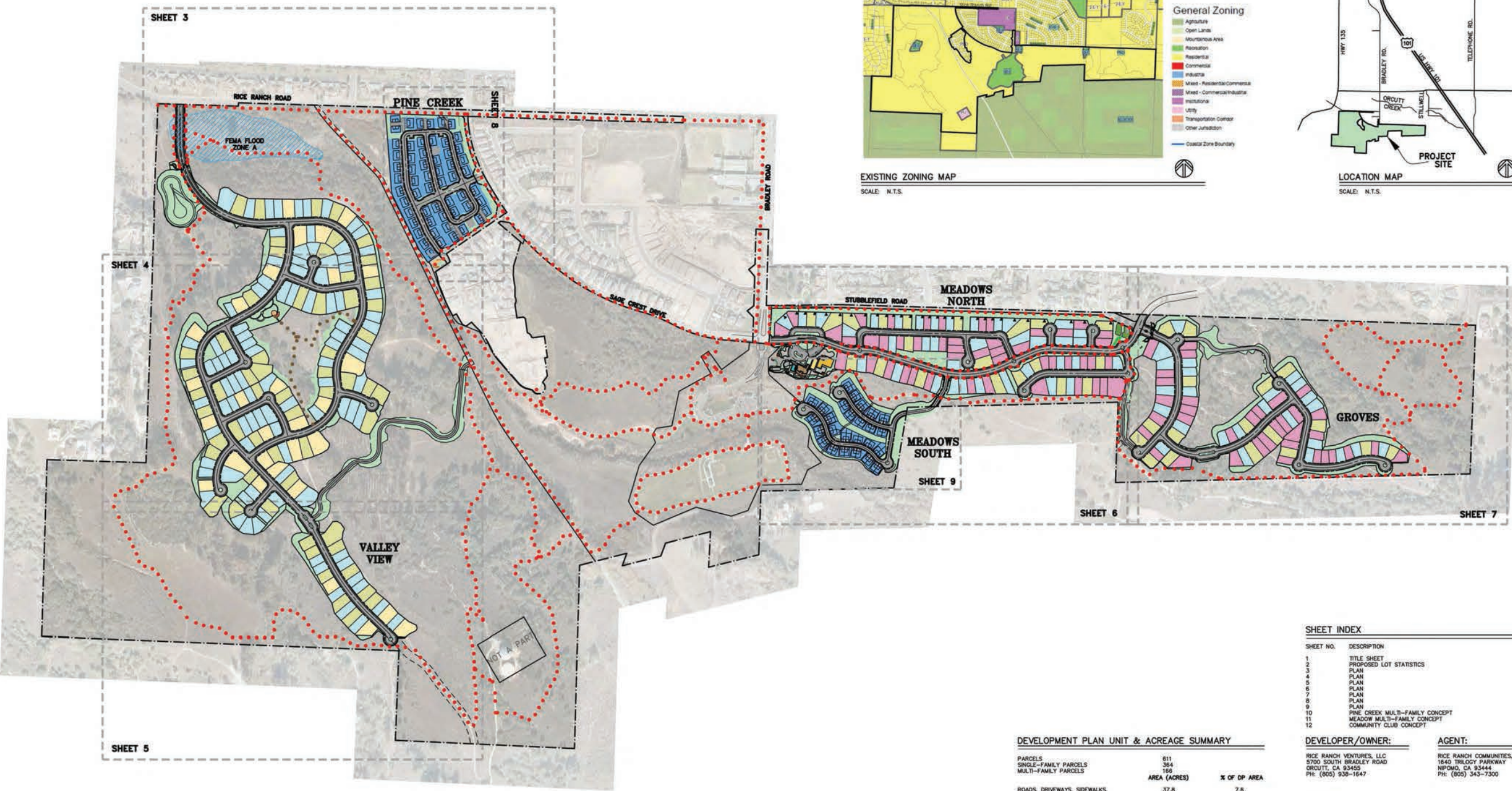


42-CDB SAVE DATE: 10/14/2015 2:31:09 PM PLOT BY: Fuhrer, Andrew PLOT DATE: 10/15/2015 3:34:08 PM PLOT SCALE: 1:60



SHEET 3

SHEET 4

SHEET 5

SHEET 8

SHEET 9

SHEET 6

SHEET 7

LEGEND:

- TRACT BOUNDARY
- PROPOSED RIGHT-OF-WAY
- PROPOSED EASEMENT
- PROPOSED STREET CENTERLINE
- PROPOSED LOT LINES
- PROPOSED CURB AND GUTTER
- NATURAL OPENSOURCE
- HOA OPENSOURCE
- ROADS, DRIVEWAYS, SIDEWALKS, AND PATHS
- SINGLE STORY HOME RESTRICTION
- PUBLIC TRAIL
- PRIVATE TRAIL

UNIT DATA

AREA	UNITS	AVG. UNIT S.F.	TOTAL S.F.
35 FT LOT	166	3,246	538,636
50 FT LOT	82	2,446	200,572
55 FT LOT	158	2,985	471,630
65 FT LOT	95	3,120	296,400
75 FT LOT	29	3,880	112,520
TOTAL:	530	-	1,619,958 (37.2 ACRES)

DEVELOPMENT PLAN UNIT & ACREAGE SUMMARY

	AREA (ACRES)	% OF DP AREA
PARCELS	611	
SINGLE-FAMILY PARCELS	364	
MULTI-FAMILY PARCELS	166	
ROADS, DRIVEWAYS, SIDEWALKS, AND PATHS	37.8	7.6
BUILDING COVERAGE	37.2	7.5
PRIVATE RESIDENTIAL YARDS	53.2	10.7
HOA OPEN SPACE	30.2	6.1
COUNTY OPEN SPACE	335.5	67.7
COMMUNITY FACILITIES	1.6	0.3
TOTAL	495.6	100%

SHEET INDEX

SHEET NO.	DESCRIPTION
1	TITLE SHEET
2	PROPOSED LOT STATISTICS
3	PLAN
4	PLAN
5	PLAN
6	PLAN
7	PLAN
8	PLAN
9	PLAN
10	PINE CREEK MULTI-FAMILY CONCEPT
11	MEADOW MULTI-FAMILY CONCEPT
12	COMMUNITY CLUB CONCEPT

DEVELOPER/OWNER: RICE RANCH VENTURES, LLC
5700 SOUTH BRADLEY ROAD
ORCUTT, CA 93405
PH: (805) 936-1647

AGENT: RICE RANCH COMMUNITIES, LLC
1640 TRILOGY PARKWAY
NIPOMO, CA 93444
PH: (805) 343-7300

UTILITIES

SANITARY SEWER: LAGUNA COUNTY SANITATION DISTRICT
620 WEST FOSTER ROAD
SANTA MARIA, CA 93455
(805) 736-8750

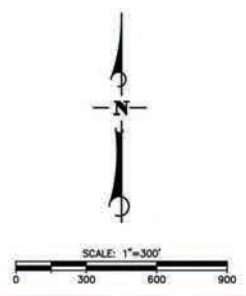
WATER: GOLDEN STATE WATER COMPANY
1140 LOS OLIVOS AVENUE
LOS OSOS, CA 93402
(805) 328-7341

GAS DISTRIBUTION: THE GAS COMPANY
P.O. BOX 818
OLETA, CA 93116-0818
(805) 681-8024

ELECTRICAL DISTRIBUTION: PACIFIC GAS AND ELECTRIC (PG&E)
2445 SKYWAY DRIVE
SANTA MARIA, CA 93455
(805) 346-2232

TELEPHONE: VERIZON
1223 W. FAIRWAY DRIVE
SANTA MARIA, CA 93455
(805) 928-3538

CABLE T.V.: COMCAST CABLE
2323 THOMPSON WAY
SANTA MARIA, CA 93455
(805) 349-7185



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SAN LUIS OBISPO, CA 93401
T: 805 544-4011 F: 805 544-4294
www.wallacegroup.us

Stantec

2646 Santa Maria Way, Suite 107, Santa Maria, CA 93455
Phone: (805) 925-2345

RICE RANCH DEVELOPMENT PLAN TITLE SHEET

TM 14TRM-00000-00001 DP#: 14DVP-00000-00004
GPA#: 14GPA-00000-00006 RZ#: N/A
SPP#: 14SPP-00000-00001 ORD#: 14ORD-00000-00004

BEING A SUBDIVISION OF APN SEE LEGAL DESC.
TOWN OF ORCUTT, COUNTY OF SANTA BARBARA, CALIFORNIA
SCALE: AS NOTED STANTEC PROJECT N8064105600
PLAN DATE: OCTOBER 2015

