-13-2021
- 2-3-2021
- 2-9-2021
- 2-10-2021
- 2-18-2021
- 4-27-2021
- 6-1-2021
- 7-6-2021
- 9-15-2021
- 10-1-2021

sheet no:

GH-2

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GRADING AND DRAINAGE PLANS

FOR

SLO CULTIVATION - 3861 FOOTHILL RD

CARPINTERIA, CALIFORNIA

COUNTY OF SANTA BARBARA



COUNTY GENERAL NOTES

- OWNER AND OR OWNER'S CONTRACTOR SHALL PROTECT PUBLIC INFRASTRUCTURE FROM DAMAGE DURING THE COURSE OF CONSTRUCTION. NOTE: THE EXISTING STREET SECTIONS MAY BE SUBSTANDARD, AND THE CONTRACTOR SHALL PROTECT THE PUBLIC INFRASTRUCTURE FROM DAMAGE BY HEAVY LOADING/ EQUIPMENT DURING THE COURSE OF CONSTRUCTION. THE CONTRACTOR SHALL REPAIR, AT OWNER'S EXPENSE, ANY/ ALL DAMAGE TO PUBLIC INFRASTRUCTURE INCURRED DURING AND/ OR DUE TO CONSTRUCTION, TO THE SATISFACTION OF THE CITY ENGINEER.
- WHERE DETERMINED NECESSARY BY THE COUNTY ENGINEER, DAMAGED PORTIONS OF THE EXISTING CURB, GUTTER, AND SIDEWALK ALONG THE PROPERTY FRONTAGE SHALL BE REPLACED TO THE SATISFACTION OF THE CITY ENGINEER BEFORE FINAL APPROVAL.
- ENCROACHMENT PERMIT(S) MUST BE OBTAINED BEFORE ANY/ ALL WORK IN PUBLIC RIGHT- OF-WAY.
- COUNTY STREETS ARE TO REMAIN OPEN TO THROUGH TRAFFIC AT ALL TIMES. NO TEMPORARY OR LONG TERM PARKING OR STORAGE OF CONSTRUCTION EQUIPMENT OR MATERIALS SHALL OCCUR WITHOUT PRIOR ISSUANCE OF AN ENCROACHMENT PERMIT.
- A TRAFFIC AND PEDESTRIAN CONTROL PLAN IS REQUIRED FOR ANY DETOURS OR REROUTING OF TRAFFIC. DURING CONSTRUCTION, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE FOR SAFE TRAFFIC CONTROL IN AND AROUND THE SITE. THIS MAY INCLUDE BUT SHALL NOT BE LIMITED TO SIGNS, FLASHING LIGHTS, BARRICADES AND FLAG PERSONS AS DIRECTED BY THE BUILDING OFFICIAL OR THE COUNTY ENGINEER.
- EXCAVATION WITHIN THE STREETS SHALL BE COVERED WITH TRAFFIC RATED STEEL PLATES OR BACKFILLED AND PAVED, TO THE SATISFACTION OF THE COUNTY ENGINEER, PRIOR TO THE END OF WORK EACH DAY.
- EROSION AND DRAINAGE CONTROL FEATURES SHALL BE INSTALLED TO PREVENT SEDIMENT FROM LEAVING THE SITE. EROSION CONTROL DEVICES SHALL BE INSTALLED AND IN PLACE FOLLOWING DAILY CONSTRUCTION ACTIVITIES. THE APPLICANT SHALL NOTIFY THE ENGINEERING DIVISION OF ANY CHANGES IN CONSTRUCTION WHICH WILL REQUIRE ADDITIONAL EROSION CONTROL MEASURES OR OTHER CHANGES TO THE EROSION CONTROL PLAN.
- WASTE MATERIALS SHALL NOT BE WASHED INTO THE STORM DRAIN SYSTEM. THIS INCLUDES BUT IS NOT LIMITED TO SOIL, PAINT, STUCCO, GROUT, COLOR COAT, CONCRETE DUST, SAW RESIDUES, GRINDINGS, OIL, ETC.
- DURING THE CONSTRUCTION PERIOD, THE PROJECT FRONTAGE(S) SHALL BE SWEEPED DAILY AND KEPT FREE OF DIRT, DUST AND DEBRIS. AT THE CONCLUSION OF CONSTRUCTION, PRIOR TO THE ISSUANCE OF AN OCCUPANCY PERMIT, THE FRONTAGE(S) SHALL BE INSPECTED BY THE CITY ENGINEER AND REPAIRS COMPLETED AS DIRECTED TO THE SATISFACTION OF THE COUNTY ENGINEER.

COUNTY GRADING NOTES

- LOT GRADING SHALL MEET THE MINIMUM REQUIREMENTS OF THE LATEST CBC EDITION.
- DRAINAGE SHALL BE CARRIED TO THE STREET OR OTHER IMPROVED DRAINAGE DEVICE VIA A NON-EROSIVE DRAINAGE DEVICE.
- NO GRADING OR DRAINAGE IMPROVEMENTS WHICH ALTER EXISTING DRAINAGE COURSES OR CONCENTRATE DRAINAGE TO ADJACENT PROPERTIES SHALL BE ALLOWED WITHOUT PRIOR APPROVAL FROM THE COUNTY ENGINEER.

COUNTY STANDARD EROSION CONTROL NOTES

- EROSION CONTROL MEASURES SHALL BE FULLY INSTALLED AT ALL TIMES.
- EROSION CONTROL MEASURES SHALL BE FULLY INSTALLED PRIOR TO GROUND DISTURBANCE. CITY STAFF SHALL BE NOTIFIED AND INSPECT PRIOR TO GROUND DISTURBANCE.
- ALL SITE ACCESS SHALL BE PROTECTED AGAINST EROSION AT ALL TIMES THAT WORK IS NOT BEING PERFORMED ON THE SITE, INCLUDING EVENINGS, WEEKENDS AND HOLIDAYS. SUCH PROTECTION MAY BE REMOVED TO PROVIDE ACCESS TO THE SITE DURING WORK HOURS IF AND WHEN IT IS NOT REQUIRED DUE TO WEATHER CONDITIONS.
- PROPERTY FRONTAGE SHALL BE SWEEPED CLEAN AT THE END OF EACH DAY.
- THE FIRST DOWNSTREAM STORM DRAIN INLET SHALL BE PROTECTED PER DETAIL.
- ALL STOCKPILES SHALL BE PROTECTED AGAINST WIND AND WATER EROSION, PER DETAIL, IMMEDIATELY UPON PLACEMENT.
- PERMANENT EROSION CONTROL MEASURES SHALL BE FULLY ESTABLISHED TO THE SATISFACTION OF THE CITY ENGINEER PRIOR TO FINAL.
- STRUCTURAL STORMWATER CONTROL MEASURES SHALL BE INSPECTED BY THE ENGINEER OF RECORD AND CITY STAFF AT THE TIME OF INSTALLATION.
- PROJECTS SUBJECT TO POST-CONSTRUCTION REQUIREMENTS SHALL HAVE STORMWATER CONTROL PLAN RECORDED WITH THE COUNTY OF SAN LUIS OBISPO PRIOR TO FINAL.
- IN THE EVENT OF OFF-SITE EROSION, THE PROPERTY OWNER AND/ OR HIS REPRESENTATIVE(S) SHALL BE RESPONSIBLE FOR CLEANUP AND ALL ASSOCIATED COSTS OR DAMAGES.
- EROSION CONTROL PLANS REPRESENT THE MINIMUM ACCEPTABLE PROTECTION. FURTHER MEASURES WILL BE REQUIRED, TO THE SATISFACTION OF THE COUNTY ENGINEER IN THE EVENT OF INADEQUACY OR FAILURE.

SITE PLAN MAP

N.T.S.

Sheet List Table

SHEET NUMBER	REV	DRAWING TITLE
C1	A	TITLE SHEET
C2	A	GRADING - KEY MAP
C3	A	GRADING-PROCESSING BUILDING
C4	A	GRADING-GREENHOUSE ADDITION
C5	A	GRADING-BASINS
C6	A	CROSS SECTIONS A-B
C7	A	UTILITY PLAN
C8	A	EROSION CONTROL PLAN
C9	A	EROSION CONTROL DETAILS
C10	A	DETAILS SHEET

EARTHWORK QUANTITIES

PARKING LOT AND BUILDING GRADING:	BASIN GRADING:
• 1,390 CUT CUBIC YARDS	• 4,640 CUT CUBIC YARDS
• 3,605 FILL CUBIC YARDS	• 345 FILL CUBIC YARDS
• 2,215 IMPORT CUBIC YARDS	• 4,295 EXPORT CUBIC YARDS
• 174,580 SQ. FT. DISTURBED AREA (4.0 AC)	• 40,485 SQ. FT. DISTURBED AREA (0.93 AC)

NOTE:
EARTHWORK NUMBERS DO NOT INCLUDE SHRINKAGE

DECLARATION OF RESPONSIBLE CHARGE

I HEREBY DECLARE THAT I AM THE ENGINEER OF RECORD FOR THIS PROJECT AND THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE PROJECT AS DEFINED IN SECTION 6703 OF THE BUSINESS AND PROFESSIONS CODE. THESE PLANS AND SPECIFICATIONS, TO THE BEST OF MY KNOWLEDGE, COMPLY WITH CURRENT STANDARDS.

ANY ERRORS, OMISSIONS, OR OTHER VIOLATIONS OF THOSE ORDINANCES, STANDARDS OR DESIGN CRITERIA ENCOUNTERED DURING CONSTRUCTION SHALL BE CORRECTED AND SUCH CORRECTIONS REFLECTED ON CORRECTED PLANS.

DAVID W. CHANLEY R.C.E. 70849

PROJECT CONTACTS:

OWNER:
CRESCO LABS
400W. ERIE STREET SUITE 110
CHICAGO, IL 60654

PLANNER:
SCS ENGINEERS
NATHAN EADY
2370 SKYWAY DRIVE, SUITE 101
SANTA MARIA, CA 93455

CIVIL:
DIVERSIFIED PROJECT SERVICES INTERNATIONAL
705 FIERO LANE, SUITE 10
SAN LUIS OBISPO, CA 93401
PH: (805)250-2891
CONTACT: ALBERTO LOPEZ
ALOPZ@DPSIINC.COM

ARCHITECT:
BBP ARCHITECTURE
TRACY BURNELL
924 ANACAPA STREET, SUITE-2-U
SANTA BARBARA, CA 93101
PH: (805) 564-6074

SOILS ENGINEER:
GEOCON WEST, INC.
REX PANOFY
3303 NORTH SAN FERNANDO BOULEVARD SUITE 100
BURBANK, CA 91504

SITE INFORMATION

LOCATION: 3861 FOOTHILL RD, CARPINTERIA, CA 93110
APN: 005-310-024
SITE AREA: 13.66 ACRES

BENCHMARK

ELEVATIONS SHOWN HEREON ARE NAVD88 AND CONTROL WAS PREVIOUSLY ESTABLISHED BY STANTEC.

BASIS OF BEARINGS

THE "BASIS OF BEARING" IS GRID NORTH STATE PLANE COORDINATES FOR ZONE 5 AND OBSERVED LOCALLY BY GPS OBSERVATION.

UNDERGROUND UTILITY STATEMENT

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES OR STRUCTURES SHOWN ON THESE PLANS ARE OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THIS MAP.

THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN AND ANY OTHER LINES NOT OF RECORD OR NOT SHOWN ON THIS DRAWING.

ENGINEER SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ANY SUCH INFORMATION OR DATA.

UNDERGROUND SERVICE ALERT SHALL BE CONTACTED TWO WORKING DAYS PRIOR TO CONSTRUCTION BY CALLING (800) 642-2444.

SCOPE OF WORK

GRADING AND DRAINAGE PLAN FOR IMPROVEMENT PLAN OF EXISTING FACILITY INCLUDING DRIVEWAY, DRIVE AISLES, PARKING STALLS, SWALES, DRAINAGE BASINS AND TRASH ENCLOSURES.

LEGEND

— — — — — 100 — — — — —	EXISTING CONTOURS - MAJOR
— — — — —	EXISTING CONTOURS - MINOR
- - - - -	EXISTING GRADE BREAK
o — — — — —	EXISTING CHAINLINK FENCE
x — — — — —	EXISTING BARB WIRE FENCE
— — — — — 100 — — — — —	CONTOURS - MAJOR
— — — — —	CONTOURS - MINOR
— — — — —	GRADE BREAK
— — — — —	LIMITS OF GRADING
D — — — — —	STORM DRAIN (SIZE AS NOTED)
→ — — — — —	FLOW LINE
x — — — — —	EXISTING CHAIN LINK FENCE

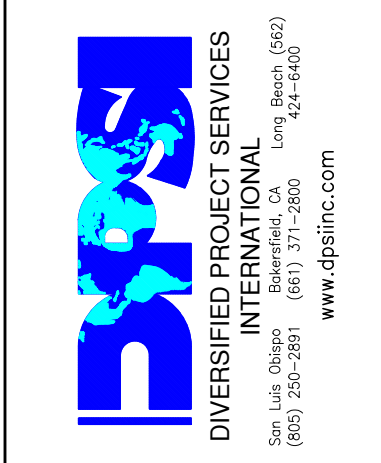
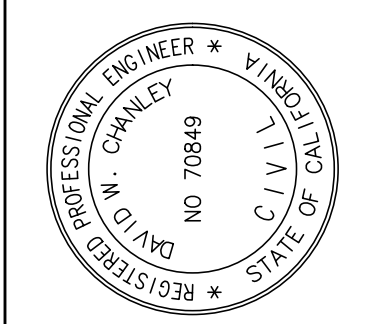
DIAL TOLL FREE
811 OR
(1-800-227-2600)
AT LEAST TWO DAYS
BEFORE YOU DIG

UNDERGROUND SERVICE ALERT OF CALIFORNIA

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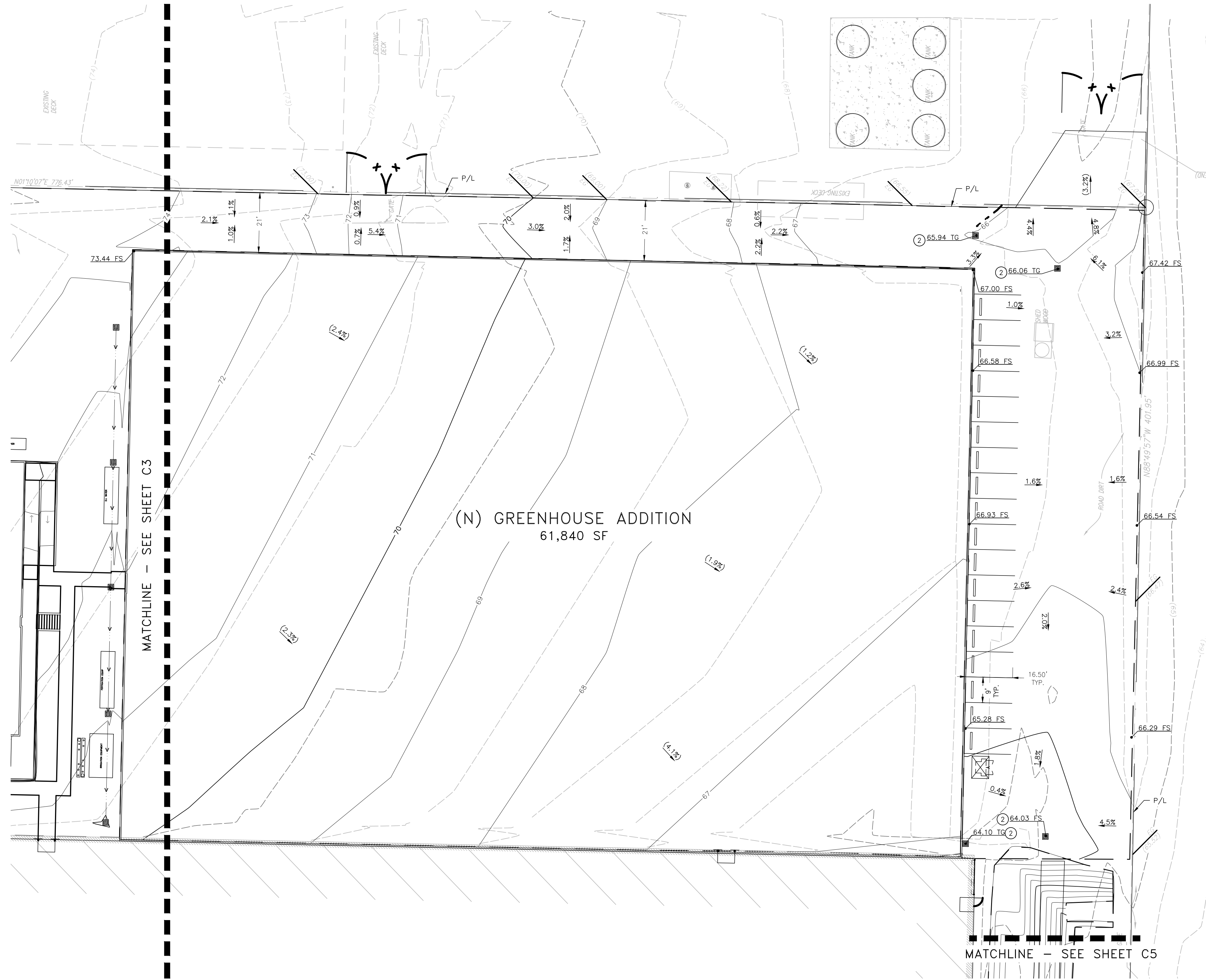
TITLE SHEET
SLO CULTIVATION
3861 FOOTHILL ROAD
CARPINTERIA, CA

