

SANTA BARBARA MONTECITO PLANNING COMMISSION
Staff Report for Crown Castle Distributed Antenna System Upgrade

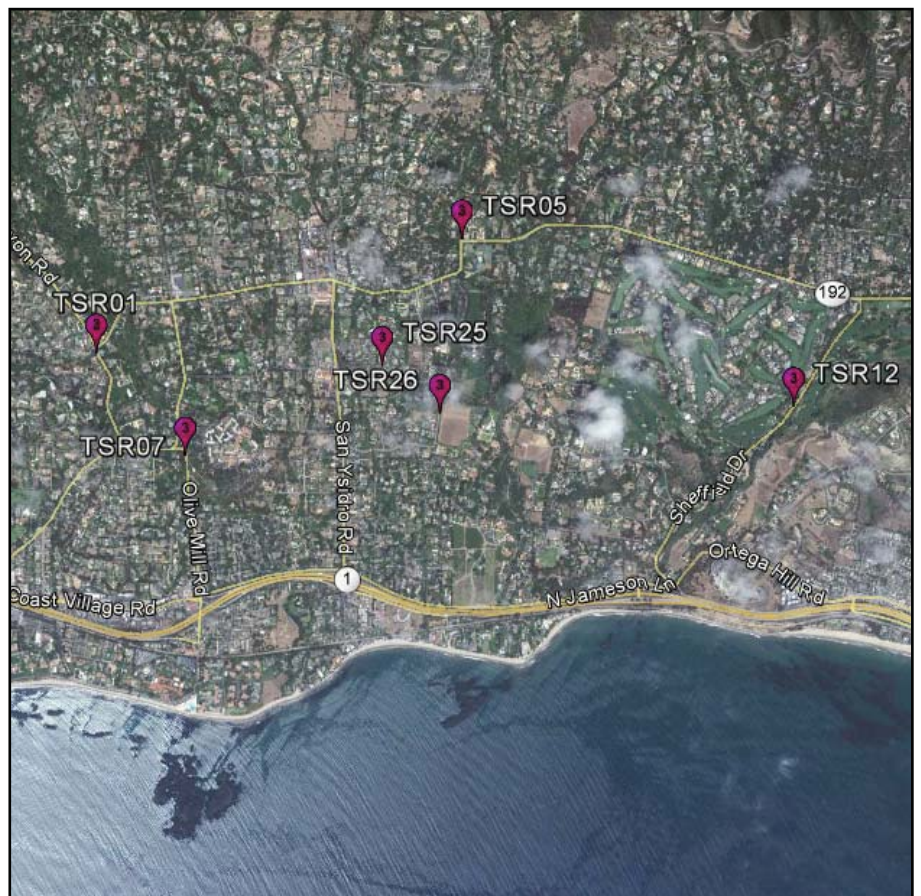
Hearing Date: November 28, 2012
Staff Report Date: November 8, 2012
Case No.: 12CUP-00000-00013

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Environmental Document: CEQA NOE [County] §15301(b), 15303(d), 15304(f)

APPLICANT:
Crown Castle
(previously NextG Networks)
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The proposed project consists of 6 sites in the inland County rights-of-way, in the Montecito area, in the 1st Supervisorial District.

Application Complete: October 19, 2012
Processing Deadline: 60 days from NOE

1.0 REQUEST

Hearing on the request of Sharon James, agent for applicant, Crown Castle to consider Case No. 12CUP-00000-00013, [application filed on May 1, 2012] for a Conditional Use Permit allowing additions to an existing telecommunications facility network, at six locations, in compliance with Section 35.472.060 of the Montecito Land Use and Development Code, on properties zoned 2-E-1, 3-E-1, 5-E-1 and 10-E-1; and to determine that the project is exempt from CEQA pursuant to Sections 15301(b), 15303(d) and 15304(f) of the State Guidelines for Implementation of the California Environmental Quality Act. The application involves inland County rights-of-way (no assigned Assessor Parcel Numbers), in the Montecito area, First Supervisorial District.

2.0 RECOMMENDATION AND PROCEDURES

Follow the procedures outlined below and conditionally approve Case No. 12CUP-00000-00013 marked “Officially Accepted, County of Santa Barbara November 28, 2012 Montecito Planning Commission Attachment B”, based upon the project's consistency with the Comprehensive Plan, including the Montecito Community Plan, and based on the ability to make the required findings.

Your Commission's motion should include the following:

1. Make the required findings for approval of the project specified in Attachment A of this staff report, including CEQA findings.
2. Determine that the project is exempt from CEQA, pursuant to State CEQA Guidelines Sections 15301(b), 15303(d) and 15304(f), as described in the Notice of Exemption included as Attachment C.
3. Approve the project 12CUP-00000-00013 subject to the conditions included as Attachment B.

Refer back to staff if the Montecito Planning Commission takes other than the recommended action for appropriate findings and conditions.

3.0 JURISDICTION

The individual facilities in the project would qualify as Tier 2 very small facilities but for the fact that the facilities are located in residential zone districts, and the volume of the facilities slightly exceeds the cubic foot size limitation. Given this, the facilities meet the definition of Section 35.444.010.C.2(4) of Montecito Land Use and Development Code which states:

“The placement of multiple, interconnected, very small facilities to establish a new network (i.e. four or more within a square mile) shall be reviewed as a whole project including all components that result in a physical change to the environment (e.g. antennas, equipment, cabling, trenching, boring, vaults, poles, hub sites.)”

Pursuant to Section 35.444.010.C.4(a), such facilities may be permitted in all zones, including residential zones, as a Tier 4 facility with a Major Conditional Use Permit. Conditional Use Permits are under the jurisdiction of the Montecito Planning Commission pursuant to Montecito LUDC Section 35.472.060.

4.0 ISSUE SUMMARY

Crown Castle is an independent owner of shared wireless infrastructure. They own, operate, and build infrastructure that is leased to wireless carriers such as T-Mobile, Verizon, Metro PCS, AT&T and Sprint-Nextel. In April 2012, Crown Castle purchased NextG Networks, a similar wireless infrastructure company, that specialized in the construction and leasing of Distributed Antenna Systems (DAS) on utility poles. Under Public Utilities Code Sections 7901 and 7901.1, Next G/Crown Castle has a statutory right to construct its facilities within the County rights-of-way, subject to County approval and regulation. Additionally, NextG/Crown Castle must coordinate collocation with the California Joint Pole Committee¹ and must obtain a Joint Pole Agreement for each site.

The proposed project would collocate new facilities on utility poles in the community for the addition of T-Mobile services on the existing NextG/Crown Castle Distributed Antenna System, currently providing services for Metro PCS. The project would include six new facilities total: five would be installed on existing utility poles, of which three would be collocated (as defined by the County LUDC), and one installed on a new pole.

Aesthetics

Distributed Antenna Systems (DAS) are systems of interconnected very small facilities with antennas that provide only a short range of coverage (i.e. approximately 0.5 mile). They are located in urban areas and are utilized to reach into areas that cannot be serviced by standard “macro” installations. These facilities are designed to utilize existing infrastructure to the extent feasible. The antennas and equipment are typically mounted to existing utility poles in the community, instead of being erected on new antenna support structures as most telecommunications facilities are. For one of locations (TSR26, on Santa Rosa Lane) no pole exists on which the facility could be mounted in the needed coverage area, and therefore a new pole is being proposed.

The facilities would each utilize a single antenna measuring 7.5 inches in diameter and 24 inches tall to provide service for up to two carriers, as opposed to larger facilities which typically utilize between four to twelve antennas measuring up to 8 feet tall, for a single carrier’s service.

¹ “The Joint Pole Committee is made up of a group of member representatives of utilities and municipalities in Southern California who hold joint equity interest in utility poles. Established by telephone, electricity and railroad companies, the Committee has existed since October 10, 1906. It was formed as a result of the need to limit the number of poles in the field and to create a uniform procedure for recording ownership of poles.” (<http://www.scjpc.org/>)

Additionally, traditional macro sites often require support equipment to be stored in a pre-fabricated shelters typically measuring 10'x10'x12'. In contrast, the DAS uses much smaller radios that are mounted to the pole itself or, in the case of several existing facilities in Montecito, placed in underground vaults. In this instance two radios serving up to three carriers (concealed with a shroud), would measure 14 inches wide and 47 inches tall.

The utility poles are located in County rights-of-way in residential areas of the community and therefore are readily visible to residents in the immediate vicinity and traffic along the street. Utility poles by their very nature are used for equipment such as cables, transformers, and meters, therefore the addition of the proposed services would be consistent with the existing aesthetic. To minimize the visibility of the equipment, the antenna and equipment shroud (concealing the radios) would be painted to match the utility pole, or other color determined appropriate by the County.

Health and Safety

The proposed wireless facilities would provide cellular service by transmitting and receiving radiofrequency (RF) signals from cellular customers and converting the transmissions to fiber optic signals. As a wireless telecommunications facility, Federal law requires that the antennas operate within the Federal health and safety limits for radiofrequency exposure limits at all times. Local jurisdictions are prohibited from setting their own limits or standards and regulating telecommunications facilities on the basis of radio frequency emissions (see 47 U.S.C. § 332(c)(7)(B)(iv)). "The limits established in the guidelines are designed to protect the public health with a very large margin of safety."² Although "most facilities create maximum exposures that are only a small fraction of the limits...the limits themselves are many times below levels that are generally accepted as having the potential to cause adverse health effects."³

The public exposure limit assumes continuous exposure of all publicly accessible locations nearby, including residences in proximity to the site. Additionally, the public exposure limit is a cumulative limit for all telecommunications facilities nearby. In this case, the limit includes the emissions from the existing Metro PCS service (the existing antenna on two of the poles), the proposed T-Mobile and Verizon (or other future carrier) facilities, and other existing larger ("macro") telecommunications facilities nearby.

To ensure that proposed projects would operate within these limits, the County requires that applicants submit a report prepared by a qualified third party that analyzes the proposed project's emissions and determines whether or not the emissions comply with the Federal requirements. As part of the permit application, Crown Castle/NextG provided an emissions report prepared by Jerrold T. Bushberg, Ph.D., DABMP, DABSNM dated September 18, 2012. The report analyzed the emissions of the existing Metro antennas, the proposed antennas (for T-Mobile and Verizon, or other future carrier) and other nearby existing facilities that could potentially

² Federal Communications Commission, "Local Government Official's Guide to Transmitting Antenna RF Emission Safety: Rules, Procedures and Practical Guidance" dated June 2, 2000, p.1.

³ Federal Communications Commission, p. 1.

contribute to the cumulative emissions, for all of the node locations. The report concluded that “The maximum RF exposure at ground level will not be in excess of 0.85-1.81% (depending on the node configuration) of the FCC public safety standard.” The report also states that, “Even under maximal exposure conditions in which all the channels are operating at full power, the maximum RF exposure 3 to 10 feet (depending on the node configuration) directly in front of (and at the same elevation as) the antenna will not result in exposures in excess of FCC public RF safety standard.”

5.0 PROJECT INFORMATION

5.1 Site Information

Site Information	
Comprehensive Plan Designations	Urban, Montecito Community Plan area, Residential SRR-0.1, SRR-0.2, SRR-0.33, and SRR-0.5
Ordinance, Zones	Montecito LUDC (all sites) 2-E-1, 3-E-1, 5-E-1 and 10-E-1
Site Size	No ground footprint
Present Use & Development	Utility pole, telecommunications facility
Surrounding Uses/Zone(s)	All of the sites are located in residential neighborhoods (the coverage objective) on utility poles in the County rights-of-way adjacent to and surrounded by residences.
Access	Public road (right-of-way)

5.2 Setting

The proposed project is designed to provide cellular service to the residential areas of the Montecito community, specifically in neighborhoods of the Montecito “Central Urban Sub-Area.” The Central Urban Sub-Area area is generally characterized as semi-rural, with narrow winding roads bordered by mature trees and a lack of sidewalks and traffic lights. Patches of oak woodland, individual oak trees, and scenic creeks and open spaces are found throughout the area.⁴ The Central Urban Sub-Area contains “a variety of residential densities and minimum parcel sizes...where large lots/homes and neighborhood of small lots/cottages have developed side-by-side.” Parcels range from 0.3 to 84.0 acres in size.⁵

5.3 Statistics

Statistics

⁴ Santa Barbara County “Montecito Community Plan,” dated September 15, 1992 (updated through December 1995), p. 123.

⁵ “Montecito Community Plan,” p. 38.

Item	Proposed	Ordinance Standard
Structures (floor area)	None	N/A
Max. Height of Structure(s)	All antennas would be mounted at approximately 20 feet above ground The (one) new pole proposed would be 25 feet in height	75 feet (telecommunications facilities under Tier 4)
Building Coverage (footprint)	None	N/A
Roads	None	N/A
Parking (covered/uncovered, ratio)	None	N/A
Walkways	None	N/A
Open Space Public Private landscaping Undeveloped/Other	None	N/A
Number of Dwelling Units	None	N/A
Project Density	N/A	N/A
Employees/Residents	The facilities would be maintained by Crown Castle on an as-needed basis	N/A
Grading	Minor trenching (less than 50 cubic yards) for new fiber optic connections	N/A

5.4 Description

The proposed project is a request by Sharon James, agent for the applicant, NextG Networks/Crown Castle, to consider a Conditional Use Permit to allow the addition of four (4) new Distributed Antenna System (DAS) facility sites, or “nodes” (one of which would require the installation of a new pole), and the modification of two (2) existing nodes to accommodate two additional cellular carriers on the network. All six (6) sites are located in the County rights-of-way, in the Inland area.

The DAS Network is composed of individual node sites connected by fiber-optic cable. The fiber-optic cable that NextG Networks (now Crown Castle) built in these areas in 2010 was designed to accommodate up to five carriers. Therefore, extension of the service to additional carriers would not require the addition of fiber-optic cable where it already exists. Connection of the new nodes to the existing network in some cases requires new fiber-optic connection via aerial cabling attached to the existing utility poles. Connection of the new nodes to the existing network would require new fiber-optic connection via aerial cabling attached to the existing utility poles (for TSR01 and TSR25) and approximately 735 linear feet of "micro-trenching" or boring (for TSR26).

A second radio would be added to each node site, either mounted to the utility pole approximately 10 feet above ground (covered with a new/existing shroud) or in the existing underground vault. The shroud concealing both radios (one existing and one proposed) would be 14 inches wide and 47 inches tall. A second antenna would also be added to each node site approximately 20 feet above ground, either attached to a cross-arm on the utility pole or associated fiber strand. The new antenna would be a cylindrical omnidirectional antenna, 7.5 inches in diameter and 24 inches tall and would accommodate service for both T-Mobile and Verizon (or other future carrier).

NextG Networks/Crown Castle is a fiber-based, carrier-neutral radiofrequency transport service provider operating under a statewide franchise from the California Public Utilities Commission (CPUC). NextG/Crown Castle is not a cellular service provider, rather it uses antennae to receive and transmit radiofrequency (RF) signals from cellular customers and converts such transmissions to fiber optic signals which are relayed to the cellular service providers with which NextG has contracted. This type of RF transport service system network is designed and intended to provide extended telecommunication service capacity and/or close existing gaps in service. Under Public Utilities Code Sections 7901 and 7901.1, Next G/Crown Castle has a statutory right to construct its facilities within the County rights-of-way, subject to County approval and regulation.

The equipment would be serviced and maintained by NextG/Crown Castle. Access to the facilities would be from the public street. The antennas and radio cabinets would be painted to match the existing utility pole or as specified by the County.

The node locations as part of this application are as follows:

Site No. **TSR01** Right-of-way of East Valley Road (*new node, pole-mounted equipment*)
Adjacent to 009-021-016, addressed as 2810 Sycamore, Santa Barbara, CA 93108

Site No. **TSR05** Right-of-way of Moore Road (*new node, pole-mounted equipment*)
Adjacent to 007-120-070 addressed as 1650 Moore Road, Santa Barbara 93108

Site No. **TSR07** Right-of-way of Olive Mill Road (*existing node, existing underground vault*)
Adjacent to 009-640-001 addressed as 300 Hot Springs Road, Santa Barbara 93108

Site No. **TSR12** Right-of-way of Sheffield Drive (*existing node, pole-mounted equipment*)
Adjacent to 007-240-012, Valley Club of Montecito (no site address), Santa Barbara 93108

Site No. **TSR25** Right-of-way of Santa Rosa Lane (*new node, new underground vault*)
Adjacent to 007-450-008, addressed as 405 Court Place, Santa Barbara 93108

Site No. **TSR26** Right-of-way of Santa Rosa Lane (*new node, new pole with pole-mounted equipment*)
Adjacent to 007-280-047, addressed as 380 Santa Rosa Lane, Santa Barbara

5.5 Background Information

Federal Telecommunications Act Limitations

The Federal Telecommunications Act of 1996 amended the Communications Act of 1932 to establish federal regulatory authority over the deployment of telecommunications facilities across the nation. The Federal Act set health and safety emissions thresholds and specifically restricts the regulatory treatment of telecommunications facilities by local agencies (i.e. cities and counties) in that regard.

The Federal Telecommunications Act preempts local authorities from prohibiting any telecommunications service, stating “No State or local statute or regulation, or other State or local legal requirement, may prohibit or have the effect of prohibiting the ability of any entity to provide any interstate or intrastate telecommunications service.” (47 U.S.C.A. § 253 (b).)

However, the Federal Telecommunications Act acknowledges that although local authorities may not prohibit telecommunications facilities, their general local zoning authority is preserved “over decisions regarding placement, construction, and modification of personal wireless service facilities,” (47 U.S.C.A. § 332 (c)(7)) within certain limitations.

Although the County can influence siting and design of personal wireless service facilities, there are limitations as to the County’s authority to regulate such facilities. Specifically, the purview of local agencies to apply zoning requirements is limited by the Federal Telecommunications Act as follows:

“LIMITATIONS.--

(i) The regulation of the placement, construction, and modification of personal wireless service facilities by any State or local government or instrumentality thereof--

(I) shall not unreasonably discriminate among providers of functionally equivalent services; and

(II) shall not prohibit or have the effect of prohibiting the provision of personal wireless services.

(ii) A State or local government or instrumentality thereof shall act on any request for authorization to place, construct, or modify personal wireless service facilities within a reasonable period of time after the request is duly filed with such government or instrumentality, taking into account the nature and scope of such request.

(iii) Any decision by a State or local government or instrumentality thereof to deny a request to place, construct, or modify personal wireless service facilities shall be in writing and supported by substantial evidence contained in a written record.

(iv) No State or local government or instrumentality thereof may regulate the placement, construction, and modification of personal wireless service facilities on the basis of the environmental effects of radio frequency emissions to the extent that such facilities comply with the Commission's regulations concerning such emissions.”(47 U.S.C.A. § 332 (c)(7)(B).)

Denying a carrier the ability to provide full coverage may constitute a “prohibition” of wireless services with respect to the Federal Telecommunications Act limitations. In the MetroPCS Inc. v. City & County of San Francisco case in 2005, the Ninth Circuit determined that “[A] locality can run afoul of the Telecommunications Act ‘effective prohibition’ clause if it prevents a wireless provider from closing a ‘significant gap’ in service coverage.” Should a local agency deny a facility, and the applicant (carrier) challenges the denial in court, the applicant must show that they 1) are prevented from filling a significant gap in their own service coverage; and 2) their proposed way to fill that significant gap is the “least intrusive means.” If the applicant makes the above showing, the County, not the carrier, must then show “[S]ome potentially available and technologically feasible alternative sites;” which “close the gap” in coverage.

Federal “Shot Clock” Ruling November 18, 2009

On November 18, 2009, the Federal Communications Commission adopted and released its Declaratory Ruling concerning provisions in 47 U.S.C. Sections 253 and 332(c)(7), regarding state and local review of wireless facility siting applications. This Declaratory Ruling provided direction that affects the County’s processing requirements.

The first major part of the Declaratory Ruling defined what is a presumptively “reasonable time” beyond which a local jurisdiction’s inaction on a siting application may constitute a prohibited “failure to act” under 47 U.S.C. Section 332(c)(7). The FCC found that a “reasonable period of time” is, presumptively:

- 90 days to process personal wireless service facility siting applications requesting collocations; and
- 150 days to process all other applications.

These timeframes commence upon determination of application completeness. Accordingly, if state or local governments do not act upon applications within those timeframes, then a personal wireless service provider may claim that a prohibited “failure to act” has occurred and personal wireless service providers may seek redress in court within 30 days, as provided in 47 U.S.C. Section 332(c)(7)(B)(v). The state or local government, however, would have the opportunity to rebut the presumption of reasonableness.

Several of the proposed facilities are to be located at collocated telecommunication sites, as defined by the County Land Use and Development Code Article 35.11. Therefore the 90 day the

90 day processing timeframe applies to this application. Due to time requirements to process this project, Crown Castle granted an extension of the 90-day timeframe to the County, from October 15, 2012 to December 15, 2012.

Middle Class Tax Relief and Job Creation Act

Finally, Section 6409 of the recently enacted Middle Class Tax Relief and Job Creation Act of 2012 addresses telecommunication service providers collocating facilities on an “existing wireless tower or base station” where the collocation would not “substantially change the physical dimensions of” the tower or base station. Section 6409 does not define the terms “existing wireless tower” or “substantially change the physical dimensions of.” Under the Montecito LUDC Section 35.444.010(E)(3), telecommunication carriers must avail their facilities and site to other telecommunication carriers for purposes of collocation.

6.0 PROJECT ANALYSIS

6.1 Environmental Review

The proposed project includes the modification and addition to the existing Distributed Antenna System. The project utilizes existing utility infrastructure to the extent feasible and utilizes equipment that is minimally-sized. The project was reviewed by the County under the California Environmental Quality Act (CEQA) and was determined to be exempt from environmental review under Sections 15301(b), 15303(d) and 15304(f). Please see Attachment C, Notice of Exemption [County NOE].

Additionally, the California Public Utilities Commission (CPUC) also reviewed the project under CEQA and determined the project to be exempt. The CPUC assumed lead agency status for the purposes of CEQA for the entire network upgrade project including all antenna installations, equipment installations, aerial cabling and trenching for the network throughout the South Coast of Santa Barbara County (including the cities of Goleta and Santa Barbara). On April 30, 2012, the CPUC found the entirety of the “project” exempt under guidelines sections 15061(b)(3), 15301(b), 15302(c), 15303, and 15304. The Notice of Exemption and Notice to Proceed from the CPUC are included as Attachment D.

6.2 Comprehensive Plan Consistency

REQUIREMENT	DISCUSSION
<i>Land Use Element</i>	
Land Use Development, Policy 4. <i>Public or private services and resources (i.e., water, sewer,</i>	Consistent. The existing roads and utility poles are sufficient to serve the proposed project with the

REQUIREMENT	DISCUSSION
<i>roads, etc.) are available to serve the proposed development.</i>	exception of one location in which a new pole is proposed. Under Public Utilities Code Sections 7901 and 7901.1, Next G/Crown Castle has a statutory right to construct its facilities within the County rights-of-way, subject to County approval and regulation. Additionally, NextG/Crown Castle must coordinate collocation on the poles with the other utilities and must obtain a Joint Pole Agreement for each site.
Visual Resources, Policy 1. <i>All commercial, industrial, and planned developments shall be required to submit a landscaping plan to the County for approval.</i>	Consistent. The proposed facilities are located in the County rights-of-way and have been designed to blend in with the existing utility infrastructure without impeding upon the pedestrian traffic or other right-of-way uses. The equipment would either be mounted on the pole or located in an underground vault that is flush with the ground. Therefore, landscaping in these areas would not be necessary or appropriate in these instances.
Visual Resources, Policy 3. <i>In areas designated as urban on the land use plan maps and in designated rural neighborhoods, new structures shall be in conformance with the scale and character of the existing community. Clustered development, varied circulation patterns, and diverse housing types shall be encouraged.</i>	Consistent. Five of the proposed facilities would utilize existing structures, or utility poles, in the community. One of the facilities, however, would require a new structure be erected to support the antenna (TSR26) since no poles exist in the proposed service area that could accommodate the facility. At the request of the Montecito Board of Architectural Review (MBAR) the applicant has provided three design options that would blend the new pole into the community: 1) a wood utility pole matching the existing poles on the street, 2) a steel “slim-line” pole with the antenna incorporated into the top of the pole, painted to blend with the existing vegetation, or 3) a similar slim-line pole with a weather vane to disguise the facility as a semi-rural feature, painted to blend with the vegetation or as preferred by the County. Additionally, the pole would be 25 feet in height and would therefore be significantly less obtrusive than the existing poles in the area which range from 45-70 feet in height. Lastly, the pole would be situated in an existing mature hedge which would provide screening for a large portion of the pole.
Visual Resource Policies, Policy 5. <i>Utilities, including television, shall be placed underground in new developments in accordance with the rules and regulations of the California Public Utilities Commission, except where cost of undergrounding would be so high as to deny service.</i>	Consistent. Telecommunications antennas require line-of-sight to their respective coverage objective areas. Therefore antennas and their support structures are required to maintain a minimum height above ground to provide service in all instances. However, to the extent feasible, the proposed project utilizes existing utility poles

REQUIREMENT	DISCUSSION
	consistent with this policy.
<i>Montecito Community Plan</i>	
Circulation, Policy CIRC-M-1.8. <i>New development shall be sited and designed to provide maximum access to non-motor vehicle forms of transportation.</i>	Consistent. The proposed facilities would be located within the County rights-of-way, however all equipment would either be mounted on the utility poles or in an underground vault, flush with the ground, and therefore would not cause any operational obstruction to pedestrian or other traffic.
Electromagnetic, Objective EM-M-1.1. <i>In reviewing permits for EMF sensitive uses (e.g., residential, schools, etc.), RMD shall require an adequate building setback from EMF-generating sources to minimize exposure hazards.</i>	<p>Consistent. “FCC rules require transmitting facilities to comply with RF exposure guidelines. The limits established in the guidelines are designed to protect the public health with a very large margin of safety. These limits have been endorsed by federal health and safety agencies such as the Environmental Protection Agency and the Food and Drug Administration. The FCC’s rules have been upheld by a Federal Court of Appeals. As discussed below, most facilities create maximum exposures that are only a small fraction of the limits. Moreover, the limits themselves are many times below levels that are generally accepted as having the potential to cause adverse health effects.”⁶</p> <p>An RF/EMF report was prepared by Jerrold Bushberg Ph.D. on September 19, 2012 for the proposed project which evaluated the cumulative emissions for the proposed facilities operating simultaneously with all existing facilities (both the existing Metro PCS DAS sites as well as nearby macro sites). The report concludes that RF exposure from the telecommunications facilities would be less than 2% of the applicable FCC public exposure limit at ground level (approximately 20 feet) and therefore the facility is well within the FCC’s health and safety limits.</p> <p>Additionally, the project conditions require a verification measurement report within 30 days of installation, and every 5 years thereafter to confirm these projections (Condition No. 8). In conclusion, since the proposed project complies with all applicable FCC health and safety requirements, no additional setbacks are required for this project.</p>

⁶ Kennard, William E., et al. “A Local Government Official’s Guide to Transmitting Antenna RF Emission Safety: Rules, Procedures, and Practical Guidance,” June 2, 2000, p. 1.