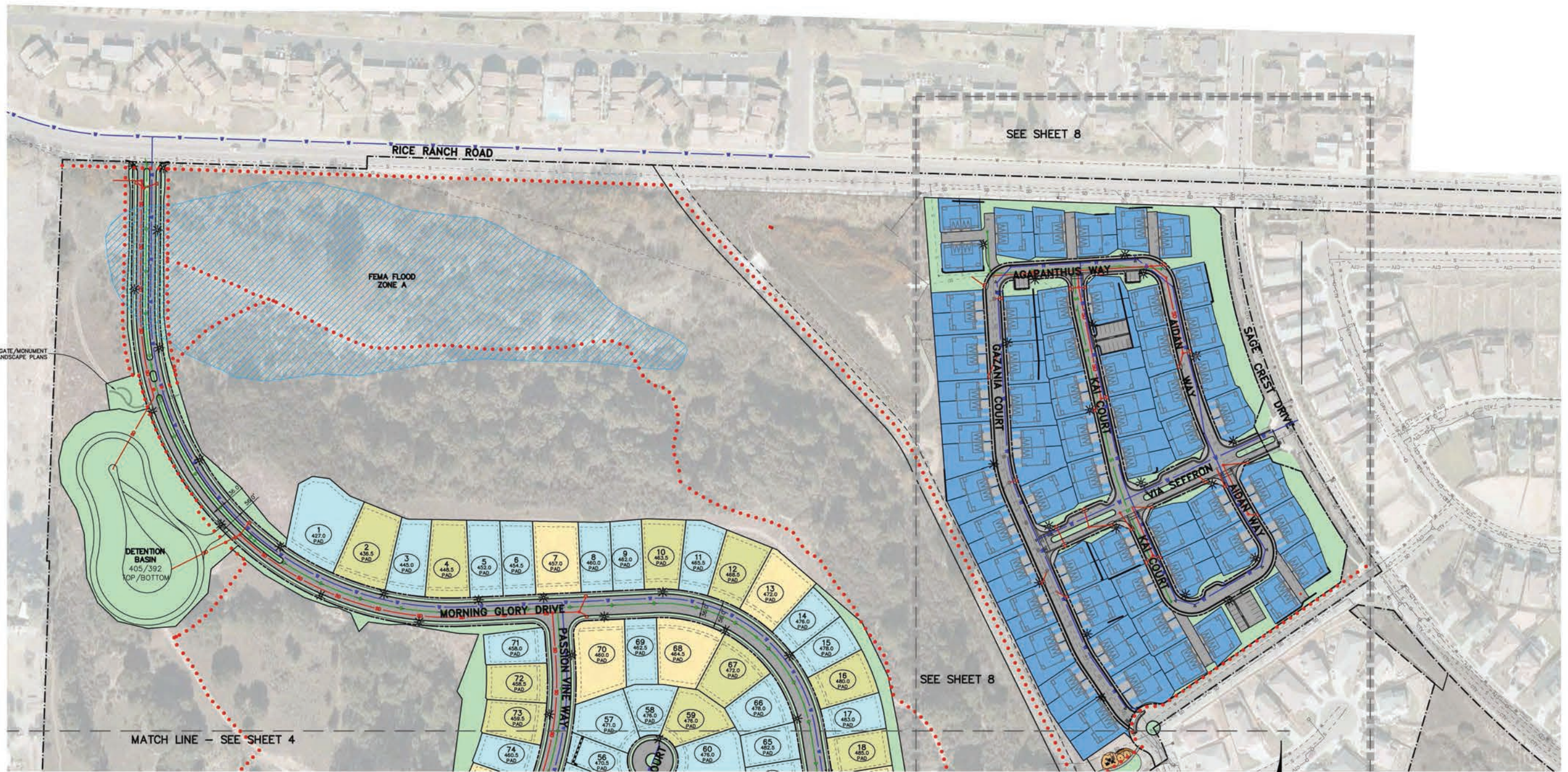
PROPOSED LOTS				
LOT	GROSS SF	LAND USE	ZONING	
1	18,534	SINGLE FAMILY HOME	PRD	
2	14,328	SINGLE FAMILY HOME	PRD	
3	10,379	SINGLE FAMILY HOME	PRD	
4	12,105	SINGLE FAMILY HOME	PRD	
5	9,823	SINGLE FAMILY HOME	PRD	
6	9,412	SINGLE FAMILY HOME	PRD	
7	12,695	SINGLE FAMILY HOME	PRD	
8	8,605	SINGLE FAMILY HOME	PRD	
9	8,495	SINGLE FAMILY HOME	PRD	
10	10,730	SINGLE FAMILY HOME	PRD	
11	9,864	SINGLE FAMILY HOME	PRD	
12	11,055	SINGLE FAMILY HOME	PRD	
13	12,589	SINGLE FAMILY HOME	PRD	
14	8,202	SINGLE FAMILY HOME	PRD	
15	8,029	SINGLE FAMILY HOME	PRD	
16	9,558	SINGLE FAMILY HOME	PRD	
17	7,787	SINGLE FAMILY HOME	PRD	
18	8,840	SINGLE FAMILY HOME	PRD	
19	10,960	SINGLE FAMILY HOME	PRD	
20	10,339	SINGLE FAMILY HOME	PRD	
21	9,014	SINGLE FAMILY HOME	PRD	
22	11,118	SINGLE FAMILY HOME	PRD	
23	8,972	SINGLE FAMILY HOME	PRD	
24	10,274	SINGLE FAMILY HOME	PRD	
25	11,108	SINGLE FAMILY HOME	PRD	
26	9,908	SINGLE FAMILY HOME	PRD	
27	10,970	SINGLE FAMILY HOME	PRD	
28	21,305	SINGLE FAMILY HOME	PRD	
29	13,262	SINGLE FAMILY HOME	PRD	
30	10,201	SINGLE FAMILY HOME	PRD	
31	9,978	SINGLE FAMILY HOME	PRD	
32	13,111	SINGLE FAMILY HOME	PRD	
33	15,670	SINGLE FAMILY HOME	PRD	
34	11,847	SINGLE FAMILY HOME	PRD	
35	11,984	SINGLE FAMILY HOME	PRD	
36	10,499	SINGLE FAMILY HOME	PRD	
37	8,222	SINGLE FAMILY HOME	PRD	
38	11,109	SINGLE FAMILY HOME	PRD	
39	9,178	SINGLE FAMILY HOME	PRD	
40	7,879	SINGLE FAMILY HOME	PRD	
41	8,918	SINGLE FAMILY HOME	PRD	
42	7,587	SINGLE FAMILY HOME	PRD	
43	8,692	SINGLE FAMILY HOME	PRD	
44	7,592	SINGLE FAMILY HOME	PRD	
45	8,143	SINGLE FAMILY HOME	PRD	
46	8,459	SINGLE FAMILY HOME	PRD	
47	15,197	SINGLE FAMILY HOME	PRD	
48	9,574	SINGLE FAMILY HOME	PRD	
49	11,311	SINGLE FAMILY HOME	PRD	
50	14,669	SINGLE FAMILY HOME	PRD	
51	11,991	SINGLE FAMILY HOME	PRD	
52	12,712	SINGLE FAMILY HOME	PRD	
53	10,504	SINGLE FAMILY HOME	PRD	
54	11,686	SINGLE FAMILY HOME	PRD	
55	9,749	SINGLE FAMILY HOME	PRD	
56	7,818	SINGLE FAMILY HOME	PRD	
57	10,848	SINGLE FAMILY HOME	PRD	
58	7,872	SINGLE FAMILY HOME	PRD	
59	10,466	SINGLE FAMILY HOME	PRD	
60	11,545	SINGLE FAMILY HOME	PRD	
61	11,759	SINGLE FAMILY HOME	PRD	
62	10,658	SINGLE FAMILY HOME	PRD	
63	7,734	SINGLE FAMILY HOME	PRD	
64	7,283	SINGLE FAMILY HOME	PRD	
65	7,570	SINGLE FAMILY HOME	PRD	
66	9,708	SINGLE FAMILY HOME	PRD	
67	11,374	SINGLE FAMILY HOME	PRD	
68	13,921	SINGLE FAMILY HOME	PRD	
69	8,257	SINGLE FAMILY HOME	PRD	
70	14,793	SINGLE FAMILY HOME	PRD	
71	7,828	SINGLE FAMILY HOME	PRD	
72	8,866	SINGLE FAMILY HOME	PRD	
73	8,972	SINGLE FAMILY HOME	PRD	
74	8,120	SINGLE FAMILY HOME	PRD	
75	11,457	SINGLE FAMILY HOME	PRD	
76	8,713	SINGLE FAMILY HOME	PRD	
77	8,818	SINGLE FAMILY HOME	PRD	
78	10,718	SINGLE FAMILY HOME	PRD	
79	11,080	SINGLE FAMILY HOME	PRD	
80	6,394	SINGLE FAMILY HOME	PRD	