SHEET
C1
OF 8 SHEETS
PROJECT: 201056
PLUMED 2021-01-13



APPROVED: _____ DATE _____
AGENCY REPRESENTATIVE _____ DATE _____

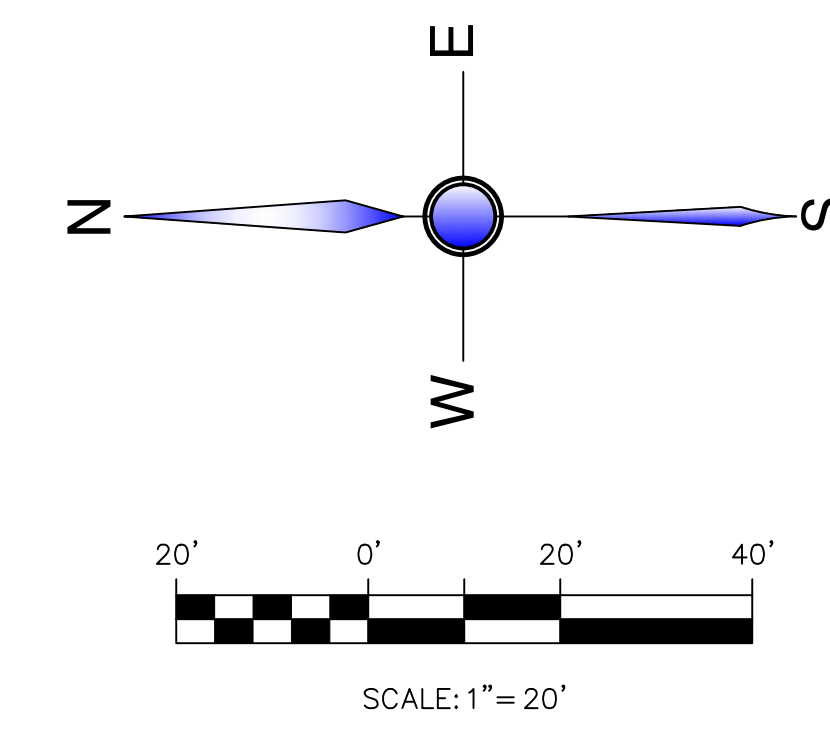
N:\2010\056\DOT_CAD\DWG\CS-SHEETS\2-DRAINAGE\CD1056-1500.DWG



CONSTRUCTION NOTES

1. INSTALL 12" X 12" PRECAST CONCRETE CATCH BASIN BY MID-STATE CONCRETE PRODUCTS OR APPROVED EQUAL. SEE SHEET C10.
2. INSTALL 18" X 18" PRECAST CONCRETE CATCH BASIN BY MID-STATE CONCRETE PRODUCTS OR APPROVED EQUAL. SEE SHEET C10.
3. CONSTRUCT 9 STAIRS PER ARCHITECTURAL PLANS. STEP HEIGHT=0.5'.
4. CONSTRUCT CMU BLOCK WALL PER ARCHITECTURAL PLANS.
5. CONSTRUCT GRAVEL SWALE PER DETAIL A, SHEET C10. WIDTH PER PLAN.
6. CONSTRUCT STANDARD OFF-STREET ACCESSIBLE PARKING PER CALTRANS STANDARD PLAN A90A.
7. CONSTRUCT STANDARD OFF-STREET VAN-ACCESSIBLE PARKING PER CALTRANS STANDARD PLAN A90A.
8. INSTALL ADA HANDRAIL. SEE ARCHITECT'S PLANS FOR DETAILS.
9. CONSTRUCT 2.5" AC OVER 6" CLASS II AB PER DETAIL D SHEET C10.
10. CONSTRUCT PCC SIDEWALK PER COUNTY OF SANTA BARBARA STANDARD DETAIL 5-010, 5-040 AND DETAIL E, SHEET C10. WIDTH PER PLAN.
11. INSTALL STANDARD ACCESSIBLE PAINT TYPE PARKING STALL STRIPING PER CALTRANS STANDARDS.
12. INSTALL REDWOOD HEADER PLANTER BORDER PER DETAIL C, SHEET C10.
13. PLANTER WITH LANDSCAPING. SEE ARCHITECT'S PLANS FOR DETAILS.
14. CONSTRUCT CONCRETE SWALE PER DETAIL B, SHEET C10. WIDTH PER PLAN.

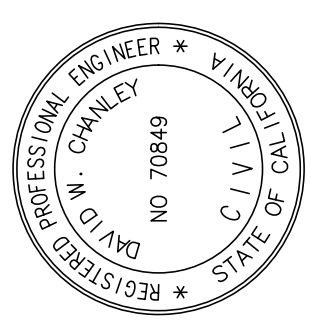

NOTE:
 BFE WAS DETERMINED TO BE 2.5' ABOVE HIGHEST ADJACENT GRADE. THE HIGHEST ADJACENT GRADE WAS DETERMINED TO BE 77.5'. THEREFORE THE BFE IS 80.0'. SINCE THE FINISHED FLOOR ELEVATION IS BELOW BFE THE BUILDING WILL BE DRY FLOOD PROOFED UP TO THE BFE OF 80.0'.

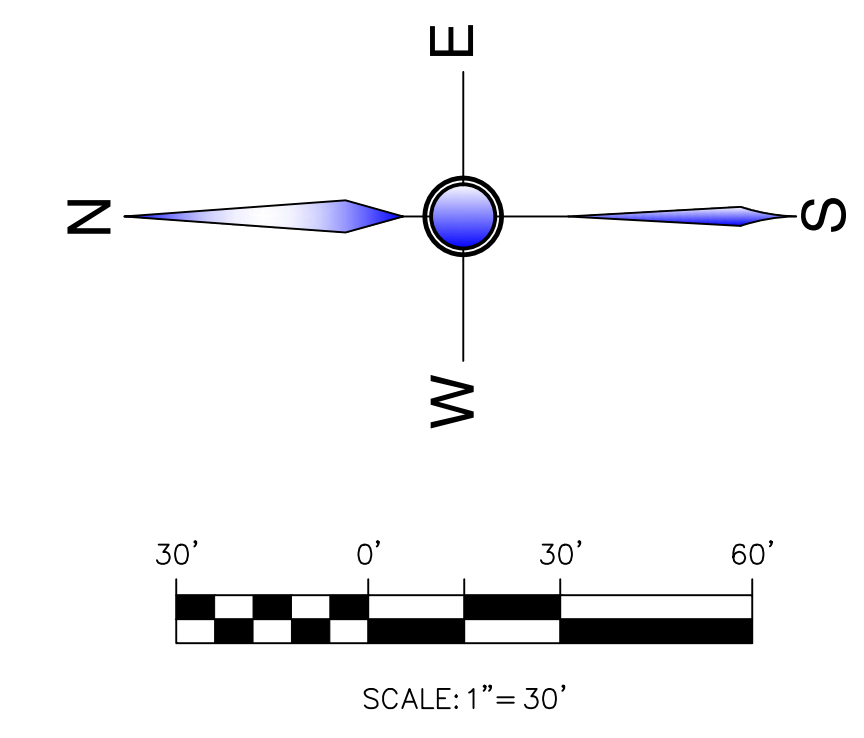
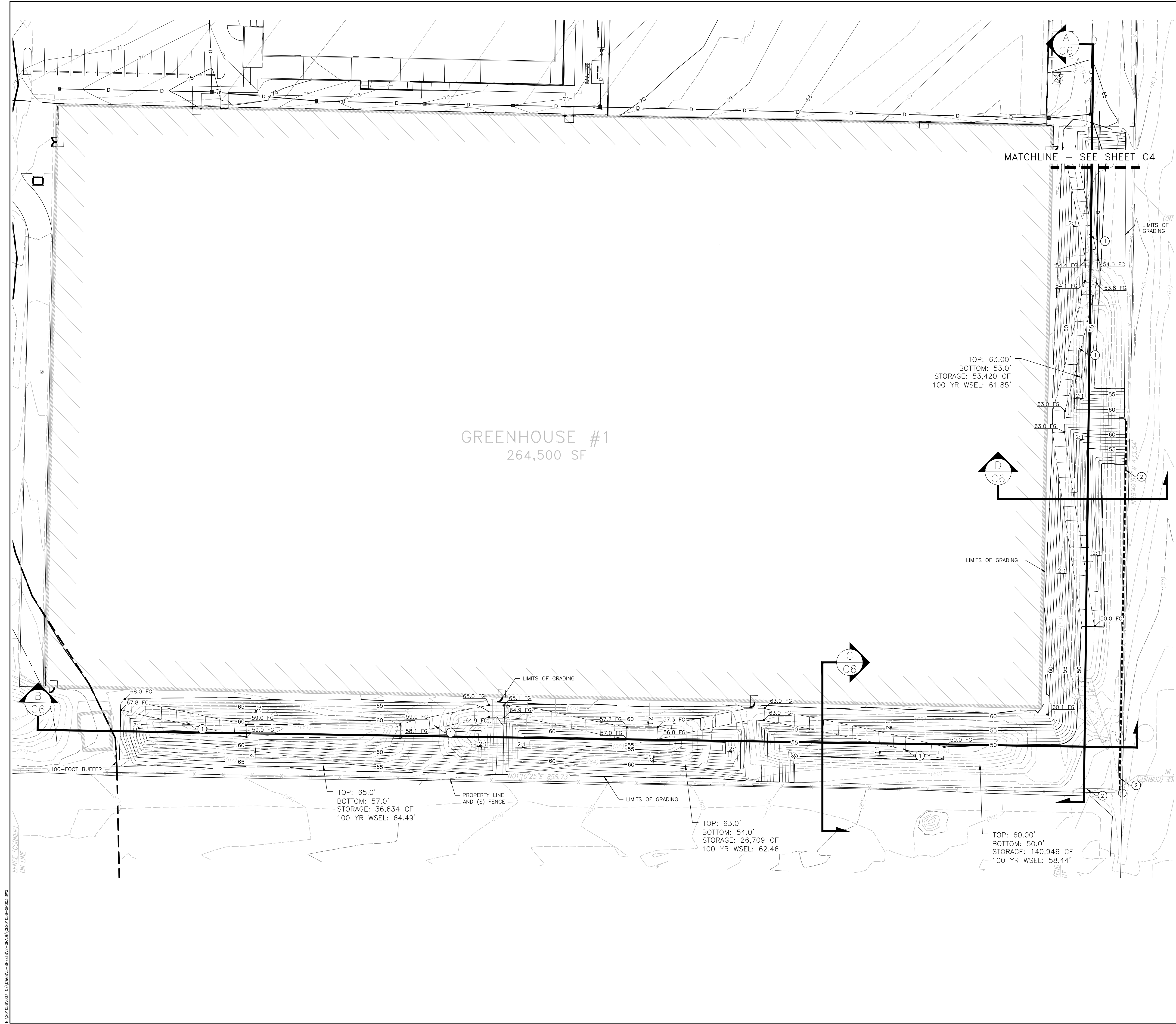


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DIGALERT
 DIAL TOLL FREE
 811 OR
 (1-800-227-2600)
 AT LEAST TWO DAYS
 BEFORE YOU DIG
 UNDERGROUND SERVICE ALERT OF CALIFORNIA

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SHEET C4 OF 8 SHEETS PROJECT: 201056 PLOTTED: 2021-10-13	REVISIONS ISSUED FOR SUBMITTAL APP	DATE 10/13/21 REV A	APPROVED:  	<p style="text-align: center;">GRADING-GREENHOUSE ADDITION SLO CULTIVATION 3861 FOOTHILL ROAD CARPINTERIA, CA</p>
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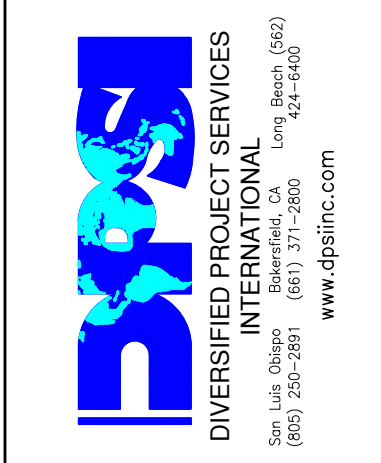
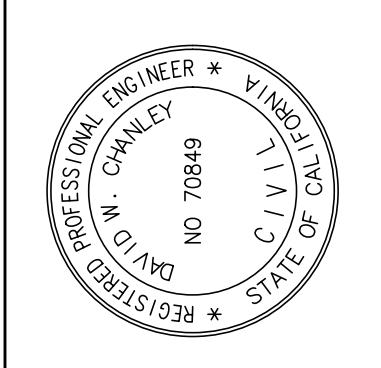


CONSTRUCTION NOTES

- ① CONSTRUCT 8' ACCESS RAMP TO BASIN. SEE CROSS SECTION A AND B, SHEET C6 FOR DETAIL.
- ② CONSTRUCT RETAINING WALL.

NOTE:
 BFE WAS DETERMINED TO BE 2.5' ABOVE HIGHEST ADJACENT GRADE. THE HIGHEST ADJACENT GRADE WAS DETERMINED TO BE 77.5'. THEREFORE THE BFE IS 80.0'. SINCE THE FINISHED FLOOR ELEVATION IS BELOW BFE THE BUILDING WILL BE DRY FLOOD PROOFED UP TO THE BFE OF 80.0'.

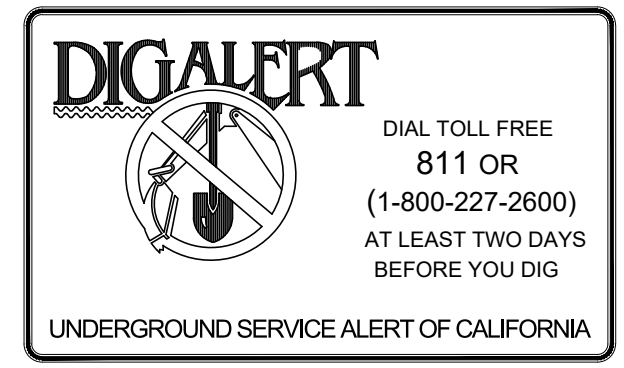
APPROVED: _____ DATE _____
 _____ DATE _____
 AGENCY REPRESENTATIVE