REQUIREMENT	DISCUSSION
<p>Noise, Policy N-M-1.1. <i>Noise-sensitive uses (i.e., residential and lodging facilities, educational facilities, public meeting places and others specified in the Noise Element) shall be protected from significant noise impacts.</i></p>	<p>Consistent. Although the proposed antennas and radios themselves do not generate noise, the radio cabinets require temperature control by internal fans, which do produce low-level noise. However, maximum fan-speed operation would not exceed 50 dBA at 5 meters distance, and all facilities are over 7 meters from the existing residences. The County's Noise Element specifies that "In the planning of land use, 65 dB Day-Night Average Sound Level should be regarded as the maximum exterior noise exposure compatible with noise-sensitive uses unless noise mitigation features are included in project designs." The proposed facilities would operate within the County's noise thresholds of 65 dBA and would be consistent with this policy.</p>
<p>Land Use, Goal LU-M-1. <i>In Order To Protect The Semi-Rural Quality Of Life, Encourage Excellence In Architectural And Landscape Design. Promote Area-Wide And Neighborhood Compatibility; Protect Residential Privacy, Public Views, And To The Maximum Extent Feasible, Private Views Of The Mountains And Ocean.</i></p> <p>Land Use, Goal LU-M-2. <i>Preserve Roads As Important Aesthetic Elements That Help To Define The Semi-Rural Character Of The Community. Strive To Ensure That all Development Along Roads Is Designed In A Manner That Does Not Impinge Upon The Character Of The Roadway.</i></p> <p>Land Use, Policy LU-M-2.1. <i>New structures shall be designed, sited, graded, and landscaped in a manner which minimizes their visibility from public roads.</i></p>	<p>Consistent. The proposed facilities would be located on utility poles in the road rights-of-way, and therefore would be visible to residents in the immediate vicinity and traffic along the street from certain vantage points. However, the facilities would utilize a single antenna each measuring 7.5 inches in diameter and 24 inches tall to provide service for up to two carriers, as opposed to larger facilities which typically utilize between four to twelve antennas measuring up to 8 feet tall, for a single carrier's service. Additionally, traditional macro sites often require support equipment to be stored in a pre-fabricated shelters typically measuring 10'x10'x12'. In contrast, the DAS uses much smaller radios that can be mounted to the pole itself or vaulted underground (where ground conditions allow). In this instance two radios serving up to three carriers (concealed with a shroud), would measure 14 inches wide and 47 inches tall. Lastly, utility poles by their very nature are used for equipment such as cables, transformers, and meters, therefore the addition of the proposed services would be consistent with the existing aesthetic. To minimize the visibility of the equipment, the antenna and equipment shroud (concealing the radios) would be painted to match the utility pole, or other color determined appropriate by the County. Therefore the project would be consistent with these policies.</p>

6.3 Zoning: Land Use and Development Code Compliance

REQUIREMENT	DISCUSSION
<i>Tier 4 Requirements</i>	
<p>Standards for Tier 4 projects, facilities that are not allowed in compliance with Tier 1 through Tier 3. Wireless telecommunication facilities that may not be permitted in compliance with Subsections C.1 through C.3 above, but do comply with the following development standards, may be allowed provided the height of the antenna and associated antenna support structures shall not exceed 75 feet.</p>	<p>Consistent. The highest portion of the proposed facilities would be the antennas, which would be mounted approximately 20 feet above ground either on a cross-arm or the associated fiber cabling. Additionally, the new pole proposed for Site No. TSR26 (Santa Rosa Lane) would be 25 feet in height. Therefore the project is consistent with this requirement.</p>
<i>Section 35.444.010.D.1 Development Standards</i>	
<p>Standard 1.a. The facility shall comply with the setback requirements of the zone in which the facility is located except as follows:</p> <p>(1) Antennas may be located within the setback area without approval of a modification in compliance with Subsection 35.472.060.I (Conditions, restrictions, and modifications) or Subsection 35.472.080.H (Conditions, restrictions, and modifications) provided they are installed on an existing, operational, public utility pole, or similar existing support structure.</p> <p>(2) Underground equipment (e.g., equipment cabinet) may be located within the setback area and rights-of-way provided that no portion of the facility shall obstruct existing or proposed sidewalks, trails, and vehicular ingress or egress.</p> <p>(3) A modification to the setback is granted in compliance with Subsection 35.472.060.I (Conditions, restrictions, and modifications), or Section 35.472.080.H (Conditions, restrictions, and modifications).</p>	<p>Consistent. The proposed facilities would be installed on public utility poles (or a similar support structure for TSR26), in the County road right-of-ways. Setbacks do not apply to the road rights-of-way therefore the project is consistent with this policy.</p>
<p>Standard 1.b. The height of antennas and associated antenna support structures (e.g., lattice towers, monopoles) are limited to 50 feet in height and shall comply with the height limits specified in Subsection C. (Processing) above. [MLUDC Section 35.444.010.C]</p> <p>(1) The height limit may be increased to a</p>	<p>Consistent. The proposed antennas would be mounted on existing utility poles at approximately 20 feet above ground. Additionally, the new pole proposed for Site No. TSR26 (Santa Rosa Lane) would be 25 feet in height. Therefore the facilities would comply with the 50 ft. requirement, as well as the height requirements in Section 35.444.010.C identified.</p>

REQUIREMENT	DISCUSSION
<p>maximum of 75 feet when technical requirements dictate.</p> <p>(2) Antennas and support structures used in connection with wireless communication facilities may exceed 75 feet if:</p> <p>(a) The antenna is mounted on or within an existing structure and the highest point of the antenna does not protrude above the highest point of the structure, including parapet walls and architectural façades, that the antenna is mounted on; or,</p> <p>(b) The antenna is mounted on an existing, operational public utility pole or similar support structure (e.g., street light standard), as determined by the Director provided the highest point of the antenna does not exceed the height of the existing utility pole or similar support structure that it is mounted on.</p>	
<p>Standard 1.c. The general public is excluded from the facility by fencing or other barriers that prevent access to the antenna, associated antenna support structure, and equipment shelter.</p>	<p>Consistent. The proposed equipment would be mounted on an existing utility pole, at a height (10') above ground, out of reach of the general public.</p>
<p>Standard 1.d. Facilities proposed to be installed in or on a structure or site that has been designated by the County as a historical landmark shall be reviewed and approved by the Historical Landmark Advisory Commission, or the Board on appeal.</p>	<p>Consistent. The proposed project is not located in or on a designated historical landmark.</p>
<p>Standard 1.e. The facility shall comply at all times with all Federal Communication Commission rules, regulations, and standards.</p>	<p>Consistent. A radiofrequency emissions report was submitted as part of the project application. The report by Jerrold Bushberg, Ph.D., dated September 18, 2012, concluded that the proposed facilities would meet the FCC requirements based on specific projections. As a part of the project conditions (Condition No. 8), a verification measurement report would be required within 30 days of installation to confirm these projections.</p>
<p>Standard 1.f. The facility shall be served by roads and parking areas consistent with the following requirements:</p> <p>(1) New access roads or improvements to existing access roads shall be limited to the minimum</p>	<p>Consistent. The proposed facilities would be located in the road rights-of-way in which access would be provided. Temporary parking for maintenance activities would be provided by on-street public parking in the vicinity. However, road encroachment/traffic control permits would be</p>

REQUIREMENT	DISCUSSION
<p>required to comply with County regulations concerning roadway standards and regulations.</p> <p>(2) Existing parking areas shall be used whenever possible, and new parking areas shall not exceed 350 square feet in area.</p> <p>(3) Newly constructed roads or parking areas shall, whenever feasible, be shared with subsequent telecommunication facilities or other allowed uses.</p>	<p>required for construction activity prior to Land Use Permit issuance (Condition No. 14).</p>
<p>Standard 1.g. The facility shall be unlit except for the following:</p> <p>(1) A manually operated light or light controlled by motion-detector that includes a timer located above the equipment structure door that shall be kept off except when personnel are present at night.</p> <p>(2) Where an antenna support structure is required to be lighted, the lighting shall be shielded or directed to the greatest extent possible so as to minimize the amount of light that falls onto nearby residences.</p>	<p>Consistent. No lighting is proposed however a standard condition of approval is proposed to ensure compliance with this standard (Condition No. 5).</p>
<p>Standard 1.h. The visible surfaces of support facilities (e.g., vaults, equipment rooms, utilities, equipment enclosures) shall be finished in non-reflective materials.</p>	<p>Consistent. The antennas, mounting brackets and equipment boxes would be painted brown with non-reflective paint or other non-reflective finish to blend into the utility pole (Condition No. 4).</p>
<p>Standard 1.i. Structures, poles, towers, antenna supports, antennas, and other components of each telecommunication site shall be initially painted and repainted as necessary with a non-reflective paint. The lessee shall not oppose the repainting of their equipment in the future by another lessee if an alternate color is deemed more appropriate by a review authority in approving a subsequent permit for development..</p>	<p>Consistent. The proposed facilities would be painted to blend with the utility pole. Painting would be confirmed by condition compliance monitoring prior to final building inspection. In addition, standard conditions of approval require the facility be maintained in a state of good condition and repair for the life of the facility (Condition Nos. 4 and 13).</p>
<p>Standard 1.j. The facility shall be constructed so as to maintain and enhance existing vegetation, without increasing the risk of fire hazards, through the implementation of the following measures:</p> <p>1) Existing trees and other vegetation that screens the facility and associated access roads, power lines and telephone lines that is not</p>	<p>Consistent. One new vault (TSR25) and one new pole (TSR26) are proposed as part of this project.</p> <p>The vault location for TSR25 was reviewed by the MBAR. It was determined that vaulting at this location would not have any significant impacts to vegetation, and therefore the undergrounding of the facility is appropriate at this location.</p>

REQUIREMENT	DISCUSSION
<p>required to be removed in order to construct the facility shall be protected from damage during the construction period and for the life of the project.</p> <p>2) Underground lines shall be routed to avoid damage to tree root systems to the maximum extent feasible.</p> <p>3) Additional trees and other native or adapted vegetation shall be planted and maintained in the vicinity of the project site, and associated access roads, power lines and telephone lines under the following situations:</p> <p>a) Such vegetation is required to screen the improvements from public viewing areas.</p> <p>b) The facility or related improvements are likely to become significantly more visible from public viewing areas over time due to the age, health, or density of the existing vegetation. Required landscape plans shall be comprised of appropriate species and shall be prepared by a botanist, licensed landscape contractor or licensed landscape architect. Performance security shall be required to guarantee the installation and maintenance of any new plantings.</p> <p>4) Any existing trees or significant vegetation used to screen the facility that dies in the future shall be replaced with native trees and vegetation of a comparable size, species and density. The facility may be required to be repainted during the time required for the newly planted vegetation to mature and provide adequate screening.</p> <p>5) The vegetation that exists when the project is initially approved that is required to provide screening for the facility shall not be altered in any manner that would increase the visibility of the facility and associated access roads, power lines and telephone lines except:</p>	<p>The new pole location for TSR26 was reviewed by MBAR and was preferred because there is an existing hedge that would provide partial screening of the new pole. However, to reduce the disturbance to the hedge, it was recommended that the equipment be mounted to the pole rather than vaulted (which would require approximately 14 feet of hedge removal).</p> <p>Additionally, standard conditions on the project (Condition No. 7) require that existing vegetation be preserved and protected to the maximum extent feasible throughout construction activities; that underground lines be routed to avoid damage to tree root systems and any trenching required within the dripline or sensitive root zone of any specimen tree shall be done by hand; and that trees or shrubs which are significantly damaged or subsequently die as a result of construction activities shall be replaced with those of a comparable size, species and density as approved by P&D staff. Therefore the project is consistent with this standard.</p>

REQUIREMENT	DISCUSSION
<p>a) Where such alteration is specifically allowed by the approved project, or</p> <p>b) Where necessary to avoid signal interference to and from the approved facility. Any alteration of such vegetation shall be done under the direction of a licensed arborist.</p> <p>6) All vegetation proposed and/or required to be planted in association with a commercial telecommunication facility shall consist of non-invasive plant species only.</p>	
<i>Section 35.444.010.D.2 Development Standards</i>	
<p>Standard 2.a. The primary power source shall be electricity provided by a public utility. Backup generators shall only be operated during power outages and for testing and maintenance purposes. New utility line extension longer than 50 feet installed primarily to serve the facility shall be located underground unless an overhead line would not be visible from a public viewing area. New underground utilities shall contain additional capacity (e.g., multiple conduits) for additional power lines and telephone lines if the site is determined to be suitable for colocation.</p>	<p>Consistent. Primary power to the facility would be provided by Southern California Edison via the utility poles. No new utility conduits or back-up generators are proposed.</p>
<p>Standard 2.b. In the Inland area, disturbed areas associated with the development of a facility shall not occur within the boundaries of an environmentally sensitive habitat area. See Subsection D.3.e below regarding allowance for disturbance within environmentally sensitive habitat areas located within the Coastal Zone.</p>	<p>Consistent. No new structural development aside from the addition of a new pole in the road right-of-way is proposed as part of the project. None of the project elements are located within an environmentally sensitive area.</p>
<p>Standard 2.c. Colocation on an existing support structure shall be required for facilities allowed in compliance with Subsection C.2, through Subsection C.4.of this Section, unless:</p> <p>(1) The applicant can demonstrate that reasonable efforts, acceptable to the review authority, have been made to locate the antenna on an existing support structure and these efforts have been unsuccessful; or</p>	<p>Consistent. The proposed facilities are collocating on existing utility poles, with the exception of TSR26 (Santa Rosa Lane) which would require installation of a new pole because there are no existing poles within the proposed coverage area on which to collocate. Therefore the project is consistent with this standard.</p>

REQUIREMENT	DISCUSSION
<p>(2) Colocation cannot be achieved because there are not existing facilities in the vicinity of the proposed facility; or</p> <p>(3) The review authority determines that colocation of the proposed facility would result in greater visual impacts than if a new support structure were proposed.</p> <p>Proposed facilities shall be assessed as potential colocation facilities or sites to promote facility and site sharing so as to minimize the overall visual impact. Sites determined by the Department to be appropriate as colocated facilities or sites shall be designed in a way that antenna support structures and other associated features (e.g. parking areas, access roads, utilities, equipment buildings) may be shared by site users. Criteria used to determine suitability for colocation include the visibility of the existing site, potential for exacerbating the visual impact of the existing site, availability of necessary utilities (power and telephone), existing vegetative screening, availability of more visually suitable sites that meet the radiofrequency needs in the surrounding area, and cumulative radiofrequency emission studies showing compliance with radiofrequency standards established by the Federal Communications Commission. Additional requirements regarding colocation are located in Subsection E.3 (Colocation) below.</p>	
<p>Standard 2.d. Support facilities (e.g., vaults, equipment rooms, utilities, equipment enclosures) shall be located underground, if feasible, if they would otherwise be visible from public viewing areas (e.g., public road, trails, recreational areas).</p>	<p>Consistent. All of the proposed sites were assessed for the potential of undergrounding the equipment. Where undergrounding was feasible (TSR07, TSR25) the equipment is proposed to be located in underground vaults that are flush with the ground. Where undergrounding was not feasible (TSR01, TSR05, TSR12, TSR26), either due to existing underground infrastructure, vegetation, or slopes, the support equipment is proposed to be mounted on the pole. Therefore the project is consistent with this standard.</p>
<p>Standard 2.e. In the Coastal Zone, disturbed areas associated with the development of a facility shall be prohibited on prime agricultural soils. An exemption may be approved only upon a showing</p>	<p>Consistent. The proposed project is not within the Coastal Zone.</p>

REQUIREMENT	DISCUSSION
of sufficient evidence that there is no other feasible location in the area or other alternative facility configuration that would avoid or minimize impacts to prime soils.	
Standard 2.f. In the Coastal Zone, facilities shall be prohibited in areas that are located between the sea and the seaward side of the right-of-way of the first through public road parallel to the sea, unless a location on the seaward side would result in less visible impact. An exemption may be approved only upon showing of sufficient evidence that there is no other feasible location in the area or other alternative facility configuration that would avoid or minimize visual impacts.	Consistent. The proposed project is not within the Coastal Zone.
Section 35.444.010.D.3 Development Standards	
Standard 3.a. A facility shall not be located so as to silhouette against the sky if substantially visible from a state-designated scenic highway or roadway located within a scenic corridor as designated on the Comprehensive Plan maps.	Consistent. Some of the proposed facilities would be located in a designated scenic corridor however the project would include mounting an antenna on an existing utility pole amongst surrounding trees and development (most of which already have one existing antenna), with the exception of one case where a new pole would be required. The facilities themselves would not silhouette against the sky nor would they be substantially visible.
Standard 3.b. A facility shall not be installed on an exposed ridgeline unless it blends with the surrounding existing natural or manmade environment in a manner that ensures that it will not be substantially visible from public viewing areas (e.g., public road, trails, recreation areas) or is colocated in a multiple user facility.	Consistent. The proposed facilities are not proposed to be located on an exposed ridgeline. The facilities have been designed to blend with the existing utility infrastructure to minimize their visibility from the surrounding area.
Standard 3.c. A facility that is substantially visible from a public viewing area shall not be installed closer than two miles from another substantially visible facility unless it is an existing colocated facility situated on a multiple user site.	Consistent. Although there are other similar proposed facilities within 2 miles of the proposed project location, the proposed project has been designed to blend with the existing utility infrastructure. The equipment would be painted brown (or other color determined by the County) to match the poles and would be visually consistent with transformers and other utility equipment on the poles. Therefore, the project is largely camouflaged and the new facilities are no more obtrusive than other utility boxes. Therefore the facilities would not be significantly visible.

REQUIREMENT	DISCUSSION
<p>Standard 3.d. Telecommunication facilities that are substantially visible from public viewing areas shall be sited below the ridgeline, depressed or located behind earth berms in order to minimize their profile and minimize any intrusion into the skyline. In addition, where feasible, and where visual impacts would be reduced, the facility shall be designed to look like the natural or manmade environment (e.g., designed to look like a tree, rock outcropping, or streetlight) or designed to integrate into the natural environment (e.g., imbedded in a hillside). These facilities shall be compatible with the existing surrounding environment.</p>	<p>Consistent. As discussed above, the proposed facilities are small and are designed to blend with the existing utility infrastructure and would not be substantially visible.</p>
<p>Standard 3.e. In the Coastal Zone, disturbed areas associated with the development of a facility shall not occur within the boundaries or buffer of an environmentally sensitive habitat area. An exemption may be approved only upon showing of sufficient evidence that there is no other feasible location in the area or other alternative facility configuration that would avoid impacts to environmentally sensitive habitat areas. If an exemption is approved with regard to this standard, the County shall require the applicant to fully mitigate impacts to environmentally sensitive habitat consistent with the provisions of the certified Local Coastal Program. Associated landscaping in or adjacent to environmentally sensitive habitat areas shall be limited to locally native plant species appropriate to the habitat type and endemic to the watershed. Invasive, nonindigenous plant species that tend to supplant native species shall be prohibited.</p>	<p>Consistent. The proposed project is not located within the Coastal Zone or in an environmentally sensitive habitat area.</p>

6.4 Design Review

The proposed project was conceptually reviewed by the Montecito Board of Architectural Review (MBAR) on July 2, 2012, July 23, 2012 and August 13, 2012 (minutes included as Attachment E). At the close of their initial review of the project application at the July 2, 2012 hearing, MBAR requested a site visit to better understand the scale of the proposed antennas and the context of the utility poles on which the sites would be located. The applicant erected a “mock-up” of the proposed antenna at two locations (one pole-mounted site and one vault site) and the Board conducted a site visit at their July 23, 2012 hearing date. On the same hearing date, the Board reviewed the sites individually and provided feedback on the recommended

colors for the proposed antennas to best blend with the surroundings. The project returned once more for conceptual review (on August 13, 2012) for review of TSR05 (Moore Road) which was added to the application at after the initial review. The project was directed to return for preliminary review after action by the Montecito Planning Commission.

7.0 APPEALS PROCEDURE

The action of the Planning Commission may be appealed to the Board of Supervisors within 10 calendar days of said action. The appeal fee to the Board of Supervisors is \$643.

ATTACHMENTS

- A. Findings
- B. Conditions of Approval
- C. County Notice of Exemption
- D. CPUC Notice of Exemption and Notice to Proceed
- E. MBAR Minutes
- F. Network Service Maps and Coverage Information
- G. Photosimulations (all sites)
- H. Plans (all sites)

ATTACHMENT A: FINDINGS

1.0 CEQA

1.1 CEQA Guidelines Exemption Findings

- 1.1.1** The proposed project is exempt from environmental review pursuant to Sections 15301(b), 15303(d) and 15304(f) of the Guidelines for Implementation of the California Environmental Quality Act (CEQA). Please see the Notice of Exemption included in Attachment C.

2.0 COUNTY LAND USE DEVELOPMENT CODE

2.1 Conditional Use Permit Findings

- 2.1.1** *The site for the proposed project is adequate in terms of location, physical characteristics, shape, and size to accommodate the type of use and level of development proposed.*

The proposed facilities are located in the County rights-of-way and have been designed to blend in with the existing utility infrastructure without impeding pedestrian traffic or other right-of-way uses. The equipment would either be mounted on the pole or located in an underground vault that is flush with the ground. Additionally, the equipment would be painted brown (or other color determined by the County) to match the poles and would be visually consistent with transformers and other utility equipment on the poles. Therefore, the project is largely camouflaged and the new facilities are no more obtrusive than other utility boxes. Therefore this finding can be made.

- 2.1.2** *Environmental impacts. (a) Within the Coastal Zone, adverse environmental impacts will be mitigated to the maximum extent feasible. (b) Within the Inland area, significant environmental impacts will be mitigated to the maximum extent feasible.*

No significant environmental impacts were identified to result from the project. The project was determined to be exempt by the County under guidelines sections 15301(b), 15303(d), and 15304(f) because the project minimizes the visibility of the facilities by collocating on existing infrastructure and by utilizing small equipment that blends with the existing utility infrastructure on the poles to the extent feasible.

An emissions report was prepared by Jerrold Bushberg Ph.D. on September 19, 2012 for the proposed project which evaluated the cumulative emissions for the proposed facilities operating simultaneously with all existing facilities (both the existing Metro PCS DAS sites as well as nearby macro sites). The report concludes that RF exposure from the telecommunications facilities would be less than 2% of the applicable FCC public

exposure limit at ground level (approximately 20 feet). The facility is therefore well within the FCC's health and safety limits. Additionally, the proposed facilities have been designed to utilize existing infrastructure, reducing development and ground disturbance and reducing the potential for aesthetic impacts to the surrounding community by blending with the utilitarian aesthetic of the existing poles.

Lastly, any adverse environmental impacts would be mitigated to the maximum extent feasible through the conditions imposed on the project including painting the facilities to blend with the poles and monitoring of radiofrequency emissions for compliance with FCC standards.

2.1.3 *Streets and highways are adequate and properly designed to carry the type and quantity of traffic generated by the proposed use.*

The proposed facilities would be maintained by Crown Castle/NextG on an as-needed basis. Aside from maintenance activities, the facilities are unstaffed facilities therefore the existing streets are sufficient to serve the proposed project, consistent with this policy.

2.1.4 *There will be adequate public services, including fire protection, police protection, sewage disposal, and water supply to serve the proposed project.*

As stated above, the proposed facilities would be unstaffed and would not require any public services such as water, sewage, police or fire. Therefore this finding can be made.

2.1.5 *The project will not be detrimental to the comfort, convenience, general welfare, health and safety of the neighborhood and will be compatible with the surrounding area.*

As discussed in Sections 4.0 and 6.3 of the staff report dated November 8, 2012 and incorporated herein by reference, the proposed facilities comply with the Federal health and safety standards and therefore no adverse impacts are associated with the proposed project. Additionally, the facilities have been designed to utilize existing infrastructure and to blend with the utilitarian aesthetic of the existing poles, reducing the potential for aesthetic impacts to the surrounding community. Therefore this finding can be made.

2.1.6 *The proposed project will comply with all applicable requirements of this Development Code and the Comprehensive Plan including the Montecito Community Plan.*

As discussed in Sections 6.2 and 6.3 of the staff report dated November 8, 2012 and incorporated herein by reference, the proposed project would be in conformance with all applicable provisions of the Development Code, the Comprehensive Plan, and the Montecito Community Plan.

2.1.7 *The proposed project will not potentially result in traffic levels higher than those anticipated for the lot by the Montecito Community Plan and its associated*

environmental documents; or if the project would result in higher traffic levels, the increase in traffic is not large enough to cause the affected roadways and/or intersections to exceed their designated acceptable capacity levels at buildout of the Montecito Community Plan or road improvements included as part of the project description are consistent with the provisions of the Montecito Community Plan and are adequate to fully offset the identified potential increase in traffic.

As discussed above, aside from maintenance activities, the facilities are unstaffed and therefore the proposed project would not result in higher traffic levels and is consistent with this policy.

2.1.8 *The proposed project will not adversely impact recreational facilities and uses.*

The proposed facilities would be located within the County rights-of-way mounted on utility poles or underground in vaults that would be flush with the ground. Therefore, the project would not cause any operational obstruction to pedestrian traffic or other recreational uses and is consistent with this policy.

2.1.9 *Within Rural areas as designated on the Comprehensive Plan maps, the use will be compatible with and subordinate to the rural and scenic character of the area.*

The proposed facilities are not located in rural areas, therefore this finding does not apply.

2.2 Commercial Telecommunication Facility Findings

2.2.1 *The facility will be compatible with the existing and surrounding development in terms of land use and visual qualities.*

As discussed in Sections 4.0 and 6.3 of the staff report and incorporated herein by reference, the facilities are designed to retain the visual character of the area by utilizing existing utility poles and utilizing equipment that is small enough to mount to the poles. Moreover, the equipment is consistent with the utilitarian aesthetic of the poles and would be no more obtrusive than other utility boxes on utility poles. Furthermore, the antennas would be painted brown to blend with the pole. Therefore the proposed project preserves the existing streetscape character of the area and this finding can be made.

2.2.2 *The facility is located to minimize its visibility from public view.*

The facility is designed to blend with the utility infrastructure and therefore minimize its appearance as a telecommunications facility. Therefore this finding can be made.

2.2.3 *The facility is designed to blend into the surrounding environment to the greatest extent feasible.*

As discussed in Sections 4.0 and 6.3 of the staff report and incorporated herein by reference, collocating on the existing utility infrastructure blends the facility with the existing visual character of the area. Therefore this finding can be made.

- 2.2.4 *The facility complies with all required development standards unless granted a specific exemption by the review authority as provided in Subsection D. (Additional development standards for telecommunication facilities) above. (a) An exemption to one or more of the required development standards may be granted if the review authority additionally finds that in the specific instance that the granting of the exemption: (1) Would not increase the visibility of the facility or decrease public safety, or (2) Is required due to technical considerations and if the exemption was not granted the area proposed to be served by the facility would otherwise not be served by the carrier proposing the facility, or (3) Would avoid or reduce the potential for environmental impacts.***

As analyzed in Sections 4.0 and 6.3 of the staff report and incorporated herein by reference, the proposed project complies with all required development standards of the telecommunication ordinance.

- 2.2.5 *The applicant has demonstrated that the facility shall be operated within the frequency range allowed by the Federal Communications Commission and complies with all other applicable safety standards.***

The applicant submitted a projected emission report by Jerrold Bushberg, Ph.D., dated September 19, 2012, as a part of this project application. The report concludes that RF exposure from the proposed telecommunications facility would be less than 2% of the applicable FCC public exposure limit at ground level (approximately 20 feet) and therefore the facility is well within the FCC's health and safety limits. As a part of the project conditions, a verification measurement report would be required within 30 days of installation, and every five years thereafter, to confirm these projections.

- 2.2.6 *The applicant has demonstrated a need for service (i.e. coverage or capacity) and the area proposed to be served would not otherwise be served by the carrier proposing the facility.***

The proposed project is a request from Crown Castle/NextG to expand their existing infrastructure to accommodate another carrier on their network, T-Mobile. The equipment proposed for T-Mobile would also have the capacity for one other future carrier (potentially Verizon). Network service maps and information from T-Mobile's radiofrequency engineers were provided as part of the application (included as Attachment F). The proposed facilities would serve to provide both coverage and capacity for T-Mobile that is currently lacking; therefore this finding can be made.

2.2.7 *The applicant has demonstrated that the proposed facility design and location is the least intrusive means feasible for the carrier proposing the facility to provide the needed coverage.*

Where feasible, support equipment is proposed to be located underground, thus reducing the visibility to the facilities. However where facilities cannot be undergrounded the applicant is proposing equipment boxes that are small, and can be mounted to the existing utility poles where similar transformer boxes are commonly found, therefore this finding can be made.

ATTACHMENT B: CONDITIONS OF APPROVAL

- 1. Proj Des-01 Project Description.** This Conditional Use Permit is based upon and limited to compliance with the project description, the hearing exhibits marked Attachment G - Plans and Attachment H - Photosimulations, and all conditions of approval set forth below, including mitigation measures and specified plans and agreements included by reference, as well as all applicable County rules and regulations. The project description is as follows:

The proposed project is a request by Sharon James, agent for the applicant, NextG Networks/Crown Castle, to consider a Conditional Use Permit to allow the addition of four (4) new Distributed Antenna System (DAS) facility sites, or “nodes” (one of which would require the installation of a new pole), and the modification of two (2) existing nodes to accommodate two additional cellular carriers on the network. All six (6) sites are located in the County rights-of-way, in the Inland area.

The DAS Network is composed of individual node sites connected by fiber-optic cable. The fiber-optic cable that NextG Networks (now Crown Castle) built in these areas in 2010 was designed to accommodate up to five carriers. Therefore, extension of the service to additional carriers would not require the addition of fiber-optic cable where it already exists. Connection of the new nodes to the existing network in some cases requires new fiber-optic connection via aerial cabling attached to the existing utility poles. Connection of the new nodes to the existing network would require new fiber-optic connection via aerial cabling attached to the existing utility poles (for TSR01 and TSR25) and approximately 735 linear feet of “micro-trenching” or boring (for TSR26).

A second radio would be added to each node site, either mounted to the utility pole approximately 10 feet above ground (covered with a new/existing shroud) or in the existing underground vault. The shroud concealing both radios (one existing and one proposed) would be 14 inches wide and 47 inches tall. A second antenna would also be added to each node site approximately 20 feet above ground, either attached to a cross-arm on the utility pole or associated fiber strand. The new antenna would be a cylindrical omnidirectional antenna, 7.5 inches in diameter and 24 inches tall and would accommodate service for both T-Mobile and Verizon (or other future carrier).

NextG Networks/Crown Castle is a fiber-based, carrier-neutral radiofrequency transport service provider operating under a statewide franchise from the California Public Utilities Commission (CPUC). NextG/Crown Castle is not a cellular service provider, rather it uses antennae to receive and transmit radiofrequency (RF) signals from cellular customers and converts such transmissions to fiber optic signals which are relayed to the cellular service providers with which NextG has contracted. This type of RF transport service system network is designed and intended to provide extended telecommunication service capacity and/or close existing gaps in service. Under Public Utilities Code

Sections 7901 and 7901.1, Next G/Crown Castle has a statutory right to construct its facilities within the County rights-of-way, subject to County approval and regulation.

The equipment would be serviced and maintained by NextG/Crown Castle. Access to the facilities would be from the public street. The antennas and radio cabinets would be painted to match the existing utility pole or as specified by the County.

The node locations as part of this application are as follows:

Site No. **TSR01** Right-of-way of East Valley Road (*new node, pole-mounted equipment*)
Adjacent to 009-021-016, addressed as 2810 Sycamore, Santa Barbara, CA 93108

Site No. **TSR05** Right-of-way of Moore Road (*new node, pole-mounted equipment*)
Adjacent to 007-120-070 addressed as 1650 Moore Road, Santa Barbara 93108

Site No. **TSR07** Right-of-way of Olive Mill Road (*existing node, existing underground vault*)
Adjacent to 009-640-001 addressed as 300 Hot Springs Road, Santa Barbara 93108

Site No. **TSR12** Right-of-way of Sheffield Drive (*existing node, pole-mounted equipment*)
Adjacent to 007-240-012, Valley Club of Montecito (no site address), Santa Barbara 93108

Site No. **TSR25** Right-of-way of Santa Rosa Lane (*new node, new underground vault*)
Adjacent to 007-450-008, addressed as 405 Court Place, Santa Barbara 93108

Site No. **TSR26** Right-of-way of Santa Rosa Lane (*new node, new pole with pole-mounted equipment*)
Adjacent to 007-280-047, addressed as 380 Santa Rosa Lane, Santa Barbara

Any deviations from the project description, exhibits or conditions must be reviewed and approved by the County for conformity with this approval. Deviations may require approved changes to the permit and/or further environmental review. Deviations without the above described approval will constitute a violation of permit approval.

2. **Proj Des-02 Project Conformity.** The grading, development, use, and maintenance of the property, the size, shape, arrangement, and location of the structures, parking areas and landscape areas, and the protection and preservation of resources shall conform to the project description above and the hearing exhibits and conditions of approval below. The property and any portions thereof shall be sold, leased or financed in compliance with this project description and the approved hearing exhibits and conditions of approval thereto. All plans (such as Landscape and Tree Protection Plans) must be submitted for review and approval and shall be implemented as approved by the County.
3. **Noise-02 Construction Hours.** The Owner /Applicant, including all contractors and subcontractors shall limit construction activity, including equipment maintenance and site preparation, to the hours between 7:30 a.m. and 4:30 p.m., Monday through Friday. No construction shall occur on weekends or State holidays. Non-noise generating

construction activities such as interior plumbing, electrical, drywall and painting (depending on compressor noise levels) are not subject to these restrictions. Any subsequent amendment to the Comprehensive General Plan, applicable Community or Specific Plan, or Zoning Code noise standard upon which these construction hours are based shall supersede the hours stated herein.

4. **Tel-03 Colors and Painting.** All exposed equipment and facilities (i.e., antennas, support structure, equipment cabinets, etc.) shall be finished in non-reflective materials and shall be painted to match the utility pole and/or existing vegetation (if applicable).

PLAN REQUIREMENTS: Color specifications shall be identified on final zoning plans submitted by the Permittee to the County prior to issuance of Zoning Clearance, as well as on final building plans.

MONITORING: P&D compliance monitoring staff shall conduct a Project Compliance Inspection prior to Final Building Inspection Clearance.

5. **Tel-05 Exterior Lighting.** Except as otherwise noted in the Project Description and development plans, the antenna support structure shall not be lighted. The leased premises shall likewise be unlit except for a manually operated light which limits lighting to the area of the equipment in the immediate vicinity of the antenna support structure. The light fixture shall be fully shielded, full cut off and downcast so as to avoid spillage onto adjacent areas and shall be kept off except when maintenance personnel are actually present at night.

PLAN REQUIREMENTS: The Permittee shall restate the lighting limitations on the construction plans. Plans for exterior lighting, if any are provided, shall be submitted to the County for review and approval.

TIMING: This condition shall be satisfied prior to issuance of Zoning Clearance.

MONITORING: P&D compliance monitoring staff shall conduct a Project Compliance Inspection prior to Final Building Inspection Clearance and respond to any complaints.

6. **Tel-06 Underground Utilities.** Except as otherwise noted in the Project Description and development plans, all utilities necessary for facility operation, including coaxial cable, shall be placed underground. Conduit shall be sized so as provide additional capacity to accommodate utilities for other telecommunication carriers should collocation be pursued in the future.

PLAN REQUIREMENTS: The Permittee shall restate the provisions for utility undergrounding on all building and grading plans.

TIMING: This condition shall be satisfied prior to issuance of Zoning Clearance.

MONITORING: P&D staff shall check plans prior to issuance of Zoning Clearance.