PROPOSED LOTS				
LOT	GROSS SF	LAND USE	ZONING	
81	7,466	SINGLE FAMILY HOME	PRD	
82	7,171	SINGLE FAMILY HOME	PRD	
83	7,438	SINGLE FAMILY HOME	PRD	
84	7,866	SINGLE FAMILY HOME	PRD	
85	10,079	SINGLE FAMILY HOME	PRD	
86	15,075	SINGLE FAMILY HOME	PRD	
87	9,523	SINGLE FAMILY HOME	PRD	
88	8,517	SINGLE FAMILY HOME	PRD	
89	8,678	SINGLE FAMILY HOME	PRD	
90	8,627	SINGLE FAMILY HOME	PRD	
91	11,155	SINGLE FAMILY HOME	PRD	
92	8,659	SINGLE FAMILY HOME	PRD	
93	8,899	SINGLE FAMILY HOME	PRD	
94	9,200	SINGLE FAMILY HOME	PRD	
95	7,015	SINGLE FAMILY HOME	PRD	
96	7,414	SINGLE FAMILY HOME	PRD	
97	10,421	SINGLE FAMILY HOME	PRD	
98	10,412	SINGLE FAMILY HOME	PRD	
99	10,127	SINGLE FAMILY HOME	PRD	
100	9,632	SINGLE FAMILY HOME	PRD	
101	10,877	SINGLE FAMILY HOME	PRD	
102	12,380	SINGLE FAMILY HOME	PRD	
103	19,788	SINGLE FAMILY HOME	PRD	
104	12,208	SINGLE FAMILY HOME	PRD	
105	14,430	SINGLE FAMILY HOME	PRD	
106	10,628	SINGLE FAMILY HOME	PRD	
107	10,340	SINGLE FAMILY HOME	PRD	
108	11,524	SINGLE FAMILY HOME	PRD	
109	11,383	SINGLE FAMILY HOME	PRD	
110	9,533	SINGLE FAMILY HOME	PRD	
111	10,515	SINGLE FAMILY HOME	PRD	
112	12,231	SINGLE FAMILY HOME	PRD	
113	16,858	SINGLE FAMILY HOME	PRD	
114	20,044	SINGLE FAMILY HOME	PRD	
115	9,093	SINGLE FAMILY HOME	PRD	
116	7,873	SINGLE FAMILY HOME	PRD	
117	8,259	SINGLE FAMILY HOME	PRD	
118	10,094	SINGLE FAMILY HOME	PRD	
119	7,847	SINGLE FAMILY HOME	PRD	
120	7,723	SINGLE FAMILY HOME	PRD	
121	10,089	SINGLE FAMILY HOME	PRD	
122	10,028	SINGLE FAMILY HOME	PRD	
123	8,480	SINGLE FAMILY HOME	PRD	
124	12,428	SINGLE FAMILY HOME	PRD	
125	8,321	SINGLE FAMILY HOME	PRD	
126	14,576	SINGLE FAMILY HOME	PRD	
127	11,513	SINGLE FAMILY HOME	PRD	
128	10,072	SINGLE FAMILY HOME	PRD	
129	11,348	SINGLE FAMILY HOME	PRD	
130	10,007	SINGLE FAMILY HOME	PRD	
131	10,501	SINGLE FAMILY HOME	PRD	
132	7,872	SINGLE FAMILY HOME	PRD	
133	9,840	SINGLE FAMILY HOME	PRD	
134	8,138	SINGLE FAMILY HOME	PRD	
135	9,749	SINGLE FAMILY HOME	PRD	
136	8,833	SINGLE FAMILY HOME	PRD	
137	7,877	SINGLE FAMILY HOME	PRD	
138	8,858	SINGLE FAMILY HOME	PRD	
139	8,656	SINGLE FAMILY HOME	PRD	
140	10,567	SINGLE FAMILY HOME	PRD	
141	7,228	SINGLE FAMILY HOME	PRD	
142	8,575	SINGLE FAMILY HOME	PRD	
143	9,573	SINGLE FAMILY HOME	PRD	
144	8,145	SINGLE FAMILY HOME	PRD	
145	10,531	SINGLE FAMILY HOME	PRD	
146	7,027	SINGLE FAMILY HOME	PRD	
147	8,156	SINGLE FAMILY HOME	PRD	
148	9,570	SINGLE FAMILY HOME	PRD	
149	7,871	SINGLE FAMILY HOME	PRD	
150	8,189	SINGLE FAMILY HOME	PRD	
151	8,870	SINGLE FAMILY HOME	PRD	
152	9,758	SINGLE FAMILY HOME	PRD	
153	7,723	SINGLE FAMILY HOME	PRD	
154	11,562	SINGLE FAMILY HOME	PRD	
155	9,150	SINGLE FAMILY HOME	PRD	
156	9,239	SINGLE FAMILY HOME	PRD	
157	9,510	SINGLE FAMILY HOME	PRD	
158	12,448	SINGLE FAMILY HOME	PRD	
159	20,333	SINGLE FAMILY HOME	PRD	
160	15,973	SINGLE FAMILY HOME	PRD	

PROPOSED LOTS				
LOT	GROSS SF	LAND USE	ZONING	
161	15,875	SINGLE FAMILY HOME	PRD	
162	9,889	SINGLE FAMILY HOME	PRD	
163	9,363	SINGLE FAMILY HOME	PRD	
164	7,961	SINGLE FAMILY HOME	PRD	
165	8,177	SINGLE FAMILY HOME	PRD	
166	9,826	SINGLE FAMILY HOME	PRD	
167	12,010	SINGLE FAMILY HOME	PRD	
168	7,727	SINGLE FAMILY HOME	PRD	
169	10,907	SINGLE FAMILY HOME	PRD	
170	8,928	SINGLE FAMILY HOME	PRD	
171	7,836	SINGLE FAMILY HOME	PRD	
172	8,587	SINGLE FAMILY HOME	PRD	
173	10,114	SINGLE FAMILY HOME	PRD	
174	9,412	SINGLE FAMILY HOME	PRD	
175	8,381	SINGLE FAMILY HOME	PRD	
176	9,586	SINGLE FAMILY HOME	PRD	
177	8,465	SINGLE FAMILY HOME	PRD	
178	12,743	SINGLE FAMILY HOME	PRD	
179	7,915	SINGLE FAMILY HOME	PRD	
180	11,135	SINGLE FAMILY HOME	PRD	
181	7,728	SINGLE FAMILY HOME	PRD	
182	6,345	SINGLE FAMILY HOME	PRD	
183	6,090	SINGLE FAMILY HOME	PRD	
184	7,811	SINGLE FAMILY HOME	PRD	
185	2,808	MULTI-FAMILY	PRD	
186	2,964	MULTI-FAMILY	PRD	
187	2,605	MULTI-FAMILY	PRD	
188	2,853	MULTI-FAMILY	PRD	
189	2,362	MULTI-FAMILY	PRD	
190	2,858	MULTI-FAMILY	PRD	
191	2,618	MULTI-FAMILY	PRD	
192	3,259	MULTI-FAMILY	PRD	
193	2,910	MULTI-FAMILY	PRD	
194	3,891	MULTI-FAMILY	PRD	
195	3,903	MULTI-FAMILY	PRD	
196	3,321	MULTI-FAMILY	PRD	
197	3,189	MULTI-FAMILY	PRD	
198	3,389	MULTI-FAMILY	PRD	
199	3,083	MULTI-FAMILY	PRD	
200	2,781	MULTI-FAMILY	PRD	
201	2,593	MULTI-FAMILY	PRD	
202	2,427	MULTI-FAMILY	PRD	
203	3,509	MULTI-FAMILY	PRD	
204	3,352	MULTI-FAMILY	PRD	
205	3,335	MULTI-FAMILY	PRD	
206	3,311	MULTI-FAMILY	PRD	
207	2,605	MULTI-FAMILY	PRD	
208	2,565	MULTI-FAMILY	PRD	
209	3,025	MULTI-FAMILY	PRD	
210	2,429	MULTI-FAMILY	PRD	
211	3,099	MULTI-FAMILY	PRD	
212	2,422	MULTI-FAMILY	PRD	
213	2,590	MULTI-FAMILY	PRD	
214	2,481	MULTI-FAMILY	PRD	
215	2,682	MULTI-FAMILY	PRD	
216	2,527	MULTI-FAMILY	PRD	
217	3,471	MULTI-FAMILY	PRD	
218	3,116	MULTI-FAMILY	PRD	
219	3,812	MULTI-FAMILY	PRD	
220	3,387	MULTI-FAMILY	PRD	
221	3,443	MULTI-FAMILY	PRD	
222	3,591	MULTI-FAMILY	PRD	
223	3,518	MULTI-FAMILY	PRD	
224	3,824	MULTI-FAMILY	PRD	
225	3,905	MULTI-FAMILY	PRD	
226	3,866	MULTI-FAMILY	PRD	
227	4,068	MULTI-FAMILY	PRD	
228	3,849	MULTI-FAMILY	PRD	
229	3,744	MULTI-FAMILY	PRD	
230	4,139	MULTI-FAMILY	PRD	
231	2,980	MULTI-FAMILY	PRD	
232	2,870	MULTI-FAMILY	PRD	
233	2,996	MULTI-FAMILY	PRD	
234	3,003	MULTI-FAMILY	PRD	
235	3,558	MULTI-FAMILY	PRD	
236	3,140	MULTI-FAMILY	PRD	
237	3,189	MULTI-FAMILY	PRD	
238	3,036	MULTI-FAMILY	PRD	
239	3,282	MULTI-FAMILY	PRD	
240	3,342	MULTI-FAMILY	PRD	