APP	REVISIONS	DATE	REV	BY
	ISSUED FOR SUBMITTAL	10/13/21	A	

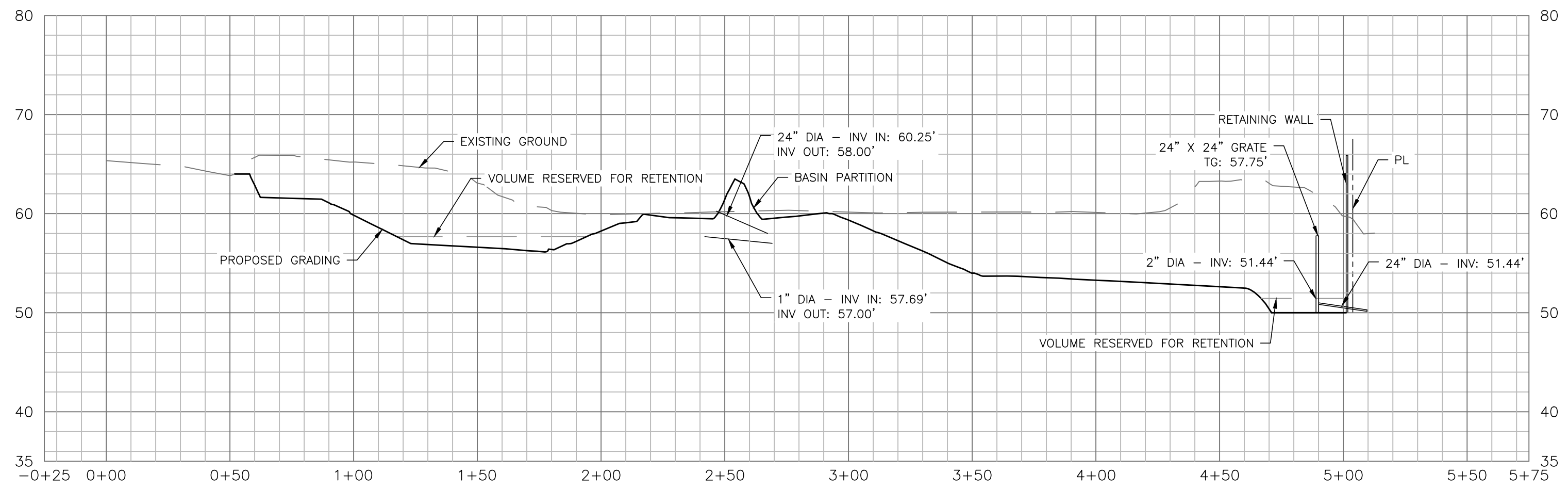
**GRADING-BASINS
 SLO CULTIVATION**
 3861 FOOTHILL ROAD
 CARPINTERIA, CA

SHEET **C5** OF 8 SHEETS
 PROJECT: 201056
 PLOTTED: 2021-10-13

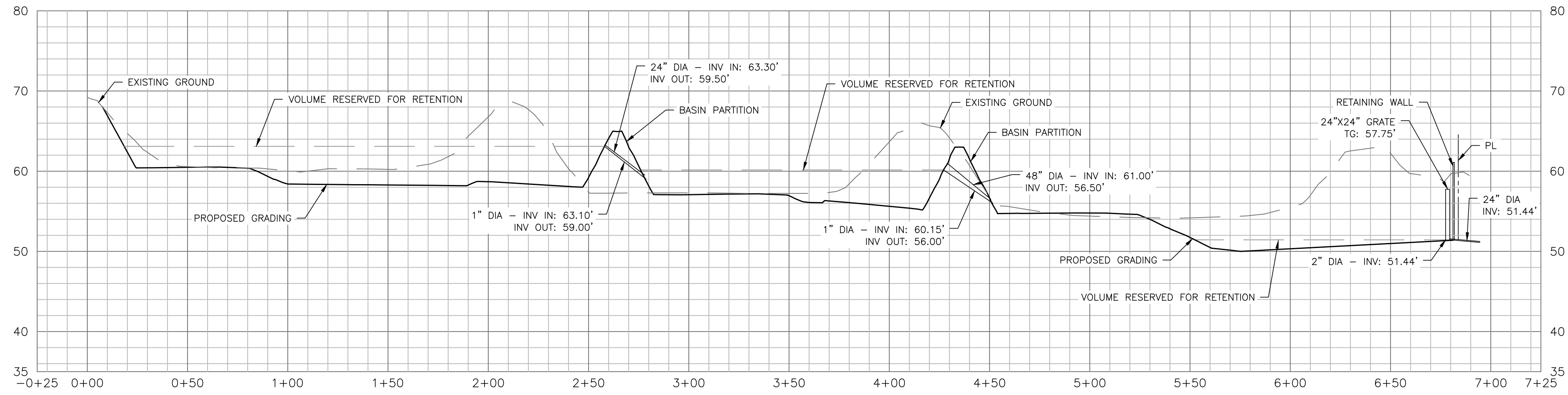


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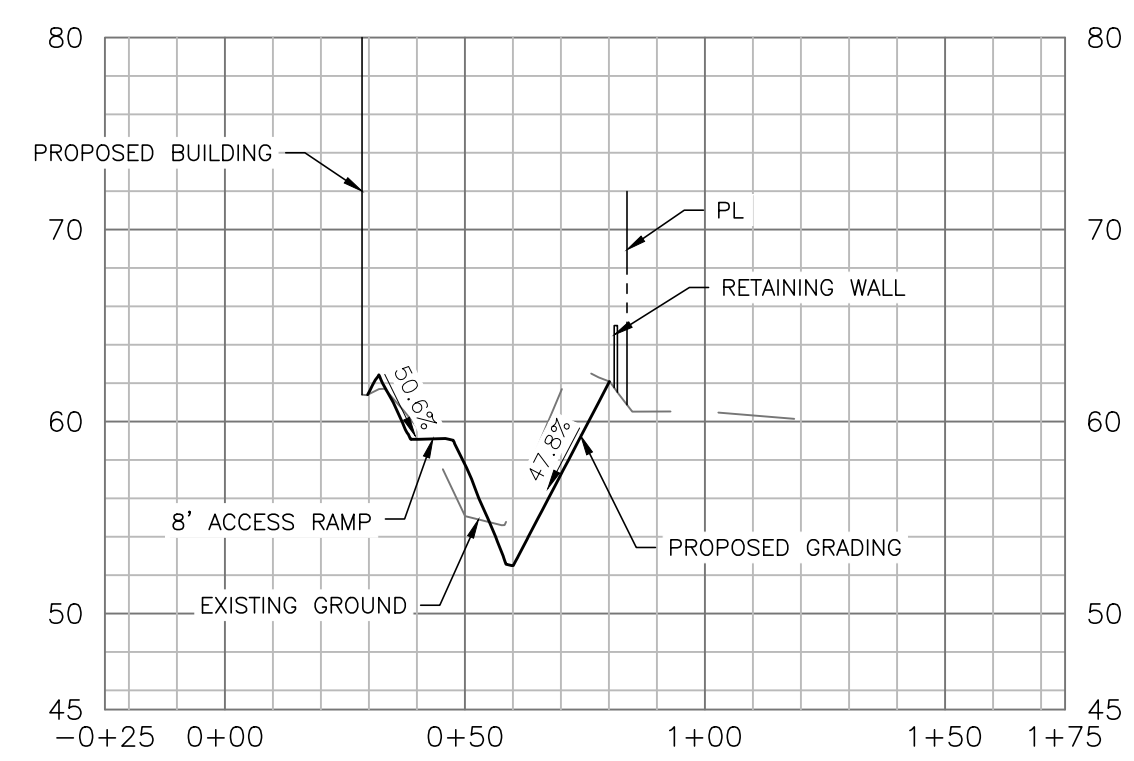
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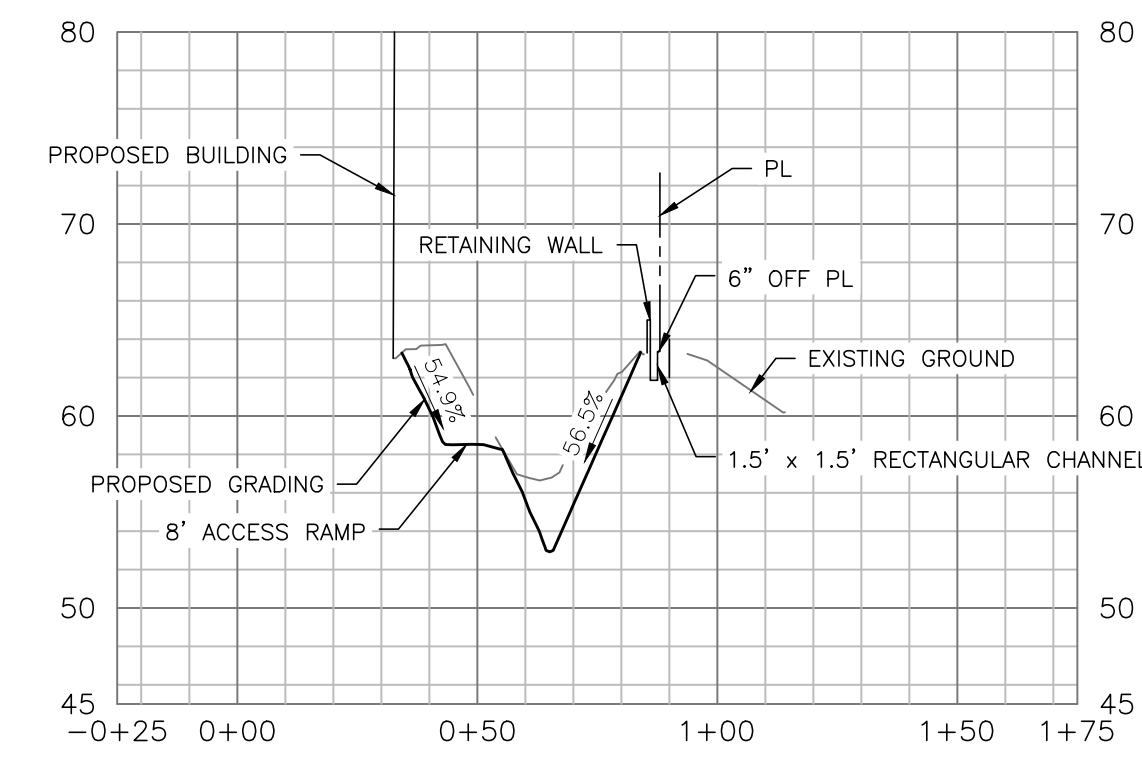
A EXPANDED BASIN
Vertical Scale: 1:10 Horizontal Scale: 1:40



B EXPANDED BASIN
Vertical Scale: 1:10 Horizontal Scale: 1:40

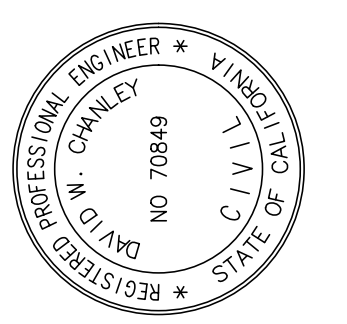


C EXPANDED BASIN
Vertical Scale: 1:10 Horizontal Scale: 1:40



D EXPANDED BASIN
Vertical Scale: 1:10 Horizontal Scale: 1:40

APPROVED: _____ DATE _____
AGENCY REPRESENTATIVE _____ DATE _____



DATE	REV	REVISIONS	APP
10/13/21	A	ISSUED FOR SUBMITTAL	

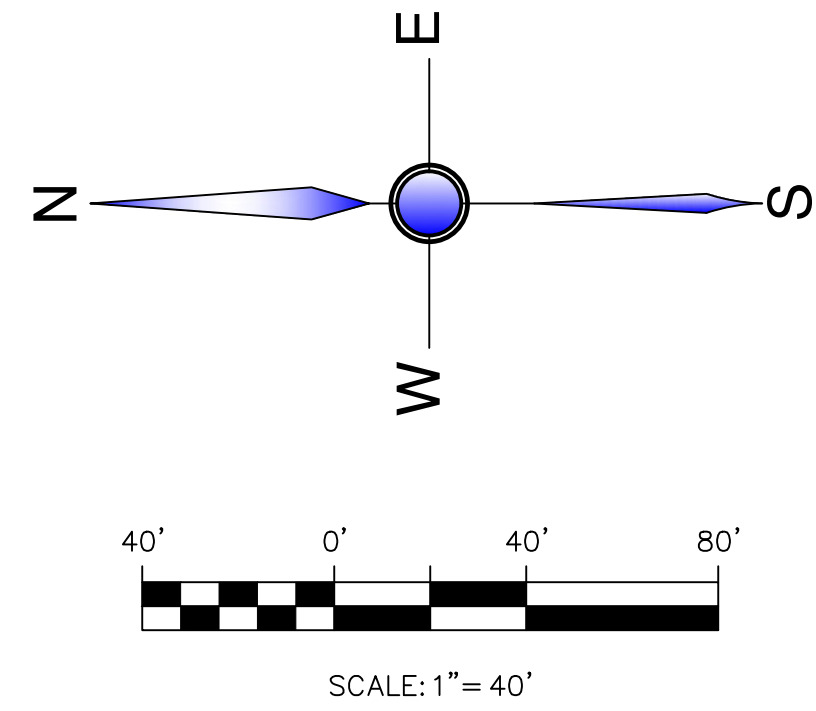
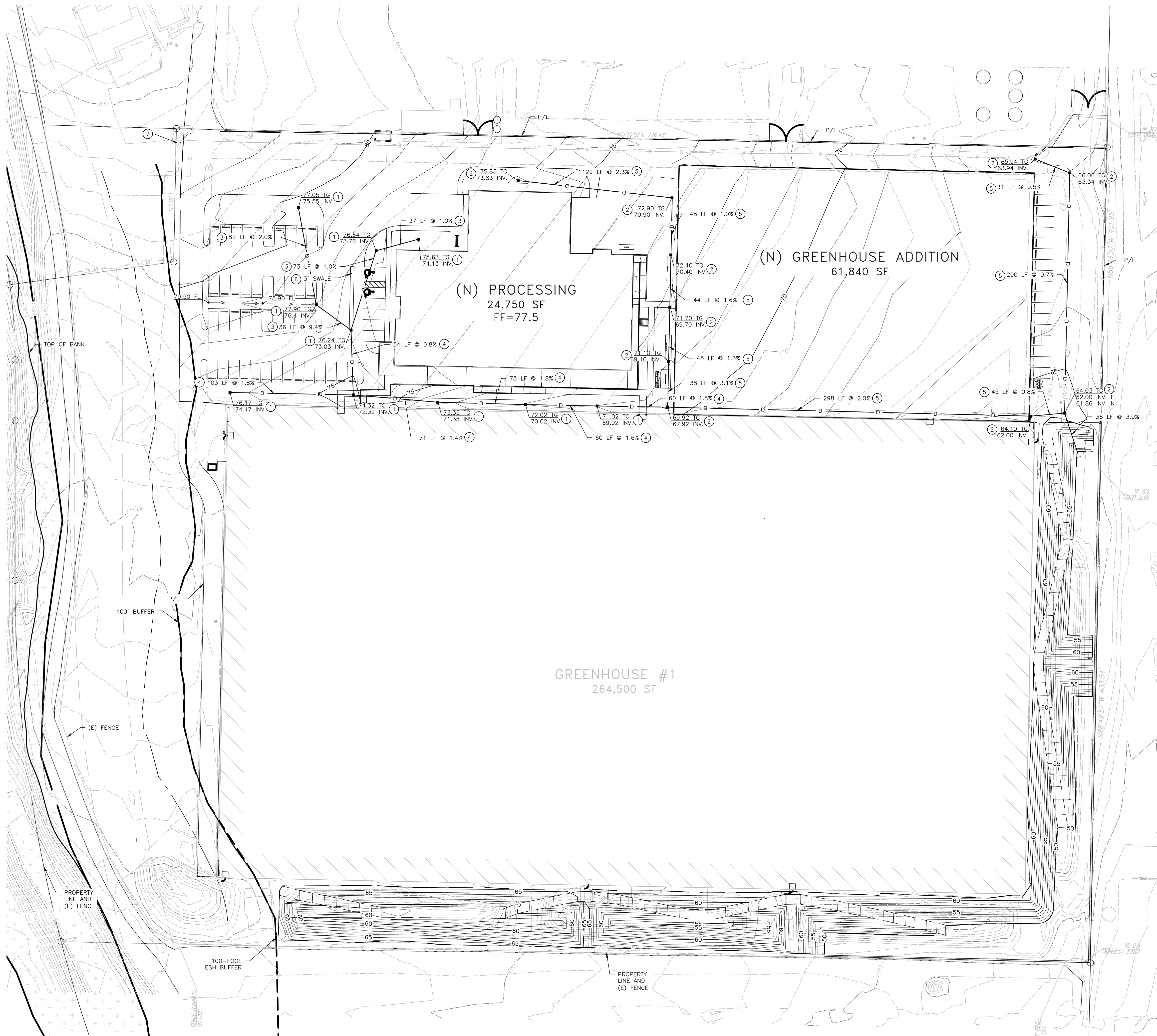
CROSS SECTIONS A-B
SLO CULTIVATION
3861 FOOTHILL ROAD
CARPINTERIA, CA

SHEET **C6** OF 8 SHEETS
PROJECT: 201056
PLUMED 2021-10-13



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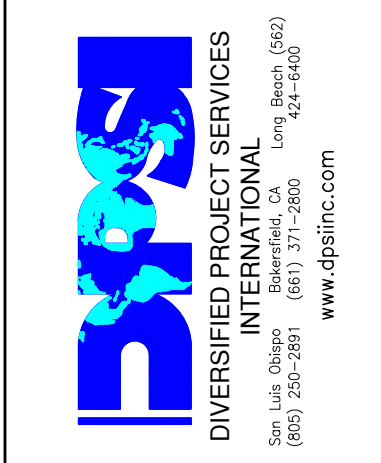
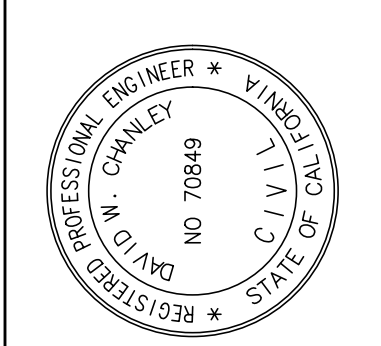


CONSTRUCTION NOTES

- 1 INSTALL 12" X 12" PRECAST CONCRETE CATCH BASIN BY MID-STATE CONCRETE PRODUCTS OR APPROVED EQUAL. SEE SHEET C10.
- 2 INSTALL 18" X 18" PRECAST CONCRETE CATCH BASIN BY MID-STATE CONCRETE PRODUCTS OR APPROVED EQUAL. SEE SHEET C10.
- 3 INSTALL 6" PVC SDR-35 STORM DRAIN, TRENCH BACKFILL PER COUNTY OF SANTA BARBARA STANDARD DETAIL 2-020, SHEET C10.
- 4 INSTALL 8" PVC SDR-35 STORM DRAIN, TRENCH BACKFILL PER COUNTY OF SANTA BARBARA STANDARD DETAIL 2-020, SHEET C10.
- 5 INSTALL 12" PVC SDR-35 STORM DRAIN, TRENCH BACKFILL PER COUNTY OF SANTA BARBARA STANDARD DETAIL, SHEET C10.
- 6 CONSTRUCT CONCRETE SWALE PER DETAIL B, SHEET C10. WIDTH PER PLAN.
- 7 INSTALL NEW FIRE HYDRANT. SEE MASTER FIRE PLAN FOR DETAILS.

NOTE:
 BFE WAS DETERMINED TO BE 2.5' ABOVE HIGHEST ADJACENT GRADE. THE HIGHEST ADJACENT GRADE WAS DETERMINED TO BE 77.5'. THEREFORE THE BFE IS 80.0'. SINCE THE FINISHED FLOOR ELEVATION IS BELOW BFE THE BUILDING WILL BE DRY FLOOD PROOFED UP TO THE BFE OF 80.0'.

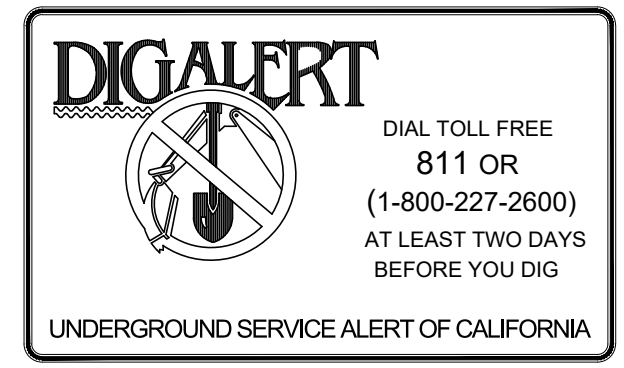
APPROVED: _____ DATE _____
 AGENCY REPRESENTATIVE _____



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	ISSUED FOR SUBMITTAL	10/13/21	A	

UTILITY PLAN
SLO CULTIVATION
 3861 FOOTHILL ROAD
 CARPINTERIA, CA

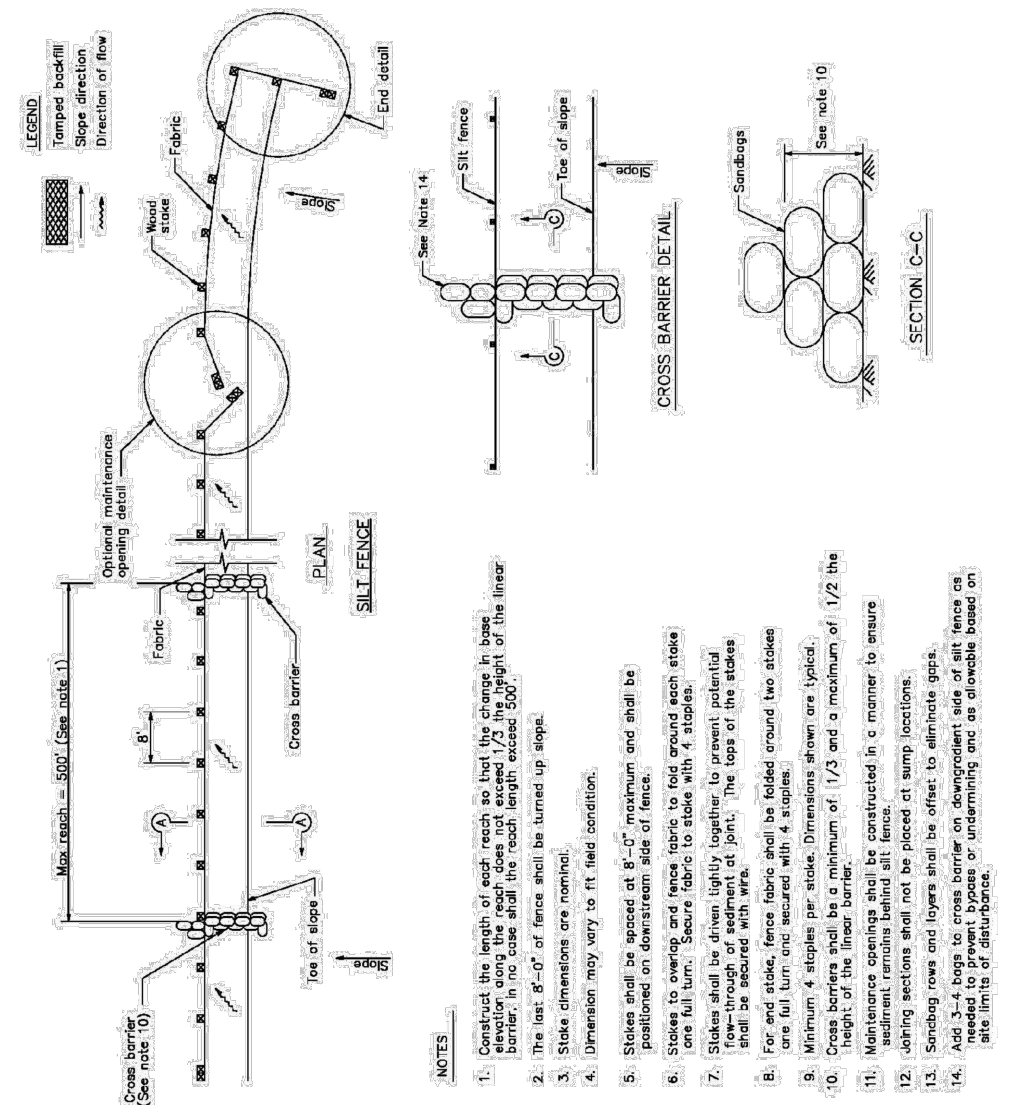
SHEET **C7**
 OF 8 SHEETS
 PROJECT: 201056
 PLOTTED: 2021-10-13