7. **Tel-07 Vegetation Protection.** Existing vegetation should be preserved and protected to the maximum extent feasible throughout construction activities. Underground lines serving the facility shall be routed to avoid damage to tree root systems and any trenching required within the dripline or sensitive root zone of any specimen tree shall be done by hand. Trees or shrubs which are significantly damaged or subsequently die as a result of construction activities shall be replaced with those of a comparable size, species and density as approved by P&D staff. Graded areas, including trench routes, shall be reseeded with matching plant composition.

PLAN REQUIREMENTS: The Permittee shall restate the requirement for vegetation protection on the construction plans.

TIMING: Fencing shall be installed prior the pre-construction meeting, and shall be in place during all ground disturbance and construction activities.

MONITORING: P&D compliance monitoring staff shall confirm fencing installation at the pre-construction meeting.

8. **Tel-08 FCC Compliance.** The facility shall be operated in strict conformance with: (i) all rules, regulations, standards and guidance published by the Federal Communications Commission (“FCC”), including but not limited to, safety signage, Maximum Permissible Exposure (“MPE”) Limits, and any other similar requirements to ensure public protection or (ii) all other legally binding, more restrictive standards subsequently adopted by federal agencies having jurisdiction. Compliance shall be governed by the following:
- a. Permittee shall hire a qualified professional acceptable to the County (wholly independent of Permittee), to perform radio frequency (“RF”) field test that measures actual RF electromagnetic exposure at the site. This RF field-testing shall measure all ambient sources of RF energy at the site & report the cumulative RF exposure, including contributions from the site together with other sources of RF energy in the environment as a whole. Measurements shall be made by the responsible professional who will author the report to the County. Report of the results and the author's/professional's findings with respect to compliance with federally established MPE standards shall be submitted to the County within 30 days of installation and initial operation. Permittee shall pay for the cost of the field measurements and preparing the report. The facility shall cease & desist commercial operations until it complies with, or has been modified to comply with, applicable RF standards.
 - b. Every 5 years, Permittee shall hire a qualified professional acceptable to the County to perform RF field testing to evaluate compliance with current federally established MPE standards. In the event the adopted RF standards change, Permittee shall submit a report with calculations of the maximum potential public RF exposure from the Project with respect to the revised RF public exposure standards, w/in 90 days of the date the change becomes effective. If calculated levels exceed 80% of the applicable RF standards, Permittee shall notify the

County and submit a MPE compliance verification report with the results from current RF field-testing at the site. Permittee shall pay for the cost of preparing the reports. For joint-carrier sites, cumulative reporting may be delegated to one carrier upon the agreement of all carriers at the site. Procedures, penalties & remedies for non-compliance with these reporting requirements shall be governed by the provisions of the Telecom Ordinance & FCC regulations.

- c. Prior to the addition/replacement of equipment which has the potential to increase RF emissions at any public location beyond that estimated in the initial application and is w/in the scope of the project description, Permittee shall submit a report providing the calculation of predicted maximum effective radiated power including the new equipment as well as the maximum cumulative potential public RF exposure expressed as a percentage of the public MPE limit attributable to the site as a whole. Once the new equipment has been installed, Permittee shall perform Initial Verification as stated in "a" above.

PLAN REQUIREMENTS: All building plans shall include provisions for MPE compliance.

TIMING: Initial verification of compliance with RF public MPE standards shall be accomplished no later than 30 days following Final Building Clearance. Continued verification of compliance with MPE requirements shall be accomplished by RF field test reports submitted every 5 years following initial verification.

MONITORING: P&D planner shall review all RF field test reports and estimated maximum cumulative RF exposure reports providing calculations of predicted compliance with the public MPE standard. P&D planner shall monitor changes in RF standards, as well as equipment modifications, additions & RF exposures at the site as reported by the Owner/Applicant that might trigger the requirement for field-testing at intervening times between regular test periods.

9. **Tel-09 Project Review.** Five years after issuance of the Zoning Clearance for the project and no more frequently than every five years thereafter, the Director of P&D may undertake inspection of the project and require the Permittee to modify its facilities subject to the following parameters:

- a. **Modification Criteria.** Modifications may be required if, at the time of inspection it is determined that: (i) the Project fails to achieve the intended purposes of the development standards listed in the Telecommunications Ordinance for reasons attributable to design or changes in environmental setting; or (ii) more effective means of ensuring aesthetic compatibility with surrounding uses become available as a result of subsequent technological advances or changes in circumstance from the time the Project was initially approved.
- b. **Modification Limits.** The Director's decision shall take into account the availability of new technology, capacity and coverage requirements of the Permittee, and new facilities installed in the vicinity of the site. The scope of modification, if required, may include, but not be limited to a reduction in antenna

size and height, collocation at an alternate permitted site, and similar site and architectural design changes. However, the Permittee shall not be required to undertake changes that exceed ten percent (10%) of the total cost of facility construction. The decision of the Director as to modifications required herein shall be deemed final unless appealed in compliance with the provisions of the County Code.

PLAN REQUIREMENTS: The Permittee shall restate the provisions for emissions compliance on all building plans.

TIMING: Building permit valuation data shall be used for the purpose establishing the estimated cost of installing the facility. At the time of subsequent inspection and upon reasonable notice, the Permittee shall furnish supplemental documentation as necessary to evaluate new technology, capacity and coverage requirements of the Permittee.

MONITORING: P&D compliance monitoring staff shall conduct periodic inspections and ascertain whether more effective mitigation is available with regard to design and technology. In the event of violation, the permit shall be referred to Zoning Enforcement for abatement.

10. **Tel-10 Collocation.** The Permittee shall avail its facility and site to other telecommunication carriers and, in good faith, accommodate all reasonable requests for collocation in the future subject to the following parameters: (i) the party seeking the collocation shall be responsible for all facility modifications, environmental review, Mitigation Measures, associated costs and permit processing; (ii) the Permittee shall not be required to compromise the operational effectiveness of its facility or place its prior approval at risk; (iii) the Permittee shall make its facilities and site available for collocation on a non-discriminatory and equitable cost basis; and (iv) the County retains the right to verify that the use of the Permittee's facilities and site conforms to County policies.
11. **Tel-11 Transfer of Ownership.** In the event that the Permittee sells or transfers its interest in the telecommunications facility, the Permittee and/or succeeding carrier shall assume all responsibilities concerning the Project and shall be held responsible by the County for maintaining consistency with all conditions of approval. The succeeding carrier shall immediately notify the County and provide accurate contact and billing information to the County for remaining compliance work for the life of the facility.

PLAN REQUIREMENTS: The Permittee shall notify the County of changes in ownership to any or all of the telecommunications facility.

TIMING: Notification of changes in facility ownership shall be given by the Permittee and/or succeeding carrier to the County within 30 days of such change.

12. **Tel-12 Site Identification.** The Permittee shall clearly identify each piece of equipment installed at a site with the Permittee's name and site number to distinguish from other telecommunication carriers' equipment, including but not limited to: antennas, microwave dishes, equipment shelters, support poles, and cabinetry. The Permittee shall

be responsible for clearly marking with permanent paint, tags, or other suitable identification all facility equipment belonging to the Permittee as stated on the site plans.

TIMING: This condition shall be satisfied prior to Final Building Inspection Clearance.

MONITORING: P&D permit processing planner shall check plans and P&D compliance monitoring staff shall conduct compliance inspections as needed to ensure permit compliance.

13. **Tel-13 Facility Maintenance.** The facility shall be maintained in a state of good condition at all times. This includes, but is not limited to: painting; landscaping; site identification; equipment repair; and keeping the facility clear of debris, trash, and graffiti.
14. **Tel-14 Road Encroachment Permit.** The Owner/Applicant shall obtain a road encroachment permit from the Roads Division (Public Works) prior to issuance of Zoning Clearance.
15. **Tel-15 Agreement to Comply.** The facility owner and property owner shall sign and record an agreement to comply with the project description and all conditions of approval on a form acceptable to P&D. Such form may be obtained from the P&D office prior to issuance of zoning clearance. The Owner/Applicant shall provide evidence that he/she has recorded the Agreement to Comply with Conditions.
16. **Tel-16 Abandonment-Revocation.** The Permittee shall remove all support structures, antennas, equipment and associated improvements and restore the site to its natural pre-construction state within one year of discontinuing use of the facility or upon permit revocation. Should the Permittee require more than one year to complete removal and restoration activities the Permittee shall apply for a one-time time extension. In the event the Owner requests that the facility or structures remain, the Owner must apply for necessary permits for those structures within one year of discontinued use. Compliance shall be governed by the following provisions:
 - a. Prior to issuance of Zoning Clearance, the Permittee shall post a performance security. The security shall equal 10 percent of the installation value of the facility as determined at the time of granting the building permit. The performance security shall be retained until this condition is fully satisfied.
 - b. Prior to demolition of the facility, the Permittee shall submit a restoration plan of proposed abandonment to be reviewed and approved by a County approved biologist.
 - c. If use of the facility is discontinued for a period of more than one year and the facility is not removed the County may remove the facility at the Permittee's expense.

17. **CulRes-09 Stop Work at Encounter.** The Owner/Applicant and/or their agents, representatives or contractors shall stop or redirect work immediately in the event archaeological remains are encountered during grading, construction, landscaping or other construction-related activity. The Owner/Applicant shall retain a P&D approved archaeologist and Native American representative to evaluate the significance of the find in compliance with the provisions of Phase 2 investigations of the County Archaeological Guidelines and funded by the Owner/Applicant.

PLAN REQUIREMENTS: This condition shall be printed on all building and grading plans.

MONITORING: P&D permit processing planner shall check plans prior to issuance of Land Use Permit and P&D compliance monitoring staff shall spot check in the field throughout grading and construction.

18. **Rules-01 Effective Date-Not Appealable to CCC.** This Conditional Use Permit shall become effective upon the date of the expiration of the applicable appeal period provided an appeal has not been filed. If an appeal has been filed, the planning permit shall not be deemed effective until final action by the final review authority on the appeal. No entitlement for the use or development shall be granted before the effective date of the planning permit. [LUDC §35.82.020].
19. **Rules-03 Additional Permits Required.** The use and/or construction of any structures or improvements authorized by this approval shall not commence until the all necessary planning and building permits are obtained. Before any Permit will be issued by Planning and Development, the Owner/Applicant must obtain written clearance from all departments having conditions; such clearance shall indicate that the Owner/Applicant has satisfied all pre-construction conditions. A form for such clearance is available from Planning and Development.
20. **Rules-05 Acceptance of Conditions.** The Owner/Applicant's acceptance of this permit and/or commencement of use, construction and/or operations under this permit shall be deemed acceptance of all conditions of this permit by the Owner/Applicant.
21. **Rules-12 CUP Expiration.** The Owner/Applicant shall obtain the required Zoning Clearances within 18 months following the effective date of this Conditional Use Permit. If a required Zoning Clearance is not issued within the 18 months following the effective date of this Conditional Use Permit, or within such extended period of time as may be authorized in compliance with Section 35.474.030 of the Montecito Land Use and Development Code, and an application for an extension has not been submitted to the Planning and Development Department, then Conditional Use Permit shall be considered void and of no further effect.
22. **Rules-17 CUP-Void.** This Conditional Use Permit shall become void and be automatically revoked if the development and/or authorized use allowed by this Conditional Use Permit is discontinued for a period of more than 12 months, or within

such extended period of time as may be authorized in compliance with Section 35.82.060 of the Montecito Land Use and Development Code. Any use authorized by this Conditional Use Permit shall immediately cease upon expiration or revocation of this Conditional Use Permit. Any Zoning Clearance approved or issued pursuant to this Conditional Use Permit shall expire upon expiration or revocation of the Conditional Use Permit. Conditional Use Permit renewals must be applied for prior to expiration of the Conditional Use Permit. [LUDC §35.82.060].

23. **Rules-22 Leased Facilities.** The Operator and Owner are responsible for complying with all conditions of approval contained in this Conditional Use Permit. Any zoning violations concerning the installation, operation, and/or abandonment of the facility are the responsibility of the Owner and the Operator.
24. **Rules-23 Processing Fees Required.** Prior to issuance of Zoning Clearance, the Owner/Applicant shall pay all applicable P&D permit processing fees in full as required by County ordinances and resolutions.
25. **Rules-30 Plans Requirements.** The Owner/Applicant shall ensure all applicable final conditions of approval are printed in their entirety on applicable pages of grading/construction or building plans submitted to P&D or Building and Safety Division. These shall be graphically illustrated where feasible.
26. **Rules-31 Mitigation Monitoring Required.** The Owner/Applicant shall ensure that the project complies with all approved plans and all project conditions including those which must be monitored after the project is built and occupied. To accomplish this, the Owner/Applicant shall:
 - a. Contact P&D compliance staff as soon as possible after project approval to provide the name and phone number of the future contact person for the project and give estimated dates for future project activities;
 - b. Pay fees prior to approval of Zoning Clearance as authorized by ordinance and fee schedules to cover full costs of monitoring as described above, including costs for P&D to hire and manage outside consultants when deemed necessary by P&D staff (e.g. non-compliance situations, special monitoring needed for sensitive areas including but not limited to biologists, archaeologists) to assess damage and/or ensure compliance. In such cases, the Owner/Applicant shall comply with P&D recommendations to bring the project into compliance. The decision of the Director of P&D shall be final in the event of a dispute;
 - c. Note the following on each page of grading and building plans “This project is subject to Condition Compliance Monitoring and Reporting. All aspects of project construction shall adhere to the approved plans, notes, and conditions of approval”;

- d. Contact P&D compliance staff at least two weeks prior to commencement of construction activities to schedule an on-site pre-construction meeting to be led by P&D Compliance Monitoring staff and attended by all parties deemed necessary by P&D, including the permit issuing planner, grading and/or building inspectors, other agency staff, and key construction personnel: contractors, sub-contractors and contracted monitors among others.
27. **Rules-32 Contractor and Subcontractor Notification.** The Owner/Applicant shall ensure that potential contractors are aware of County requirements. Owner / Applicant shall notify all contractors and subcontractors in writing of the site rules, restrictions, and Conditions of Approval and submit a copy of the notice to P&D compliance monitoring staff.
 28. **Rules-33 Indemnity and Separation.** The Owner/Applicant shall defend, indemnify and hold harmless the County or its agents or officers and employees from any claim, action or proceeding against the County or its agents, officers or employees, to attack, set aside, void, or annul, in whole or in part, the County's approval of this project. In the event that the County fails promptly to notify the Owner / Applicant of any such claim, action or proceeding, or that the County fails to cooperate fully in the defense of said claim, this condition shall thereafter be of no further force or effect.
 29. **Rules-37 Time Extensions-All Projects.** The Owner / Applicant may request a time extension prior to the expiration of the permit or entitlement for development. The review authority with jurisdiction over the project may, upon good cause shown, grant a time extension in compliance with County rules and regulations, which include reflecting changed circumstances and ensuring compliance with CEQA. If the Owner / Applicant requests a time extension for this permit, the permit may be revised to include updated language to standard conditions and/or mitigation measures and additional conditions and/or mitigation measures which reflect changed circumstances or additional identified project impacts.

ATTACHMENT C: NOTICE OF EXEMPTION

NOTICE OF EXEMPTION

TO: Santa Barbara County Clerk of the Board of Supervisors

FROM: Megan Lowery, Planning & Development

The project or activity identified below is determined to be exempt from further environmental review requirements of the California Environmental Quality Act (CEQA) of 1970, as defined in the State and County Guidelines for the implementation of CEQA.

APN: County Road Rights-of-Way (no assigned Assessor Parcel Numbers)

Case No.: 12CUP-00000-00013

Locations: Six locations in the inland area

Site No. **TSR01** Right-of-way of East Valley Road
Adjacent to 009-021-016, addressed as 2810 Sycamore, Santa Barbara, CA 93108

Site No. **TSR05** Right-of-way of Moore Road
Adjacent to 007-120-070 addressed as 1650 Moore Road, Santa Barbara 93108

Site No. **TSR07** Right-of-way of Olive Mill Road
Adjacent to 009-640-001 addressed as 300 Hot Springs Road, Santa Barbara 93108

Site No. **TSR12** Right-of-way of Sheffield Drive
Adjacent to 007-240-012, Valley Club of Montecito (no site address), Santa Barbara 93108

Site No. **TSR25** Right-of-way of Santa Rosa Lane
Adjacent to 007-450-008, addressed as 405 Court Place, Santa Barbara 93108

Site No. **TSR26** Right-of-way of Santa Rosa Lane
Adjacent to 007-280-047, addressed as 380 Santa Rosa Lane, Santa Barbara

Project Title: Crown Castle Distributed Antenna System Upgrade

Project Description:

The proposed project is a request by Sharon James, agent for the applicant, NextG Networks/Crown Castle, to consider a Conditional Use Permit to allow the addition of four (4) new Distributed Antenna System (DAS) facility sites, or “nodes” (one of which would require the installation of a new pole), and the modification of two (2) existing nodes to

accommodate two additional cellular carriers on the network. All six (6) sites are located in the County rights-of-way, in the Inland area.

The DAS Network is composed of individual node sites connected by fiber-optic cable. The fiber-optic cable that NextG Networks (now Crown Castle) built in these areas in 2010 was designed to accommodate up to five carriers. Therefore, extension of the service to additional carriers would not require the addition of fiber-optic cable where it already exists. Connection of the new nodes to the existing network in some cases requires new fiber-optic connection via aerial cabling attached to the existing utility poles. Connection of the new nodes to the existing network would require new fiber-optic connection via aerial cabling attached to the existing utility poles (for TSR01 and TSR25) and approximately 735 linear feet of "micro-trenching" or boring (for TSR26).

A second radio would be added to each node site, either mounted to the utility pole approximately 10 feet above ground (covered with a new/existing shroud) or in the existing underground vault. The shroud concealing both radios (one existing and one proposed) would be 14 inches wide and 47 inches tall. A second antenna would also be added to each node site approximately 20 feet above ground, either attached to a cross-arm on the utility pole or associated fiber strand. The new antenna would be a cylindrical omnidirectional antenna, 7.5 inches in diameter and 24 inches tall and would accommodate service for both T-Mobile and Verizon (or other future carrier).

NextG Networks/Crown Castle is a fiber-based, carrier-neutral radiofrequency transport service provider operating under a statewide franchise from the California Public Utilities Commission (CPUC). NextG/Crown Castle is not a cellular service provider, rather it uses antennae to receive and transmit radiofrequency (RF) signals from cellular customers and converts such transmissions to fiber optic signals which are relayed to the cellular service providers with which NextG has contracted. This type of RF transport service system network is designed and intended to provide extended telecommunication service capacity and/or close existing gaps in service. Under Public Utilities Code Sections 7901 and 7901.1, Next G/Crown Castle has a statutory right to construct its facilities within the County rights-of-way, subject to County approval and regulation.

The equipment would be serviced and maintained by NextG/Crown Castle. Access to the facilities would be from the public street. The antennas and radio cabinets would be painted to match the existing utility pole or as specified by the County.

Name of Public Agency Approving Project: County of Santa Barbara
Name of Person or Agency Carrying Out Project: Sharon James, Crown Castle

Exempt Status: (Check one)

- ☐ Ministerial
- ☐ Statutory Exemption
- ☒ Categorical Exemption
- ☐ Emergency Project
- ☐ Declared Emergency

Cite specific CEQA and/or CEQA Guideline Sections:

Section 15301(b): “Existing Facilities” – Existing facilities of both investor and publicly-owned utilities used to provide electric power, natural gas, sewerage, or other public utility services

Section 15303(d): “New Construction or Conversion of Small Structures” – Water main, sewage, electrical, gas, and other utility extensions, including street improvements, of reasonable length to serve such construction

Section 15304(f): “Minor Alterations to Land” – Minor trenching and backfilling where the surface is restored

Reasons to support exemption findings:

The proposed project can be found categorically exempt from environmental review pursuant to Sections 15301(b), 15303(d) and 15304(f) of the Guidelines for the Implementation of the California Environmental Quality Act (CEQA). CEQA Guidelines Section 15301 allows for operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of use. Section 15303 allows “construction and location of limited numbers of new, small facilities or structures; installation of small new equipment and facilities in small structures; and the conversion of existing small structures from one use to another where only minor modifications are made in the exterior of the structure.” Section 15304 allows for “minor public or private alterations in the condition of land, water, and/or vegetation which do not involve removal of healthy, mature, scenic trees except for forestry or agricultural purposes.”

The proposed project is a request to allow the addition and modification Distributed Antenna System (DAS) facilities to accommodate two additional cellular carriers on the network. The project would include six new facilities total: five would be installed on existing utility poles, of which three would be collocated (as defined by the County LUDC), and one installed on a new pole. The facilities would not only utilize existing infrastructure, but would utilize equipment that is much smaller than traditional telecommunications facilities. The single antenna proposed to be added, would be 7.5 inches in diameter and 24 inches tall and could be used to provide service for up to two carriers, as opposed to larger facilities which typically utilize between four to twelve antennas measuring up to 8 feet tall, for a single carrier’s service. Additionally, the proposed DAS sites would use two radios serving up to three carriers (concealed with a shroud), would measure 14 inches wide and 47 inches tall, whereas traditional macro sites often require support equipment to be stored in a pre-fabricated shelters typically measuring 10’x10’x12’. Site No. TSR26 (Santa Rosa Lane) would require the installation of a new pole because no poles currently exist in the proposed coverage area. The pole installation would have a small footprint and would be located in an existing developed area. The proposed equipment would be mounted on the pole, which would minimize ground disturbance and impacts to existing vegetation that would provide screening for the facility.

The proposed project does not require water or sewer service, and would not generate any solid waste, odors or dust. No new gas, electric or telephone utilities would be required as they already exist on the poles. Public services such as fire and law enforcement would not be required given the automated nature of the facility and restricted public access. Access would be provided by existing paved roads and additional traffic would be minimal (limited to as-needed maintenance only). Vegetation protection measures would be instituted to ensure the retention of the existing vegetation. The project is located in an existing developed area, and would not impose any impacts to biological or archeological resources. Therefore, the project is minor in nature and would not have the potential to create any significant environmental effects. Therefore, it is subject to the categorical exemption under Sections 15301(b), 15303(d) and 15304(f) and no further environmental review is required.

There is no substantial evidence that there are unusual circumstances (including future activities) resulting in (or which might reasonably result in) significant impacts which threaten the environment. The exceptions to the categorical exemptions pursuant to Section 15300.2 of the State CEQA Guidelines are:

- (a) Location. Classes 3, 4, 5, 6, and 11 are qualified by consideration of where the project is to be located -- a project that is ordinarily insignificant in its impact on the environment may in a particularly sensitive environment be significant. Therefore, these classes are considered to apply all instances, except where the project may impact on an environmental resource of hazardous or critical concern where designated, precisely mapped, and officially adopted pursuant to law by federal, state, or local agencies.**

The project would be located in the County road rights-of-way, in the inland area, within the "Central Urban Sub-Area" neighborhoods of the Montecito Community Plan which are urban residentially zoned. The project has been designed to utilize existing infrastructure to the extent feasible and to blend with the existing character of the area. No designated trails, sensitive biological resources or cultural resources occur within the immediate project vicinity. Therefore the project would not pose a significant impact to any known resources.

- (b) Cumulative Impact. All exemptions for these classes are inapplicable when the cumulative impact of successive projects of the same type in the same place, over time is significant.**

The proposed project reduces cumulative impacts by collocating with existing telecommunications facilities and utilizing existing infrastructure. Additionally, as a wireless telecommunications facility, the antennas are required to operate within Federal emissions limits and comply with the FCC's health and safety standards. Federal standards require that collocated facilities, such as this, cumulatively meet the emissions standards. As a part of the permit application, Crown Castle provided an emissions report, prepared by Jerrold T. Bushberg, Ph.D, DABMP, DABSNM dated September 18, 2012. The report analyzed the emissions of the existing antenna,

combined with the proposed antenna (which could provide service for up to two additional carriers), as well as the emissions from other macro facilities that exist within the community. The report concluded that the simultaneous operation of all facilities, existing and proposed combined, would be 0.85-1.81% of the FCC public exposure limit, and would meet all health and safety requirements. Therefore there are no cumulative health and safety impacts anticipated as part of the proposed project.

- (c) **Significant Effect. A categorical exemption shall not be used for an activity where there is a reasonable possibility that the activity will have a significant effect on the environment due to unusual circumstances.**

As described above, telecommunications facilities are regulated by the Federal Communications Commission and are required to comply with Federal emissions standards and health and safety requirements at all times. The facility complies with these standards therefore there are no unusual circumstances anticipated to result from the proposed project.

- (d) **Scenic Highways. A categorical exemption shall not be used for a project which may result in damage to scenic resources, including but not limited to, trees, historic buildings, rock outcroppings, or similar resources, within a highway officially designated as a state scenic highway. This does not apply to improvements which are required as mitigation by an adopted negative declaration or certified EIR.**

The proposed project components are not located near or within visibility of a designated scenic highway.

- (e) **Hazardous Waste Sites. A categorical exemption shall not be used for a project located on a site which is included on any list compiled pursuant to Section 65962.5 of the Government Code.**

The project is not located on an identified hazardous waste site.

- (f) **Historical Resources. A categorical exemption shall not be used for a project which may cause a substantial adverse change in the significance of a historical resource.**

The proposed facilities would be located in the road rights-of-way and are designed to blend with the existing utility poles and infrastructure and therefore would not be substantially visible. Therefore the facilities would not cause a substantial adverse change in the visual setting of any historic resources in the community area.

Lead Agency Contact Person: Megan Lowery

Phone #: (805) 568-2517

Department/Division Representative: _____ Date: _____

Acceptance Date: _____

distribution: Hearing Support Staff
 Project file (when P&D permit is required)
 Date Filed by County Clerk: _____.

Notice of Exemption

Form D

To: ☒ Office of Planning and Research
PO Box 3044, 1400 Tenth Street, Room 212
Sacramento, CA 95812-3044

☐ County Clerk
County of _____

From: (Public Agency) _____
CA Public Utilities Commission
505 Van Ness, SF CA, 94102
(Address)

Project Title: NG2012-04 NextG/T Mobile Santa Barbara Distributed Antenna System Network

Project Location - Specific:

Storke Rd, Hollister Ave, Ellwood Station Rd, Cuervo Ave, Santa Rosa Ln, Sinaloa, E Micheltorean st, Salsipuedes st.

Project Location - City: Goleta/Santa Barbara Project Location - County: Santa Barbara

Description of Project:

Installation of fiber optic cable, additional poles, and micro antenna in new and existing conduit to augment existing network.

Name of Public Agency Approving Project: California Public Utilities Commission

Name of Person or Agency Carrying Out Project: NextG Communications

Exempt Status: (check one)

- ☐ Ministerial (Sec. 21080(b)(1); 15268);
☐ Declared Emergency (Sec. 21080(b)(3); 15269(a));
☐ Emergency Project (Sec. 21080(b)(4); 15269(b)(c));
☐ Categorical Exemption. State type and section number: 15061b3; 15301b; 15302c; 15303; 15304.
☐ Statutory Exemptions. State code number: _____

Reasons why project is exempt:

Under D. 07-04-045 the Commission determined that the projects proposed by AboveNet would qualify under one or more categorical exemptions under CEQA.

Lead Agency

Contact Person: Jensen Uchida Area Code/Telephone/Extension: 415 703 5484

If filed by applicant:

1. Attach certified document of exemption finding.
2. Has a Notice of Exemption been filed by the public agency approving the project? ☒ Yes ☐ No

Signature:  Date: 4/30/12 Title: Reg Analyst

☒ Signed by Lead Agency

Date received for filing at OPR: _____

☐ Signed by Applicant

January 2004

PUBLIC UTILITIES COMMISSION

505 VAN NESS AVENUE

SAN FRANCISCO, CA 94102-3298



April 30, 2012

Sharon James
NextG Networks, Inc.
2216 O'Toole Avenue
San Jose, CA 95131

Dear Ms. James:

NextG Networks of California (NextG) submitted a Notice of Proposed Construction (NG2012-04) for the installation of additional micro-antennas, two new poles, and several new segments of trenching on behalf of T Mobile in the greater Santa Barbara area. The NPC requests the Energy Division to act upon NextG's request for a determination that the proposed project is consistent with the activities identified as categorically exempt from the California Environmental Quality Act (CEQA) by the California Public Utilities Commission (Commission).

In January 2003, the Commission granted NextG the authority to operate as limited facilities-based (LFB) carrier in California. In May 2006, NextG submitted A.06-05-031 seeking expansion of its LFB authority to include the installation of Distributed Antenna System (DAS) micro-antennae and other related equipment in California. In the application, NextG stated that its projects may include the installation of a limited number of new poles, small scale or micro-trenching, conduit installation, and the installation of laterals. Under D. 07-04-045, the Commission determined that the projects envisioned by NextG fell within one of several categorical exemptions identified under CEQA, and that further environmental review would not be required.

The Energy Division has reviewed NextG's proposal to install additional DAS equipment within the T Mobile Santa Barbara Network and has determined that the proposed construction activities are consistent with the actions identified by the Commission as categorically exempt from CEQA. The Energy Division hereby grants NextG with the authority to proceed with the construction of the project as described in the NPC.

Sincerely,

A handwritten signature in dark ink, appearing to read "Jensen Uchida".

Jensen Uchida
California Public Utilities Commission
Regulatory Analyst

ACTION: Mendro moved, seconded by Eichelberger and carried by a vote of 3-0-1 (Nulty & Palladini absent, Keller abstained) to grant preliminary/final approval of 12BAR-00000-0003 with the following condition: Maintain existing landscape screening..

- | | | | |
|----|---|---|--------------------------|
| 8. | 12BAR-00000-00084 | NextG Networks of CA Inc.
Telecommunication Facilities | Montecito Coastal |
| | 12CUP-00000-00018, 12CDP-00000-00038 (Megan Lowery, Planner 568-2517) | | Jurisdiction: |

Request of Sharon James, agent for applicant, NextG Networks of CA Inc., to consider Case No. 12BAR-00000-00084 for **conceptual review of five telecommunication facilities on existing utility poles in public right-of-ways**. The pole locations are in the public right-of-ways adjacent to the following Assessor's Parcel Numbers and Parcel Addresses:

Site No. TSR02 **Right-of-way of Middle Road**

Adjacent to 009-170-047, addressed as 206 Middle Road, Santa Barbara, CA 93108

Site No. TSR06 **Right-of-way of Hot Springs Road**

Adjacent to 009-152-004, addressed as 170 Hot Springs Road, Santa Barbara, CA 93108

Site No. TSR08 **Right-of-way of N. Jameson Lane**

Adjacent to 009-262-003, addressed as 104 La Vereda Road, Santa Barbara 93108

Site No. TSR11 **Right-of-way of N. Jameson Lane**

Adjacent to 007-350-010, addressed as 129 Sheffield Drive, Santa Barbara, 93108

Public Comments:

John Williams,
Martha Siegal
Woody Barrett

MBAR Comments:

1. Concerned about the proliferation of lines, antennas, etc.
2. Need to see a site plan and make site visit to see the context of the new antennas and how they would affect the area visually.
3. Montecito strives to maintain its semi-rural character. Would like to see something as unique as possible for the community, aesthetic concepts that would make the antennas look more like a lamp or feature that would blend into the background.
4. Gave as an example, Caltrans designing a concrete bridge railing to look like wood.

The project received comments only. (Nulty & Palladini absent from the discussion). The project may return for further conceptual review. Site visit requested.