PROPOSED LOTS				
LOT	GROSS SF	LAND USE	ZONING	
241	2,926	MULTI-FAMILY	PRD	
242	2,902	MULTI-FAMILY	PRD	
243	3,312	MULTI-FAMILY	PRD	
244	3,073	MULTI-FAMILY	PRD	
245	3,160	MULTI-FAMILY	PRD	
246	2,950	MULTI-FAMILY	PRD	
247	3,358	MULTI-FAMILY	PRD	
248	2,853	MULTI-FAMILY	PRD	
249	2,825	MULTI-FAMILY	PRD	
250	2,520	MULTI-FAMILY	PRD	
251	2,964	MULTI-FAMILY	PRD	
252	3,039	MULTI-FAMILY	PRD	
253	3,509	MULTI-FAMILY	PRD	
254	3,748	MULTI-FAMILY	PRD	
255	3,069	MULTI-FAMILY	PRD	
256	3,282	MULTI-FAMILY	PRD	
257	3,078	MULTI-FAMILY	PRD	
258	3,276	MULTI-FAMILY	PRD	
259	3,370	MULTI-FAMILY	PRD	
260	3,888	MULTI-FAMILY	PRD	
261	3,918	MULTI-FAMILY	PRD	
262	5,785	MULTI-FAMILY	PRD	
263	4,053	MULTI-FAMILY	PRD	
264	3,822	MULTI-FAMILY	PRD	
265	3,470	MULTI-FAMILY	PRD	
266	3,514	MULTI-FAMILY	PRD	
267	3,629	MULTI-FAMILY	PRD	
268	4,439	MULTI-FAMILY	PRD	
269	3,808	MULTI-FAMILY	PRD	
270	4,355	MULTI-FAMILY	PRD	
271	3,718	MULTI-FAMILY	PRD	
272	4,370	MULTI-FAMILY	PRD	
273	4,782	MULTI-FAMILY	PRD	
274	4,027	MULTI-FAMILY	PRD	
275	4,192	MULTI-FAMILY	PRD	
276	3,733	MULTI-FAMILY	PRD	
277	4,828	MULTI-FAMILY	PRD	
278	3,840	MULTI-FAMILY	PRD	
279	3,892	MULTI-FAMILY	PRD	
280	3,775	MULTI-FAMILY	PRD	
281	4,228	MULTI-FAMILY	PRD	
282	4,013	MULTI-FAMILY	PRD	
2				

42-DIB SAVE DATE: 10/15/2015 2:32:11 PM PLOT BY: Fuller, Andrew PLOT DATE: 10/15/2015 3:26:40 PM PLOT SCALE: 1:60

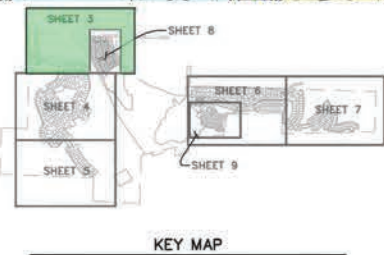


LEGEND:

	TRACT BOUNDARY		PROPOSED SEWER
	PROPOSED RIGHT-OF-WAY		PROPOSED STORM DRAIN
	PROPOSED EASEMENT		PROPOSED WATER
	PROPOSED STREET CENTERLINE		PROPOSED RETAINING WALL
	PROPOSED LOT LINES		LOT NUMBER
	PROPOSED BUILDING SETBACK		PAD ELEVATION
	PROPOSED CURB AND GUTTER		STREET LIGHT 9500 LUMEN
	PUBLIC TRAIL		EXISTING SEWER
	PRIVATE TRAIL		EXISTING STORM DRAIN
			EXISTING WATER

HATCH LEGEND

	35 FT LOT		HOA OPENSAPCE
	50 FT LOT		ROAD
	55 FT LOT		FEMA ZONE A
	65 FT LOT		NATURAL OPENSAPCE
	75 FT LOT		



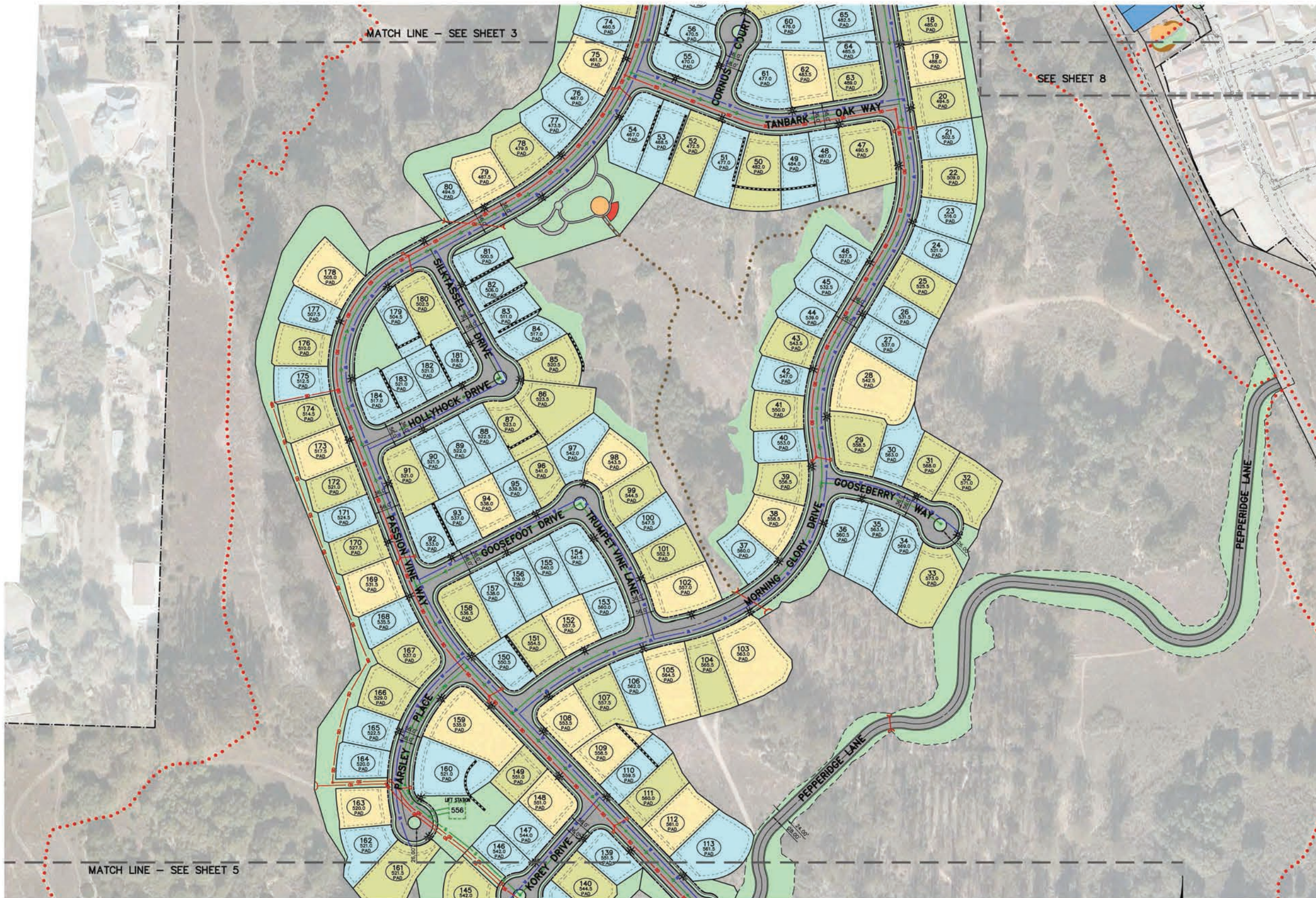
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 SAN LUIS OBISPO, CA 93401
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 www.wallacegroup.com

Stantec
 2546 Santa Maria Way, Suite 107, Santa Maria, CA 93455
 Phone: (805) 925-2345

**RICE RANCH
 DEVELOPMENT PLAN
 PLAN**

TM 14TRM-00000-00001 DP#: 140VP-00000-00004
 GPA#: 14GPA-00000-0006 RZ#: N/A
 SPP#: 14SPP-00000-00001 ORD#: 14ORD-00000-00004
 BEING A SUBDIVISION OF APN SEE LEGAL DESC.
 TOWN OF ORCUTT, COUNTY OF SANTA BARBARA, CALIFORNIA
 SCALE: AS NOTED STANTEC PROJECT No.2064106600
 PLAN DATE: OCTOBER 2015

42-038 SAVE DATE: 10/15/2015 2:32:11 PM PLOT BY: Fuhr, Andrew PLOT DATE: 10/15/2015 3:37:05 PM PLOT SCALE: 1:60



MATCH LINE - SEE SHEET 3

SEE SHEET 8

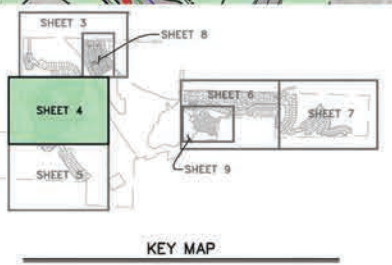
MATCH LINE - SEE SHEET 5

LEGEND:

	TRACT BOUNDARY		PROPOSED SEWER
	PROPOSED RIGHT-OF-WAY		PROPOSED STORM DRAIN
	PROPOSED EASEMENT		PROPOSED WATER
	PROPOSED STREET CENTERLINE		PROPOSED RETAINING WALL
	PROPOSED LOT LINES		LOT NUMBER
	PROPOSED BUILDING SETBACK		PAD ELEVATION
	PROPOSED CURB AND GUTTER		STREET LIGHT 9500 LUMEN
	PUBLIC TRAIL		EXISTING SEWER
	PRIVATE TRAIL		EXISTING STORM DRAIN
			EXISTING WATER