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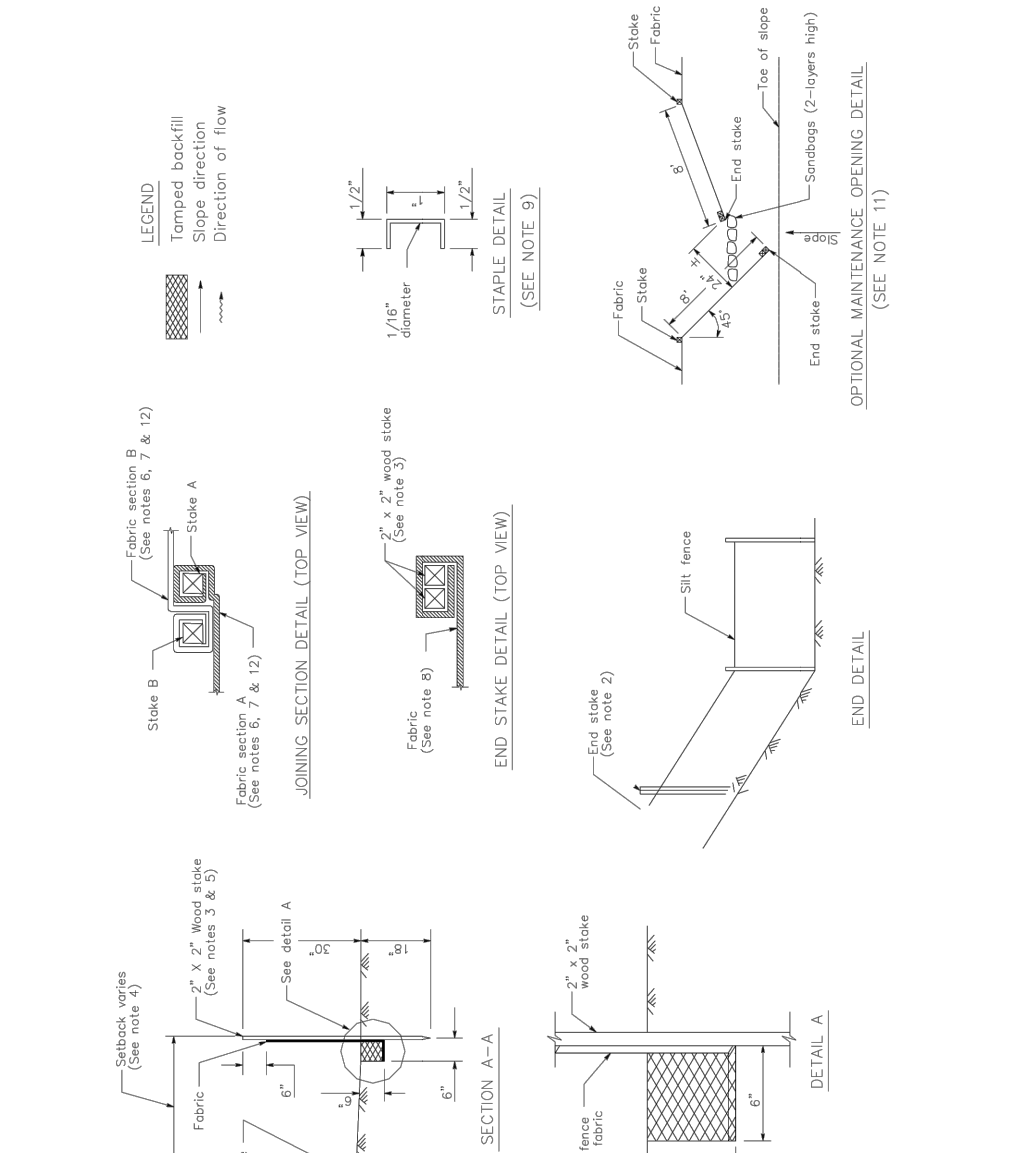
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Silt Fence SE-1



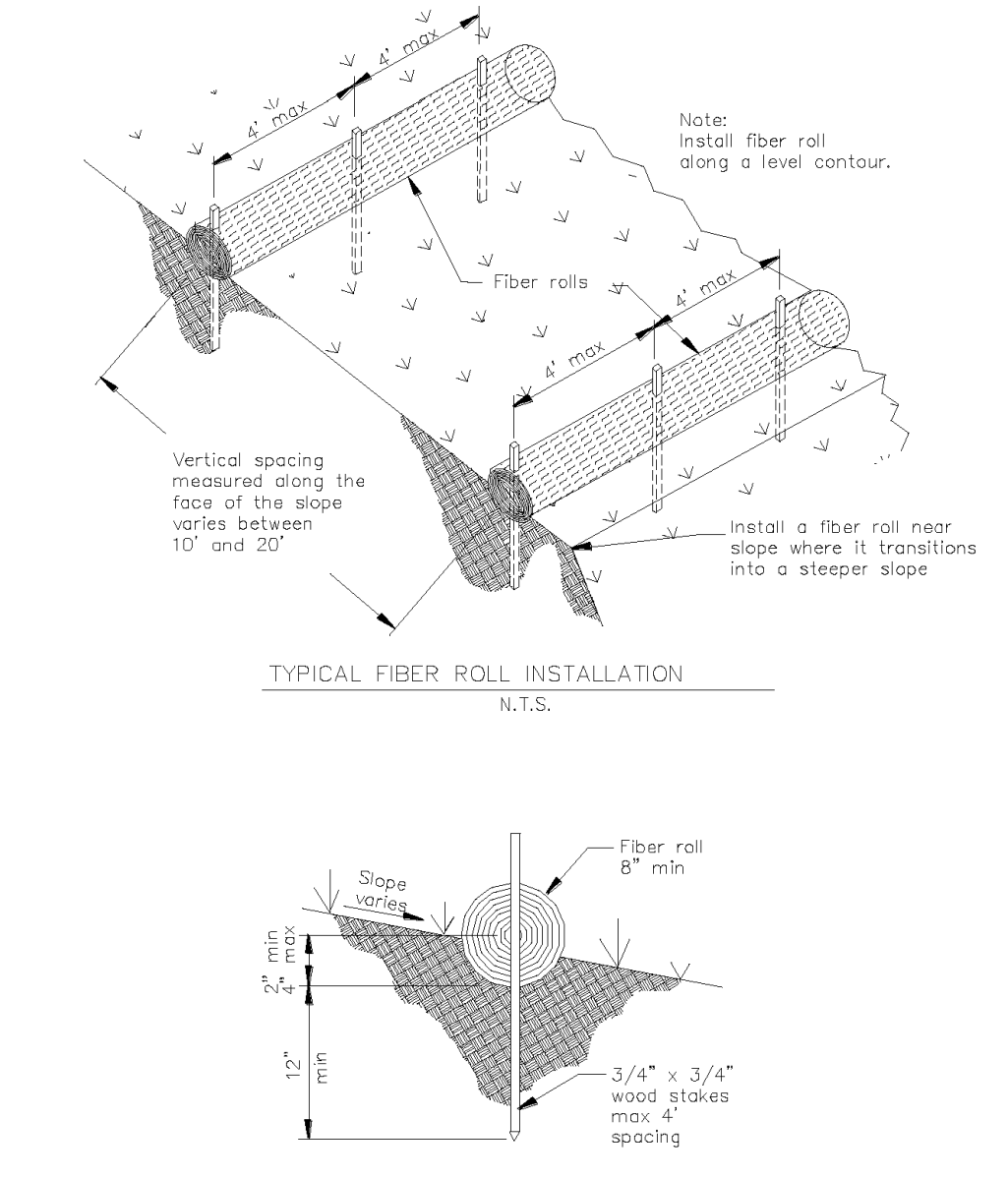
July 2012 California Stormwater BMP Handbook Portal Construction www.casqa.org 7 of 9

Silt Fence SE-1



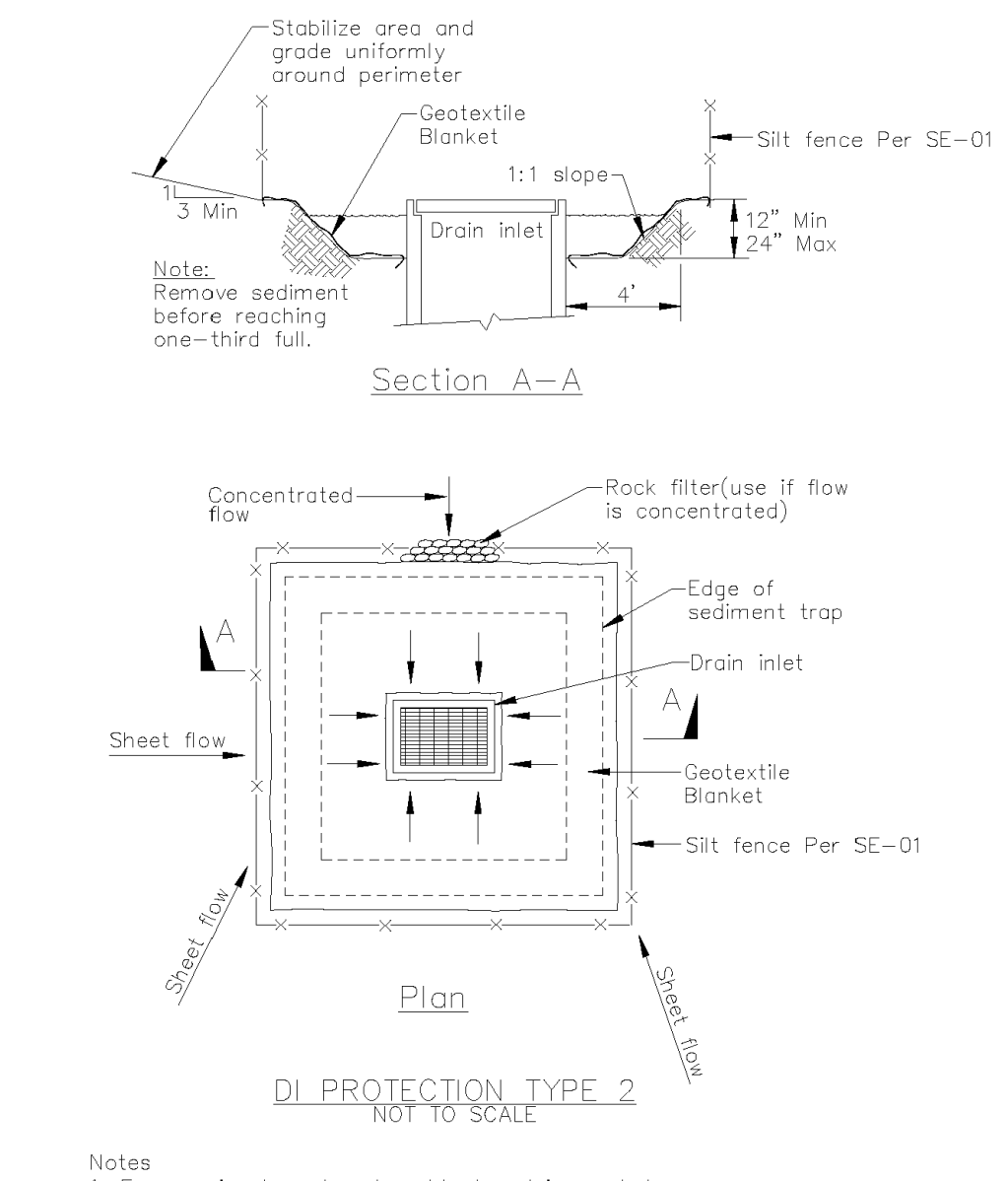
July 2012 California Stormwater BMP Handbook Portal Construction www.casqa.org 8 of 9

Fiber Rolls SE-5



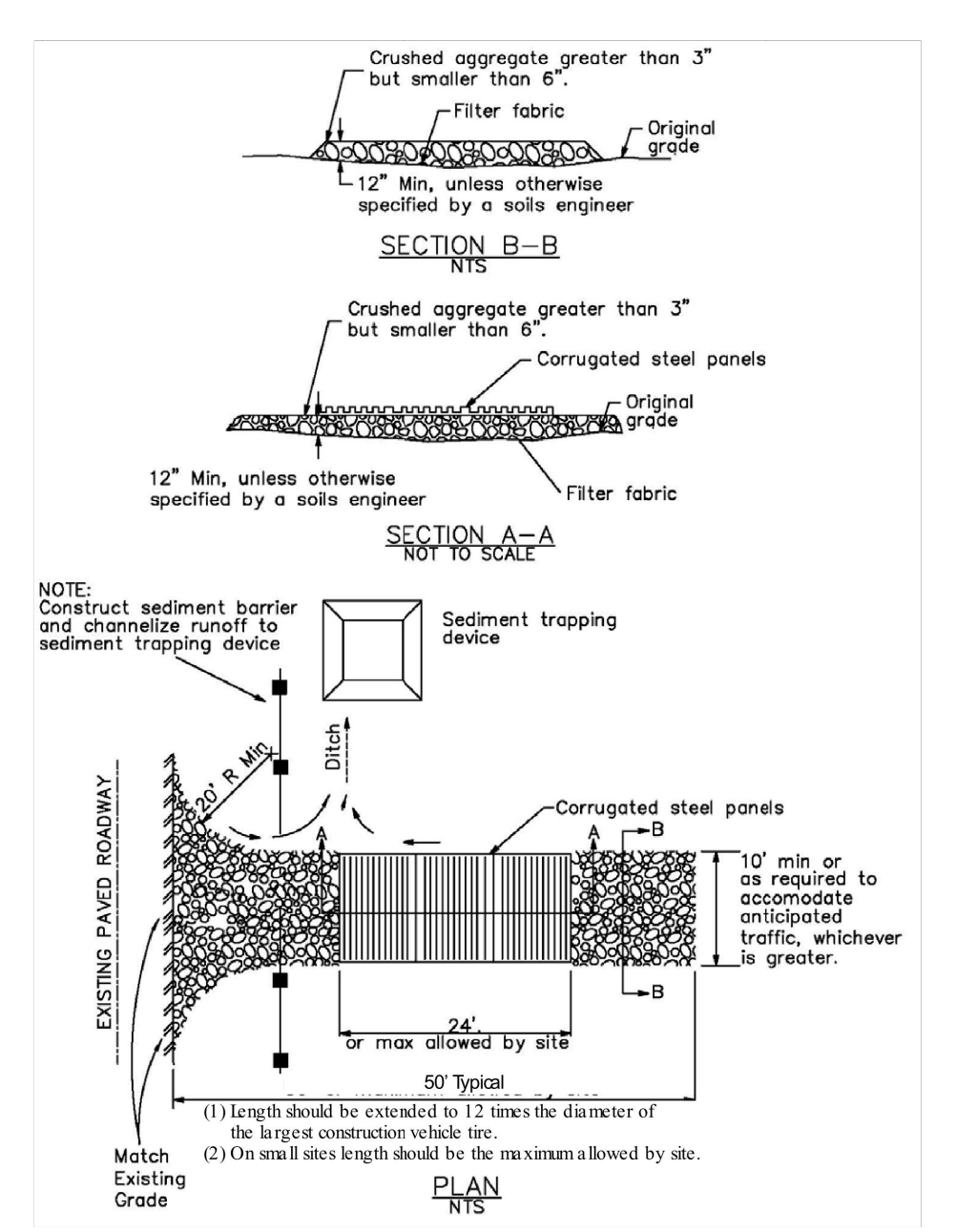
May 2011 California Stormwater BMP Handbook Portal Construction www.casqa.org 5 of 5