- | | | | |
|----|--|---|-------------------------|
| 9. | 12BAR-00000-00077 | NextG Networks of CA Inc.
Telecommunication Facilities | Montecito Inland |
| | 12CUP-00000-00013 (Megan Lowery, Planner 568-2517) | | Jurisdiction: |

Request of Sharon James, agent for the applicant, NextG Networks of CA Inc., to consider Case No. 12BAR-00000-00077 for **conceptual review of five telecommunication facilities on four existing utility poles in public right-of-ways and one new pole in the public right-of-way**. The proposed project will not require grading. The pole locations are in the public right-of-ways adjacent to the following Assessor's Parcel Numbers and Parcel Addresses:

Site No. TSR07 **Right-of-way of Olive Mill Road**

Adjacent to 009-130-015 addressed as 300 Hot Springs Road, Santa Barbara 93108

Site No. TSR12 **Right-of-way of Sheffield Drive**

Adjacent to 007-240-012, Valley Club of Montecito (no site address), Santa Barbara 93108

Site No. TSR25 **Right-of-way of Santa Rosa Lane**

Adjacent to 007-450-008, addressed as 405 Court Place, Santa Barbara 93108

Site No. TSR26 **Right-of-way of Santa Rosa Lane** (new pole)

Adjacent to 007-280-047, addressed as 380 Santa Rosa Lane, Santa Barbara

Site No. TSR01 **Right-of-way of East Valley Road**

Adjacent to 009-021-016, addressed as 2810 Sycamore, Santa Barbara, CA 93108

Public Comments:

John Williams,
 Martha Siegal
 Woody Barrett

MBAR Comments:

1. **Concerned about the proliferation of lines, antennas, etc.**
2. **Need to see a site plan and make site visit to see the context of the new antennas and how they would affect the area visually.**
3. **Montecito strives to maintain its semi-rural character. Would like to see something as unique as possible for the community, aesthetic concepts that would make the antennas look more like a lamp or feature that would blend into the background.**
4. **Gave as an example, Caltrans designing a concrete bridge railing to look like wood.**

The project received comments only. (Nulty & Palladini absent from the discussion). The project may return for further conceptual review. Site visit requested.

10.	12BAR-00000-00087	Montecito 2012 Residence Trust Addition and New Garage (No Planner Assigned)	1940 Tollis Avenue Ridgeline: N/A
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Request of Mary Seed, agent for the owners, Montecito 2012 Residence Trust, to consider Case No. 12BAR-00000-00087 for **conceptual review of an addition to an existing two story single family dwelling with the first floor addition being approximately 882 square feet and the second story addition being approximately 119 square feet and an interior remodel.** The following structures currently exist on the parcel: a two story single family residence of approximately 11,249 square feet an attached garage of approximately 882 square feet, a pool cabana of approximately 666 square feet, a guest house of approximately 915 square feet, a studio of approximately 1,430 square feet and a detached garage of approximately 924 square feet. The proposed project will require approximately 890 cubic yards of cut and no fill. The property is a 4.66 acre parcel zoned 3-E-1 and shown as Assessor's Parcel Number 007-100-007, located at **1940 Tollis Avenue** in the Montecito area, First Supervisorial District.

(Continued from 6/11/12)

ACTION: Spann moved, seconded by Maphis and carried by a vote of 5-0-1 (Mendro absent, Keller abstained) to continue 12BAR-00000-000042.

4. **12BAR-00000-00105** **Cooper New Guesthouse & Carport** **354 East Mountain Drive**
12LUP-00000-00201 (Brian Banks Planner 568-3559) Ridgeline: N/A

Request of, Matt Eastwood, architect for the owners, Kent & Sophie Cooper, to consider Case No.12BAR-00000-00105 for **preliminary/final approval of a guesthouse of approximately 755 square feet and carport of approximately 382 square feet.** The following structures currently exist on the parcel: a single family dwelling of approximately 759 square feet, a utility shed of approximately 120 square feet. The proposed project will require approximately 250 cubic yards of cut and approximately 65 cubic yards of fill. The property is a 3.028 acre parcel zoned 3-E-1 and shown as Assessor's Parcel Number 013-030-033, located at **354 East Mountain Drive** in the Montecito area, First Supervisorial District. (Continued from 7/2/12)(Appearance by Matt Eastwood, Ken Radkey)

ACTION: Spann moved, seconded by Maphis and carried by a vote of 6-0 (Mendro) to grant preliminary/final approval of 12BAR-00000-000105.

CONCEPTUAL REVIEW

5. **12BAR-00000-00084** **Next G Networks of CA Inc.** **Montecito Coastal**
12CUP-00000-00018, 12CDP-00000-00038 **Telecommunication Facilities** **Jurisdiction:**
(Megan Lowery, Planner 568-2517)

Request of Sharon James, agent for applicant, NextG Networks of CA Inc., to consider Case No. 12BAR-00000-00084 for **further conceptual review of five telecommunication facilities on existing utility poles in public right-of-ways.** The pole locations are in the public right-of-ways adjacent to the following Assessor's Parcel Numbers and Parcel Addresses: (Continued from 6/2/12) (Appearance by Sharon James, Daniel Neuske)

Site No. TSR02 **Right-of-way of Middle Road**

Adjacent to 009-170-047, addressed as 206 Middle Road, Santa Barbara, CA 93108

Site No. TSR06 **Right-of-way of Hot Springs Road**

Adjacent to 009-152-004, addressed as 170 Hot Springs Road, Santa Barbara, CA 93108

Site No. TSR08 **Right-of-way of N. Jameson Lane**

Adjacent to 009-262-003, addressed as 104 La Vereda Road, Santa Barbara 93108

Site No. TSR11 **Right-of-way of N. Jameson Lane**

Adjacent to 007-350-010, addressed as 129 Sheffield Drive, Santa Barbara, 93108

Public Comments:

Martha Siegel

MBAR Comments:

- **Previous comments stand in addition to the direction below.**
 - **Site TSR02: Antenna shall be dark green.**
 - **Site TSR06: Antenna shall be grey. Investigate vaulting the equipment.**

- **Site TSR08: Antenna shall be dark green.**
- **Site TSR11: Antenna shall be dark green.**

The project received comments only. (Mendro absent from the discussion). Project to return after MPC review.

6.

12BAR-00000-00077	Next G Networks of CA Inc. Telecommunication Facilities	Montecito Inland
12CUP-00000-00013	(Megan Lowery, Planner 568-2517)	Jurisdiction:

Request of Sharon James, agent for the applicant, NextG Networks of CA Inc., to consider Case No. 12BAR-00000-00077 for **further conceptual review of five telecommunication facilities on four existing utility poles in public right-of-ways and one new pole in the public right-of-way.** The proposed project will not require grading. The pole locations are in the public right-of-ways adjacent to the following Assessor's Parcel Numbers and Parcel Addresses: **(Continued from 6/2/12) (Appearance by Sharon James, Daniel Neuske)**

Site No. TSR07 Right-of-way of Olive Mill Road

Adjacent to 009-130-015 addressed as 300 Hot Springs Road, Santa Barbara 93108

Site No. TSR12 Right-of-way of Sheffield Drive

Adjacent to 007-240-012, Valley Club of Montecito (no site address), Santa Barbara 93108

Site No. TSR25 Right-of-way of Santa Rosa Lane

Adjacent to 007-450-008, addressed as 405 Court Place, Santa Barbara 93108

Site No. TSR26 Right-of-way of Santa Rosa Lane (new pole)

Adjacent to 007-280-047, addressed as 380 Santa Rosa Lane, Santa Barbara

Site No. TSR01 Right-of-way of East Valley Road

Adjacent to 009-021-016, addressed as 2810 Sycamore, Santa Barbara, CA 93108

Public Comment:

Hugh Merrill

MBAR Comments:

- **Previous comments stand in addition to the direction below:**
 - **Site TSR07: Antenna shall be dark green.**
 - **Site TSR12: Antenna shall be dark green. Vaulting impractical.**
 - **Site TSR25: Site is very open, with no alternative sites available. Investigate vaulting equipment. Antenna shall be grey.**
 - **Site TSR26: Vaulting would take out existing shrubs and is therefore undesirable. Project is unacceptable as presented: seek a stealth design, such as a roadside lamp.**
 - **Site TSR01: Put equipment on back side of pole or investigate vaulting. Antenna shall be medium grey.**

The project received comments only. (Mendro absent from the discussion) Project to return after MPC review.

MBAR Comments:

1. **Like modifications to serve neighbor including installation of pool equipment in a sound proof room and addition to property line hedge.**
2. **Consider shifting pool toward house.**
3. **Consider shifting southerly driveway to protect oaks which would otherwise be removed due to the fact that they overhang the driveway or simply leave the oak trees rather than remove them.**
4. **Mitigation trees are required if oaks are removed.**
5. **Project received preliminary approval.**
6. **Return with arborist report and mitigation plantings shown on plans, documentation of trenching, details, materials and color board.**

ACTION: Maphis moved, seconded by Palladini and carried by a vote of 4-0-1 (Spann & Eichelberger absent, Keller abstained) to grant preliminary approval of 12BAR-00000-00089. The project can return for final approval with the consent of the planner.

- | | | | |
|----|--------------------------|--|-------------------------------|
| 2. | 12BAR-00000-00114 | Galusha New Deck | 745 Winding Creek Lane |
| | 12LUP-00000-00251 | (Kimberley McCarthy, Planner 568-2005) | Ridgeline: N/A |

Request of Sophie Calvin, agent for the owners, Mr. & Mrs. Greg Galusha, to consider Case No. 12BAR-00000-00114 for **preliminary/final approval of new deck of approximately 290 square feet**. The following structures currently exist on the parcel: a single family dwelling of approximately 2,466 square feet and an attached garage of approximately 484 square feet. The proposed project will require no cubic yards of cut and approximately 45 cubic yards of fill. The property is a 1.07 acre parcel zoned 2-E-1 and shown as Assessor's Parcel Number 155-050-029, located at **745 Winding Creek Lane** in the Montecito area, First Supervisorial District. (Continued from 7/23/12)

ACTION: Maphis moved, seconded by Palladini (Spann & Eichelberger absent) and carried by a vote of 5-0 to continue the project to the August 27, 2012 MBAR meeting, at the request of the applicant. *Please see the Agenda Status Report.*

CONCEPTUAL REVIEW

- | | | | |
|----|--------------------------|-------------------------------------|-------------------------|
| | | NextG Networks of CA Inc. | |
| 3. | 12BAR-00000-00077 | Telecommunication Facilities | Montecito Inland |
| | 12CUP-00000-00013 | (Megan Lowery, Planner 568-2517) | |

Request of Sharon James, agent for the applicant, NextG Networks of CA Inc., to consider Case No. 12BAR-00000-00077 for **conceptual review of one additional telecommunications facility site to those previously reviewed, for a total of six telecommunication facilities on existing (and one new) utility poles in public right-of-ways**. The proposed project will not require grading. The pole locations are in the public right-of-ways adjacent to the following Assessor's Parcel Numbers and Parcel Addresses.(Appearance by Sharon James)

The additional site location is the following:

Site No. TSR05 **Right-of-way of Moore Road**
 Adjacent to 007-120-070 addressed as 1650 Moore Road, Santa Barbara 93108

Previously reviewed sites under this case:

*Site No. TSR07 **Right-of-way of Olive Mill Road**
Adjacent to 009-130-015 addressed as 300 Hot Springs Road, Santa Barbara 93108*

*Site No. TSR12 **Right-of-way of Sheffield Drive**
Adjacent to 007-240-012, Valley Club of Montecito (no site address), Santa Barbara 93108*

*Site No. TSR25 **Right-of-way of Santa Rosa Lane**
Adjacent to 007-450-008, addressed as 405 Court Place, Santa Barbara 93108*

*Site No. TSR26 **Right-of-way of Santa Rosa Lane (new pole)**
Adjacent to 007-280-047, addressed as 380 Santa Rosa Lane, Santa Barbara*

*Site No. TSR01 **Right-of-way of East Valley Road**
Adjacent to 009-021-016, addressed as 2810 Sycamore, Santa Barbara, CA 93108*

Public Comment:

1. Shirley Jansu

MBAR Comments:

1. It appears that westbound traffic will get the best view of the facilities. As such, equipment cabinet shall be placed on West side of pole.
2. Antenna shall be painted dark green and should also be located on the west side of the pole (unless such location would block the signal).

No action taken. The project received comments only. (Spann & Eichelberger absent from the discussion). The project may return for preliminary review following PC action.

4.	NextG Networks of CA Inc.		
	12BAR-00000-00084	Telecommunication Facilities	Montecito Coastal
	12CUP-00000-00018, 12CDP-00000-00038 (Megan Lowery, Planner 568-2517)		

Request of Sharon James, agent for applicant, NextG Networks of CA Inc., to consider Case No. 12BAR-00000-00084 for **conceptual review of one additional telecommunications facility site to those previously reviewed, for a total of five telecommunications facilities on existing utility poles in public right-of-ways.** The pole locations are in the public right-of-ways adjacent to the following Assessor's Parcel Numbers and Parcel Addresses.(Appearance by Sharon James)

The additional site location is the following:

Site No. TSR14 **Right-of-way of San Leandro Lane**
Adjacent to 007-300-006 addressed as 1710 San Leandro Lane, Santa Barbara 93108

Previously reviewed sites under this case:

*Site No. TSR02 **Right-of-way of Middle Road**
Adjacent to 009-170-047, addressed as 206 Middle Road, Santa Barbara, CA 93108*

*Site No. TSR06 **Right-of-way of Hot Springs Road**
Adjacent to 009-152-004, addressed as 170 Hot Springs Road, Santa Barbara, CA 93108*

*Site No. TSR08 **Right-of-way of N. Jameson Lane**
Adjacent to 009-262-003, addressed as 104 La Vereda Road, Santa Barbara 93108*

*Site No. TSR11 **Right-of-way of N. Jameson Lane**
Adjacent to 007-350-010, addressed as 129 Sheffield Drive, Santa Barbara, 93108*

MBAR Comments:

1. Pleased that equipment will be enclosed in existing vault.
2. Antenna shall be painted grey

No action taken. The project received comments only. (Spann & Eichelberger absent from the discussion). The project may return for preliminary review following PC action.

- | | | | |
|-----------|--------------------------|--|--------------------------|
| 5. | 12BAR-00000-00129 | de Ponce Addition | 434 Pimiento Lane |
| | 12LUP-00000-00241 | (Kimberley McCarthy, Planner 568-2005) | Ridgeline: N/A |

Request of Tom Oshner, architect for the owners, Bryan & Debra de Ponce, to consider Case No. 12BAR-00000-00129 for **conceptual review/preliminary approval of an addition of approximately 663 square feet to the existing single family dwelling.** The following structures currently exist on the parcel: a single family dwelling of approximately 1,237 square feet with an attached garage of approximately 419 square feet. The proposed project will require approximately 30 cubic yards of cut and approximately 30 cubic yards of fill. The property is a .46 acre parcel zoned 20-R-1 and shown as Assessor's Parcel Number 009-060-060, located at **434 Pimiento Lane** in the Montecito area, First Supervisorial District. (Appearance by Ray Ames)

MBAR Comments:

1. Will need to address closure of second driveway with landscaping.
2. Tree and arborist report are in order.
3. Commend low profile and elimination of extra driveway.
4. The project should return with a landscape plan at eliminated driveway and documentation of existing screening at the property line.

ACTION: Maphis moved, seconded by Keller and carried by a vote of 5-0- (Spann & Eichelberger absent) to grant preliminary approval of 12BAR-00000-00129. The project may return for final approval.

- | | | | |
|-----------|--------------------------|---------------------------------------|---------------------------|
| | | Montecito 2012 Residence Trust | |
| 6. | 12BAR-00000-00087 | Addition and New Garage | 1940 Tollis Avenue |
| | 12LUP-00000-00264 | (Nicole Lieu, Planner 884-8068) | Ridgeline: N/A |

Request of Steve Welton, agent for the owner, Montecito 2012 Residence Trust, to consider Case No. 12BAR-00000-00087 for **conceptual review of the conversion of a previously permitted garage to living space of approximately 876 square feet.** The following structures currently exist on the parcel: a two story single family dwelling of approximately 11, 249 square feet total, an attached garage of approximately 882 square feet a detached garage of approximately 924 square feet, a pool cabana of approximately 666 square feet, a guest house of approximately 915 square feet and a studio of approximately 1,430 square feet. The proposed project will not require grading. The property is a 4.66 acre parcel zoned 3-E-1 and shown as Assessor's Parcel Number 007-100-007, located at **1940 Tollis Avenue** in the Montecito area, First Supervisorial District. (Appearance by Suzanne Elledge, Steve Welton, Mark Beall, Richard Manion & Beth Friedman)

Public Comment

Sally Jordon
Martin & Jane Tait

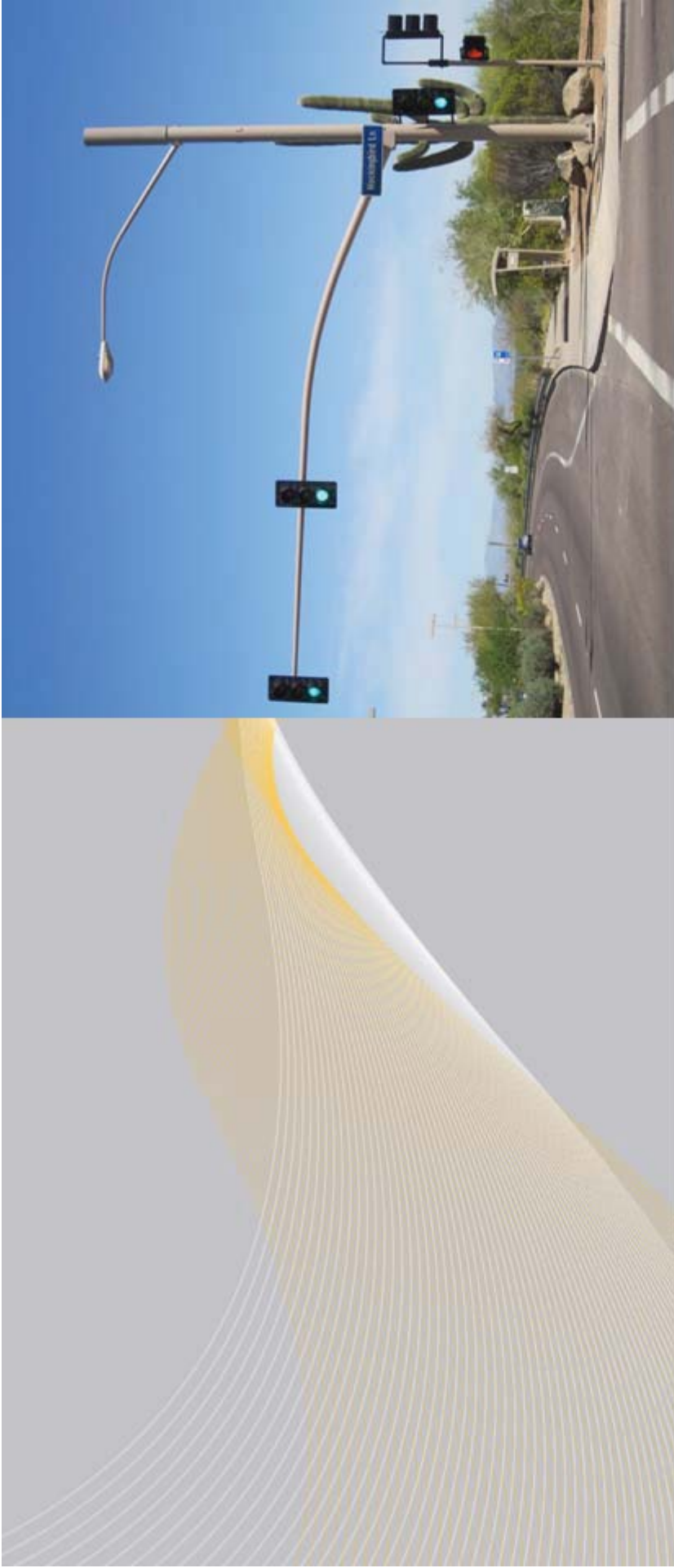
MBAR Comments:



We Are Solutions

 CROWN
CASTLE

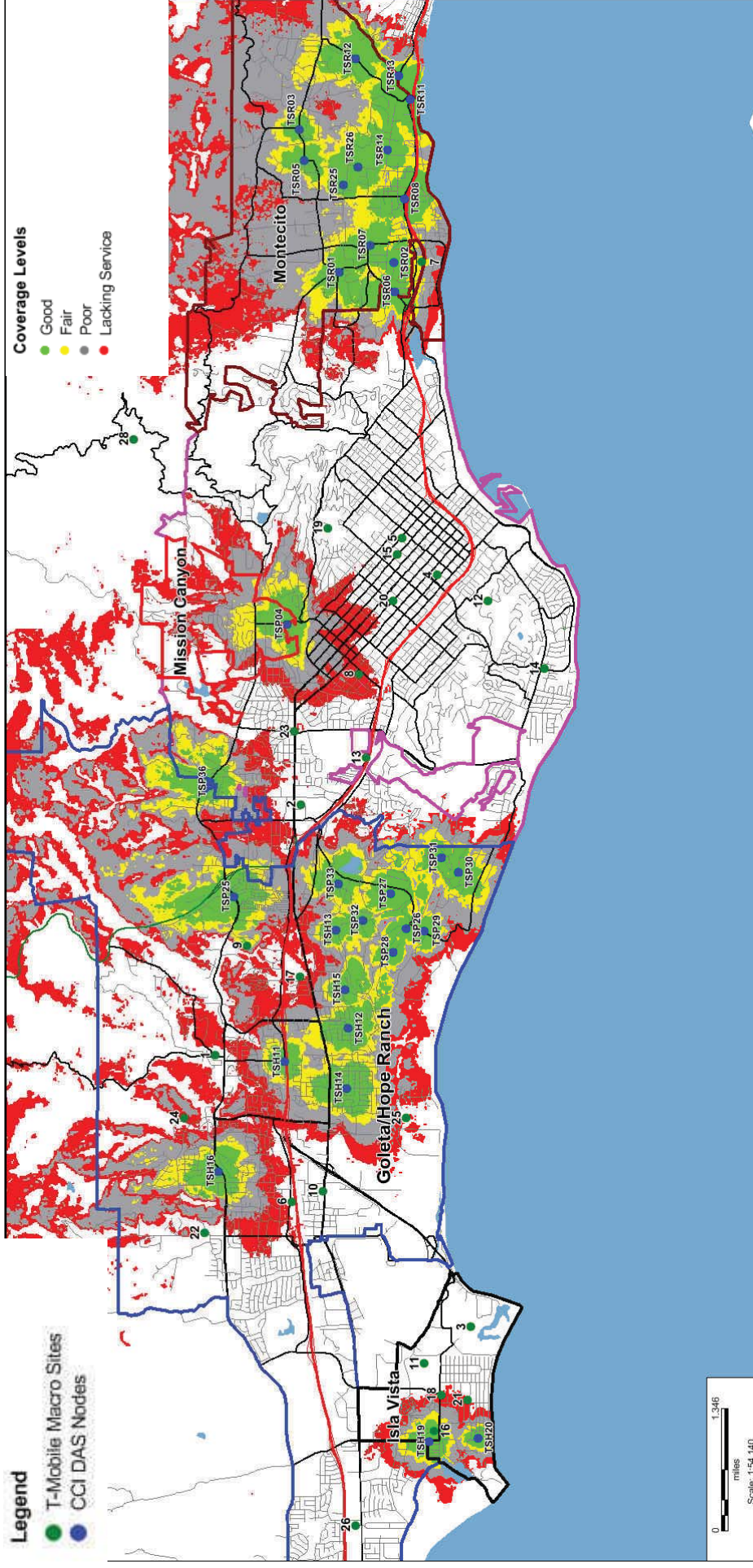
9/12/2012



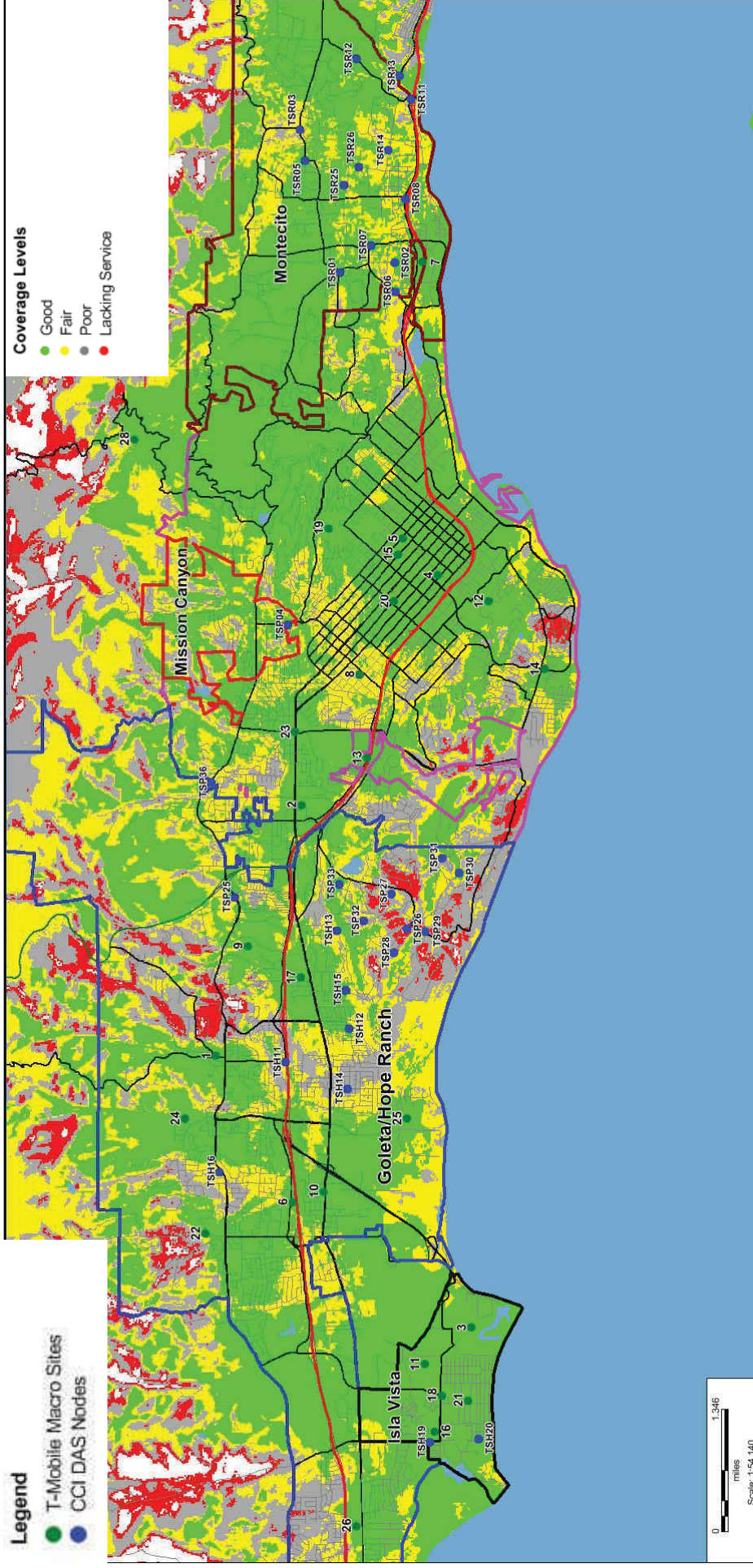
County Santa Barbara – T-Mobile & CCI Nodes

9/12/2012

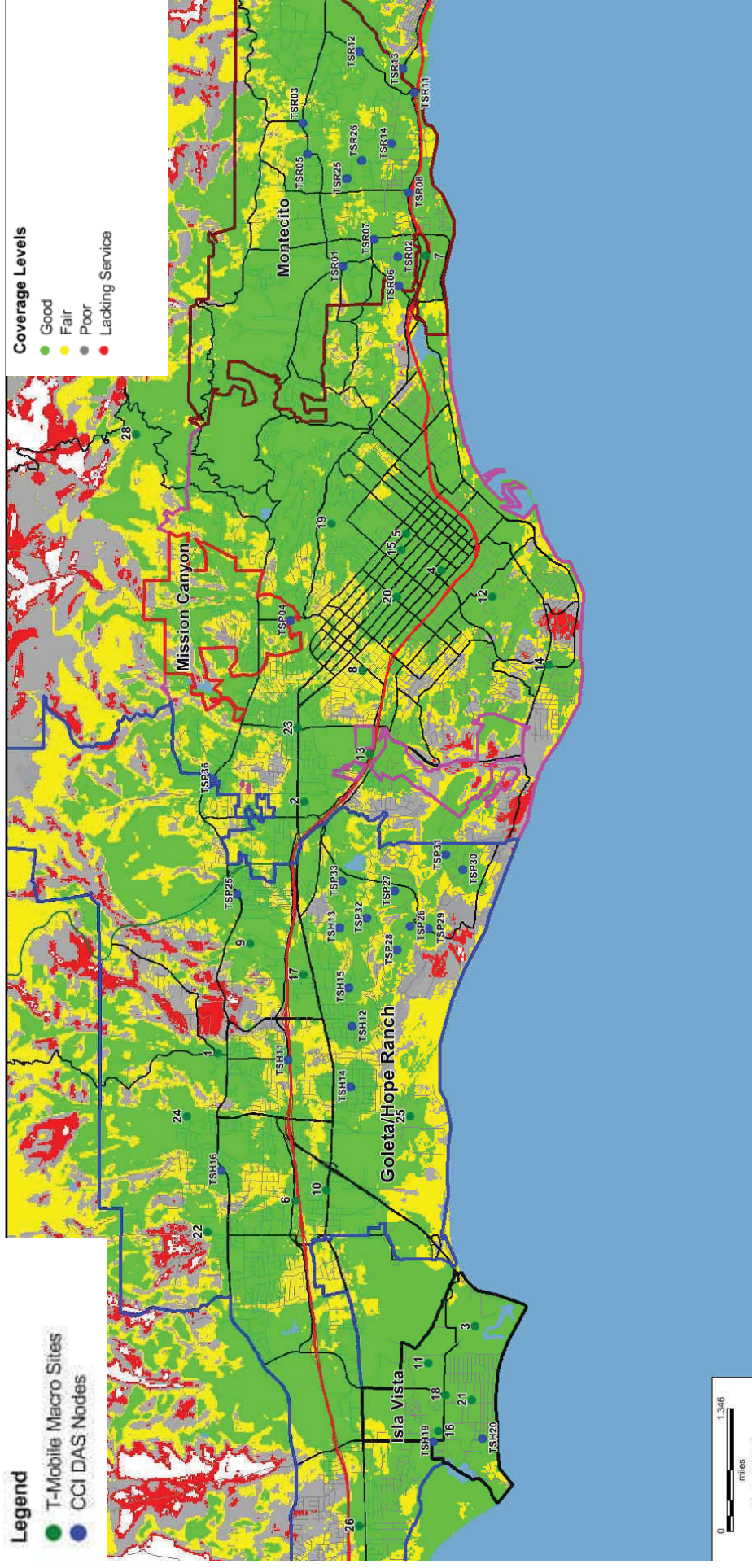
Coverage Proposed CCI Nodes



Existing T-Mobile Macro Coverage without CCI Nodes



Existing T-Mobile & CCI DAS Coverage



Service Objective Narrative:

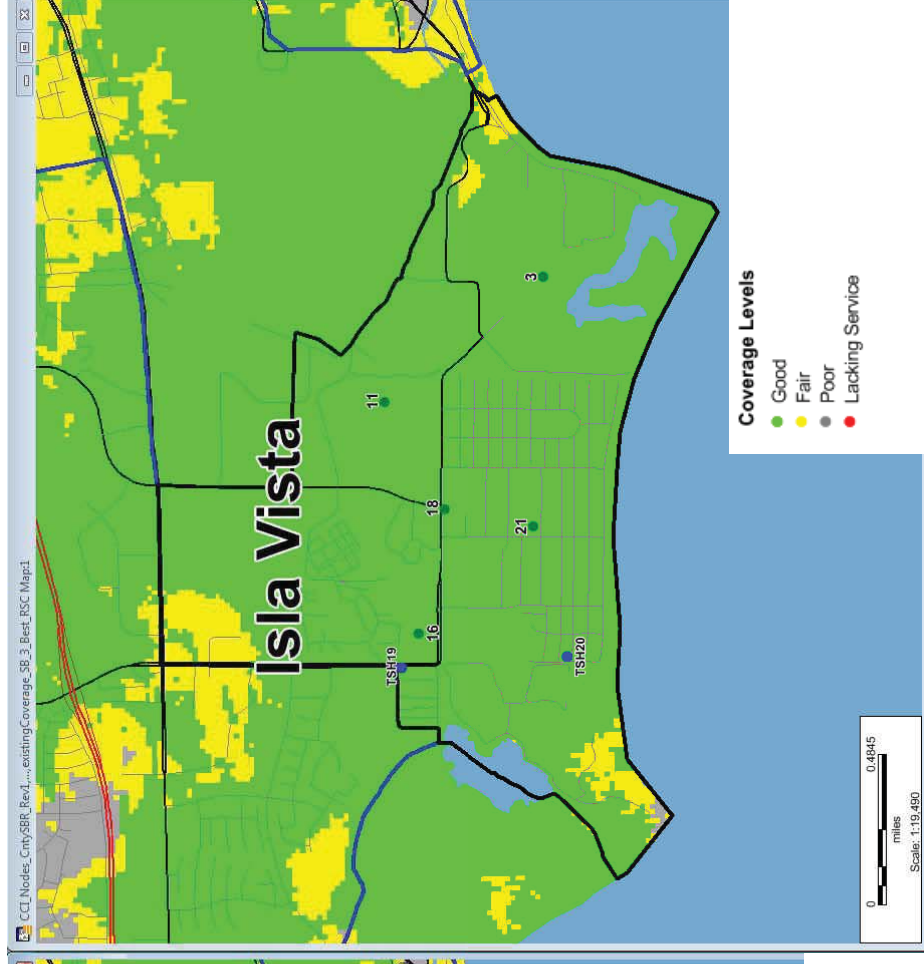
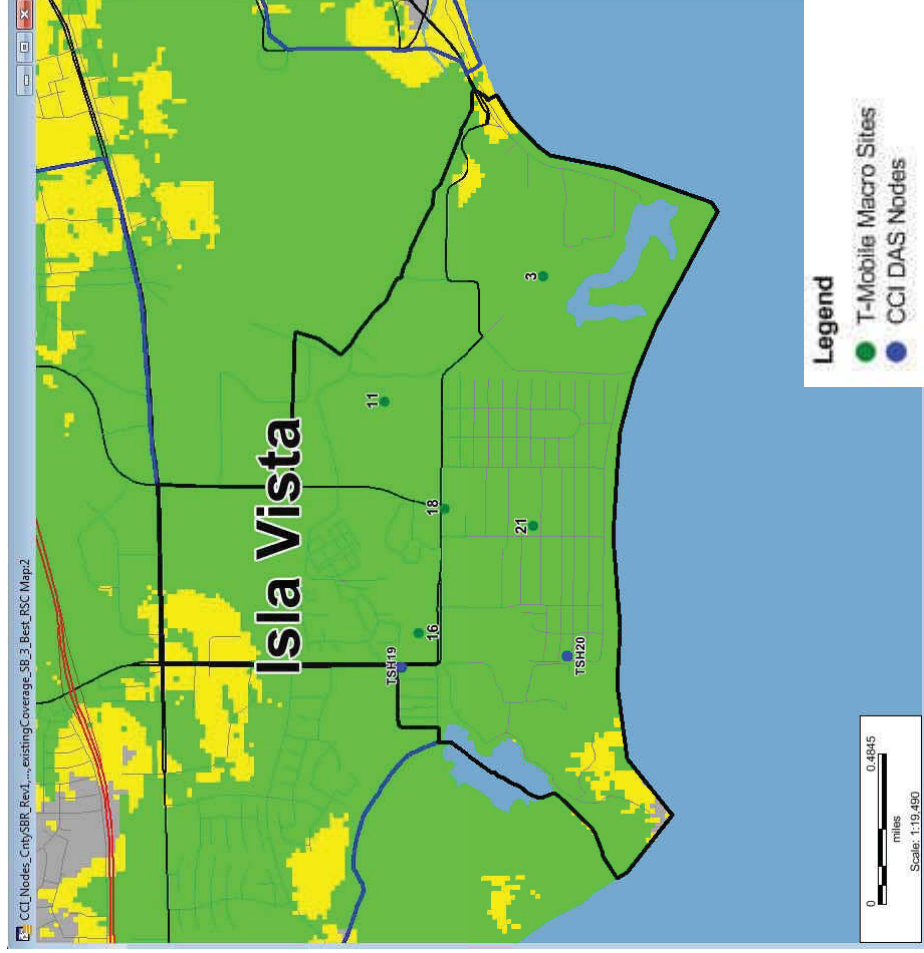
- Isla Vista:
 - Higher capacity is needed due to density of population and number of high demand users around UCSB Campus.
- Goleta/Hope Ranch:
 - Significant lack of adequate coverage. Area is also heavy residential, terrain challenged, and high density foliage.
- Mission Canyon:
 - Significant lack of adequate coverage. Area is also heavy residential, terrain challenged, and high density foliage.
- Montecito:
 - Significant lack of adequate coverage.
 - Macro site at Gibraltar Peak propagates uplink limited signal in a highly vegetative area with extreme terrain.
 - Note: Uplink Limited means mobile to base station link is too weak.

Note: The coverage maps are generated with a computer propagation model, which is a prediction of what coverage “could” potentially be.

Isla Vista

Existing T-Mobile Coverage

Proposed T-Mobile & CCI Coverage



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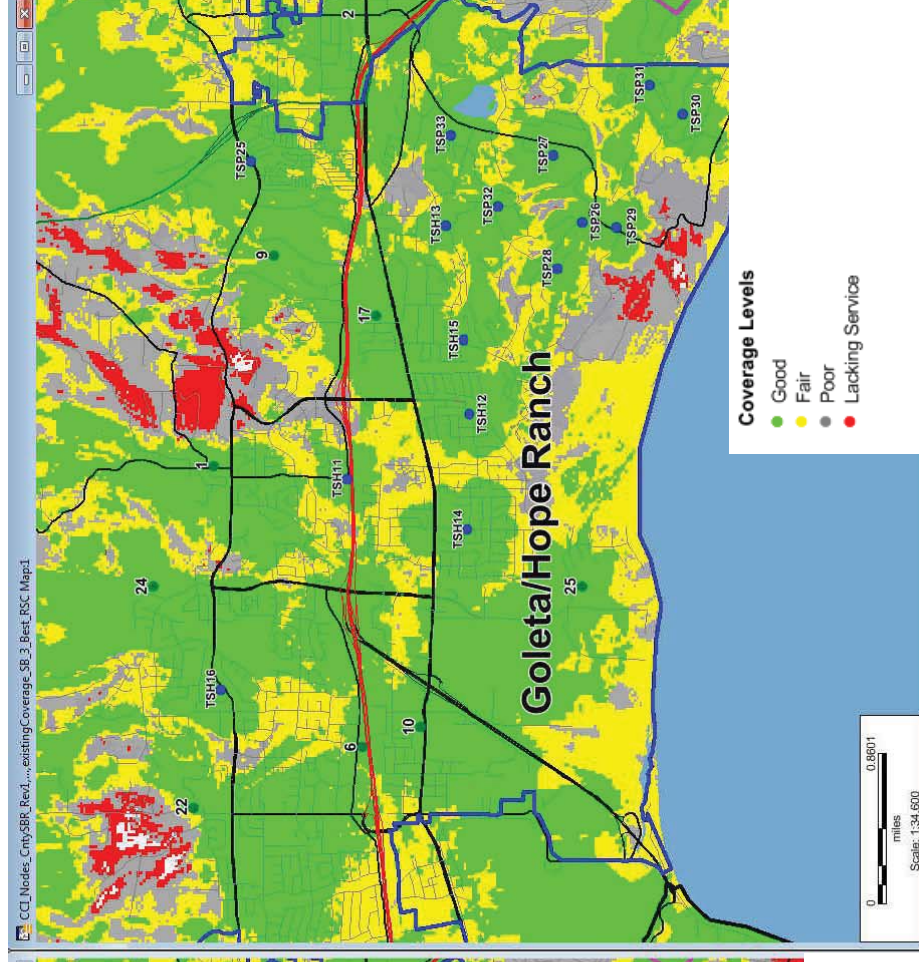
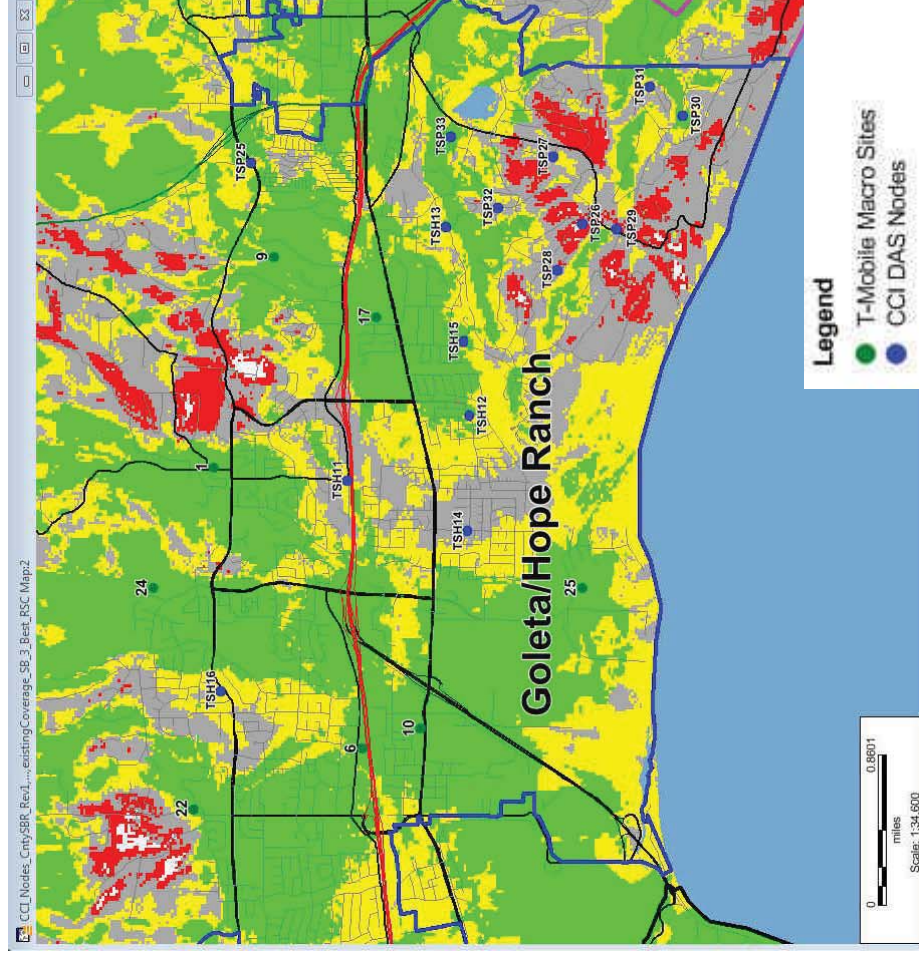
9/12/2012

CROWN
CASTLE

Goleta/Hope Ranch

Existing T-Mobile Coverage

Proposed T-Mobile & CCI Coverage



We Are Solutions

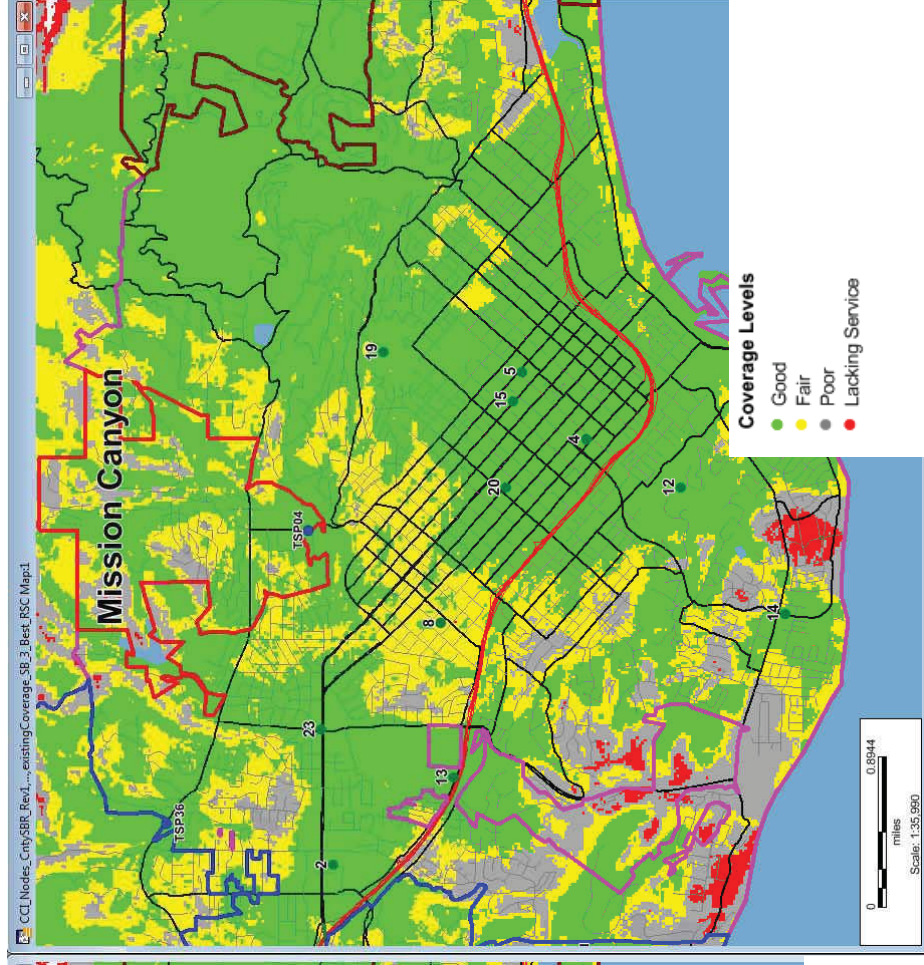
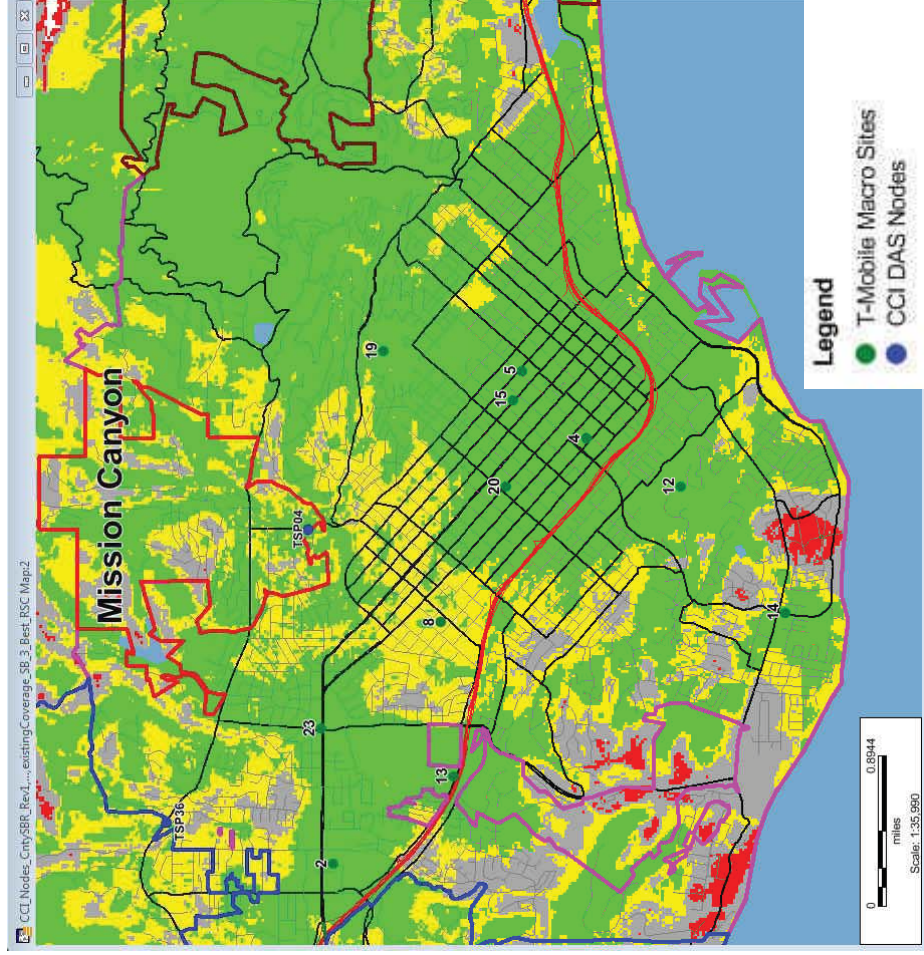
9/12/2012



Mission Canyon

Existing T-Mobile Coverage

Proposed T-Mobile & CCI Coverage



We Are Solutions

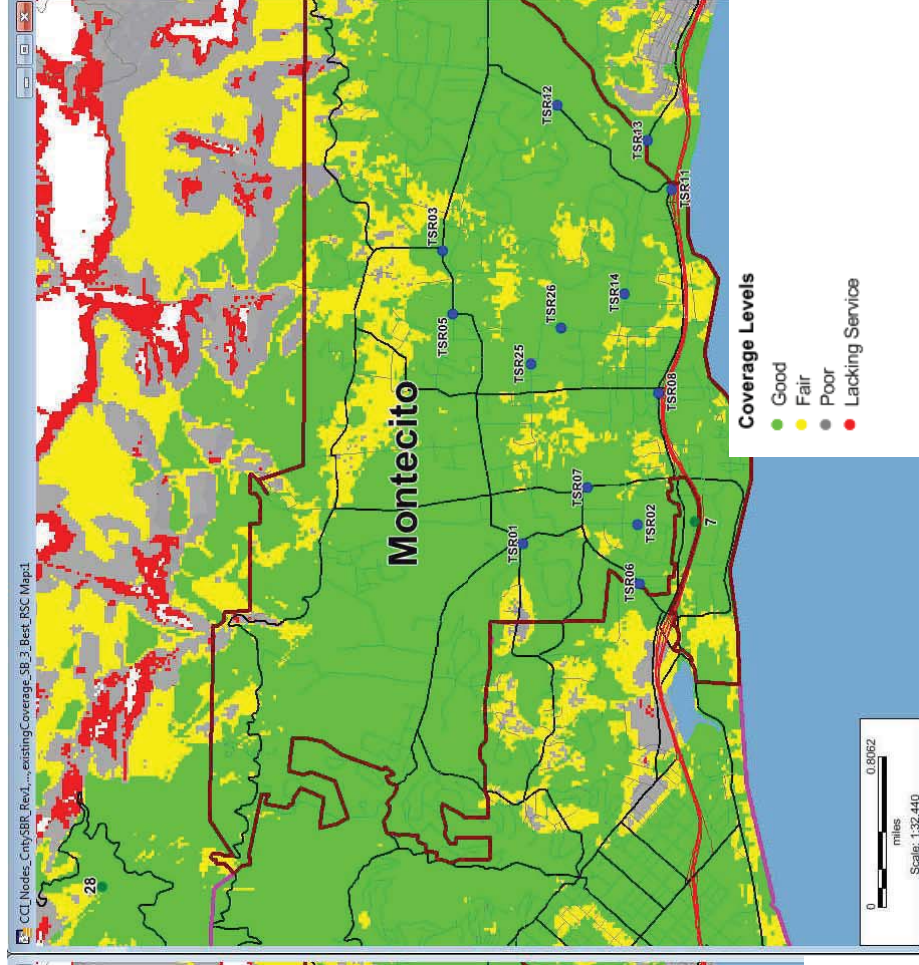
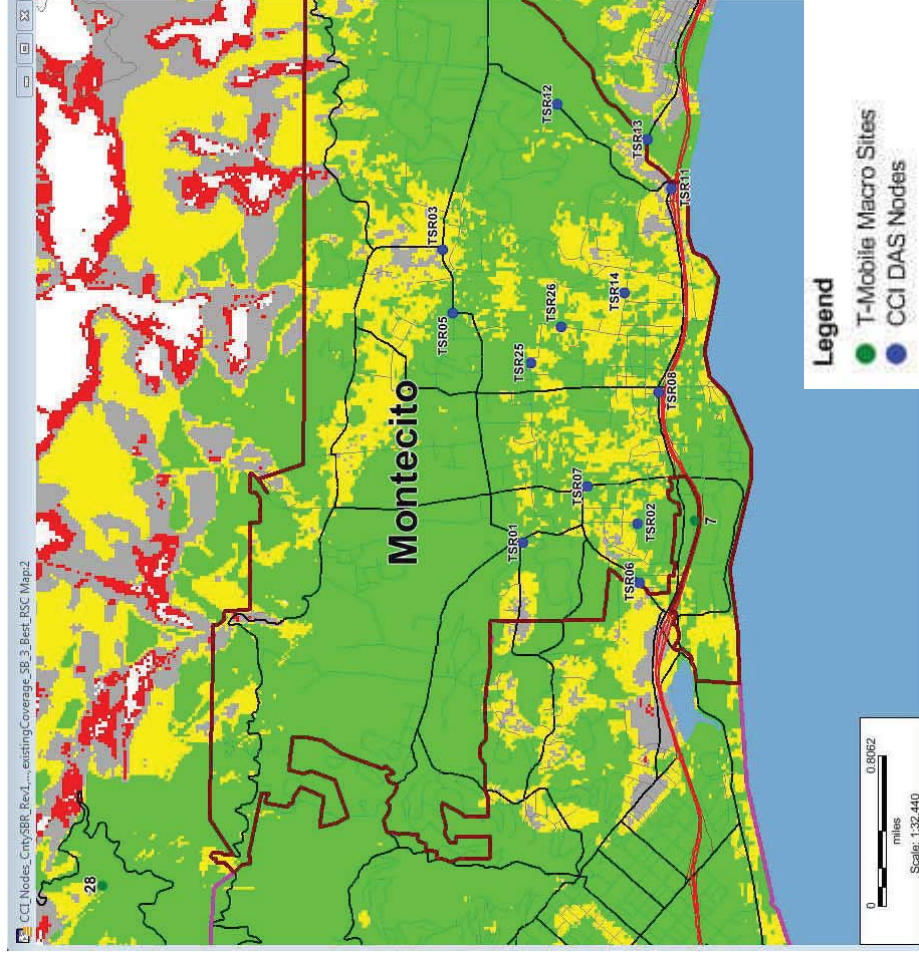
9/12/2012

CROWN
CASTLE

Montecito

Existing T-Mobile Coverage

Proposed T-Mobile & CCI Coverage

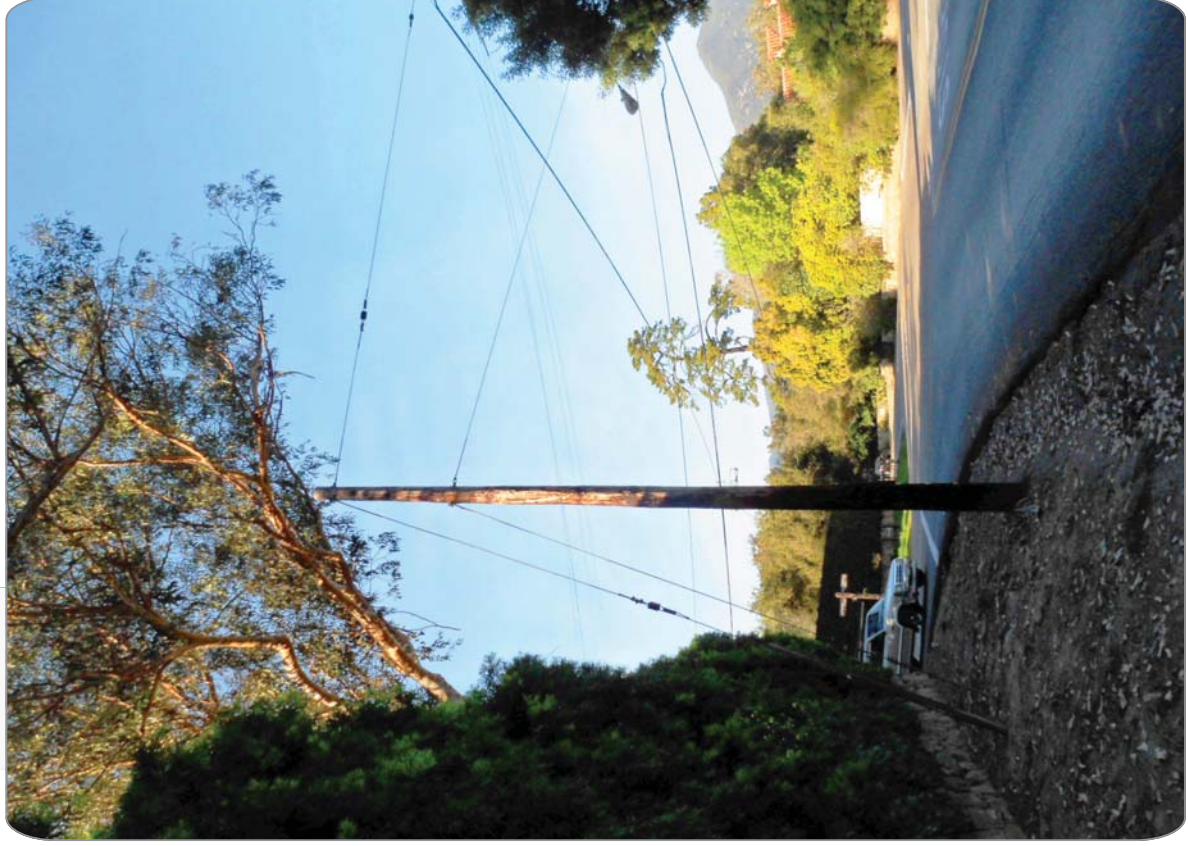


We Are Solutions

9/12/2012



EXISTING



PROPOSED



TSR01
TMB1006CA-TSR01
Row Adjacent to
2810 Sycamore Canyon Rd.
Montecito, CA 93108
VIEW 1

APPLICANT
NextG Networks
NextG Networks of California
890 Tasman Drive
Milpitas, CA 95035-7439
p 909.247.8218

CONTACT
EDG
Connell Design Group, LLC
26455 Rancho Parkway South
Lake Forest, CA 92630
p 949.753.8807

PREPARED BY
Blue Water
DESIGN
BlueWater-Design.net
michelle@bluewater-design.net
p 714.473.2942

EXISTING



PROPOSED

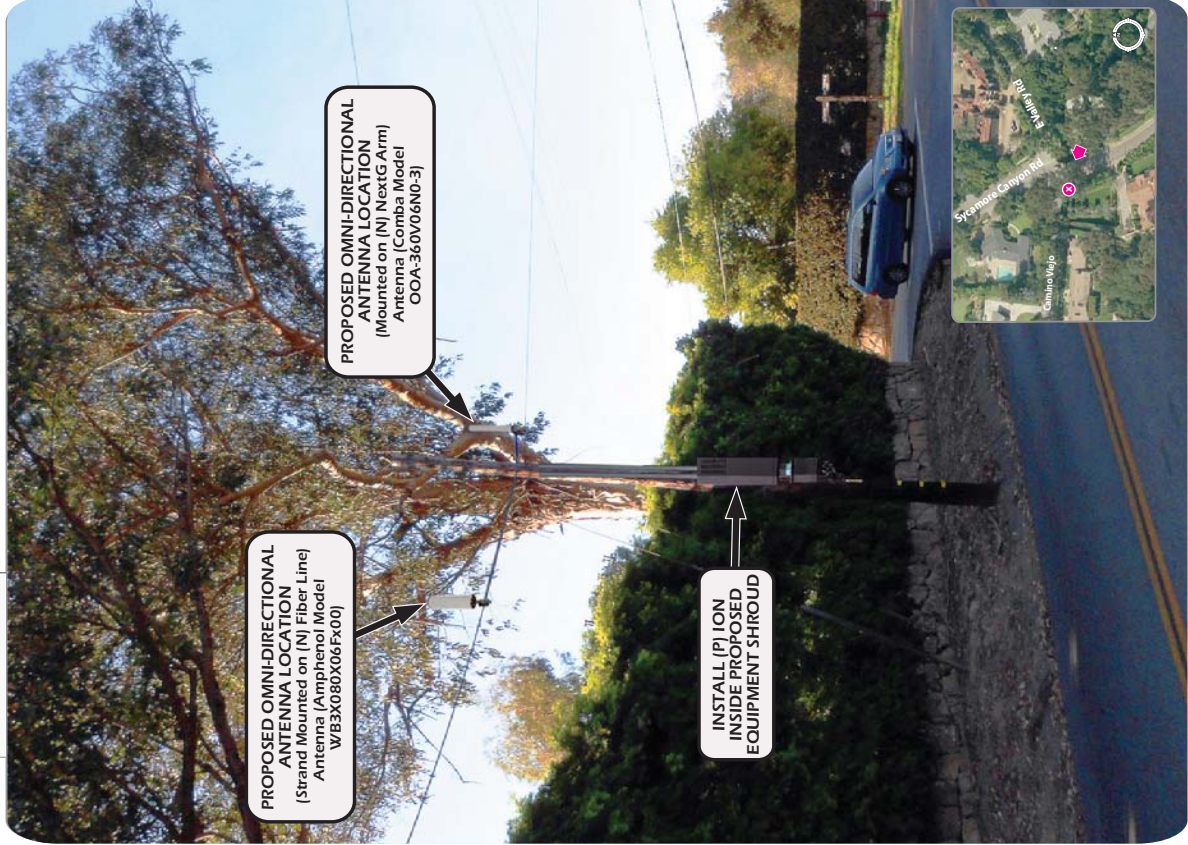


Photo simulation accuracy is based on information provided to Blue Water Design by the applicant.