HATCH LEGEND

	35 FT LOT		HOA OPENSOURCE
	50 FT LOT		ROAD
	55 FT LOT		FEMA ZONE A
	65 FT LOT		NATURAL OPENSOURCE
	75 FT LOT		



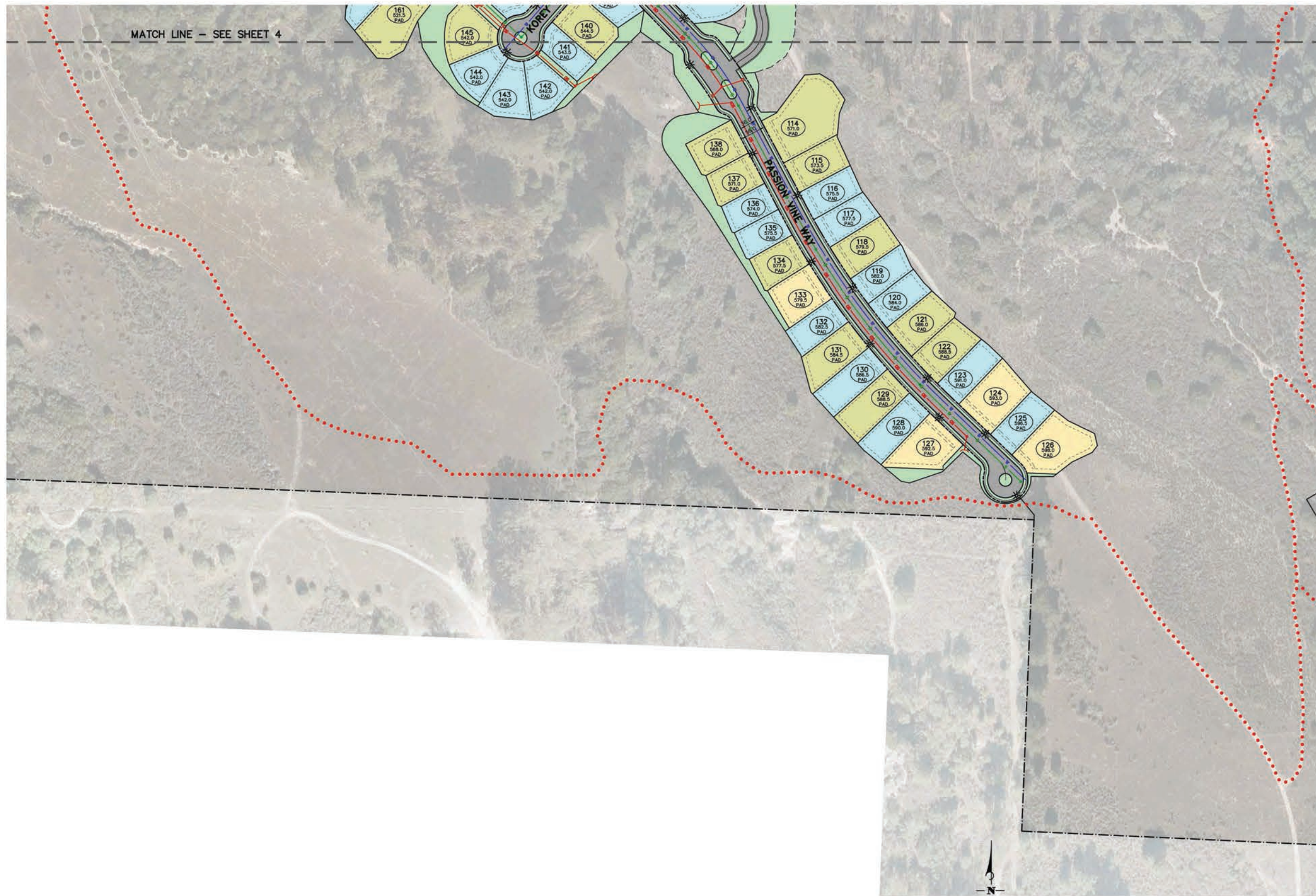
RICE RANCH DEVELOPMENT PLAN PLAN

TM 14TRM-00000-00001 DP#: 140VP-00000-00004
 GPA#: 14GPA-00000-0006 RZ#: N/A
 SPP#: 14SPP-00000-00001 ORD#: 140RD-00000-00004
 BEING A SUBDIVISION OF APN SEE LEGAL DESC.
 TOWN OF ORCUTT, COUNTY OF SANTA BARBARA, CALIFORNIA
 SCALE: AS NOTED STANTEC PROJECT No.2064106600
 PLAN DATE: OCTOBER 2015

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42-D98 SAVE DATE: 10/15/2015 2:32:11 PM PLOT BY: Fuhrer, Andrew PLOT DATE: 10/15/2015 3:37:27 PM PLOT SCALE: 1:60

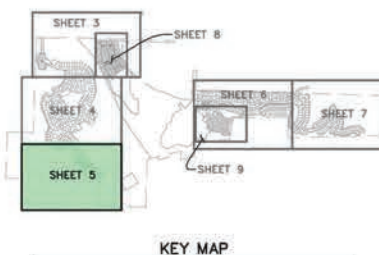


LEGEND:

	TRACT BOUNDARY		PROPOSED SEWER
	PROPOSED RIGHT-OF-WAY		PROPOSED STORM DRAIN
	PROPOSED EASEMENT		PROPOSED WATER
	PROPOSED STREET CENTERLINE		PROPOSED RETAINING WALL
	PROPOSED LOT LINES		LOT NUMBER
	PROPOSED BUILDING SETBACK		PAD ELEVATION
	PROPOSED CURB AND GUTTER		STREET LIGHT 9500 LUMEN
	PUBLIC TRAIL		EXISTING SEWER
	PRIVATE TRAIL		EXISTING STORM DRAIN
			EXISTING WATER

HATCH LEGEND

	35 FT LOT		HOA OPENSOURCE
	50 FT LOT		ROAD
	55 FT LOT		FEMA ZONE A
	65 FT LOT		NATURAL OPENSOURCE
	75 FT LOT		



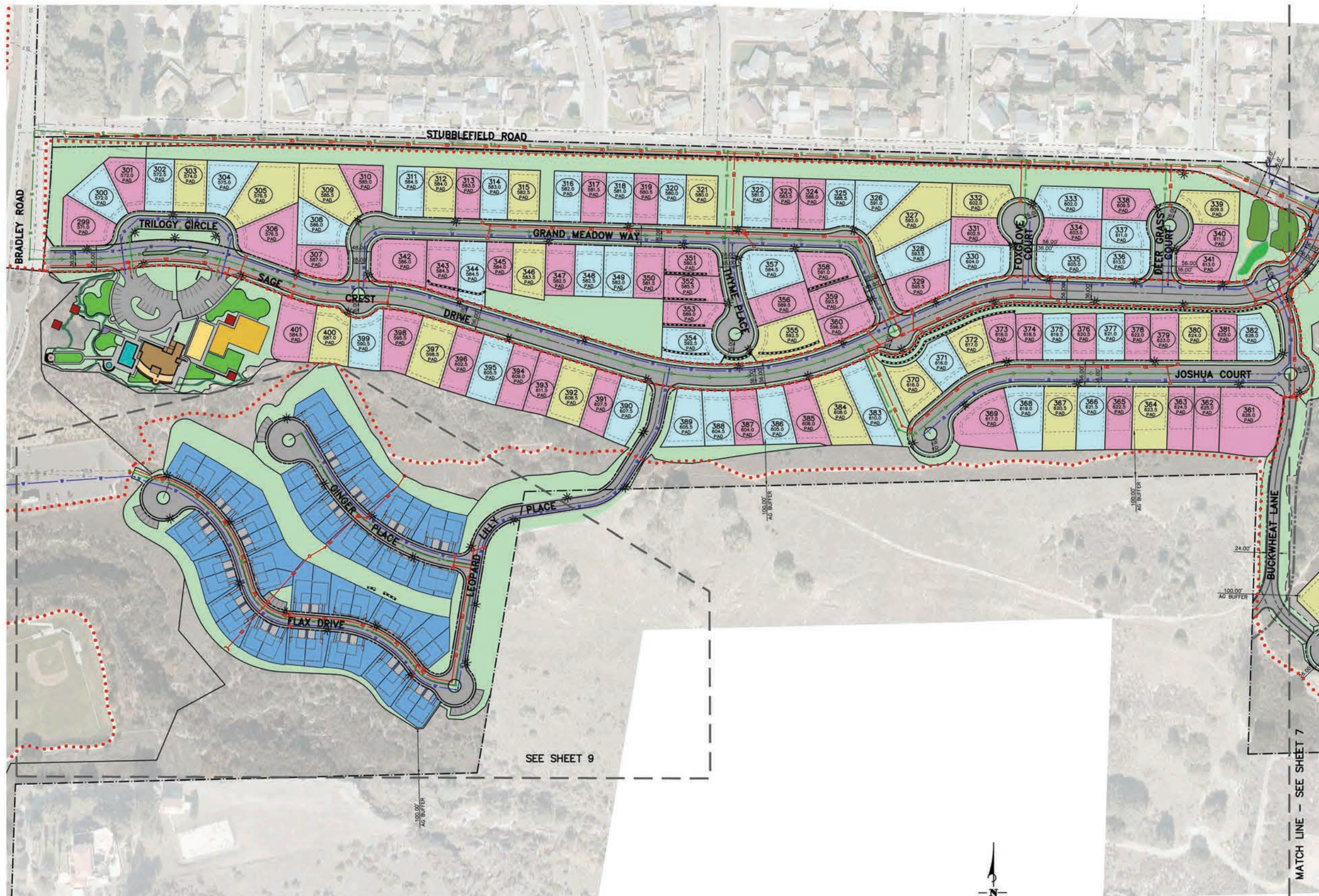
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**RICE RANCH
 DEVELOPMENT PLAN
 PLAN**