Storm Drain Inlet Protection SE-10



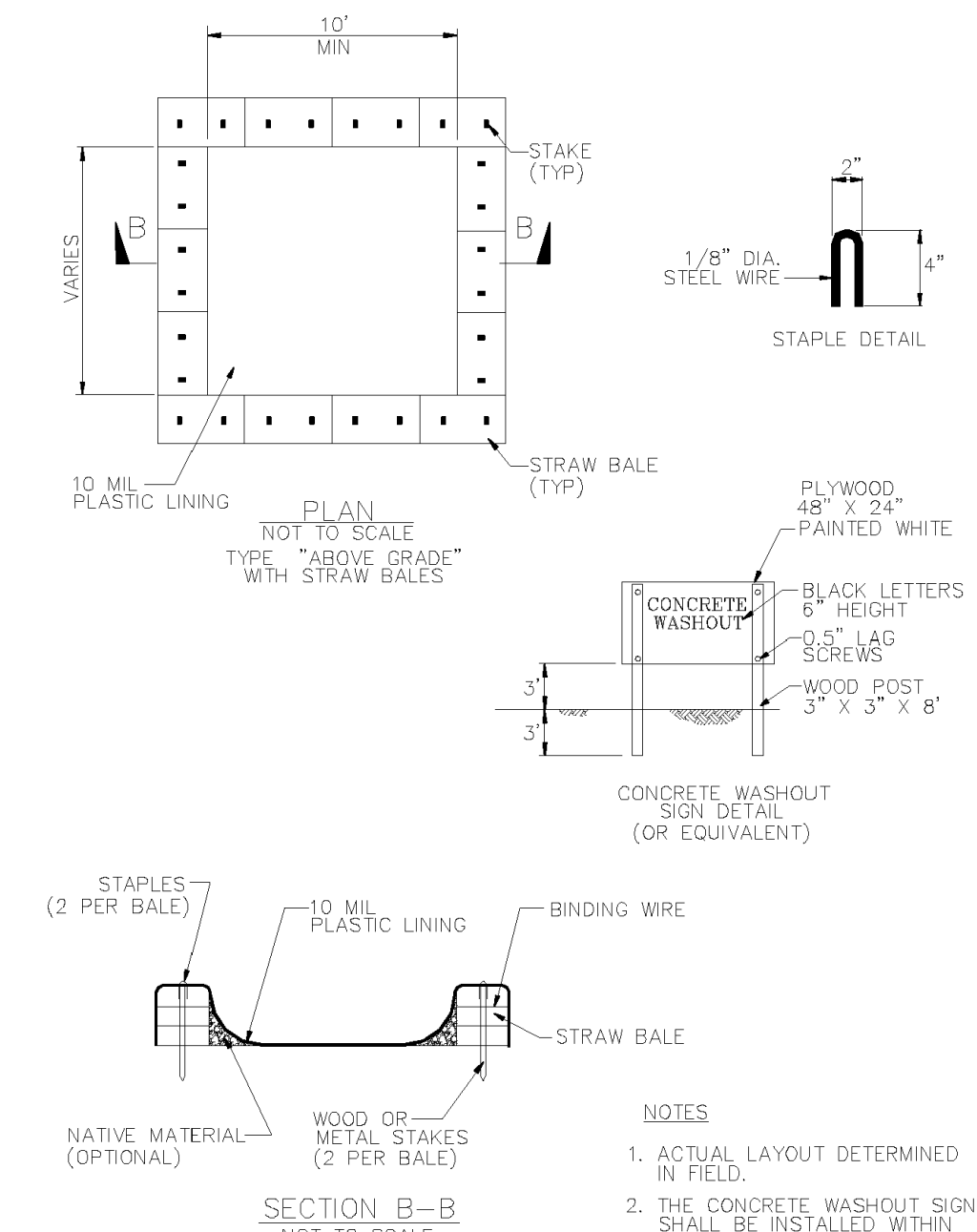
November 2009 California Stormwater BMP Handbook Construction www.casqa.org 8 of 10

Stabilized Construction Entrance/Exit TC-1



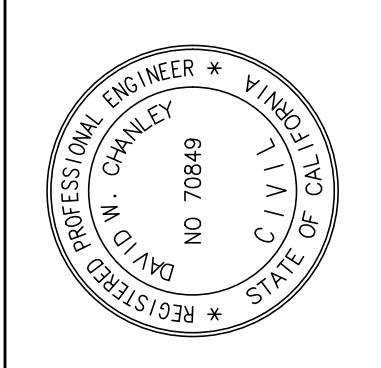
July 2012 California Stormwater BMP Handbook Construction www.casqa.org 6 of 6

Concrete Waste Management WM-8



November 2009 California Stormwater BMP Handbook Construction www.casqa.org 7 of 7

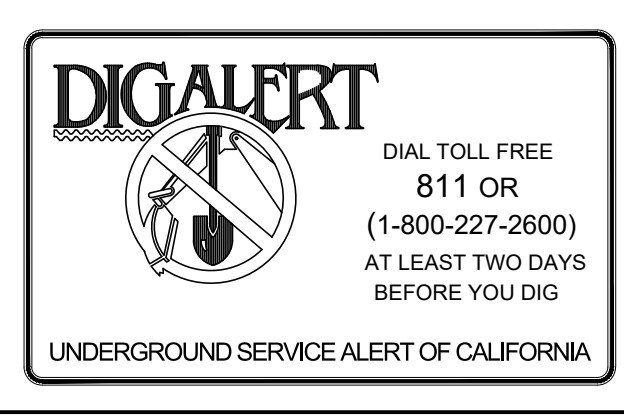
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1	10/13/21	ISSUED FOR SUBMITTAL

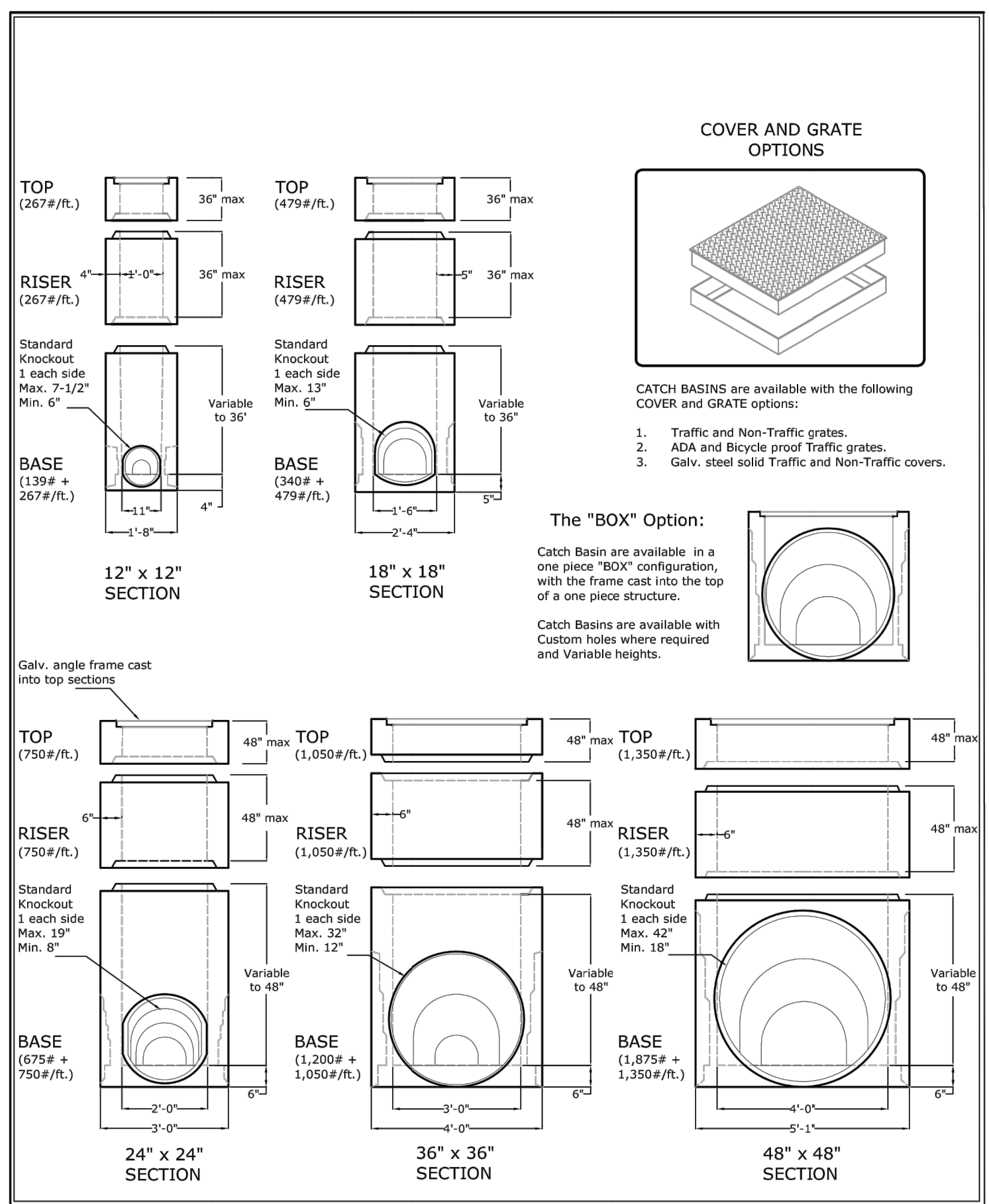
EROSION CONTROL DETAILS
SLO CULTIVATION
 3861 FOOTHILL ROAD
 CARPINTERIA, CA

SHEET **C9** OF 8 SHEETS
 PROJECT: 201056
 PLUMED 2021-10-13



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MD STATE Concrete Products
Santa Maria, Ca

1688 E. DOROVAN RD., STE. C
SANTA MARIA, CA 93454
TEL: (805) 928-2875
FAX: (805) 928-2876
www.mdstateconcrete.com

SQUARE CATCH BASINS

REV. 08/08

- (REFER TO 1-010 FOR ADDITIONAL NOTES)
- CONCRETE FOR SIDEWALKS AND CURB RAMPS SHALL BE CALTRANS CLASS 3 OR BETTER WITH 25% FLY-ASH IN THE MIX DESIGN. WHEN CONCRETE IS ALSO BEING USED FOR DRIVEWAYS AND GUTTERS, IT SHALL BE CLASS 2 OR BETTER.
 - THICKNESS OF SIDEWALKS SHALL BE 4" MINIMUM, AND THE TRANSVERSE SLOPE SHALL BE 2% MAX DRAINING TOWARD THE CURB. MINIMUM WIDTH SHALL BE 4'. REFER TO TABLES IN 5-040.
 - SUBGRADE MATERIAL SHALL BE COMPACTED TO 90% OF MAXIMUM DENSITY FOR A 0.50' DEPTH IN EXPANSIVE SOILS AND SOILS WHICH CANNOT REACH 90% RELATIVE COMPACTION, A 0.35' LAYER OF CALTRANS CLASS 4 BASE OR BETTER SHALL BE PLACED AND COMPACTED TO 90% RELATIVE COMPACTION.
 - ADA COMPATIBLE SLOPES, DETECTABLE WARNING SURFACES, AND GROOVED BORDERS AT GRADE BREAKS SHALL BE PROVIDED WHERE REQUIRED BY ALL CURRENT REGULATIONS.
 - EXPANSION JOINTS SHALL BE MADE WITH 1/2" EXPANSION PAPER AND PLACED AT THE BEGINNING AND END OF EACH CURB RETURN, ON EACH SIDE OF DRAINAGE STRUCTURES SUCH AS DROP INLETS, AT UTILITY VAULTS AND POLES, EVERY 200' OF LENGTH, AND AT OTHER PLACES AS DIRECTED BY THE COUNTY ENGINEER.
 - WEAKENED-PLANE JOINTS SHALL BE TOOLED 1-1/2" DEEP ON SIDEWALKS, CURBS AND GUTTERS AT INTERVALS OF NO MORE THAN 10', AND AT BOTH SIDES OF METER BOXES AND PULL BOXES. JOINTS IN ADJACENT CURBS AND SIDEWALKS SHALL BE ALIGNED.
 - SCORELINES SHALL BE TOOLED 1/4" DEEP ON SIDEWALKS MIDWAY BETWEEN WEAKENED-PLANE JOINTS. ON CURB RETURNS, THEY SHALL BE PLACED SO AS TO CONTINUE THE CURB LINE THROUGH THE RAMP.
 - UTILITY BOXES AND VAULTS SHALL NOT BE LOCATED IN SIDEWALKS WHERE POSSIBLE. THERE SHALL BE A MINIMUM OF 4' SIDEWALK CLEARANCE AROUND ANY SIGNS, POLES, OR OTHER OBSTRUCTIONS.

COUNTY OF SANTA BARBARA, CA - DEPARTMENT OF PUBLIC WORKS - TRANSPORTATION

APPROVED BY: *[Signature]* 11/1/2011
DIRECTOR OF PUBLIC WORKS DATE

5-010 GENERAL SIDEWALK NOTES

NOTES (REFER TO 5-010 FOR ADDITIONAL NOTES)

- THE WIDTH OF THE SIDEWALKS (NOT INCLUDING THE CURB) SHALL BE AS SHOWN IN TABLE A OR B. SIDEWALKS FRONTING COMMERCIAL DEVELOPMENTS SHALL EXTEND FROM THE BACK OF THE CURB TO 6" FROM THE RIGHT-OF-WAY LINE.
- TRANSVERSE EXPANSION JOINTS SHOULD CONTINUE THROUGH THE ADJACENT CURB AND GUTTER.
- WEAKENED-PLANE JOINTS SHALL BE PROVIDED AT INTERVALS OF NOT MORE THAN 10' ON SIDEWALKS AND CURBS/GUTTERS. WHERE SIDEWALKS ABUT THE CURB, THE WEAKENED-PLANE JOINT SHALL BE CONTINUOUS THROUGH BOTH.
- A SCORELINE SHALL BE PLACED MIDWAY BETWEEN WEAKENED-PLANE JOINTS. WHERE THE SIDEWALK WIDTH EXCEEDS 6', A LONGITUDINAL SCORELINE SHALL BE TOOLED AT THE SIDEWALK CENTERLINE.
- ADDITIONAL SIDEWALK WIDTH MAY BE NEEDED TO MAINTAIN A MINIMUM OF 4' CLEAR SIDEWALK AROUND EXISTING OBSTRUCTIONS SUCH AS UTILITY POLES.

PLAN A - SIDEWALK WITHOUT PARKWAY

PLAN B - SIDEWALK WITH PARKWAY

TABLE A

R/W WIDTH	STD DTL	MINIMUM WIDTH	COMMERCIAL WIDTH	WIDTH	STANDARD CY/LF	MONOLITHIC CY/LF
NAILER	6'-070	6'	9.5'	9.5'	0.116	0.124
6"	6'-030	5'	9.5'	6'	0.073	0.082
56"	6'-030	5'	9.5'	5'	0.061	0.069
RURAL	6'-030	4'	9.5'	4'	0.049	0.057

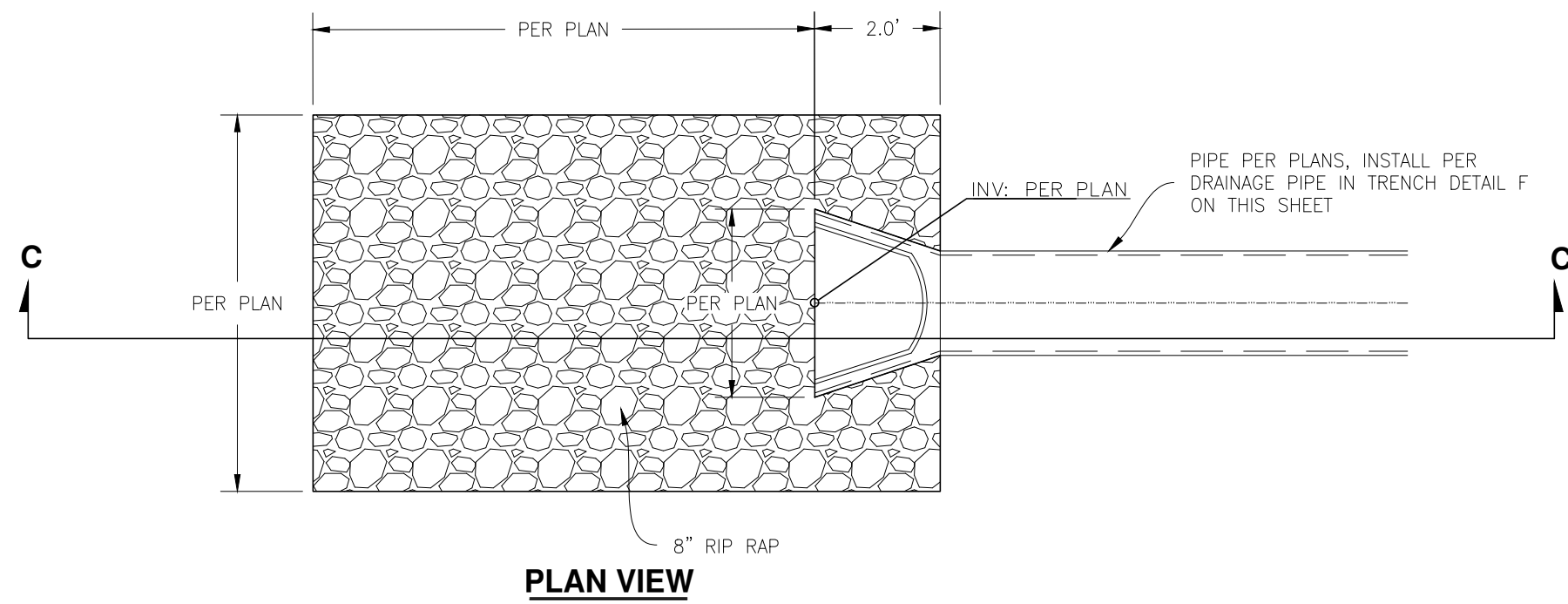
TABLE B

R/W WIDTH	STD DTL	MINIMUM WIDTH	COMMERCIAL WIDTH	WIDTH	STANDARD CY/LF
NAILER	6'-070	5'	9.5'	9.5'	0.116
6"	6'-030	5'	9.5'	5'	0.061
56"	6'-030	5'	9.5'	4'	0.049
RURAL	6'-030	4'	9.5'	4'	0.049

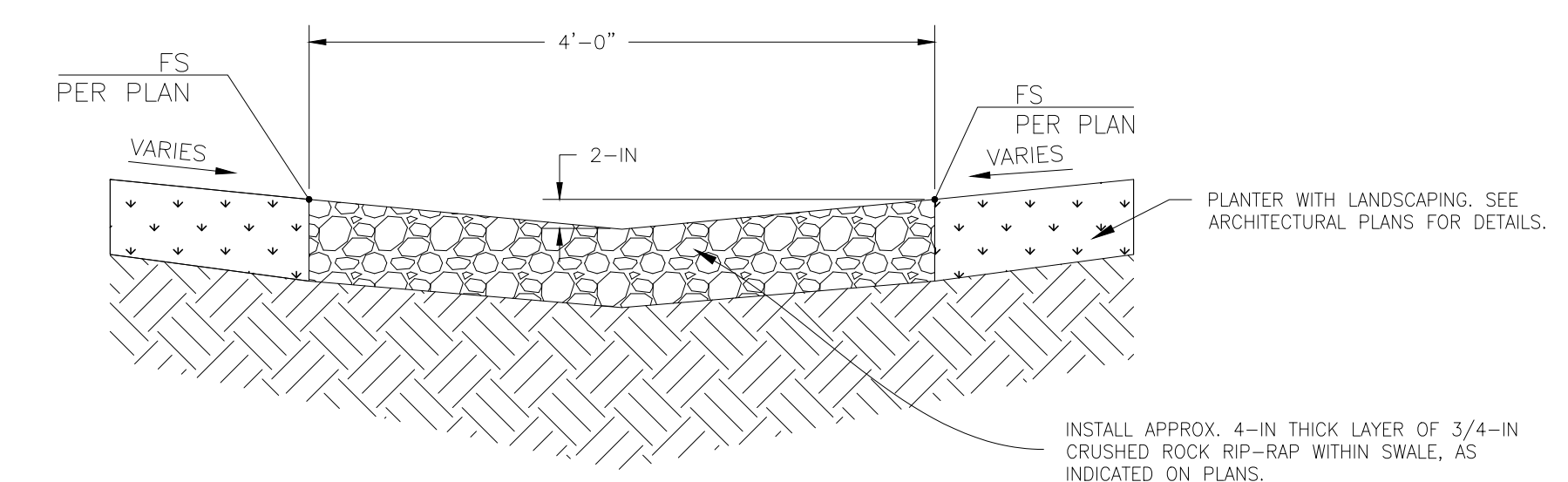
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DIRECTOR OF PUBLIC WORKS DATE