Completed April 19, 2012

TSR01
TMB1006CA-TSR01
Row Adjacent to
2810 Sycamore Canyon Rd.
Montecito, CA 93108
VIEW 2

APPLICANT
NextG Networks
NextG Networks of California
890 Tasman Drive
Milpitas, CA 95035-7439
p 909.247.8218

CONTACT
EDG
Connell Design Group, LLC
26455 Rancho Parkway South
Lake Forest, CA 92630
p 949.753.8807

PREPARED BY
Blue Water
DESIGN
BlueWater-Design.net
michelle@bluewater-design.net
p 714.473.2942

EXISTING



PROPOSED

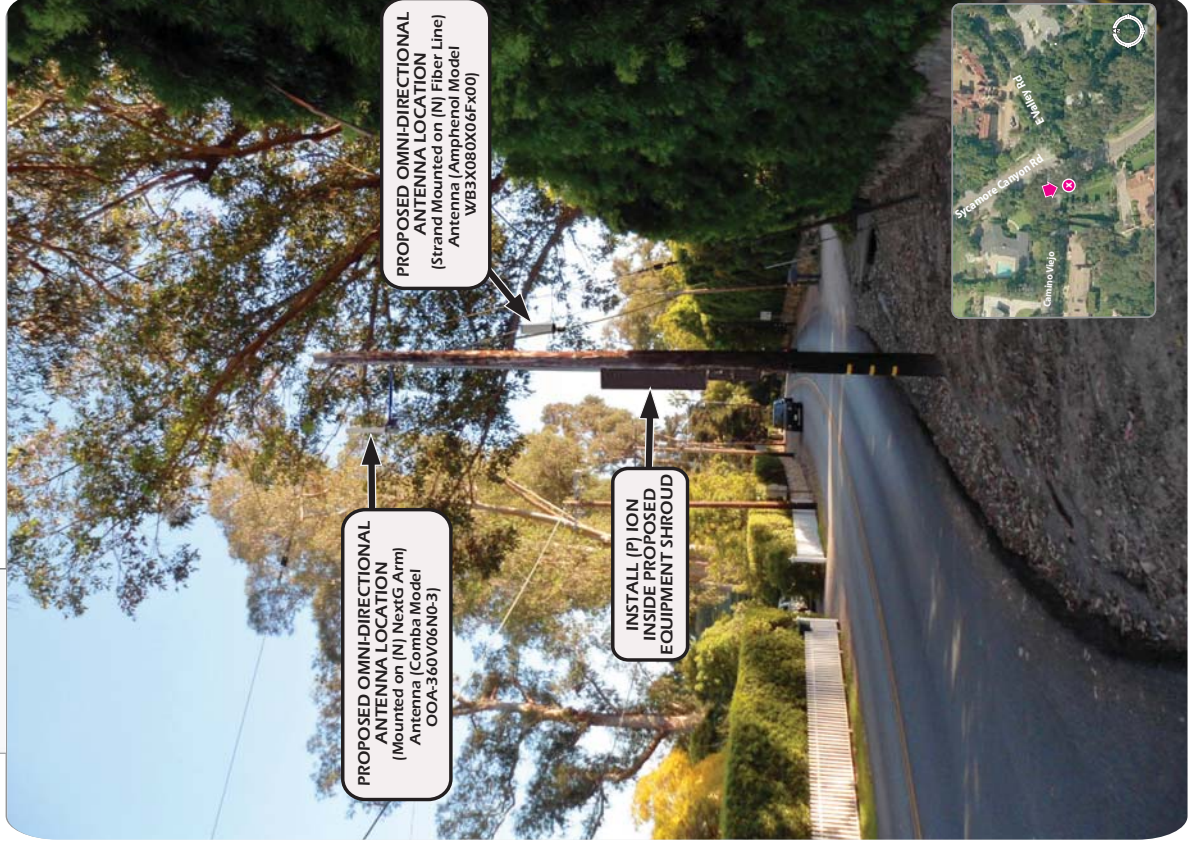


Photo simulation accuracy is based on information provided to Blue Water Design by the applicant.

Completed April 19, 2012

TSR01
TMB1006CA-TSR01
Row Adjacent to
2810 Sycamore Canyon Rd.
Montecito, CA 93108
VIEW 3

APPLICANT
NextG Networks
NextG Networks of California
880 Tasman Drive
Milpitas, CA 95035-7439
p 909.247.8218

CONTACT
EDG
Connell Design Group, LLC
26455 Rancho Parkway South
Lake Forest, CA 92630
p 949.753.8807

PREPARED BY
Blue Water
DESIGN
BlueWater-Design.net
michelle@bluewater-design.net
p 714.473.2942

EXISTING



PROPOSED



TSR05
TMB1006CA-TSR05
Row Adjacent to
1650 E Valley Rd.
Santa Barbara, CA 93108
VIEW 1

APPLICANT
NextG Networks
NextG Networks of California
890 Tasman Drive
Milpitas, CA 95035-7439
p 909.247.8218

CONTACT
EDG
Connell Design Group, LLC
28455 Rancho Parkway South
Lake Forest, CA 92630
p 949.753.8807

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Blue Water
DESIGN
BlueWater-Design.net
michelle@bluewater-design.net
p 714.473.2942

EXISTING



PROPOSED



TSR05
TMB1006CA-TSR05
Row Adjacent to
1650 E Valley Rd.
Santa Barbara, CA 93108
VIEW 2

APPLICANT
NextG Networks
NextG Networks of California
890 Tasman Drive
Milpitas, CA 95035-7439
p 909.247.8218

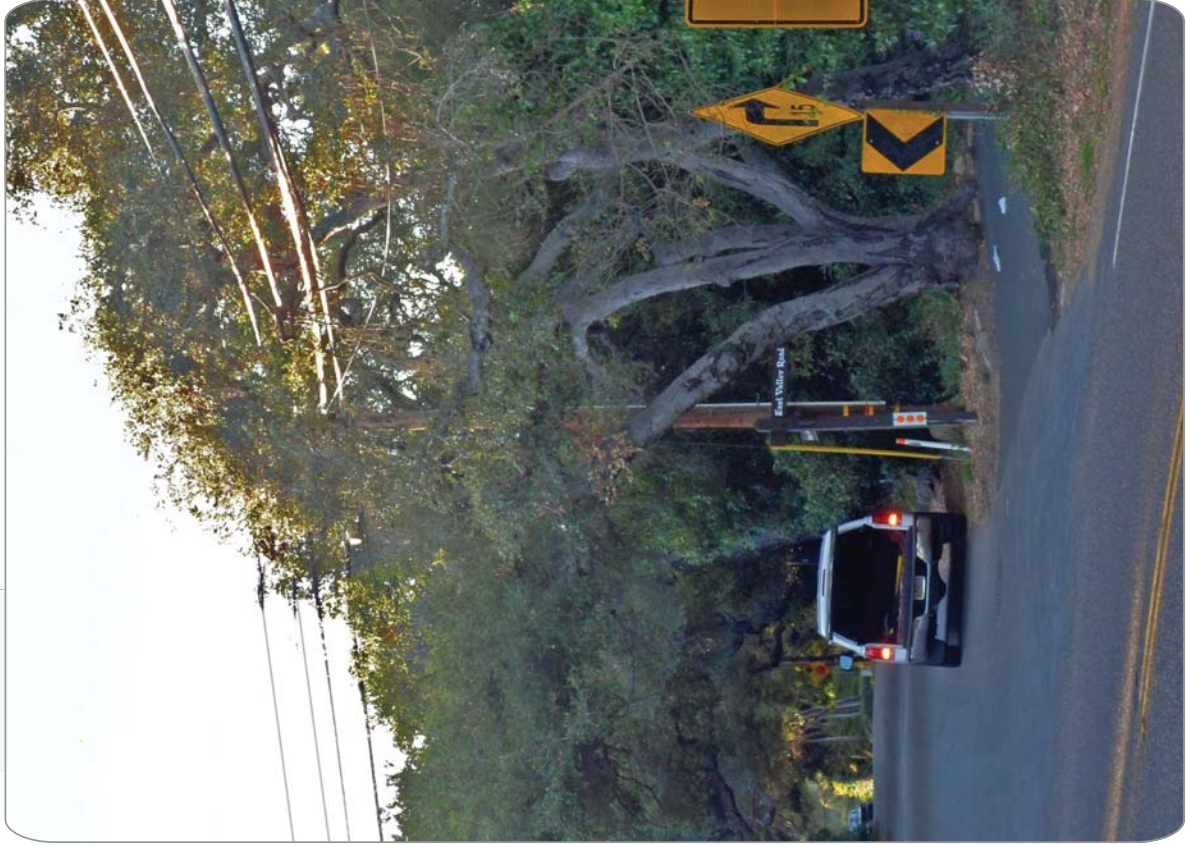
CONTACT
EDG
Connell Design Group, LLC
28455 Rancho Parkway South
Lake Forest, CA 92630
p 949.753.8807

PREPARED BY
Blue Water
DESIGN
BlueWater-Design.net
michelle@bluewater-design.net
p 714.473.2942

Photo simulation accuracy is based on information provided to Blue Water Design by the applicant.

Completed April 19, 2012

EXISTING



PROPOSED

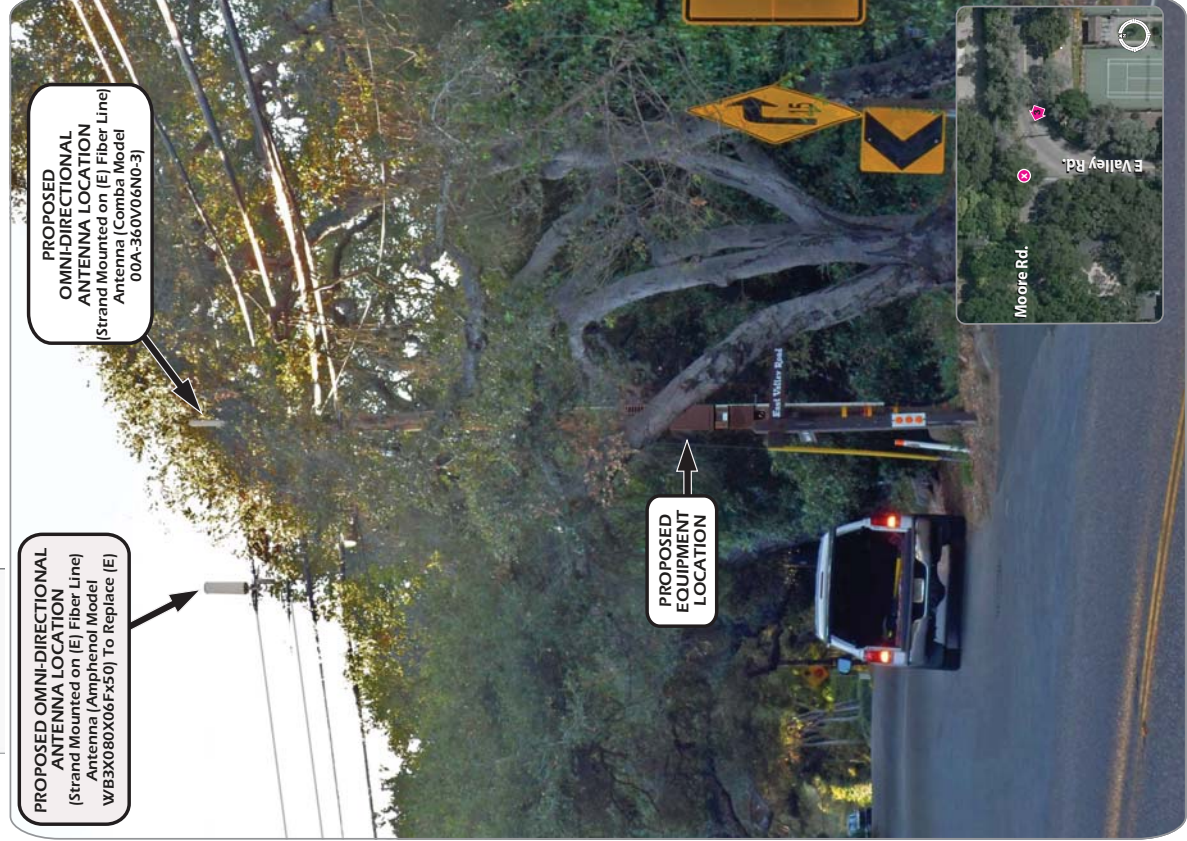


Photo simulation accuracy is based on information provided to Blue Water Design by the applicant.

Completed April 19, 2012

TSR05
TMB1006CA-TSR05
Row Adjacent to
1650 E Valley Rd.
Santa Barbara, CA 93108
VIEW 3

APPLICANT
NextG Networks
NextG Networks of California
890 Tasman Drive
Milpitas, CA 95035-7439
p 909.247.8218

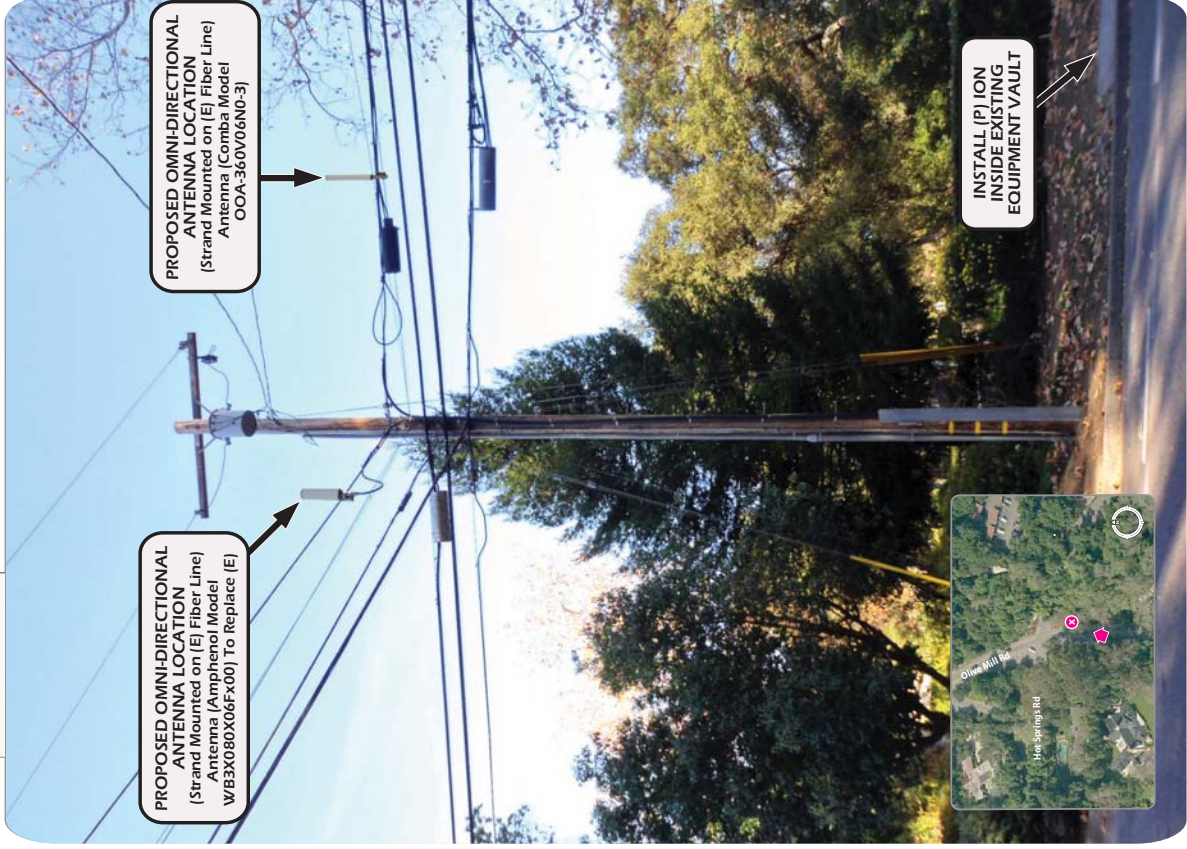
CONTACT
EDG
Connell Design Group, LLC
28455 Rancho Parkway South
Lake Forest, CA 92630
p 949.753.8807

PREPARED BY
Blue Water
DESIGN
BlueWater-Design.net
michelle@bluewater-design.net
p 714.473.2942

EXISTING



PROPOSED



TSR07
TMB1006CA-TSR07
Row Adjacent to
293 Olive Mill Road
Santa Barbara, CA 93108
VIEW 1

APPLICANT
NextG Networks
NextG Networks of California
880 Tasman Drive
Milpitas, CA 95035-7439
p 909.247.8218

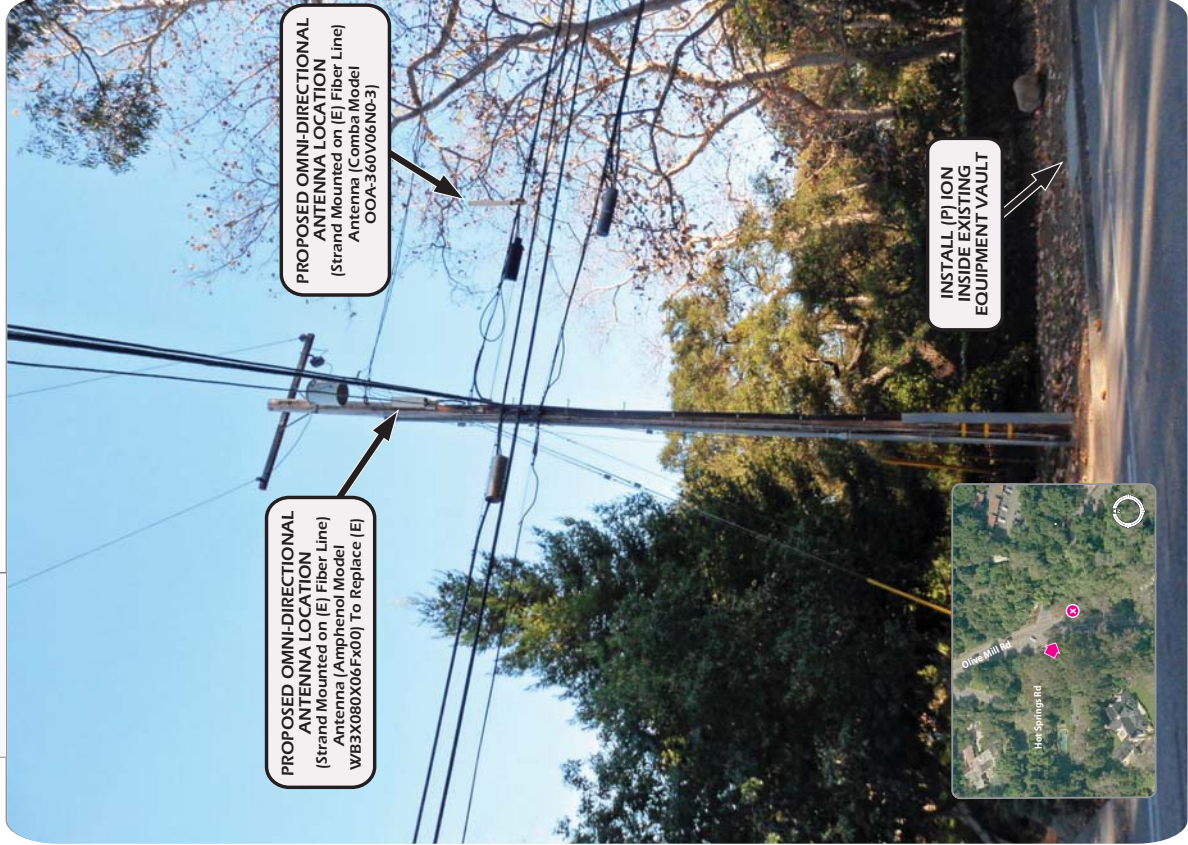
CONTACT
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26455 Rancho Parkway South
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EXISTING



PROPOSED



TSR07
TMB1006CA-TSR07
Row Adjacent to
293 Olive Mill Road
Santa Barbara, CA 93108
VIEW 2

APPLICANT
NextG Networks
NextG Networks of California
880 Tasman Drive
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EXISTING



PROPOSED

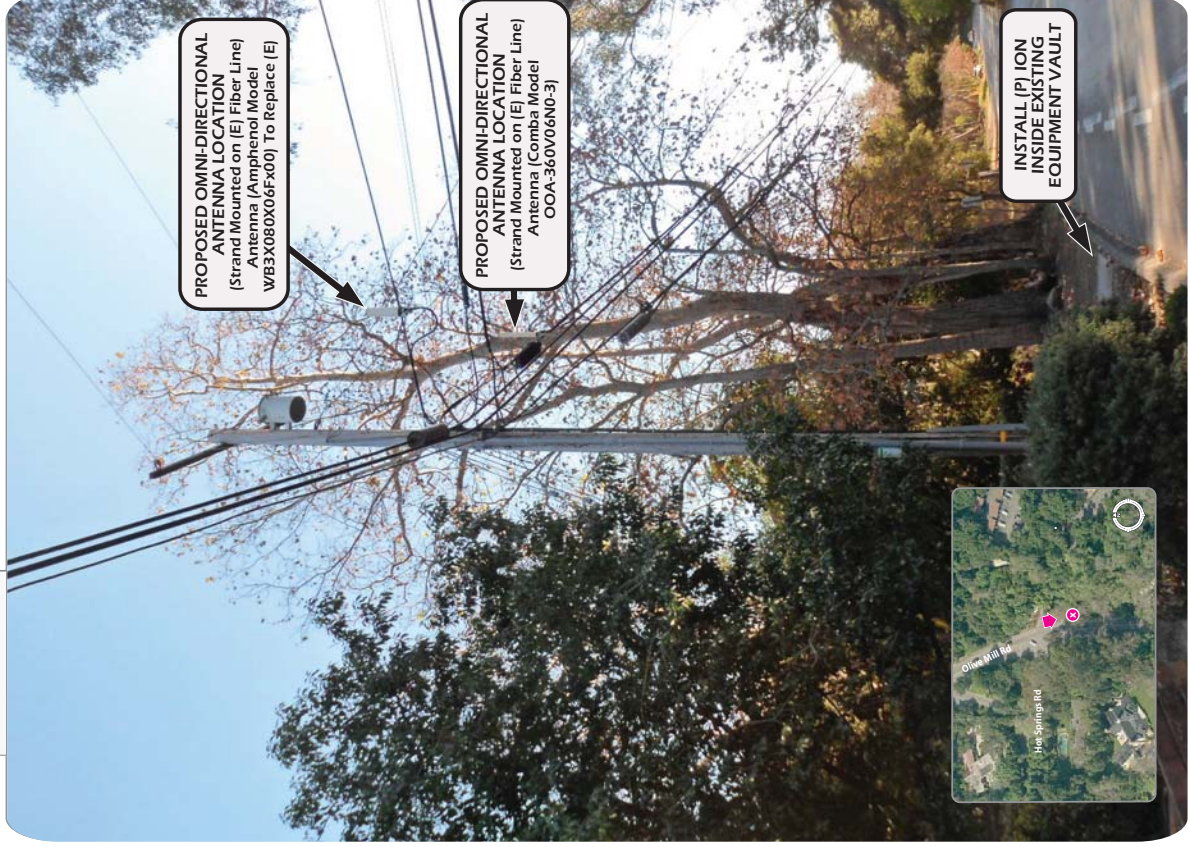


Photo simulation accuracy is based on information provided to Blue Water Design by the applicant.

Completed April 19, 2012

TSR07
TMB1006CA-TSR07
Row Adjacent to
293 Olive Mill Road
Santa Barbara, CA 93108
VIEW 3

APPLICANT
NextG Networks
NextG Networks of California
880 Tasman Drive
Milpitas, CA 95035-7439
p 909.247.8218

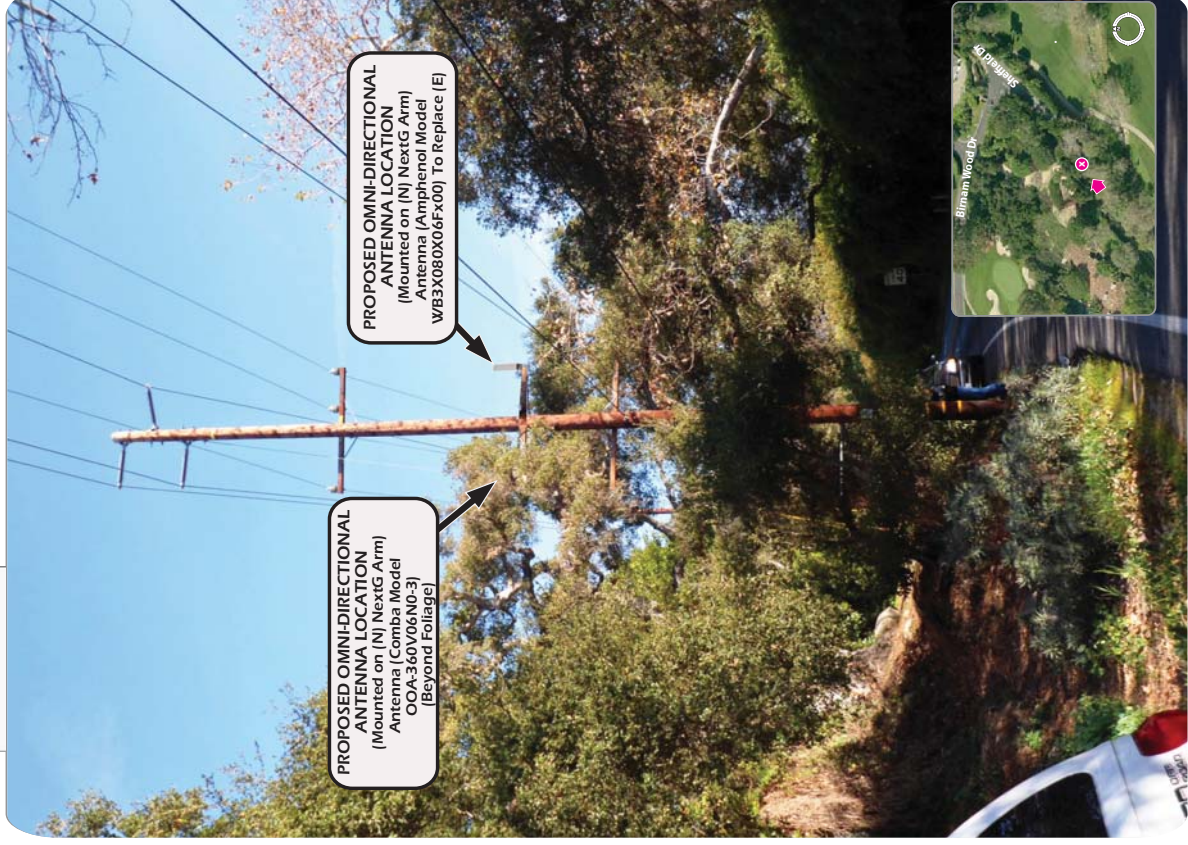
CONTACT
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Lake Forest, CA 92630
p 949.753.8807

PREPARED BY
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DESIGN
BlueWater-Design.net
michelle@bluewater-design.net
p 714.473.2942

EXISTING



PROPOSED



PROPOSED OMNI-DIRECTIONAL
ANTENNA LOCATION
(Mounted on [N] NextG Arm)
Antenna (Comba Model
QOA-360V06N0-3)
[Beyond Foliage]

PROPOSED OMNI-DIRECTIONAL
ANTENNA LOCATION
(Mounted on [N] NextG Arm)
Antenna (Amphenol Model
WB3X080X06F00) To Replace [E]

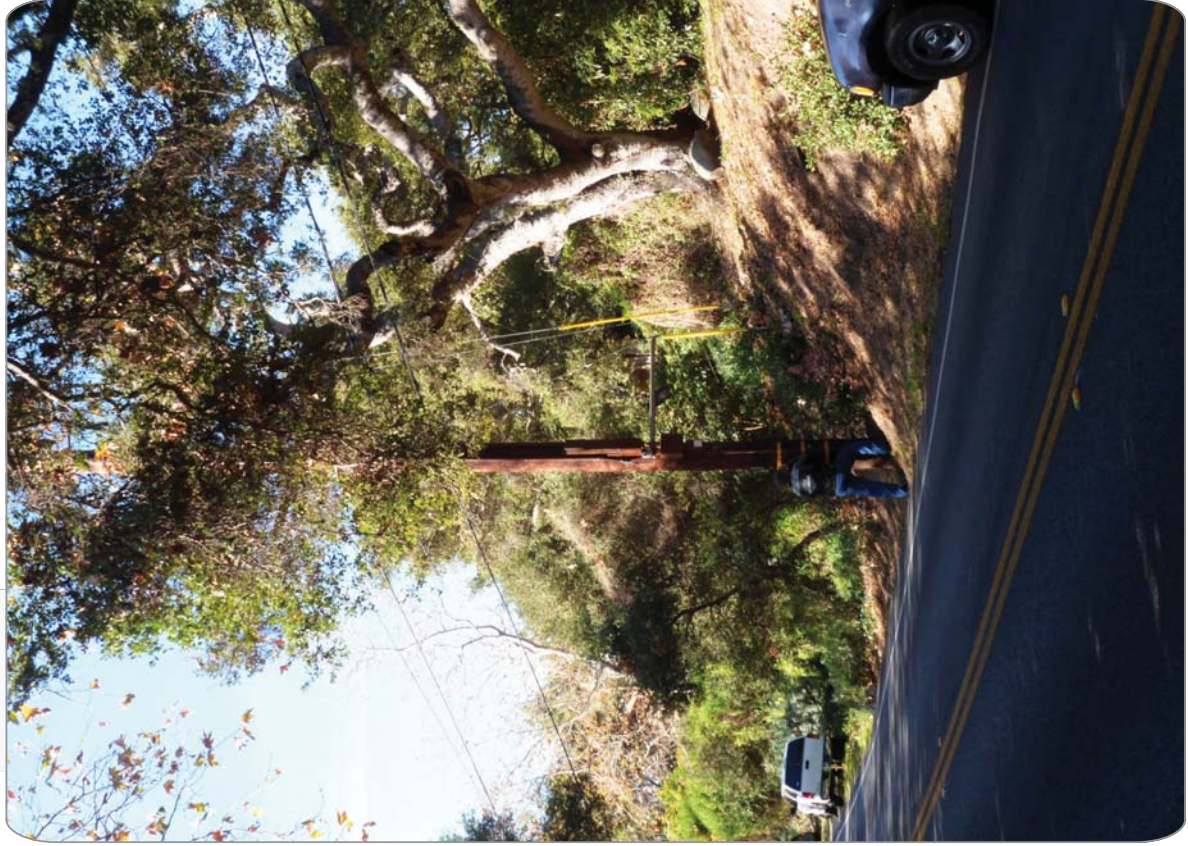
TSR12
TMB1006CA-TSR12
Row Adjacent to
453 Sheffield Drive
Santa Barbara, CA 93108
VIEW 1

APPLICANT
NextG Networks
NextG Networks of California
890 Tasman Drive
Milpitas, CA 95035-7439
p 909.247.8218

CONTACT
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p 949.753.8807

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michelle@bluewater-design.net
p 714.473.2942

EXISTING



PROPOSED

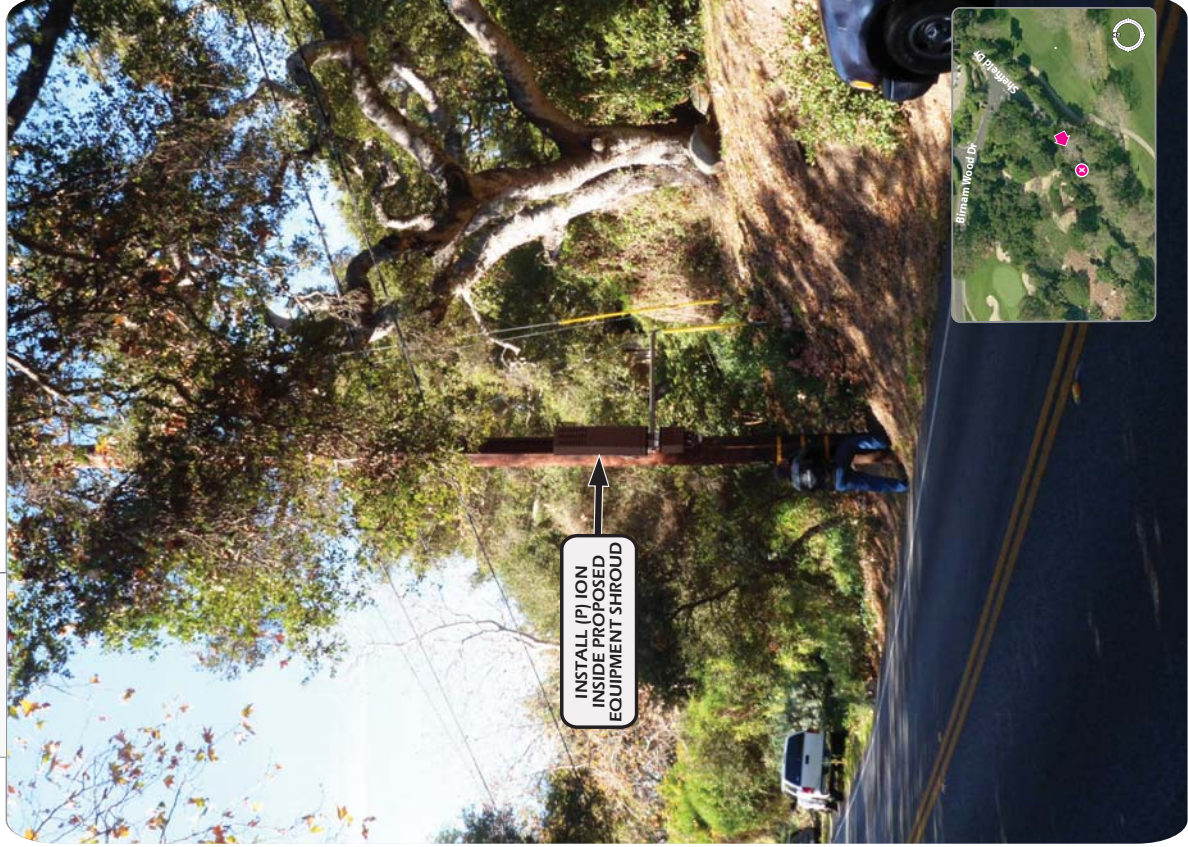


Photo simulation accuracy is based on information provided to Blue Water Design by the applicant.