TM 14TRM-00000-00001 DP# 140VP-00000-00004
 GPA# 14GPA-00000-0006 RZ# N/A
 SPP# 14SPP-00000-00001 ORD# 140RD-00000-00004
 BEING A SUBDIVISION OF APN SEE LEGAL DESC.
 TOWN OF ORCUTT, COUNTY OF SANTA BARBARA, CALIFORNIA
 SCALE: AS NOTED STANTEC PROJECT No.2064106600
 PLAN DATE: OCTOBER 2015

42-C98 SAVE DATE: 10/15/2015 2:32:11 PM PLOT BY: Fuhr, Andrew PLOT DATE: 10/15/2015 3:37:51 PM PLOT SCALE: 1"=60'



SEE SHEET 9

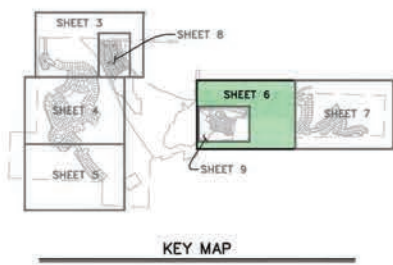
MATCH LINE - SEE SHEET 7

LEGEND:

	TRACT BOUNDARY		PROPOSED SEWER
	PROPOSED RIGHT-OF-WAY		PROPOSED STORM DRAIN
	PROPOSED EASEMENT		PROPOSED WATER
	PROPOSED STREET CENTERLINE		PROPOSED RETAINING WALL
	PROPOSED LOT LINES		LOT NUMBER
	PROPOSED BUILDING SETBACK		PAD ELEVATION
	PROPOSED CURB AND GUTTER		STREET LIGHT 9500 LUMEN
	PUBLIC TRAIL		EXISTING SEWER
	PRIVATE TRAIL		EXISTING STORM DRAIN
			EXISTING WATER

HATCH LEGEND

	35 FT LOT		HOA OPENSOURCE
	50 FT LOT		ROAD
	55 FT LOT		FEMA ZONE A
	65 FT LOT		NATURAL OPENSOURCE
	75 FT LOT		



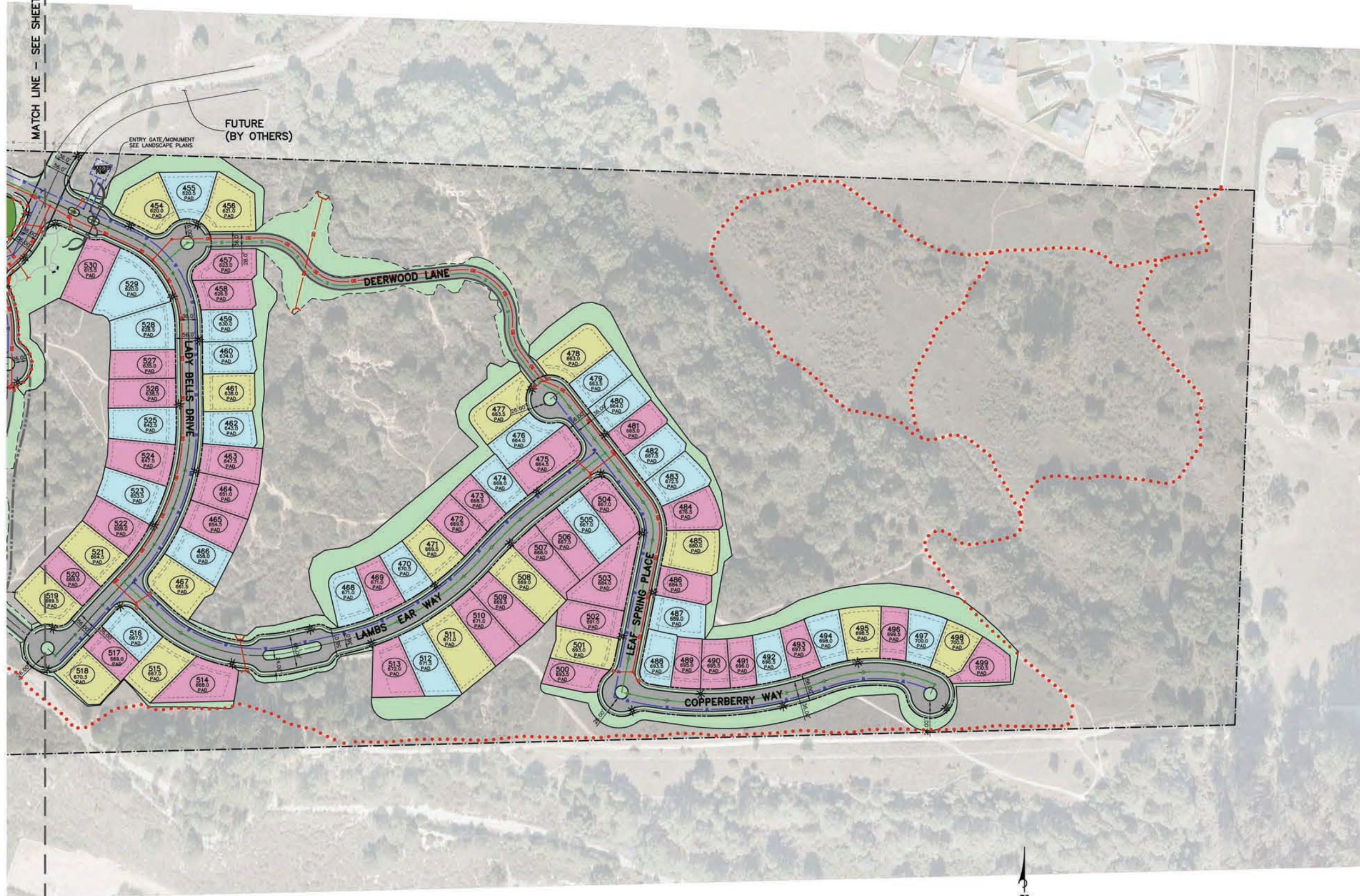
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RICE RANCH DEVELOPMENT PLAN PLAN

TM 14TRM-00000-00001 DP#: 140VP-00000-00004
 GPA#: 14GPA-00000-0006 RZ#: N/A
 SPP#: 14SPP-00000-00001 ORD#: 140RD-00000-00004
 BEING A SUBDIVISION OF APN SEE LEGAL DESC.
 TOWN OF ORCUTT, COUNTY OF SANTA BARBARA, CALIFORNIA
 SCALE: AS NOTED STANTEC PROJECT No.2064106600
 PLAN DATE: OCTOBER 2015

MATCH LINE - SEE SHEET 6



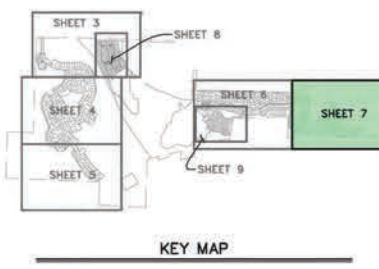
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LEGEND:

	TRACT BOUNDARY		PROPOSED SEWER
	PROPOSED RIGHT-OF-WAY		PROPOSED STORM DRAIN
	PROPOSED EASEMENT		PROPOSED WATER
	PROPOSED STREET CENTERLINE		PROPOSED RETAINING WALL
	PROPOSED LOT LINES		LOT NUMBER
	PROPOSED BUILDING SETBACK		PAD ELEVATION
	PROPOSED CURB AND GUTTER		STREET LIGHT 9500 LUMEN
	PUBLIC TRAIL		EXISTING SEWER
	PRIVATE TRAIL		EXISTING STORM DRAIN
			EXISTING WATER

HATCH LEGEND

	35 FT LOT		HOA OPENSOURCE
	50 FT LOT		ROAD
	55 FT LOT		FEMA ZONE A
	65 FT LOT		NATURAL OPENSOURCE
	75 FT LOT		



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**RICE RANCH
 DEVELOPMENT PLAN
 PLAN**

TM 14TRM-00000-00001 DP#: 140VP-00000-00004
 GPA#: 14GPA-00000-00006 RZ#: N/A
 SPP#: 14SPP-00000-00001 ORD#: 140RD-00000-00004
 BEING A SUBDIVISION OF APN SEE LEGAL DESC.
 TOWN OF ORCUTT, COUNTY OF SANTA BARBARA, CALIFORNIA
 SCALE: AS NOTED STANTEC PROJECT No. 2064106600
 PLAN DATE: OCTOBER 2015

42-CDB SAVE DATE: 10/15/2015 2:32:11 PM PLOT BY: Fuhr, Andrew PLOT SCALE: 1"=60' PLOT DATE: 10/15/2015 3:38:37 PM

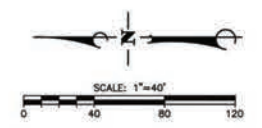
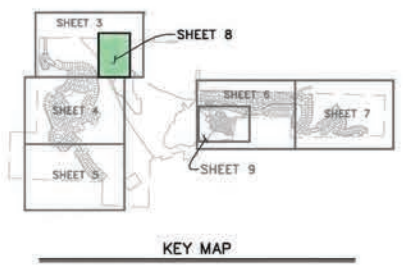


LEGEND:

	TRACT BOUNDARY		PROPOSED SEWER
	PROPOSED RIGHT-OF-WAY		PROPOSED STORM DRAIN
	PROPOSED EASEMENT		PROPOSED WATER
	PROPOSED STREET CENTERLINE		PROPOSED RETAINING WALL
	PROPOSED LOT LINES		LOT NUMBER
	PROPOSED BUILDING SETBACK		PAD ELEVATION
	PROPOSED CURB AND GUTTER		STREET LIGHT 9500 LUMEN
	PUBLIC TRAIL		EXISTING SEWER
	PRIVATE TRAIL		EXISTING STORM DRAIN
			EXISTING WATER