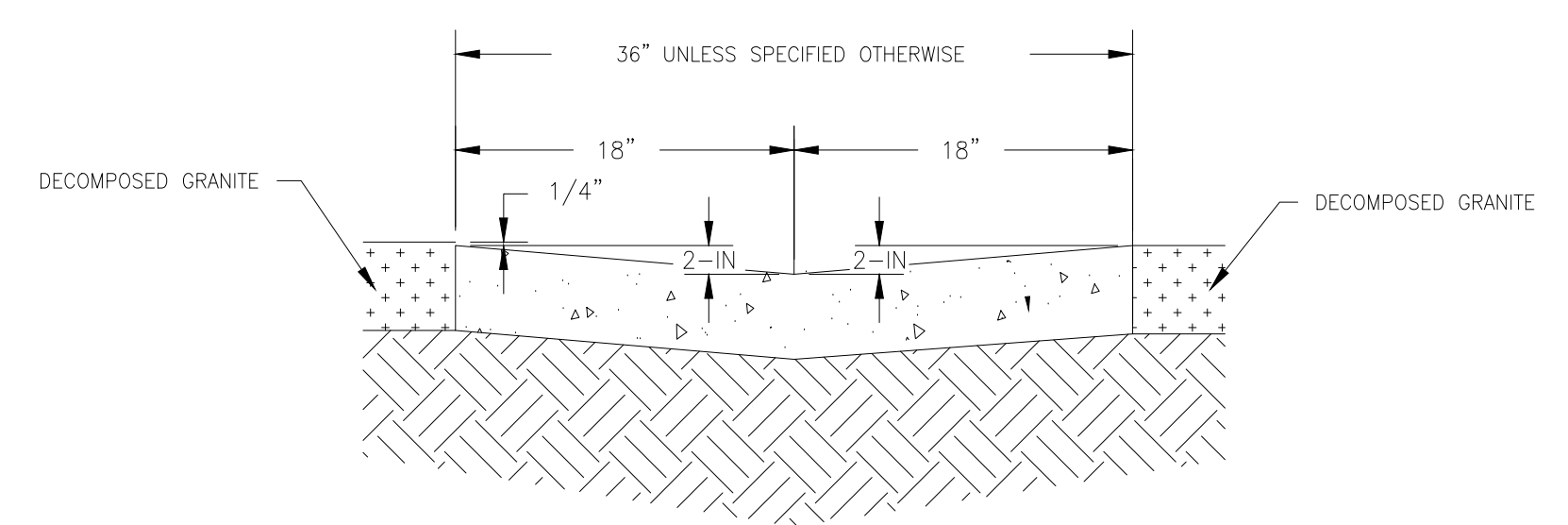
5-040 SIDEWALK DETAILS



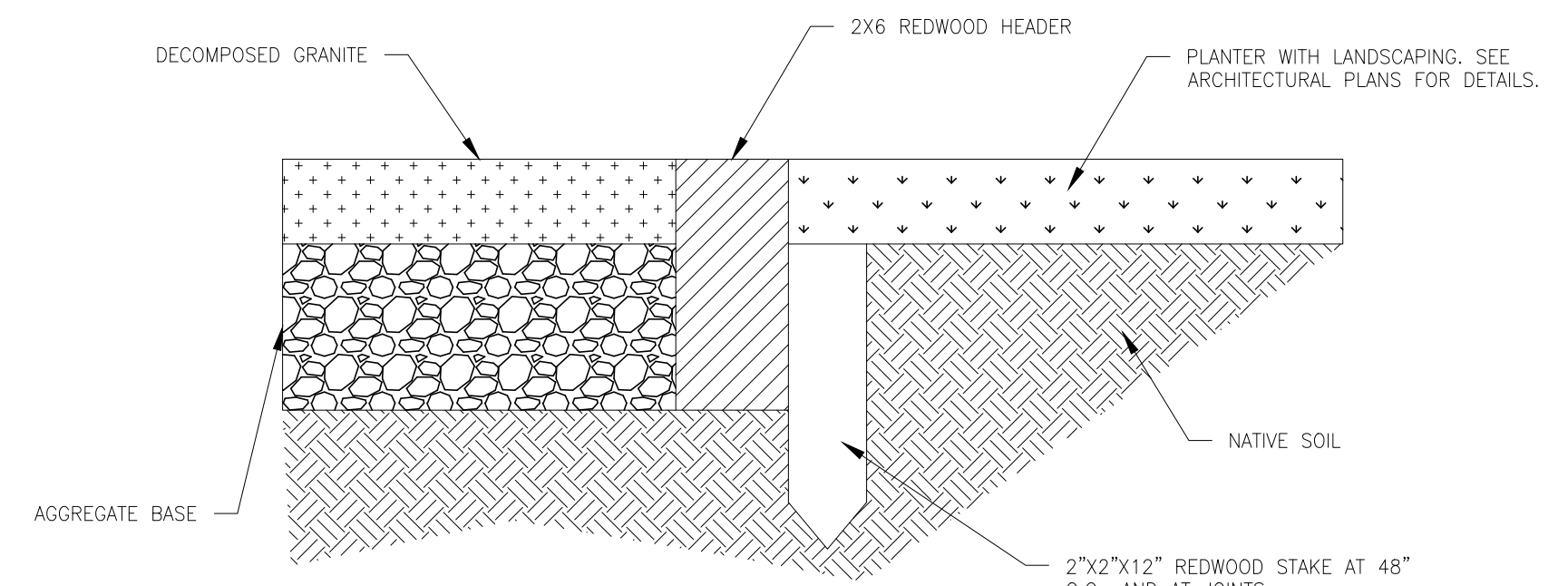
F DRAINAGE VELOCITY DISSIPATOR N.T.S.



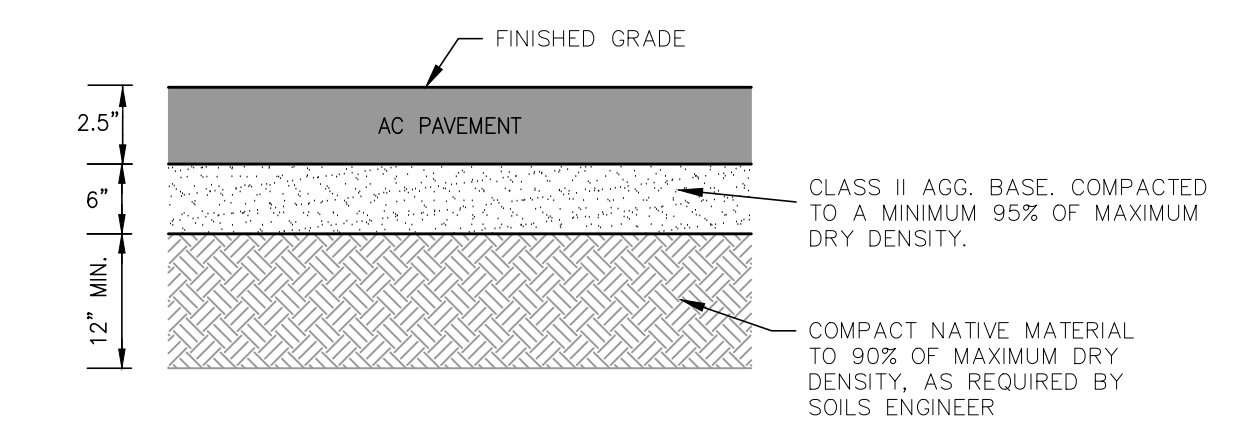
A 4' GRAVEL SWALE N.T.S.



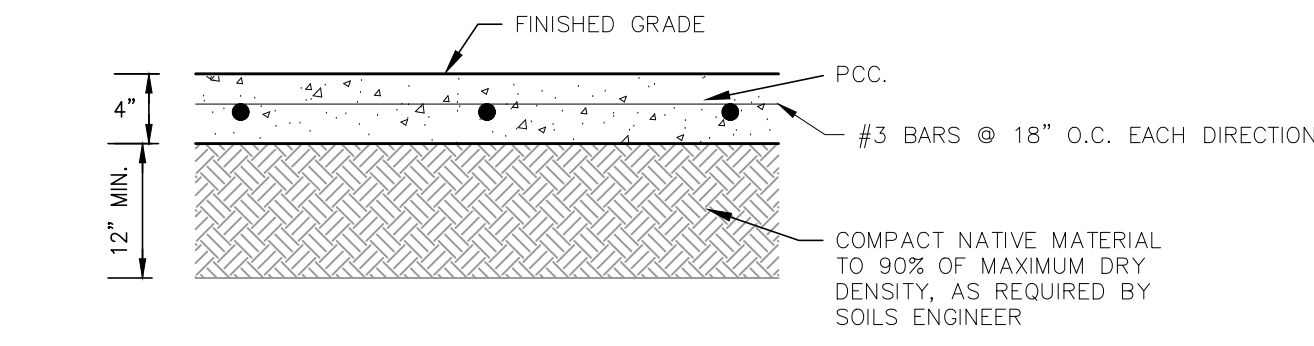
B 3' CONCRETE SWALE N.T.S.



C REDWOOD HEADER N.T.S.

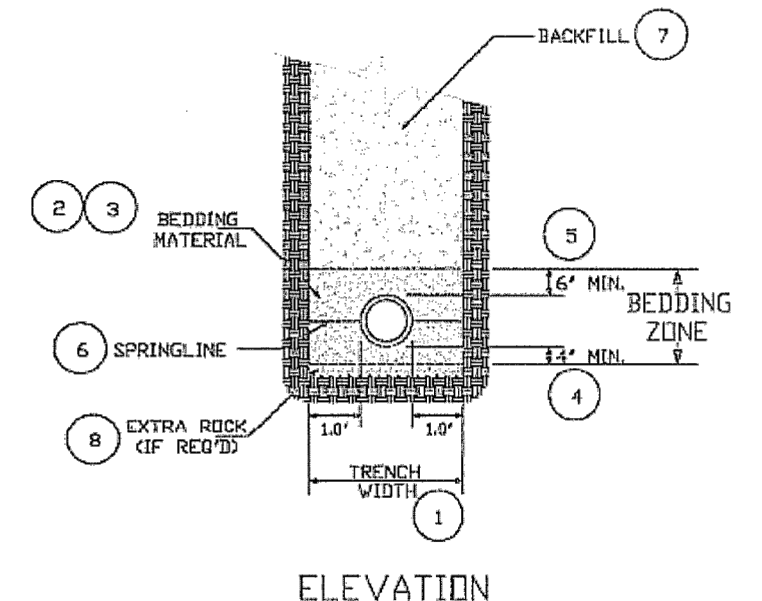


D ASPHALT PAVEMENT SECTION N.T.S.



E SIDEWALK SECTION N.T.S.

- NOTES (REFER TO 2-010 FOR ADDITIONAL NOTES)
- TRENCH WIDTH SHALL BE SUFFICIENT TO FULLY ENCLOSE THE PIPE AND ALLOW COMPACTION TESTING AT THE SPRING LINE.
 - BEDDING MATERIAL FOR UTILITY TRENCHES SHALL MEET THE STANDARDS OF THE UTILITY COMPANY INVOLVED.
 - BEDDING MATERIAL FOR HDPE, RCP AND CMP SHALL FOLLOW THE MANUFACTURER'S RECOMMENDATIONS AND SHALL BE COMPACTED TO 95% RELATIVE COMPACTION. FILL MUST BE PLACED IN LIFTS NO LARGER THAN 8" TO FACILITATE COMPACTION. FOR CMP PIPE, THE BEDDING MATERIAL SHALL BE TESTED FOR A NEUTRAL pH.
 - THE THICKNESS OF THE LAYER OF BEDDING UNDER THE PIPE SHALL BE AT LEAST 4" OR 10% OF THE PIPE DIAMETER, WHICHEVER IS LARGER.
 - BEDDING MATERIAL SHALL COMPLETELY COVER THE PIPE TO A MINIMUM HEIGHT OF 6" AFTER COMPACTION.
 - CARE MUST BE TAKEN TO PLACE THE BEDDING EVENLY UNDER THE LENGTH OF THE PIPE TO ASSURE ADEQUATE SUPPORT. COMPACTION TESTING IS REQUIRED AT THE SPRINGLINE OF THE PIPE WHEN SAND IS USED AS BEDDING MATERIAL.
 - BACKFILL MATERIAL SHALL MEET THE REQUIREMENTS OF SBCD STD 2-030 AND 2-040
 - SEE NOTE 2 ON 2-010



COUNTY OF SANTA BARBARA, CA - DEPARTMENT OF PUBLIC WORKS - TRANSPORTATION

APPROVED BY: *[Signature]* 11/1/2011
DIRECTOR OF PUBLIC WORKS DATE

2-020 PIPE BEDDING DETAILS

DIGALERT
DIAL TOLL FREE 811 OR (1-800-227-2600) AT LEAST TWO DAYS BEFORE YOU DIG
UNDERGROUND SERVICE ALERT OF CALIFORNIA

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DATE: _____

APPROVED: _____

REGISTERED PROFESSIONAL ENGINEER
DAVID W. CANLEY
NO. 70849
CIVIL
STATE OF CALIFORNIA

DIVERSIFIED PROJECT SERVICES INTERNATIONAL
1000 J ST. SUITE 200
SANTA MONICA, CA 90401
TEL: (310) 317-2600
WWW.DPSINC.COM

ISSUED FOR SUBMITTAL

REVISIONS

REV	DATE	DESCRIPTION
10/13/21	A	

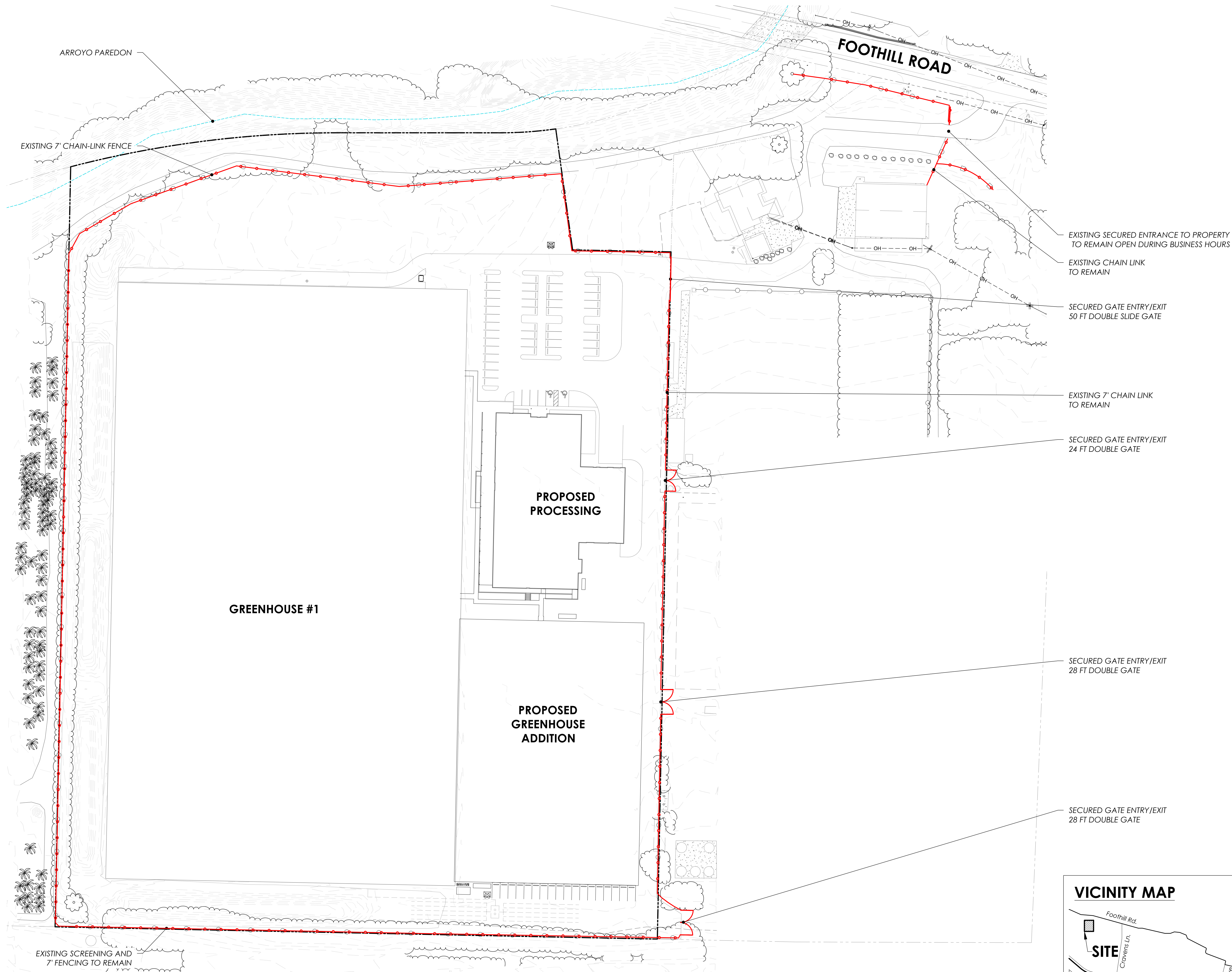
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PROJECT: 201056

SHEET 8 OF 8

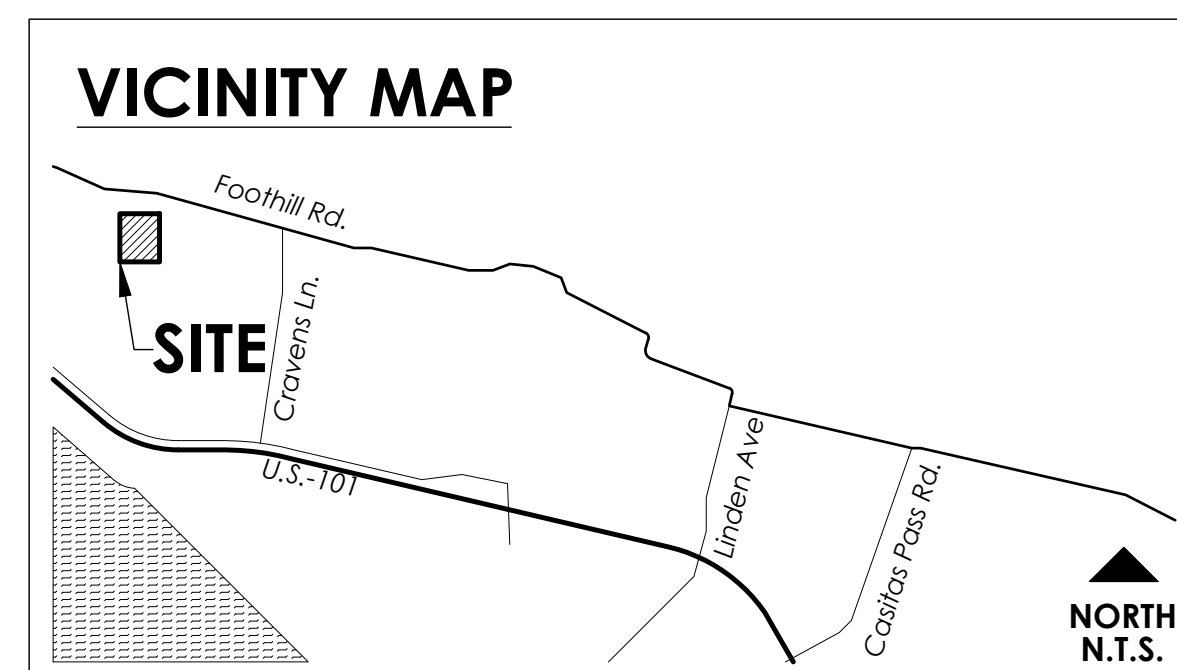
C10

DETAILS SHEET
SLO CULTIVATION
3861 FOOTHILL ROAD
CARPINTERIA, CA



FENCING & SECURITY PLAN

0 25 50 100
SCALE: 1" = 50'-0" NORTH



SLO CULTIVATION

3889 FOOTHILL ROAD // CARPINTERIA, CALIFORNIA 93013

SHEET TITLE
FENCING & SECURITY PLAN

OWNER Cresco California
P.O. Box 183
Carpinteria, California 93014

DATE 2021.10.12
21839

SHEET NO.