Completed April 19, 2012

TSR12
TMB1006CA-TSR12
Row Adjacent to
453 Sheffield Drive
Santa Barbara, CA 93108
VIEW 2

APPLICANT
NextG Networks
NextG Networks of California
880 Tasman Drive
Milpitas, CA 95035-7439
p 909.247.8218

CONTACT
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Connell Design Group, LLC
26455 Rancho Parkway South
Lake Forest, CA 92630
p 949.753.8807

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EXISTING



PROPOSED



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Completed April 19, 2012

TSR12
TMB1006CA-TSR12
Row Adjacent to
453 Sheffield Drive
Santa Barbara, CA 93108
VIEW 3

APPLICANT
NextG Networks
NextG Networks of California
890 Tasman Drive
Milpitas, CA 95035-7439
p 909.247.8218

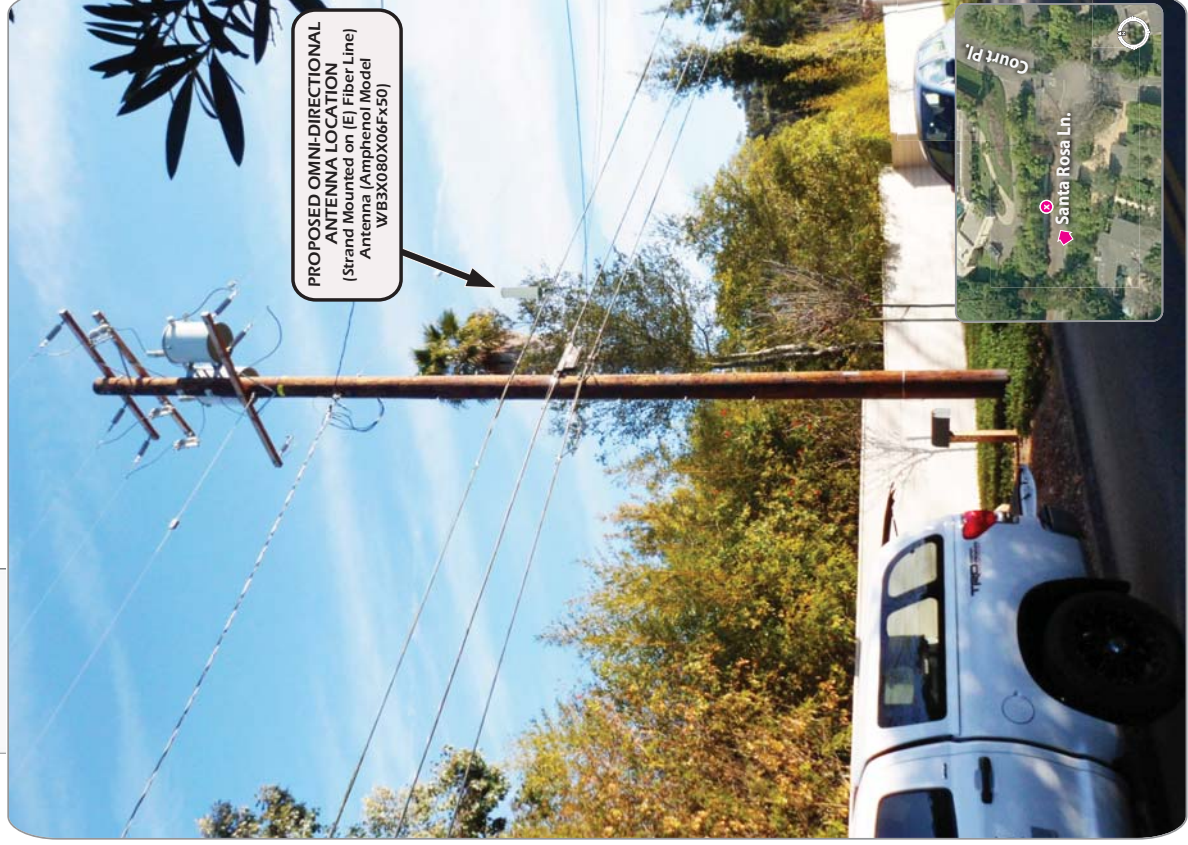
CONTACT
EDG
Connell Design Group, LLC
26455 Rancho Parkway South
Lake Forest, CA 92630
p 949.753.8807

PREPARED BY
Blue Water
DESIGN
BlueWater-Design.net
michelle@bluewater-design.net
p 714.473.2942

EXISTING



PROPOSED



PROPOSED OMNI-DIRECTIONAL
ANTENNA LOCATION
(Strand Mounted on (E) Fiber Line)
Antenna (Amphenol Model
WB3X080X06FX50)

TSR25
TMB1006CA-TSR25
Row Adjacent to
529 Santa Rosa Ln.
Santa Barbara, CA 93108
VIEW 1

APPLICANT
NextG Networks
NextG Networks of California
890 Tasman Drive
Milpitas, CA 95035-7439
p 909.247.8218

CONTACT
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28455 Rancho Parkway South
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michelle@bluewater-design.net
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Photo simulation accuracy is based on information provided to Blue Water Design by the applicant.

Completed November 8, 2012

EXISTING



PROPOSED



TSR25
TMB1006CA-TSR25
Row Adjacent to
529 Santa Rosa Ln.
Santa Barbara, CA 93108
VIEW 2

APPLICANT
NextG Networks
NextG Networks of California
890 Tasman Drive
Milpitas, CA 95036-7439
p 909.247.8218

CONTACT
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28455 Rancho Parkway South
Lake Forest, CA 92630
p 949.753.8807

PREPARED BY
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DESIGN
BlueWater-Design.net
michelle@bluewater-design.net
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EXISTING



PROPOSED



Photo simulation accuracy is based on information provided to Blue Water Design by the applicant.

Completed November 8, 2012

TSR25
TMB1006CA-TSR25
Row Adjacent to
529 Santa Rosa Ln.
Santa Barbara, CA 93108
VIEW 3

APPLICANT
NextG Networks
NextG Networks of California
890 Tasman Drive
Milpitas, CA 95036-7439
p 909.247.8218

CONTACT
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PREPARED BY
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DESIGN
BlueWater-Design.net
michelle@bluewater-design.net
p 714.473.2942

EXISTING



PROPOSED

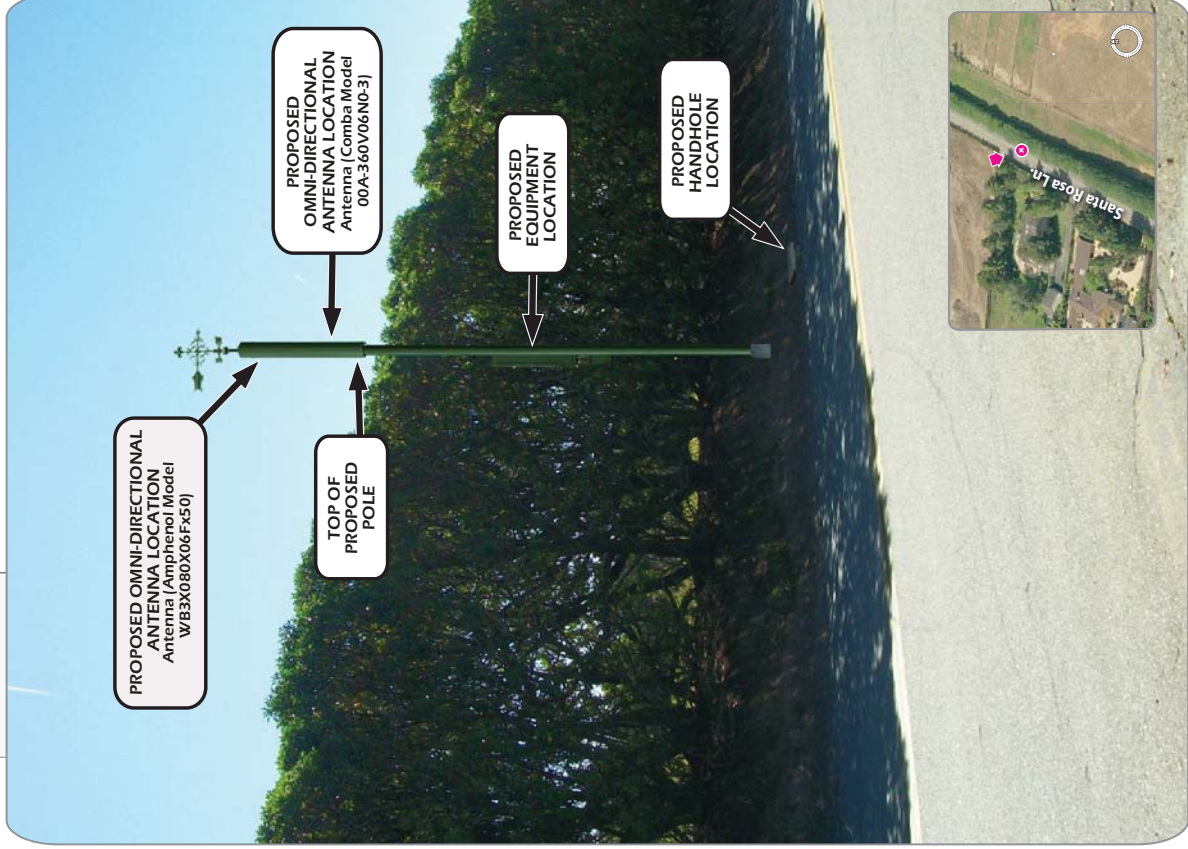


Photo simulation accuracy is based on information provided to Blue Water Design by the applicant.

Completed September 27, 2012

TSR26
TMB1006CA-TSR26
Row Adjacent to
339 Santa Rosa Lane
Santa Barbara, CA 93108
VIEW 1

APPLICANT
NextG Networks
NextG Networks of California
890 Tasman Drive
Milpitas, CA 95035-7439
p 909.247.8218

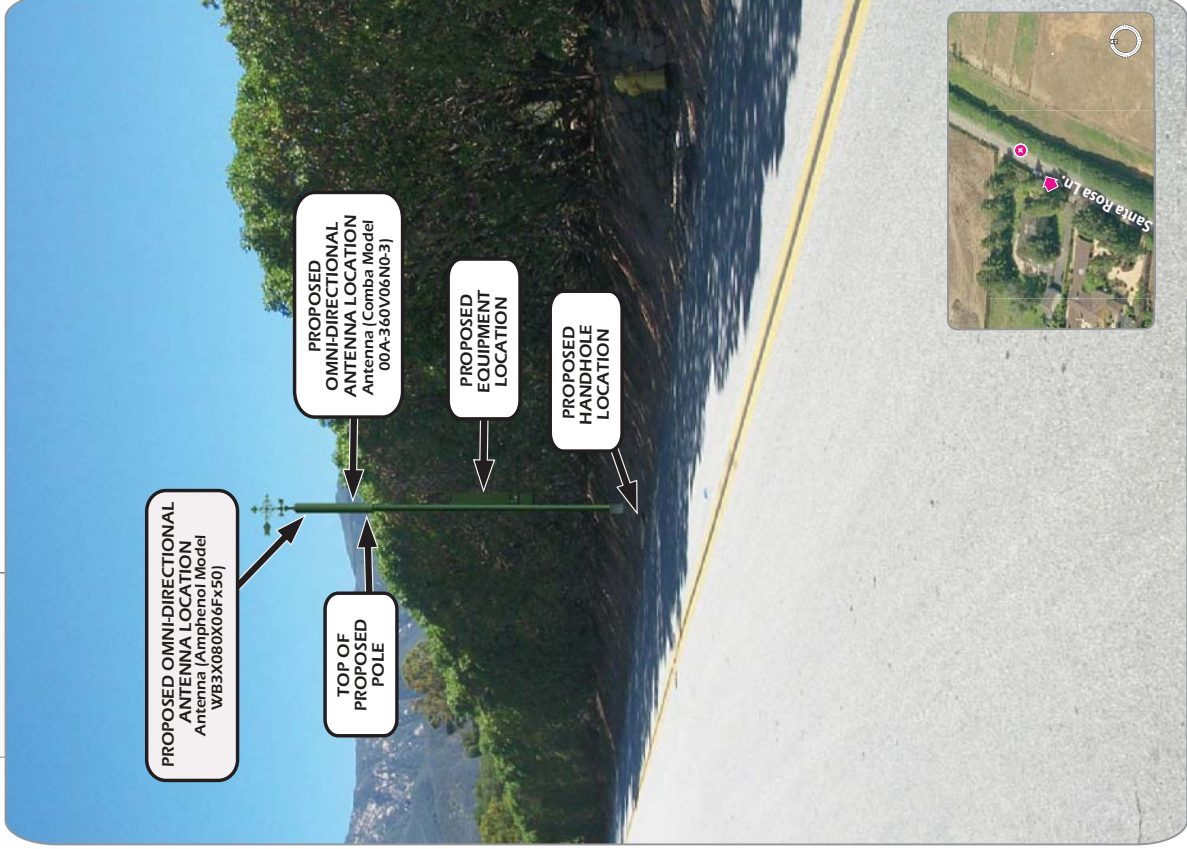
CONTACT
EDG
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Lake Forest, CA 92630
p 949.753.8807

PREPARED BY
Blue Water DESIGN
BlueWater-Design.net
michelle@bluewater-design.net
p 714.473.2942

EXISTING



PROPOSED



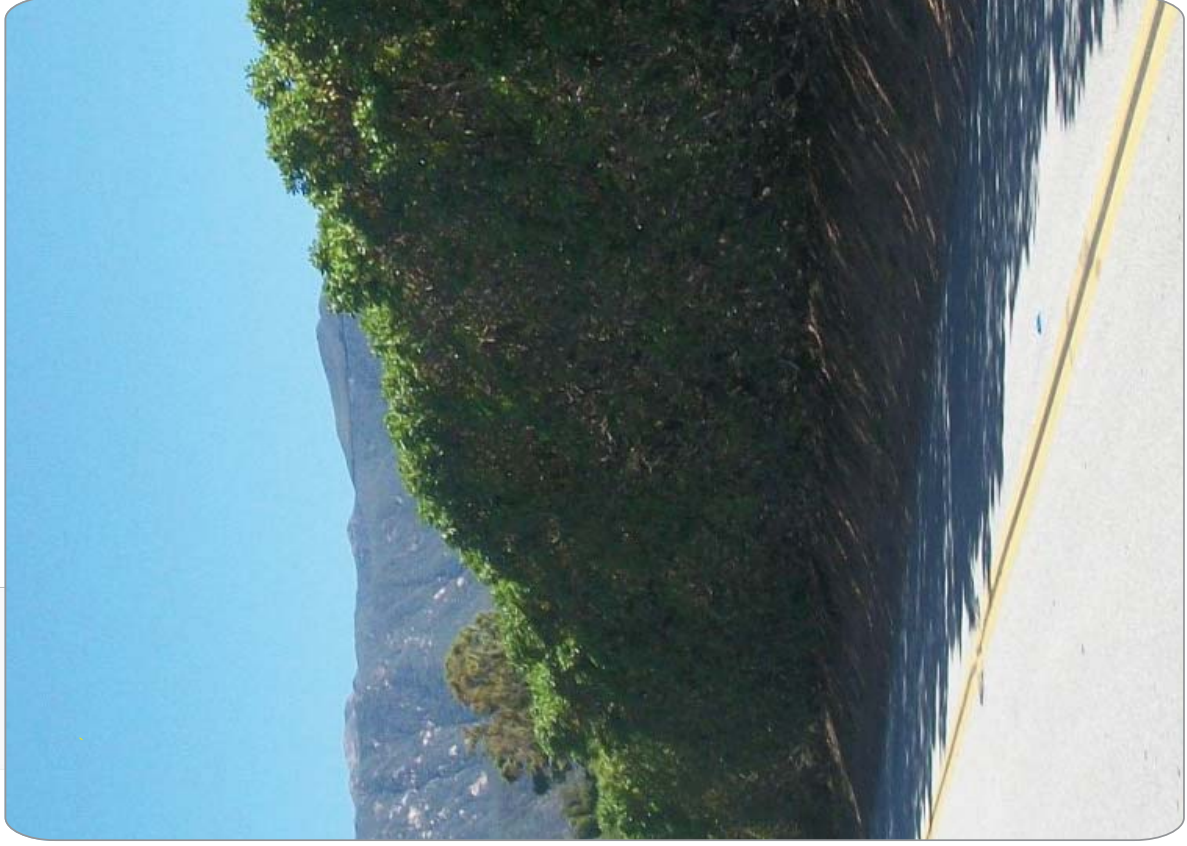
TSR26
TMB1006CA-TSR26
Row Adjacent to
339 Santa Rosa Lane
Santa Barbara, CA 93108
VIEW 2

APPLICANT
NextG Networks
NextG Networks of California
890 Tasman Drive
Milpitas, CA 95035-7439
p 909.247.8218

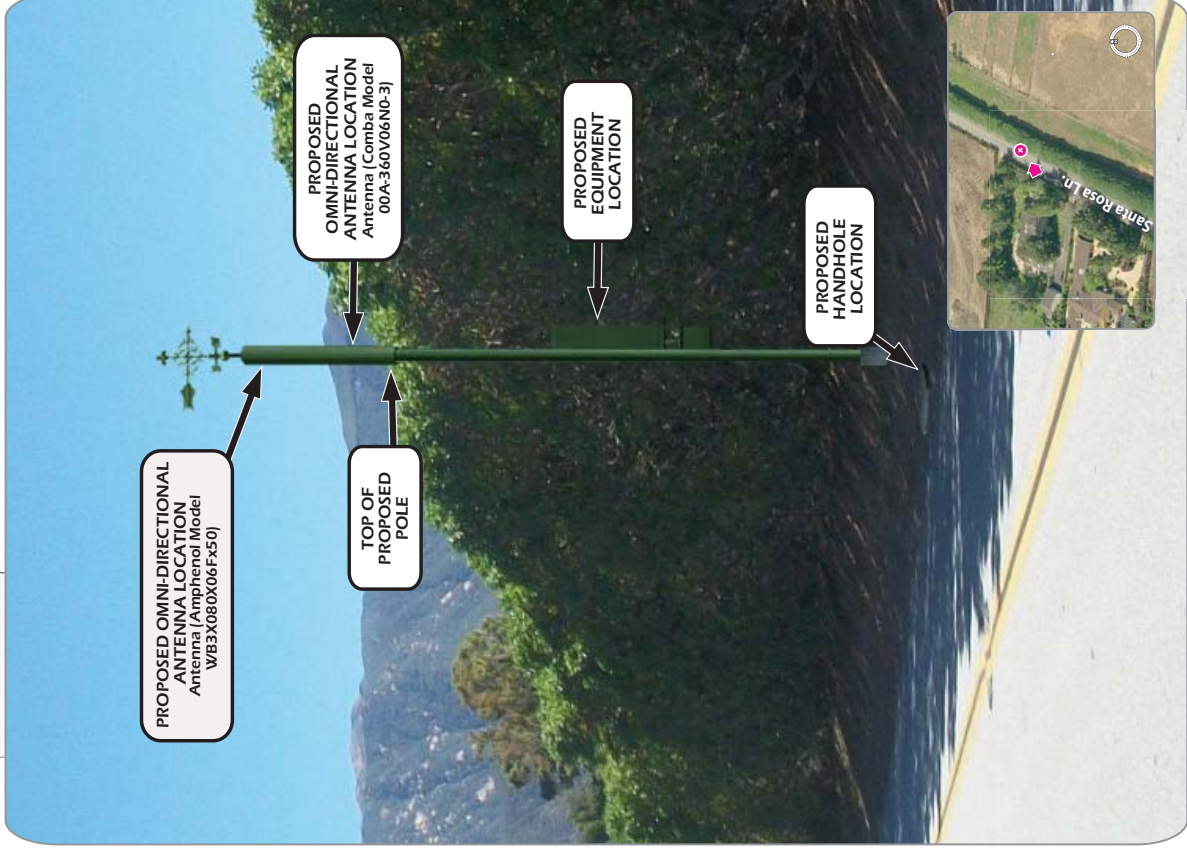
CONTACT
CDG
Connell Design Group, LLC
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Lake Forest, CA 92630
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PREPARED BY
Blue Water
DESIGN
BlueWater-Design.net
michelle@bluewater-design.net
p 714.473.2942

EXISTING



PROPOSED



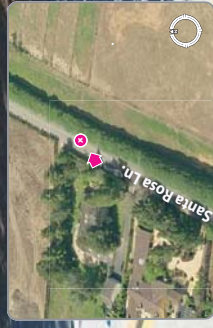
PROPOSED OMNI-DIRECTIONAL
ANTENNA LOCATION
Antenna (Amphenol Model
WB3X080X06Fx50)

TOP OF
PROPOSED
POLE

PROPOSED
OMNI-DIRECTIONAL
ANTENNA LOCATION
Antenna (Comba Model
00A-360V06ND-3)

PROPOSED
EQUIPMENT
LOCATION

PROPOSED
HANDHOLE
LOCATION



TSR26
TMB1006CA-TSR26
Row Adjacent to
339 Santa Rosa Lane
Santa Barbara, CA 93108
VIEW 3

APPLICANT
NextG Networks
NextG Networks of California
890 Tasman Drive
Milpitas, CA 95035-7439
p 909.247.8218

CONTACT
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p 949.753.8807

PREPARED BY
Blue Water
DESIGN
BlueWater-Design.net
michelle@bluewater-design.net
p 714.473.2942

Photo simulation accuracy is based on information provided to Blue Water Design by the applicant.

Completed September 27, 2012

REV.	DATE/REV.	REVISION DESCRIPTION
0	02/29/2012	ISSUED FOR EXAM
1	02/20/2012	ISSUED FOR REVIEW
2	04/04/2012	ISSUED FOR FC
3	06/20/2012	ISSUED FOR FC
4	09/14/2012	ISSUED FOR FC

ENGINEER/CONSULTANT:

Civil Engineer

CDG

CONNELL DESIGN GROUP, LLC
CONSULTING CIVIL ENGINEERS
2845 BACCHIO PARKWAY SOUTH, LAKE PARKER, CA 95009
(916) 731-8807 OFFICE • (916) 731-8811 FAX

CLIENT:

NextG Networks of California, Inc
880 TASMAN DRIVE
MILPITAS, CA 95035-7439

STAMP:

SITE INFO:

TSR01
TMB1006CA-TSR01

SITE ADDRESS: THOMAS ROAD, PLOT 049, 890 1/2
ADJACENT WEST SIDE OF SQUAMORE CANYON RD
(ADJACENT TO 2810 SQUAMORE CANYON RD)
MONTECITO, CA 95008
LAT: 37.42537
LONG: -120.606437

SHEET TITLE:

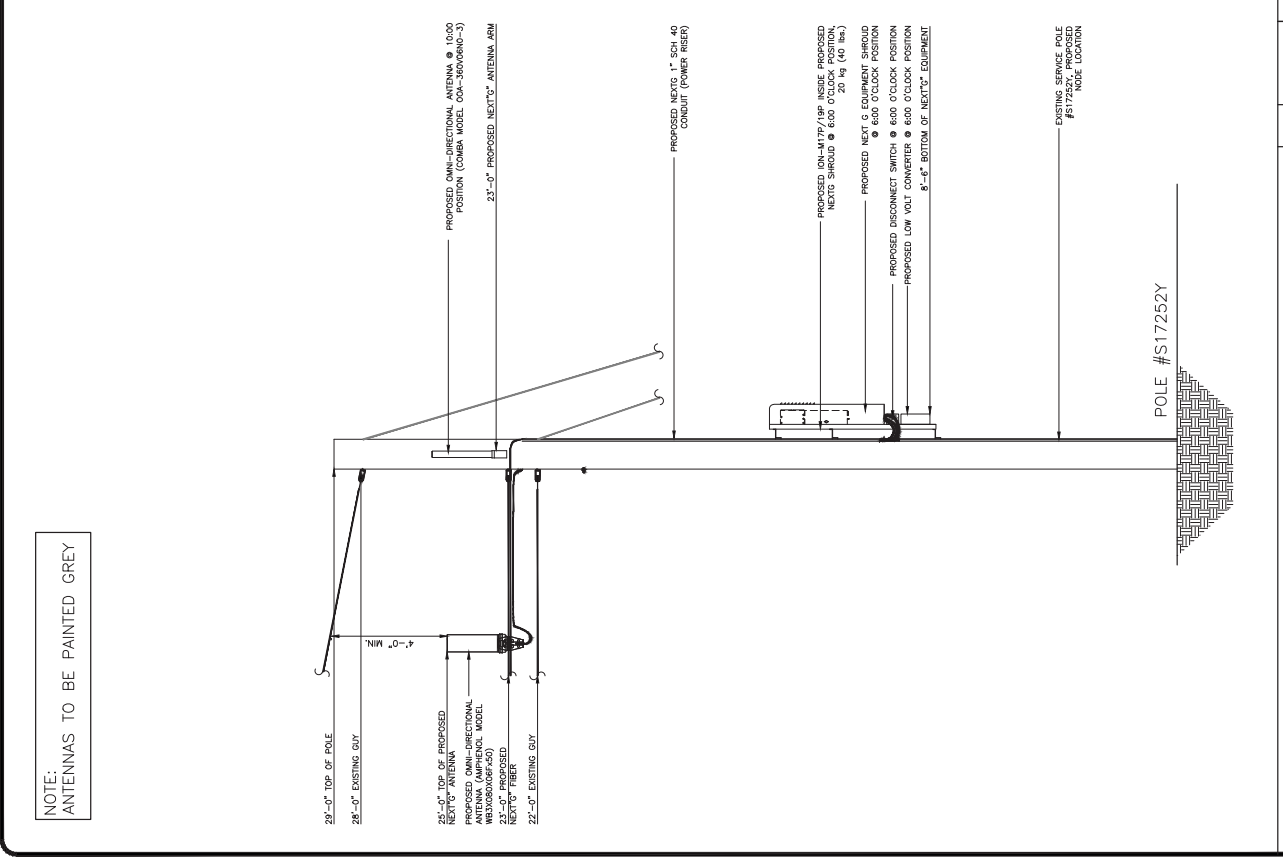
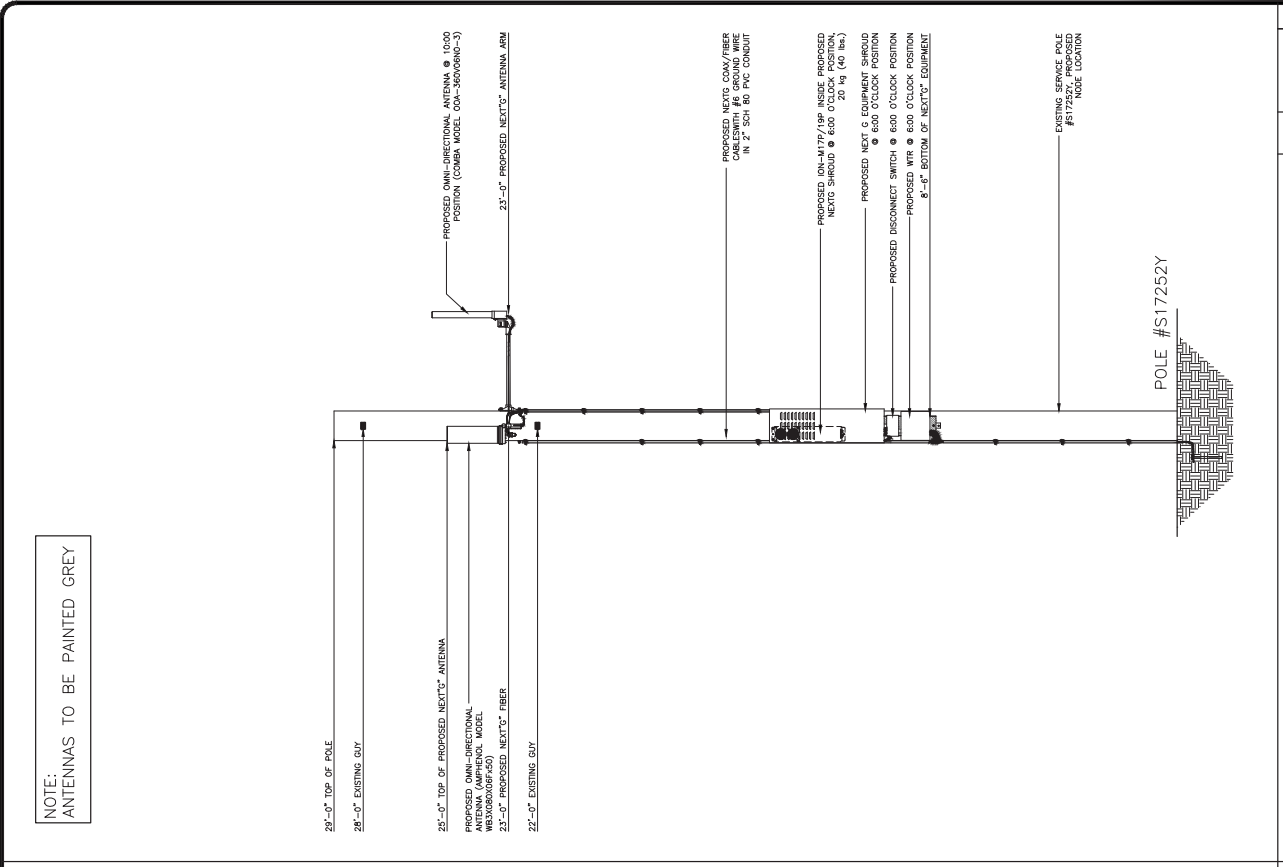
ELEVATIONS