HATCH LEGEND

	35 FT LOT		HOA OPENSOURCE
	50 FT LOT		ROAD
	55 FT LOT		FEMA ZONE A
	65 FT LOT		NATURAL OPENSOURCE
	75 FT LOT		



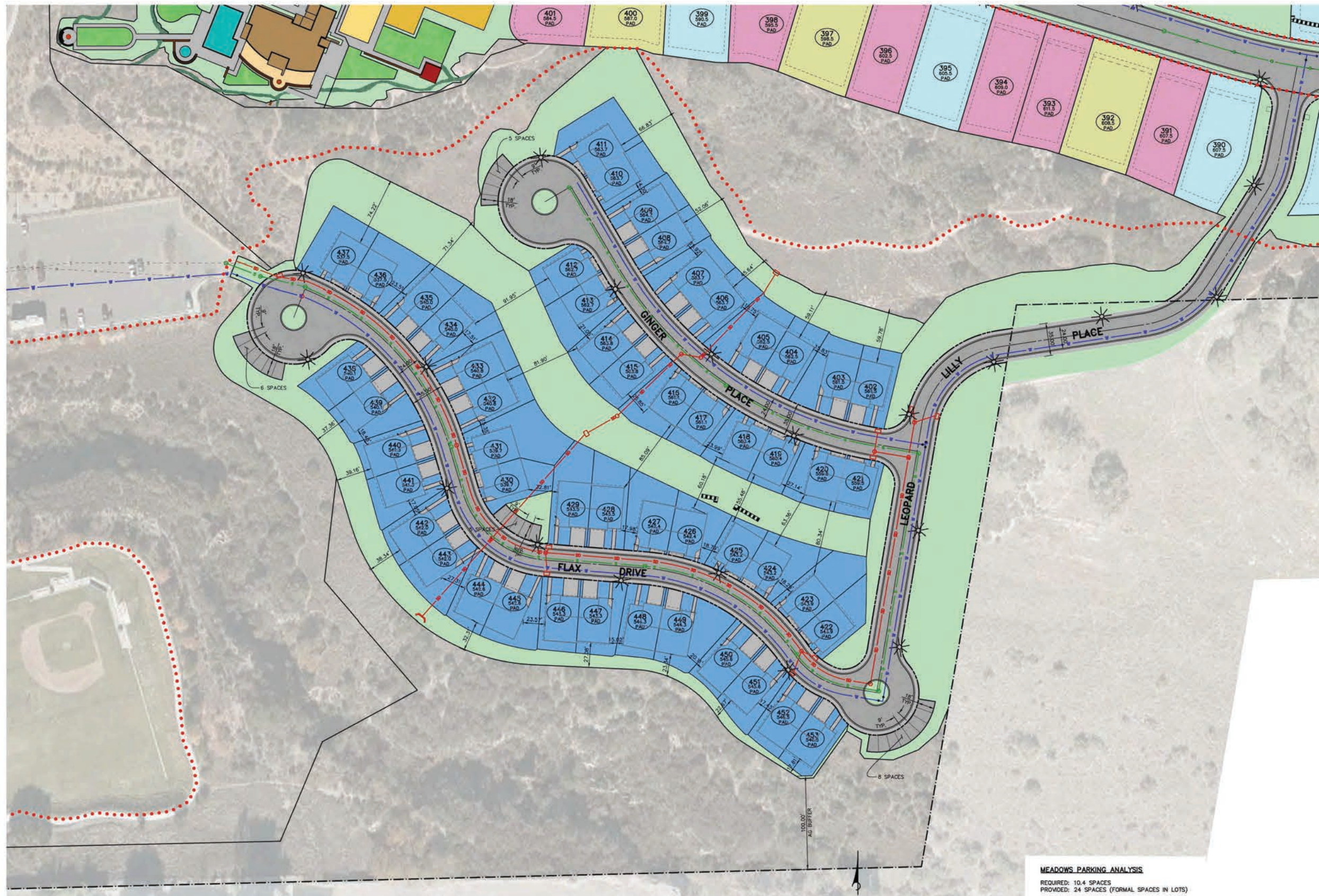
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PINE CREEK PARKING ANALYSIS
 REQUIRED: 23 SPACES
 PROVIDED: 64 SPACES (42 FORMAL SPACES IN LOTS; 22 SPACES ON-STREET)
 280 PERCENT OF REQUIREMENT
 SANTA BARBARA COUNTY CODE SECTION 35.36.050.A -
 MULTI-FAMILY DWELLING UNIT VISITOR PARKING -
 1 SPACE PER 5 DWELLING UNITS
PINE CREEK - 144 HOMES
 2 GARAGE STALLS/UNIT (114 X 2) = 228
 2 DRIVEWAY STALLS/SELECT UNITS (48 X 2) = 96
 TOTAL OFF-STREET ON PRIVATE LOTS = 324
 GUEST PARKING = 64
GRAND TOTAL = 388 STALLS PROVIDED



RICE RANCH DEVELOPMENT PLAN
 TM 14TRM-00000-00001 DP#: 140VP-00000-00004
 GPA#: 14GPA-00000-0006 RZ#: N/A
 SPP#: 14SPP-00000-00001 ORD#: 14ORD-00000-00004
 BEING A SUBDIVISION OF APN SEE LEGAL DESC.
 TOWN OF ORCUTT, COUNTY OF SANTA BARBARA, CALIFORNIA
 SCALE: AS NOTED STANTEC PROJECT No.2064106600
 PLAN DATE: OCTOBER 2015

42-C98 SAVE DATE: 10/15/2015 2:32:11 PM PLOT BY: Fuhr, Andrew PLOT DATE: 10/15/2015 3:38:56 PM PLOT SCALE: 1:60

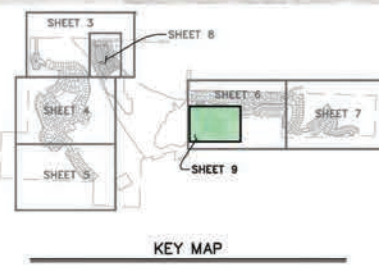


LEGEND:

	TRACT BOUNDARY		PROPOSED SEWER
	PROPOSED RIGHT-OF-WAY		PROPOSED STORM DRAIN
	PROPOSED EASEMENT		PROPOSED WATER
	PROPOSED STREET CENTERLINE		PROPOSED RETAINING WALL
	PROPOSED LOT LINES		LOT NUMBER
	PROPOSED BUILDING SETBACK		PAD ELEVATION
	PROPOSED CURB AND GUTTER		STREET LIGHT 9500 LUMEN
	PUBLIC TRAIL		EXISTING SEWER
	PRIVATE TRAIL		EXISTING STORM DRAIN
			EXISTING WATER

HATCH LEGEND

	35 FT LOT		HOA OPENSAPCE
	50 FT LOT		ROAD
	55 FT LOT		FEMA ZONE A
	65 FT LOT		NATURAL OPENSAPCE
	75 FT LOT		



SCALE: 1"=40'

0 40 80 120

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MEADOWS PARKING ANALYSIS

REQUIRED: 10.4 SPACES
 PROVIDED: 24 SPACES (FORMAL SPACES IN LOTS)
 230 PERCENT OF REQUIREMENT

SANTA BARBARA COUNTY CODE SECTION 35.36.050.A-
 MULTI-FAMILY DWELLING UNIT VISITOR PARKING -
 1 SPACE PER 5 DWELLING UNITS

MEADOWS - 52 HOMES
 2 GARAGE STALLS/UNIT (52 X 2) = 104
 2 DRIVEWAY STALLS/SELECT UNITS (32 X 2) = 64
 TOTAL OFF-STREET ON PRIVATE LOTS = 168
 GUEST PARKING = 24
GRAND TOTAL = 192 STALLS PROVIDED.



**RICE RANCH
 DEVELOPMENT PLAN
 PLAN**

TM 14TRM-00000-00001 DP#: 140VP-00000-00004
 GPA#: 14GPA-00000-0006 RZ#: N/A
 XXXXX-XXXXX-XXXXX XXXXX-XXXXX-XXXXX

BEING A SUBDIVISION OF APN SEE LEGAL DESC.
 TOWN OF ORCUTT, COUNTY OF SANTA BARBARA, CALIFORNIA
 SCALE: AS NOTED STANTEC PROJECT No.2064106600
 PLAN DATE: OCTOBER 2015



REFERENCE NOTES:

DESCRIPTION
A HOA REVEGETATION AREA
B DROUGHT-TOLERANT SHRUBS / GROUNDCOVERS
C DUPLEX HOUSING UNITS
D GUEST PARKING AREA WITH REQUIRED SCREENING SHRUBS (4' MINIMUM HEIGHT)
E SECONDARY ACCESS WITH KNOX BOX GATE
F NEIGHBORHOOD ENTRY MONUMENT
G RETAINING WALL
H SCREEN WALL - MASONRY
I VIEW FENCE - STEEL PICKET

SITE DEVELOPMENT

SYMBOL	NOTES	QTY	COST TOTAL
[Green Area]	DROUGHT-TOLERANT SHRUBS / GROUNDCOVERS	89,269 sf	
[Light Green Area]	REVEGETATED SLOPES	140,778 sf	
[Yellow Area]	8 DWELLING UNITS/ACRE	84,397 sf	
[Grey Area]	PUBLIC ROADWAYS	66,469 sf	
[White Area]	PRIVATE WALKS AND DRIVEWAYS	38,448 sf	
[Light Green Area]	SCREENING SHRUBS (4' MINIMUM HEIGHT)	1,891 sf	
[Red Dotted Line]	TRAILS		