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NORTH
N.T.S.

\\pleinaire\420\pleinaire Shared\Drawing File\SCS Traer\Corp Cannabis\GH7\landscape\Conceptual\SLO Cultivation.dwg, 10/12/2021 3:26:36 PM

TREE SURVEY

Client: SLO Cultivation

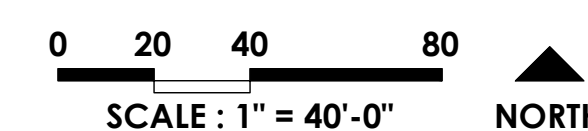
Date: 15-Aug-19
Rev. Date 1: 21-Apr-20
Rev. Date 2: 14-Jan-21

[1] Remain
[2] Remove
[3] Prune
[4] Dead
[5] Replace

Tree #	Species	Common Name	Canopy	Disposition	Notes
1	Persea Americana	Avocado Tree	Grid	2	Remove for new detention basin
2	Persea Americana	Avocado Tree	Grid	2	Remove for new detention basin
3	Persea Americana	Avocado Tree	Grid	2	Remove for new detention basin
4	Persea Americana	Avocado Tree	Grid	2	Remove for new detention basin
5	Persea Americana	Avocado Tree	Grid	2	Remove for new detention basin
6	Persea Americana	Avocado Tree	Grid	2	Remove for new detention basin
7	Persea Americana	Avocado Tree	Grid	2	Remove for new detention basin
8	Persea Americana	Avocado Tree	Grid	2	Remove for new detention basin
9	Persea Americana	Avocado Tree	Grid	2	Remove for new detention basin
10	Persea Americana	Avocado Tree	Grid	2	Remove for new detention basin
11	Persea Americana	Avocado Tree	Grid	2	Remove for new detention basin
12	Persea Americana	Avocado Tree	Grid	2	Remove for new detention basin
13	Persea Americana	Avocado Tree	Grid	2	Remove for new detention basin
14	Persea Americana	Avocado Tree	Grid	2	Remove for new detention basin
15	Persea Americana	Avocado Tree	Grid	2	Remove for new detention basin
16	Persea Americana	Avocado Tree	Grid	2	Remove for new detention basin
17	Persea Americana	Avocado Tree	Grid	2	Remove for new detention basin
18	Persea Americana	Avocado Tree	Grid	2	Remove for new detention basin
19	Persea Americana	Avocado Tree	Grid	2	Remove for new detention basin
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22	Persea Americana	Avocado Tree	Grid	2	Remove for new detention basin
23	Persea Americana	Avocado Tree	Grid	2	Remove for new detention basin
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28	Persea Americana	Avocado Tree	Grid	2	Remove for new detention basin
29	Persea Americana	Avocado Tree	Grid	2	Remove for new detention basin
30	Persea Americana	Avocado Tree	Grid	2	Remove for new detention basin
31	Persea Americana	Avocado Tree	Grid	2	Remove for new detention basin
32	Persea Americana	Avocado Tree	Grid	2	Remove for new detention basin
33	Persea Americana	Avocado Tree	Grid	2	Remove for new detention basin
34	Persea Americana	Avocado Tree	Grid	2	Remove for new detention basin
35	Persea Americana	Avocado Tree	Grid	2	Remove for new detention basin
36	Persea Americana	Avocado Tree	Grid	2	Remove for new detention basin
37	Persea Americana	Avocado Tree	Grid	2	Remove for new detention basin
38	Persea Americana	Avocado Tree	Grid	2	Remove for new detention basin
39	Persea Americana	Avocado Tree	Grid	2	Remove for new detention basin
40	Persea Americana	Avocado Tree	Grid	2	Remove for new detention basin
41	Persea Americana	Avocado Tree	Grid	2	Remove for new detention basin
42	Persea Americana	Avocado Tree	Grid	1	In adjacent parcel
43	Persea Americana	Avocado Tree	Grid	1	In adjacent parcel
44	Persea Americana	Avocado Tree	Grid	1	In adjacent parcel
45	Persea Americana	Avocado Tree	Grid	1	In adjacent parcel
46	Persea Americana	Avocado Tree	Grid	1	In adjacent parcel
47	Persea Americana	Avocado Tree	Grid	1	In adjacent parcel
48	Persea Americana	Avocado Tree	Grid	1	In adjacent parcel
49	Persea Americana	Avocado Tree	Grid	1	In adjacent parcel
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53	Persea Americana	Avocado Tree	Grid	1	In adjacent parcel
54	Persea Americana	Avocado Tree	Grid	1	In adjacent parcel
55	Persea Americana	Avocado Tree	Grid	1	In adjacent parcel
56	Persea Americana	Avocado Tree	Grid	1	In adjacent parcel
57	Persea Americana	Avocado Tree	Grid	1	In adjacent parcel
58	Persea Americana	Avocado Tree	Grid	1	In adjacent parcel



TREE INVENTORY PLAN



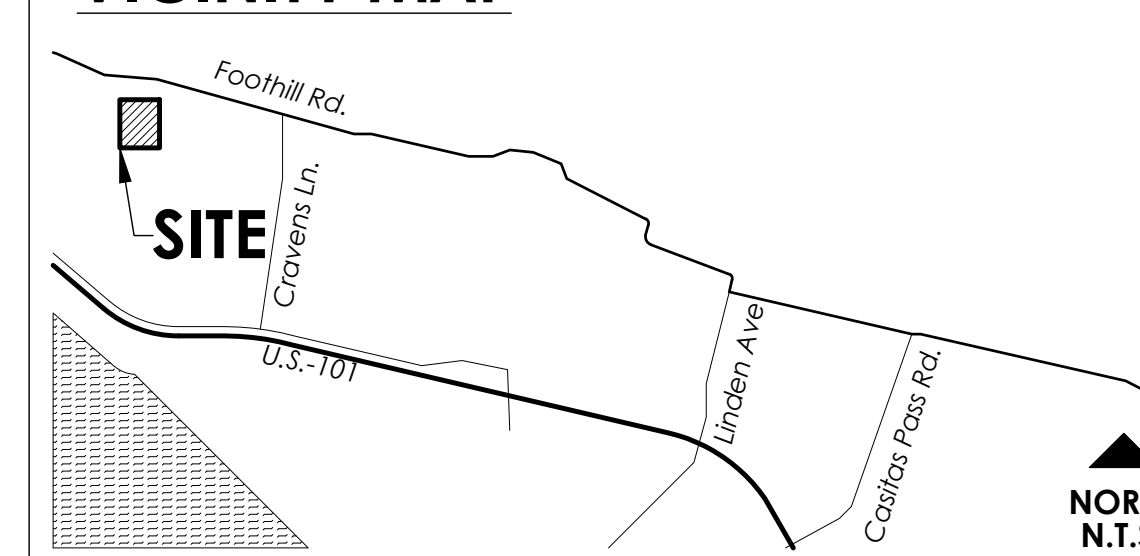
TREE INVENTORY LEGEND

SYMBOL	NAME
	EXISTING TREE CANOPY
	EXISTING TREE CANOPY TO BE REMOVED
	TREE TRUNK

NOTE:

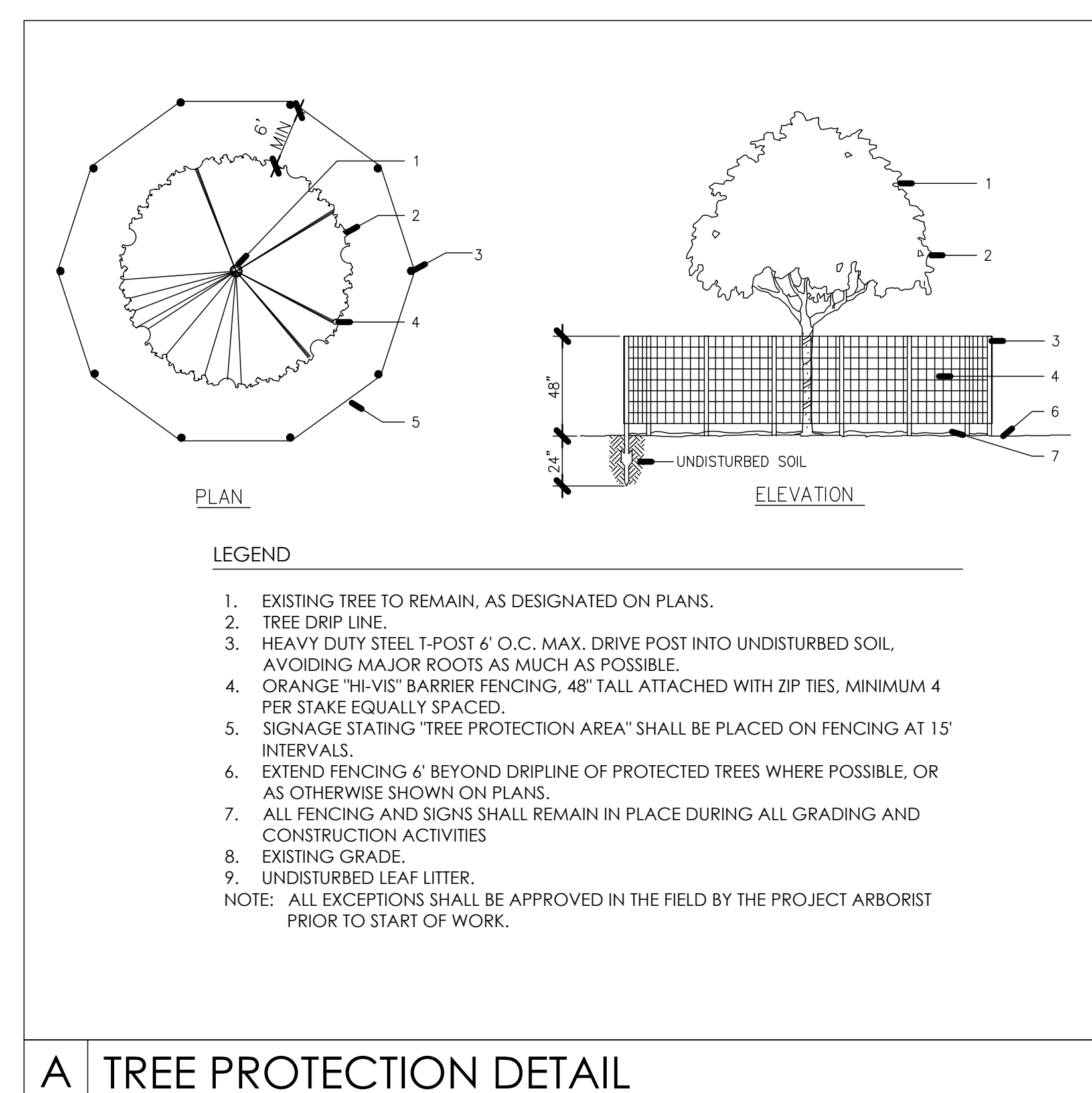
GRADING AND SITE DISTURBANCE SHALL REMAIN AT LEAST 6 FEET OUTSIDE OF THE EXISTING OAK'S DRIPLINE WHENEVER FEASIBLE. IF GRADING MUST ENCROACH WITHIN THAT PROTECTED AREA, ALL SUCH WORK SHALL BE CONDUCTED UNDER THE SUPERVISION OF THE LANDSCAPE ARCHITECT/ARBORIST

VICINITY MAP



TREE PROTECTION NOTES

- PRIOR TO PRE-CONSTRUCTION MEETING, BEGINNING OF GRADING, AND DURING ALL GROUND DISTURBANCE AND CONSTRUCTION ACTIVITIES, TEMPORARY ORANGE PLASTIC FENCING SHALL BE INSTALLED AT THE DRIP LINE OF ALL TREES IN ORDER TO CONTROL ACCESS AND DELINEATE AREAS OF NON-DISTURBANCE. FINAL LOCATION OF FENCING TO BE DETERMINED IN FIELD BY LANDSCAPE ARCHITECT.
- ANY NECESSARY PRUNING SHALL BE IN ACCORDANCE TO THE MOST CURRENT INTERNATIONAL SOCIETY OF ARBORICULTURE PRUNING STANDARDS UNDER THE SUPERVISION OF A CERTIFIED ARBORIST.
- PRIOR TO BEGINNING WORK OR ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT UNDERGROUND SERVICE ALERT AT (800) 442-4133.
- REMOVAL OF WEEDS WITHIN THE DRIP LINE OF THE TREES SHALL BE DONE BY HAND OR BY USE OF A CONTACT HERBICIDE ONLY.
- NO CONSTRUCTION, STORAGE OF MATERIALS, AND/OR PARKING OF VEHICLES SHALL BE PERMITTED WITHIN THE DRIP LINE OF EXISTING TREES.
- NO GRADING SHALL OCCUR WITHIN THE DRIP LINE OF EXISTING TREES EXCEPT AS REQUIRED WITHIN DESIGNATED AREA OF ENCROACHMENT AND UNDER THE SUPERVISION OF THE PROJECT ARBORIST.
- IF UTILITY INSTALLATION MUST OCCUR WITHIN THE DRIP LINE OF ANY OF EXISTING TREES, THEN THE FOLLOWING PRECAUTIONS MUST BE OBSERVED AND PERFORMED UNDER THE SUPERVISION OF THE PROJECT ARBORIST:
 - WHERE IT IS NECESSARY TO EXCAVATE ADJACENT TO EXISTING TREES, THE CONTRACTOR SHALL USE ALL POSSIBLE CARE TO AVOID INJURY TO TREES AND TREE ROOTS.
 - EXCAVATION IN THESE AREAS WHERE TWO (2) INCH AND LARGER ROOTS OCCUR SHALL BE DONE BY HAND.
 - ALL ROOTS LESS THAN TWO (2) INCHES IN DIAMETER, DIRECTLY IN THE PATH OF THE PIPE OR CONDUIT, SHALL BE CLEANLY CUT UNDER THE DIRECTION OF AN APPROVED ARBORIST.
 - ALL ROOTS TWO (2) INCHES AND LARGER IN DIAMETER, EXCEPT DIRECTLY IN THE PATH OF PIPE OR CONDUIT, SHALL BE TUNNELED UNDER AND SHALL BE HEAVILY WRAPPED WITH BURLAP TO PREVENT SCARRING OR EXCESSIVE DRYING.
 - ROOTS ONE (1) INCH AND LARGER IN DIAMETER REQUIRING CUTTING SHALL BE PAINTED WITH TWO COATS OF TREE SEAL OR EQUAL.
 - WHERE A DITCHING MACHINE IS RUN CLOSE TO TREES HAVING ROOTS SMALLER THAN TWO (2) INCHES IN DIAMETER, THE WALL OF THE TRENCH ADJACENT TO TREES SHALL BE HAND TRIMMED, MAKING CLEAN CUTS THROUGH.
 - TRENCHES ADJACENT TO TREES SHOULD BE CLOSED WITHIN TWENTY FOUR (24) HOURS AND WHERE NOT POSSIBLE, THE SIDE OF THE TRENCH ADJACENT TO THE TREES SHALL BE KEPT SHADED WITH BURLAP OR CANVAS.
- ANY DISCREPANCIES AND/OR QUESTIONS THAT MAY ARISE ON SITE REGARDING EXISTING TREES SHALL BE REFERRED TO THE PROJECT ARBORIST.
- ALL EXISTING SHRUBBERY AND GROUND COVER SHALL BE REMOVED WHERE NECESSARY FOR CONSTRUCTION PURPOSES UNLESS OTHERWISE NOTED TO REMAIN.
- ALL DOWNED WOOD AND UPROOTED STUMPS SHALL BE REMOVED AS PART OF THE SITE CLEAN UP. CONTRACTOR SHALL LEAVE EXISTING LEAF MULCH IN PLACE AS MUCH AS POSSIBLE.
- TREES SHALL BE PROTECTED IN PLACE TO THE GREATEST EXTENT POSSIBLE. ALL TREES LOCATED WITHIN TWENTY FIVE (25) FEET OF PROPOSED BUILDINGS SHALL BE PROTECTED FROM STUCCO OR PAINT DURING CONSTRUCTION.
- ANY PRUNING TO BE SUPERVISED BY PROJECT ARBORIST.



TREE PROTECTION DETAIL

SHEET TITLE

TREE INVENTORY PLAN

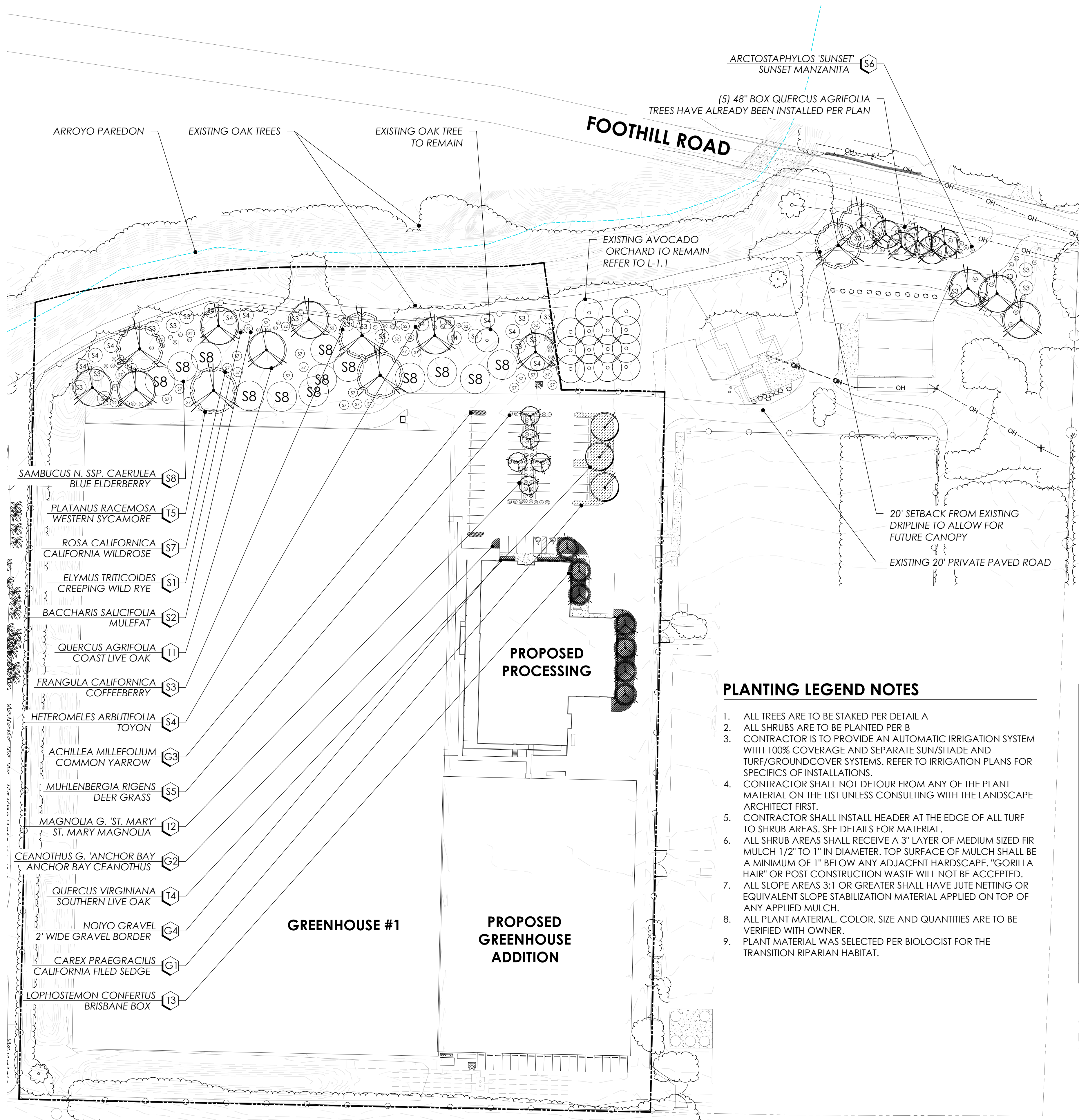
OWNER Cresco California
P.O. Box 183
Carpinteria, California 93014

DATE 2021.10.12
21839

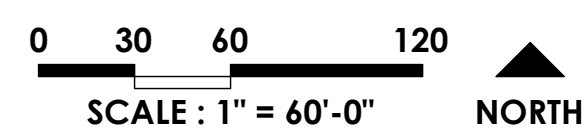
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NORTH
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LANDSCAPE SCREENING PLAN - DETENTION BASIN ENLARGEMENT



PLANT LEGEND

TREES

SYMBOL	NAME	COMMENTS	SIZE	WUCOLS	QTY.
T1	QUERCUS AGRIFOLIA COAST LIVE OAK	PLANT PER DETAIL A	48" BOX	V. LOW	15
T2	MAGNOLIA GRANDIFLORA 'ST. MARY' ST. MARY MAGNOLIA	PLANT PER DETAIL A	24" BOX	MED	5
T3	LOPHOSTEMON CONFERTUS BRISBANE BOX	PLANT PER DETAIL A	36" BOX	MED	7
T4	QUERCUS VIRGINIANA SOUTHERN LIVE OAK	PLANT PER DETAIL A	36" BOX	MED	3
T5	PLATANUS RACEMOSA WESTERN SYCAMORE	PLANT PER DETAIL A REFER TO PLANT LEGEND NOTE #9	36" BOX	MED	6

SHRUBS

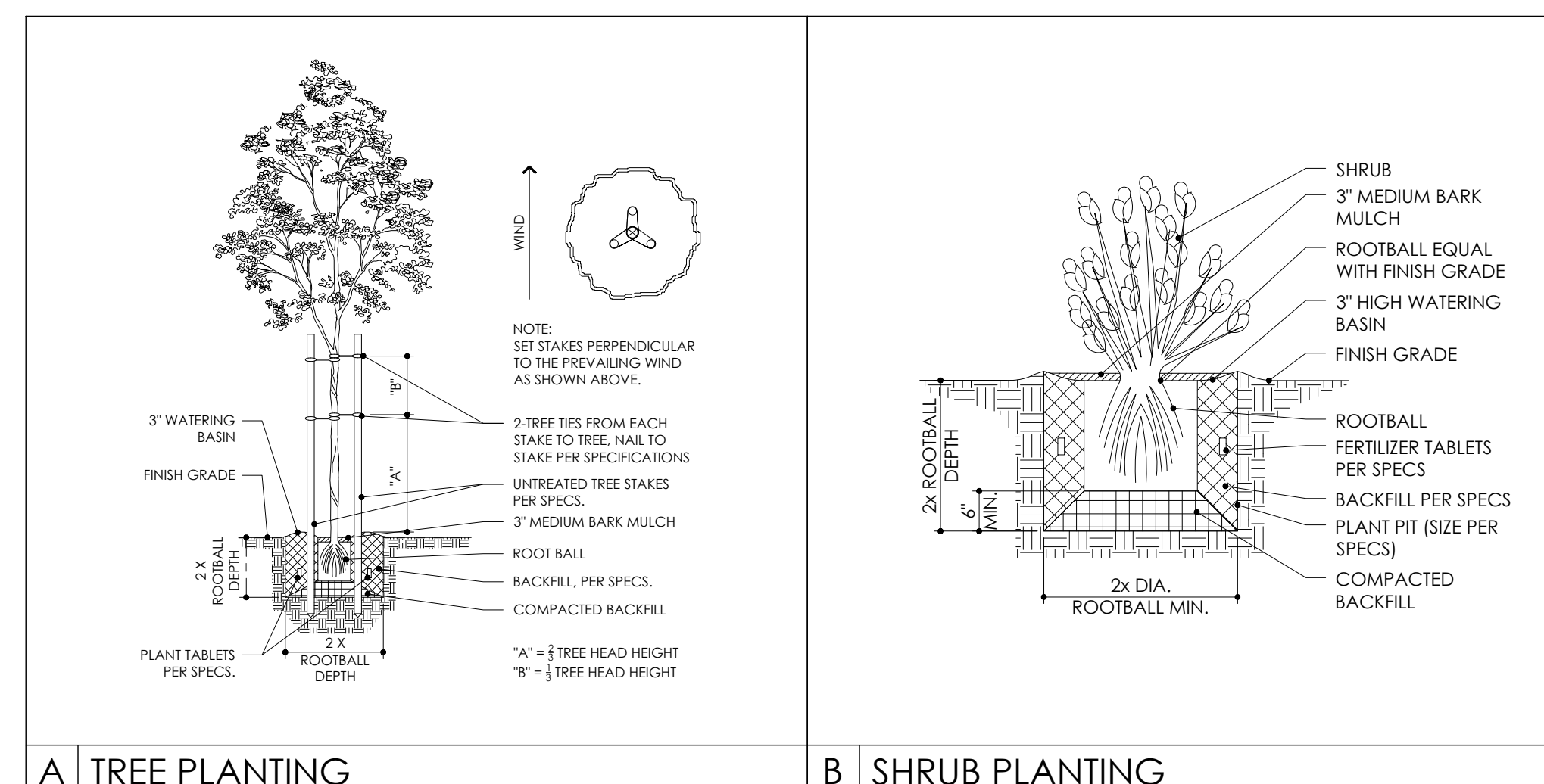
SYMBOL	NAME	COMMENTS	SIZE	WUCOLS	QTY.
S1	ELYMUS TRITICOIDES CREEPING WILD RYE	PLANT PER DETAIL B	1 GAL.	LOW	38
S2	BACCHARIS SALICIFOLIA MULEFAT	PLANT PER DETAIL B	1 GAL.	LOW	15
S3	FRANGULA CALIFORNICA COFFEE BERRY	PLANT PER DETAIL B	5 GAL.	V. LOW	26
S4	HETEROMELES ARBUTIFOLIA TOYON	PLANT PER DETAIL B	5 GAL.	V. LOW	14
S5	MUHLENBERGIA RIGENS DEER GRASS	PLANT PER DETAIL B	5 GAL.	LOW	46
S6	ARCTOSTAPHYLOS 'SUNSET' SUNSET MANZANITA	PLANT PER DETAIL B	5 GAL.	LOW	23
S7	ROSA CALIFORNICA CALIFORNIA WILDROSE	PLANT PER DETAIL B REFER TO PLANT LEGEND NOTE #9	5 GAL.	LOW	23
S8	SAMBUCUS NIGRA SPP. CAERULEA BLUE ELDERBERRY	PLANT PER DETAIL B REFER TO PLANT LEGEND NOTE #9	5 GAL.	LOW	13

GROUNDCOVERS

SYMBOL	NAME	COMMENTS	SIZE	WUCOLS	QTY.
G1	CAREX PRAEGRACILIS CALIFORNIA FIELD SEDGE	PLANT PER DETAIL B 36" O.C.	4" POTS	LOW	19
G2	CEANOTHUS GLORIOSUS 'ANCHOR BAY' ANCHOR BAY CEANOTHUS	PLANT PER DETAIL B 72" O.C.	5 GAL.	LOW	92
G3	ACHILLEA MILLEFOLIUM COMMON YARROW	PLANT PER DETAIL B 24" O.C.	1 GAL.	LOW	43
G4	NOIYO GRAVEL GRAVEL BORDER	2 FOOT WIDE BORDER SURROUNDING THE BUILDING	2"-4"	N/A	423 SQ. FT.

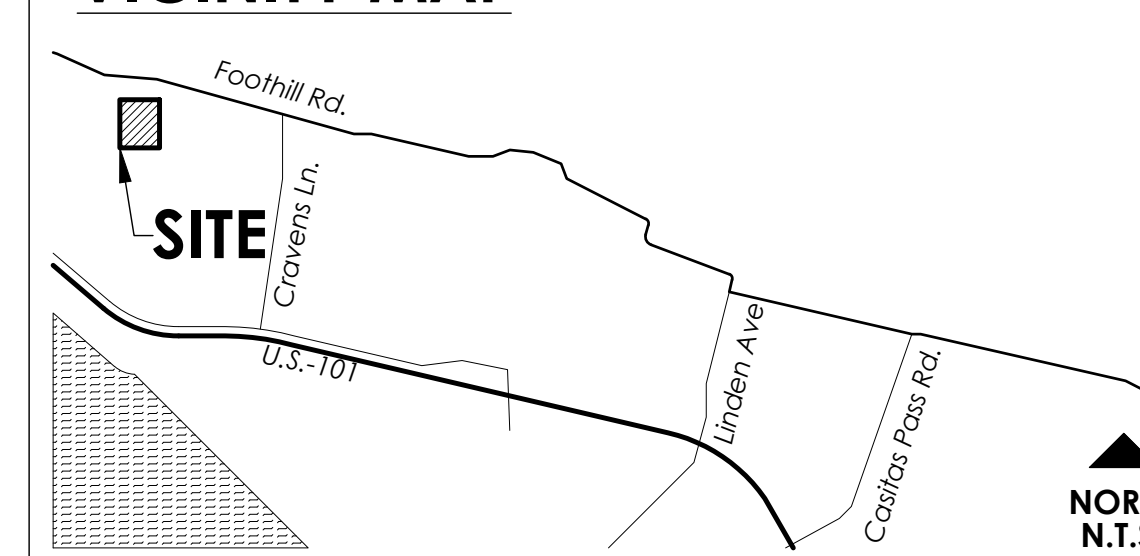
PLANTING LEGEND NOTES

- ALL TREES ARE TO BE STAKED PER DETAIL A
- ALL SHRUBS ARE TO BE PLANTED PER B
- CONTRACTOR IS TO PROVIDE AN AUTOMATIC IRRIGATION SYSTEM WITH 100% COVERAGE AND SEPARATE SUN/SHADE AND TURF/GROUNDCOVER SYSTEMS. REFER TO IRRIGATION PLANS FOR SPECIFICS OF INSTALLATIONS.
- CONTRACTOR SHALL NOT DETOUR FROM ANY OF THE PLANT MATERIAL ON THE LIST UNLESS CONSULTING WITH THE LANDSCAPE ARCHITECT FIRST.
- CONTRACTOR SHALL INSTALL HEADER AT THE EDGE OF ALL TURF TO SHRUB AREAS. SEE DETAILS FOR MATERIAL.
- ALL SHRUB AREAS SHALL RECEIVE A 3" LAYER OF MEDIUM SIZED FIR MULCH 1/2" TO 1" IN DIAMETER. TOP SURFACE OF MULCH SHALL BE A MINIMUM OF 1" BELOW ANY ADJACENT HARDSCAPE. "GORILLA HAIR" OR POST CONSTRUCTION WASTE WILL NOT BE ACCEPTED.
- ALL SLOPE AREAS 3:1 OR GREATER SHALL HAVE JUTE NETTING OR EQUIVALENT SLOPE STABILIZATION MATERIAL APPLIED ON TOP OF ANY APPLIED MULCH.
- ALL PLANT MATERIAL, COLOR, SIZE AND QUANTITIES ARE TO BE VERIFIED WITH OWNER.
- PLANT MATERIAL WAS SELECTED PER BIOLOGIST FOR THE TRANSITION RIPARIAN HABITAT.



NOTE:
GRADING AND SITE DISTURBANCE SHALL REMAIN AT LEAST 6 FEET OUTSIDE OF THE EXISTING OAK'S DRIPLINE WHENEVER FEASIBLE. IF GRADING MUST ENCROACH WITHIN THAT PROTECTED AREA, ALL SUCH WORK SHALL BE CONDUCTED UNDER THE SUPERVISION OF THE LANDSCAPE ARCHITECT/ARBORIST

VICINITY MAP



SHEET TITLE

**LANDSCAPE
SCREENING
PLAN**

OWNER Cresco California
P.O. Box 183
Carpinteria, California 93014

DATE 2021.10.12
21839

SHEET NO.

L-1.2

SLO CULTIVATION

3889 FOOTHILL ROAD // CARPINTERIA, CALIFORNIA 93013

SHEET TITLE

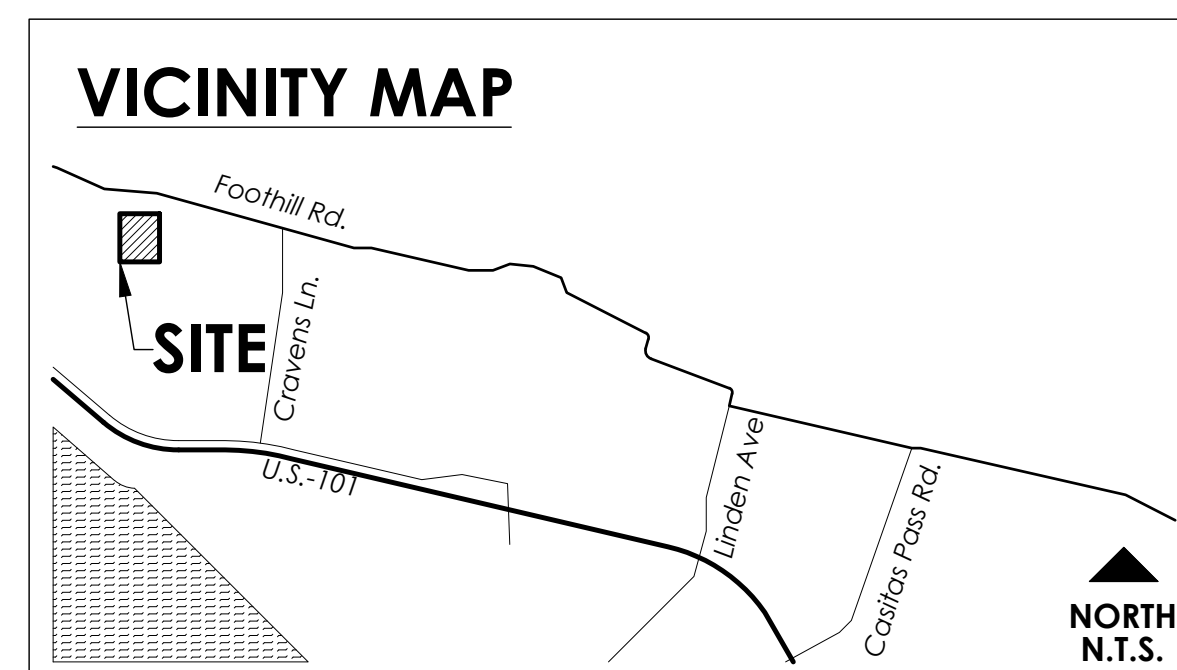
EXISTING RENDERED SITE PLAN

OWNER Cresco California
P.O. Box 183
Carpinteria, California 93014

DATE 2021.10.12
21839

SHEET NO.

L-1.3



EXISTING RENDERED SITE PLAN

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