CONCEPT PLANT SCHEDULE

SYMBOL	PLANT NAME	PLANT NAME
[Large Tree]	STREET TREE MAJOR	Starbuck Tree
[Medium Tree]	STREET TREE MINOR	Carmoned Tree
[Small Tree]	SPECIALTY / OPEN SPACE / PARKS LARGE	Carmoned Tree
[Small Tree]	SPECIALTY / OPEN SPACE / PARKS SMALL	Starbuck Tree
[Shrub]	SHRUBS	Starbuck Tree
[Groundcover]	GROUNDCOVERS	Starbuck Tree
[Screening Shrub]	SCREENING SHRUBS (4' MINIMUM HEIGHT)	Starbuck Tree



42-DOB SAVE DATE: 10/15/2015 10:03:51 PM PLOT 874/Blanco Koenig PLOT SCALE: 1:1,022
 PLOT DATE: 10/15/2015 11:13:27 PM



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 - Construction Management -

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RICE RANCH DEVELOPMENT PLAN
MEADOW MULTI-FAMILY CONCEPT

TM 14TRM-00000-00001 DP# 14DVP-00000-00004
 GPA# 14GPA-00000-00006 RZ# N/A
 SPP# 14SPP-00000-00001 ORD# 14ORD-00000-00004

BEING A SUBDIVISION OF APN SEE LEGAL DESC.
 TOWN OF ORCUTT, COUNTY OF SANTA BARBARA, CALIFORNIA
 SCALE: AS NOTED P&S PROJECT No.: 21188.01
 PLAN DATE: OCTOBER, 2015

11 of 12



1 CLUBHOUSE NORTH ELEVATION
(ADDITIONAL TREES SHOWN WITH TRANSPARENCY AND CYAN OVERLAY)



2 CLUBHOUSE EAST ELEVATION
(ADDITIONAL TREES SHOWN WITH TRANSPARENCY AND CYAN OVERLAY)



3 CLUBHOUSE SOUTH ELEVATION
(ADDITIONAL TREES SHOWN WITH TRANSPARENCY AND CYAN OVERLAY)



4 CLUBHOUSE WEST ELEVATION
(ADDITIONAL TREES SHOWN WITH TRANSPARENCY AND CYAN OVERLAY)



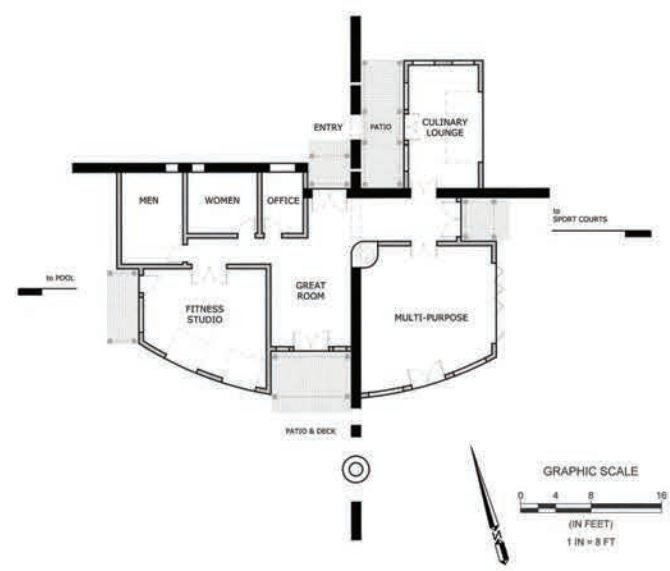
- ### CONCEPT PLANT PALETTE
- PARKS / OPEN SPACE LARGE**
Quercus agrifolia / Coast Live Oak
Quercus virginiana / Southern Live Oak
 - STREET TREE MAJOR**
Cinnamomum camphora / Camphor Tree
Magnolia grandiflora 'Majestic Beauty' TM / Southern Magnolia
Quercus agrifolia / Coast Live Oak
 - STREET TREE MINOR**
Arbutus x 'Marina' / Arbutus Standard
Fraxinus oxycarpa 'Raywood' TM / Raywood Ash
Podocarpus gracilior / Fern Pine
 - PARKS / OPEN SPACE SMALL**
Arbutus x 'Marina' / Arbutus Standard
Leptospermum laevigatum / Australian Tea Tree
 - SPECIALTY TREE SMALL**
Arbutus x 'Marina' / Arbutus Standard
Geijera parviflora / Australian Willow
 - SHRUBS**
Agave viviparviflora / Octopus Agave
Ceanothus x 'Concha' / California Lilac
Cistus pulchellus 'Sunset' / Rockrose
Dietes vegeta / African Iris
Lavandula angustifolia / English Lavender
Lomandra longifolia 'Breeze' / Dwarf Mat Rush
Miscanthus sinensis / Japanese Silver Grass
Myrtus communis / Common Myrtle
Phormium tenax 'Bronze Baby' / Bronze Baby New Zealand Flax
Rosmarinus officinalis 'Tuscan Blue' / Tuscan Blue Rosemary
Salvia mellifera / Black Sage
Westringia fulvosa / Coast Rosemary
 - SCREENING SHRUBS (< MINIMUM HEIGHT)**
Ceanothus x 'Concha' / California Lilac
Myrtus communis / Common Myrtle
Phormium tenax 'Bronze Baby' / Bronze Baby New Zealand Flax
Rosmarinus officinalis 'Tuscan Blue' / Tuscan Blue Rosemary
Westringia fulvosa / Coast Rosemary
 - GROUNDCOVERS**
Acorus gramineus 'Pacific Mist' / Pacific Mist Manzanita
Festuca idahoensis 'Siskiyou Blue' / Siskiyou Blue Fescue
Juniperus horizontalis 'Icee Blue' TM / Icee Blue Juniper
Rosmarinus officinalis 'Huntington Carpet' / Huntington Carpet Rosemary
 - EXISTING TREE TO REMAIN, PROTECT IN PLACE**
 - EXISTING TREE TO BE RELOCATED ON-SITE**
 - ADDITIONAL TREES**

CLUBHOUSE SITE DEVELOPMENT

SYMBOL	NOTES	AREA
[Green Box]	DROUGHT-TOLERANT SHRUBS / GROUNDCOVERS	18,258 sf
[Light Green Box]	DROUGHT-TOLERANT HOA REVEGETATION AREAS	12,274 sf
[Lighter Green Box]	NON DROUGHT-TOLERANT TURF AREAS	4,590 sf
[Grey Box]	ROADWAYS AND SIDEWALKS	22,223 sf
[Brown Box]	PRIVATE NATURE PATH	2,348 sf
[Blue Box]	WATER FEATURES	1,542 sf

MEADOW PARK SITE DEVELOPMENT

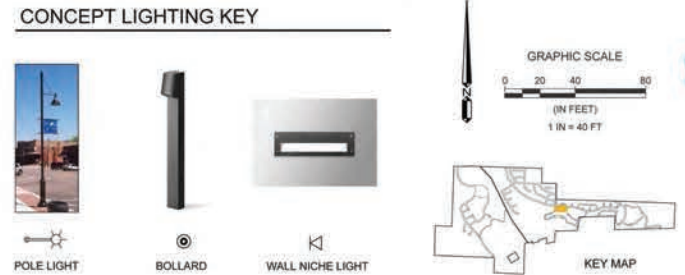
SYMBOL	NOTES	AREA
[Green Box]	DROUGHT-TOLERANT SHRUBS / GROUNDCOVERS	10,994 sf
[Light Green Box]	DROUGHT-TOLERANT HOA REVEGETATION AREAS	4,805 sf
[Lighter Green Box]	NON DROUGHT-TOLERANT TURF AREAS	9,720 sf
[Grey Box]	PARKING AND WALKS	9,540 sf
[Yellow Box]	PLAY COURTS	9,252 sf



CLUBHOUSE FLOOR PLAN

REFERENCE NOTES:

DESCRIPTION
1 CLUBHOUSE
2 PLAY COURT
3 PARKING WITH 4' MIN. HT. SCREENING FROM STREET
4 POOL, SPA AND COURTYARD
5 SHADE PAVILION
6 OVERLOOK
7 TRELLIS
8 TURF
9 DROUGHT-TOLERANT SHRUBS / GROUNDCOVERS
10 SLOPE REVEGETATION
11 EXISTING TREES TO REMAIN



42-CDB SAVE DATE: 7/23/2015 3:03:26 PM PLOT DATE: 10/13/2015 3:03:02 PM PLOT SCALE: 1:1.02 PLOT BY: Bianca Kowaly



RICE RANCH DEVELOPMENT PLAN
COMMUNITY CLUB CONCEPT
TM 14TRM-00000-00001 DP# 14DVP-00000-00004
GPA# 14GPA-00000-00006 RZ# N/A
SPP# 14SPP-00000-00001 ORD# 14ORD-00000-00004
BEING A SUBDIVISION OF APN SEE LEGAL DESC.
TOWN OF ORCUTT, COUNTY OF SANTA BARBARA, CALIFORNIA
SCALE: AS NOTED P&S PROJECT No.: 21188.01
PLAN DATE: OCTOBER, 2015