DWG. NAME: EN

DATE: 04/04/2012

SHEET NUMBER:

A-2



REV.	DATE/REV.	REVISION DESCRIPTION
0	02/20/2012	ISSUED FOR REVIEW
1	02/20/2012	ISSUED FOR FINAL
2	04/04/2012	ISSUED FOR FINAL
3	06/20/2012	ISSUED FOR FINAL
4	09/14/2012	ISSUED FOR FINAL

ENGINEER/CONSULTANT:

Civil Engineer



CONNELL DESIGN GROUP, LLC
CONSULTING CIVIL ENGINEERS
2505 BACCHIO PARKWAY SOUTH LAKE PARKER, CA 93008
(909) 751-8001 OFFICE • (909) 751-8001 FAX

CLIENT:

NextG Networks
of
California, Inc
880 TASMAN DRIVE
MILPITAS, CA 95035-7439

STAMP:

SITE INFO:

SITE NAME: TSR01
TMB1006CA-TSR01

SITE ADDRESS: THOMAS BRIDGE BLVD. 2ND FLOOR
8.001 ADJACENT WEST SIDE SQUARE CANYON RD
(ADJACENT TO 2810 SCAMORE CANYON RD)
MONTESITO, CA 93008
LAT: 34.4550
LONG: -119.880437

SHEET TITLE:

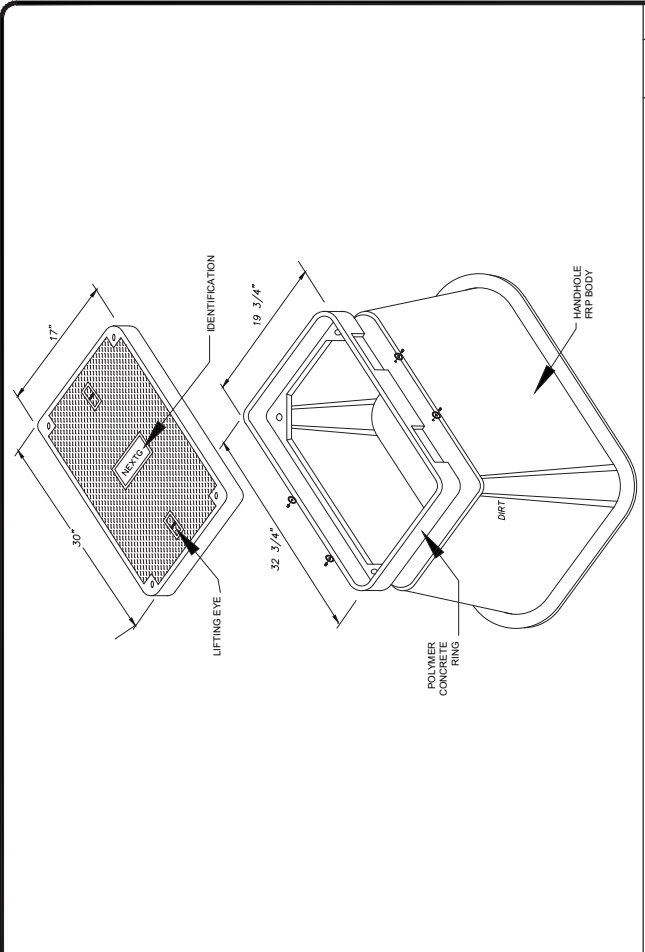
DETAILS

DRAWING INFO:

DWG. NAME: EN
DATE: 04/04/2012

SHEET NUMBER:

D-2



1		N.T.S.		CONNECTION HAND HOLE		N.T.S.		3	
<p>STRAND MOUNT DETAIL</p> <p>ION-M177/13P MULTI-BAND, HAND-MOUNTED, OPTICAL SYSTEM</p> <p>ION-M177/13P IS A MULTI-BAND MULTI-PORT ANTENNA SYSTEM, BUT WITH VARIOUS EXTENSION UNITS, THIS SYSTEM TRANSPORTS MULTIPLE FREQUENCY BANDS SIMULTANEOUSLY (1700 MHZ AND 1700/2100 MHZ), PROVIDING A COST-EFFECTIVE SOLUTION FOR DENSIFYING CAPACITY FROM ONE OR MORE BASE STATIONS.</p> <p>POWER SUPPLY: 85 TO 264 VAC, 50/60 HZ</p> <p>POWER CONSUMPTION: WATTS 520 TO 260</p> <p>CONNECTIONS: E2000/APC 8</p> <p>FEED TYPE: MM</p> <p>FEED TYPE: MM</p> <p>COMPOSITE WIND PROOF: 0 TO 10</p> <p>WIND LOAD: 100 MPH</p> <p>WIND LOAD FRONT: 15 LB/FT²</p> <p>WIND LOAD SIDE: 15 LB/FT²</p> <p>WIND LOAD REAR: 15 LB/FT²</p> <p>WIND LOAD TOP: 15 LB/FT²</p> <p>WIND LOAD BOTTOM: 15 LB/FT²</p> <p>WIND LOAD CORNER: 15 LB/FT²</p> <p>WIND LOAD EDGE: 15 LB/FT²</p> <p>WIND LOAD SURFACE: 15 LB/FT²</p> <p>WIND LOAD VOLUME: 15 LB/FT²</p> <p>WIND LOAD WEIGHT: 15 LB/FT²</p> <p>WIND LOAD PRESSURE: 15 LB/FT²</p> <p>WIND LOAD TEMPERATURE: 15 LB/FT²</p> <p>WIND LOAD HUMIDITY: 15 LB/FT²</p> <p>WIND LOAD SALINITY: 15 LB/FT²</p> <p>WIND LOAD ACIDITY: 15 LB/FT²</p> <p>WIND LOAD ALKALINITY: 15 LB/FT²</p> <p>WIND LOAD TOXICITY: 15 LB/FT²</p> <p>WIND LOAD CORROSIVITY: 15 LB/FT²</p> <p>WIND LOAD FLAMMABILITY: 15 LB/FT²</p> <p>WIND LOAD EXPLOSION: 15 LB/FT²</p> <p>WIND LOAD RADIATION: 15 LB/FT²</p> <p>WIND LOAD MAGNETIC: 15 LB/FT²</p> <p>WIND LOAD ELECTRIC: 15 LB/FT²</p> <p>WIND LOAD THERMAL: 15 LB/FT²</p> <p>WIND LOAD MECHANICAL: 15 LB/FT²</p> <p>WIND LOAD CHEMICAL: 15 LB/FT²</p> <p>WIND LOAD BIOLOGICAL: 15 LB/FT²</p> <p>WIND LOAD ENVIRONMENTAL: 15 LB/FT²</p> <p>WIND LOAD SOCIAL: 15 LB/FT²</p> <p>WIND LOAD ECONOMIC: 15 LB/FT²</p> <p>WIND LOAD POLITICAL: 15 LB/FT²</p> <p>WIND LOAD LEGAL: 15 LB/FT²</p> <p>WIND LOAD ETHICAL: 15 LB/FT²</p> <p>WIND LOAD RELIGIOUS: 15 LB/FT²</p> <p>WIND LOAD CULTURAL: 15 LB/FT²</p> <p>WIND LOAD HISTORICAL: 15 LB/FT²</p> <p>WIND LOAD ARTISTICAL: 15 LB/FT²</p> <p>WIND LOAD SCIENTIFIC: 15 LB/FT²</p> <p>WIND LOAD MEDICAL: 15 LB/FT²</p> <p>WIND LOAD AGRICULTURAL: 15 LB/FT²</p> <p>WIND LOAD INDUSTRIAL: 15 LB/FT²</p> <p>WIND LOAD COMMERCIAL: 15 LB/FT²</p> <p>WIND LOAD RESIDENTIAL: 15 LB/FT²</p> <p>WIND LOAD GOVERNMENTAL: 15 LB/FT²</p> <p>WIND LOAD EDUCATIONAL: 15 LB/FT²</p> <p>WIND LOAD RECREATIONAL: 15 LB/FT²</p> <p>WIND LOAD TRANSPORTATION: 15 LB/FT²</p> <p>WIND LOAD UTILITIES: 15 LB/FT²</p> <p>WIND LOAD DEFENSE: 15 LB/FT²</p> <p>WIND LOAD AEROSPACE: 15 LB/FT²</p> <p>WIND LOAD MARITIME: 15 LB/FT²</p> <p>WIND LOAD AERIAL: 15 LB/FT²</p> <p>WIND LOAD SUBSATELLITE: 15 LB/FT²</p> <p>WIND LOAD SPACE: 15 LB/FT²</p> <p>WIND LOAD PLANETARY: 15 LB/FT²</p> <p>WIND LOAD COSMOS: 15 LB/FT²</p> <p>WIND LOAD UNIVERSE: 15 LB/FT²</p> <p>WIND LOAD GOD: 15 LB/FT²</p> <p>WIND LOAD SPIRIT: 15 LB/FT²</p> <p>WIND LOAD SOUL: 15 LB/FT²</p> <p>WIND LOAD HEART: 15 LB/FT²</p> <p>WIND LOAD MIND: 15 LB/FT²</p> <p>WIND LOAD BODY: 15 LB/FT²</p> <p>WIND LOAD BLOOD: 15 LB/FT²</p> <p>WIND LOAD BONES: 15 LB/FT²</p> 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REV.	DATE/REV.	REVISION DESCRIPTION
0	02/28/2012	ISSUED FOR REVIEW
1	02/20/2012	ISSUED FOR REVIEW
2	04/04/2012	ISSUED FOR REVIEW
3	06/20/2012	ISSUED FOR REVIEW
4	09/14/2012	ISSUED FOR REVIEW

ENGINEER/CONSULTANT:

Civil Engineer

CDG

CONNELL DESIGN GROUP, LLC
CONSULTING CIVIL ENGINEERS
2805 BANCROFT PARKWAY SOUTH, LAKE PARKER, CA 95009
(916) 751-8800 OFFICE • (916) 751-8801 FAX

CLIENT:

NextG Networks of California, Inc
880 TASMAR DRIVE
MILPITAS, CA 95035-7439

STAMP:

SITE NAME:

TSR01

TMB1006CA-TSR01

SITE ADDRESS: THOMAS BRIDGE PLAZA, 880 HZ
8.0.1 ADJACENT WEST SIDE OF SCAMORE CANYON RD
(ADJACENT TO 2810 SCAMORE CANYON RD)
MONTICELLO, CA 95008
LAT: 37.45525
LONG: -120.66045

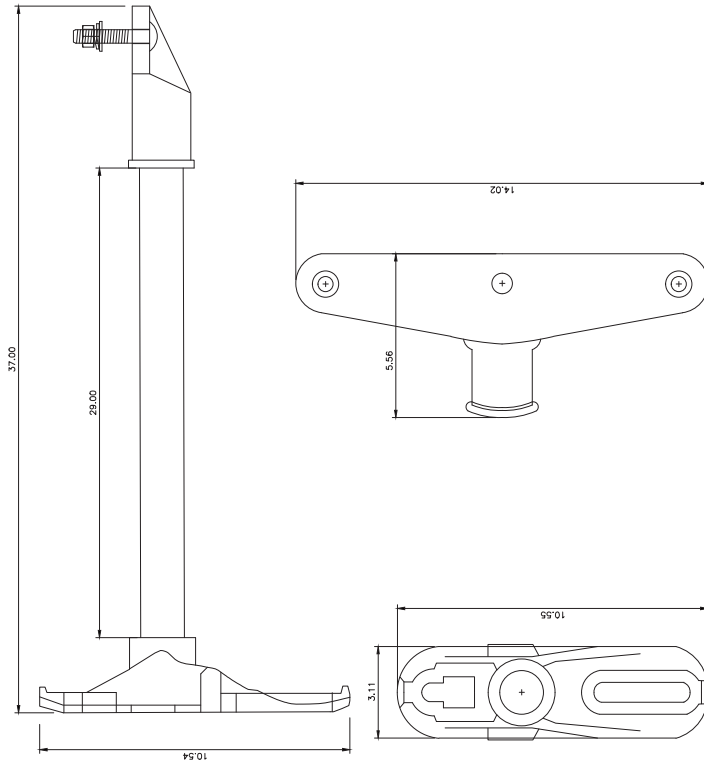
SHEET TITLE:

DETAILS

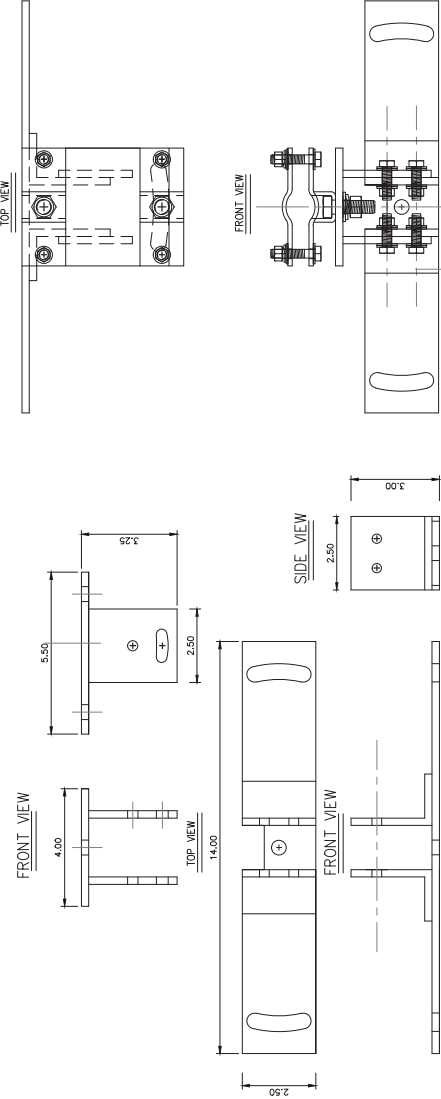
DWG. NAME:	EN	DATE:	04/04/2012
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SHEET NUMBER:

D-3



COMM. SPACE BRACKET



REV.	DATE/REV.	REVISION DESCRIPTION
0	02/27/2012	ISSUED FOR REVIEW
1	02/20/2012	ISSUED FOR REVIEW
2	04/04/2012	ISSUED FOR REVIEW
3	06/20/2012	ISSUED FOR REVIEW
4	09/14/2012	ISSUED FOR REVIEW

ENGINEER/CONSULTANT:

CDG

CONNELL DESIGN GROUP, LLC
CONSULTING CIVIL ENGINEERS
3045 BAYVIEW PARKWAY SOUTH, LAKE PARKER, CA 95009
(916) 751-8000 OFFICE • (916) 751-8001 FAX

CLIENT:

NextG Networks
of
California, Inc
880 TASMAN DRIVE
MILPITAS, CA 95035-7439

STAMP:

SITE INFO:

TSR01
TMB1006CA-TSR01

SITE ADDRESS: THOMAS BRIDGE PLAZA, 800 112
E. CALLE, WEST SAN JOSE, CALIFORNIA 95128
(ADJACENT TO 2810 STAMORE CANYON RD)
MONTESICLO, CA 95038
LAT: 37.455000
LONG: -121.858000

SHEET TITLE:

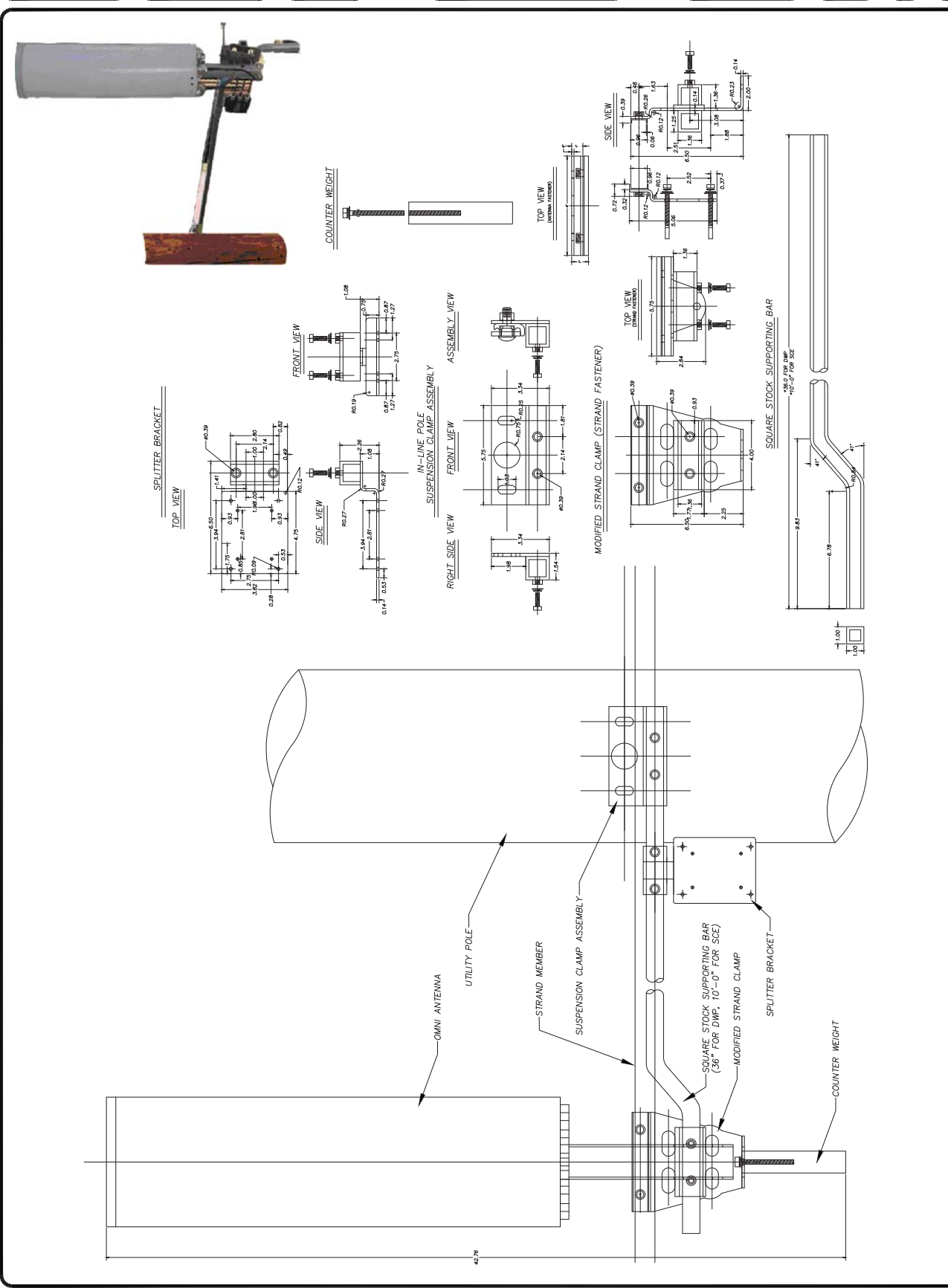
DETAILS

DRAWING INFO:

DWG. NAME: EN
DATE: 04/04/2012

SHEET NUMBER:

D-4



GENERAL NOTES

1. PERSONS OF THESE PLANS BY THE COUNTY ENGINEER DOES NOT AUTHORIZE ANY WORK TO BE PERFORMED UNLESS A PERMIT HAS BEEN OBTAINED.
2. NO WORK SHALL BE PERMITTED ON WEEKENDS OR HOLIDAYS WITHOUT PERMISSION FROM THE ENGINEERING DEPARTMENT.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR ALL NECESSARY FIELD SURVEYING AND MONITORING OF THE PROJECT.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR ALL NECESSARY FIELD SURVEYING AND MONITORING OF THE PROJECT.
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CONSTRUCTION CHANGE TABLE	
CHANGE	DATE

SPECIAL NOTES

1. THE FOLLOWING NOTES ARE REQUIRED BY THE ENGINEERS IN THE CONSTRUCTION OF THE PROJECT. THE CITY ENGINEER'S SIGNATURE ON THESE PLANS DOES NOT CONSTITUTE APPROVAL OF THESE NOTES AND THE CITY WILL NOT BE RESPONSIBLE FOR THEIR ENFORCEMENT.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR ALL NECESSARY FIELD SURVEYING AND MONITORING OF THE PROJECT.
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NextG Networks of California, Inc.
TMB1006CA-TSR05
ROW ADJACENT NORTH SIDE OF MOORE RD
(ADJACENT TO 1650 MOORE RD.)
SANTA BARBARA, CA 93108



VICINITY MAP - N.T.S.

SYMBOLS, LINETYPES AND HATCH PATTERNS	
	GROUND BUS BAR
	MECH. GROUND CONDUIT
	CABLED
	TELEPHONE BOX
	EXISTING SERVICE POLE
	SIRENAUX FLAG
	EX. MANHOLE
	LIGHT POLE
	FOUNDATION
	SPOT ELEV.
	SET POINT
	REVISION
	DETAIL REF.
	ELEVATION REF.
	SECTION REF.
	PROP./LEASE LINE
	MATCH LINE
	WORK POINT
	TELE. CONDUIT
	CENTERLINE
	ELECT. CONDUIT
	CONDUIT
	CONDUIT CABLE
	INVERT PEDESTAL
	WALL
	STANDARD 213"
	STEEL POLE

PROJECT DESCRIPTION	

APPLICABLE CODES	

CONSTRUCTION CHANGE TABLE	
CHANGE	DATE

EROSION AND SEDIMENT CONTROL NOTES

1. TEMPORARY EROSION/SEDIMENT CONTROL MEASURES TO PREVENT EROSION OF EXPOSED SOILS SHALL BE INSTALLED PRIOR TO THE START OF CONSTRUCTION AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR ALL NECESSARY FIELD SURVEYING AND MONITORING OF THE PROJECT.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR ALL NECESSARY FIELD SURVEYING AND MONITORING OF THE PROJECT.
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TRAFFIC CONTROL NOTES

1. THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN (TTP) FOR REVIEW AND APPROVAL BY THE CITY ENGINEER PRIOR TO THE START OF CONSTRUCTION.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR ALL NECESSARY FIELD SURVEYING AND MONITORING OF THE PROJECT.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR ALL NECESSARY FIELD SURVEYING AND MONITORING OF THE PROJECT.
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FOOTING TOTALS	
ASPHALT CUT	-
SPOT TRENCH	-
PAVED ROAD	-
PAVED DRIVE	-
PAVED SIDEWALK	-
PAVED BIKEWAY	-
PAVED PATH	-
PAVED TRAIL	-
PAVED OTHER	-
PAVED TOTAL	-
PAVED SIDEWALK TOTAL	-

PROJECT DICTIONARY

SITE ADDRESS: R.O.W. NORTH SIDE OF MOORE RD (ADJACENT TO 1650 MOORE RD) SANTA BARBARA, CA 93108

APPLICANT: NEXTG NETWORKS OF CALIFORNIA, INC 2125 WRIGHT AVE, SUITE #C9 LA VERNE, CA 91750 CONTACT: DANIEL NUESKE PHONE: (909) 241-8218

CIVIL ENGINEER

CONNELL DESIGN GROUP, LLC 26455 RANCHO PARKWAY SOUTH LAKE FOREST, CA 92650 CONTACT: FRANK CARTER PHONE: (949) 241-8218 FAX: (949) 750-8833

REV.	DATE/REV.	REVISION DESCRIPTION
2	04/17/2012	ISSUED FOR PERMIT
3	05/17/2012	ISSUED FOR PERMIT
4	08/02/2012	ISSUED FOR PERMIT
5	08/13/2012	ISSUED FOR PERMIT
6	08/13/2012	ISSUED FOR PERMIT

Civil Engineer

CDG

CONNELL DESIGN GROUP, LLC
CONSULTING CIVIL ENGINEERS
26455 RANCHO PARKWAY SOUTH, LAKE FOREST, CA 92650
(949) 750-8833 FAX: (949) 241-8218

Client

NextG Networks of California, Inc
880 TASMAN DRIVE
MILPITAS, CA 95035-7439

Stamp

Site Info

SITE NAME: TSR05
TMB1006CA-TSR05
SITE ADDRESS: THOMAS BROS PACE 997 GRID A1 R.O.W. NORTH SIDE OF MOORE RD (ADJACENT TO 1650 MOORE RD) SANTA BARBARA, CA 93108
LAT: 34.438975
LONG: -119.835887

Title Sheet

TITLE SHEET

DWG. NAME: EN
DRAWN BY: EN
DATE: 02/24/2012

SHEET NUMBER: T-1

REV.	DATE/REV.	REVISION DESCRIPTION
2	04/17/2012	ISSUED FOR PERMIT
3	05/17/2012	ISSUED FOR EC
4	08/02/2012	ISSUED FOR EC
5	08/13/2012	ISSUED FOR EC
6	08/29/2012	ISSUED FOR EC

ENGINEER/CONSULTANT:

Civil Engineer

CDG

CONNELL DESIGN GROUP, LLC
CONSULTING CIVIL ENGINEERS
2505 BACCHIO PARKWAY SOUTH LAKE FOREST, CA 92650
(949) 751-8807 OFFICE • (949) 751-8811 FAX

CLIENT:

**NextIG Networks
of
California, Inc**
880 TASMAN DRIVE
MILPITAS, CA 95035-7439

STAMP:

SITE INFO:

SITE NAME: **TSR05**
TMB1006CA-TSR05

SITE ADDRESS: THOMAS BROS PGE 997 GRID A1
R.O.W. NORTH SIDE OF MOORE RD
(ADJACENT TO 1650 MOORE RD)
SANTA BARBARA, CA 93108
LAT: 34.438975
LONG: -119.652587

SHEET TITLE:

**SITE PLAN /
DETAILS**

DWG. NAME: EN

DRAWN BY: EN

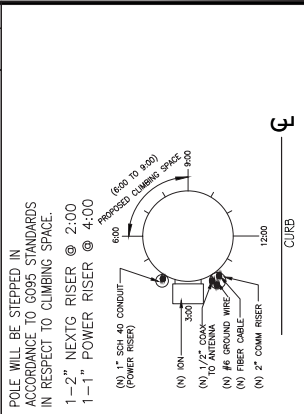
DATE: 02/24/2012

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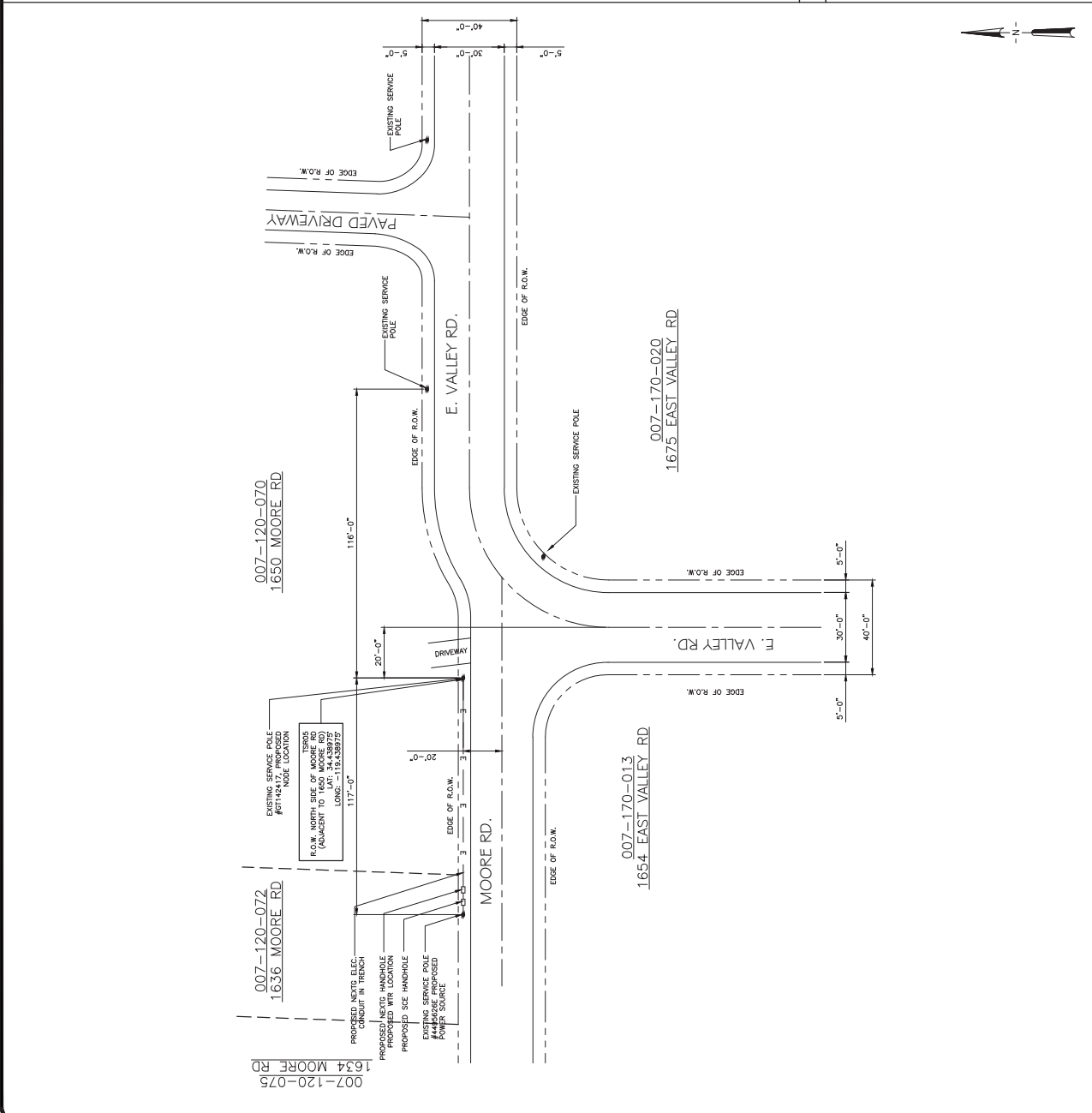
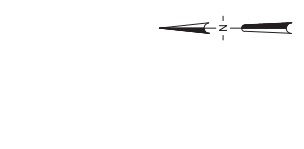
A-1



EXISTING PHOTO



SCALE: 1"=8'-0"



SCALE: 1"=8'-0"

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SCALE: 1"=8'-0"

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SCALE: 1"=8'-0"

REV.	DATE/BY:	REVISION DESCRIPTION:
2	04/17/2012 EC	ISSUED FOR FINAL
3	05/11/2012 EC	ISSUED FOR FINAL
4	08/02/2012 EC	ISSUED FOR FINAL
5	08/13/2012 EC	ISSUED FOR FINAL
6	08/29/2012 EC	ISSUED FOR FINAL

ENGINEER/CONSULTANT:

Civil Engineer

CDG

CONNELL DESIGN GROUP, LLC
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2525 BACCHIO PARKWAY SOUTH, LAKE FOREST, CA 92033
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CLIENT:

**NextG Networks
of
California, Inc**
890 TASMAN DRIVE
MILPITAS, CA 95035-7439

STAMP:

SITE INFO:

TSR05
TMB1006CA-TSR05

SITE ADDRESS: THOMAS BROGS PAGE 997 GRID A1
R.O.W. NORTH SIDE OF MOORE RD
(ADJACENT TO 1650 MOORE RD)
SANTA BARBARA, CA 93108
LAT: 34.438975
LONG: -119.825887

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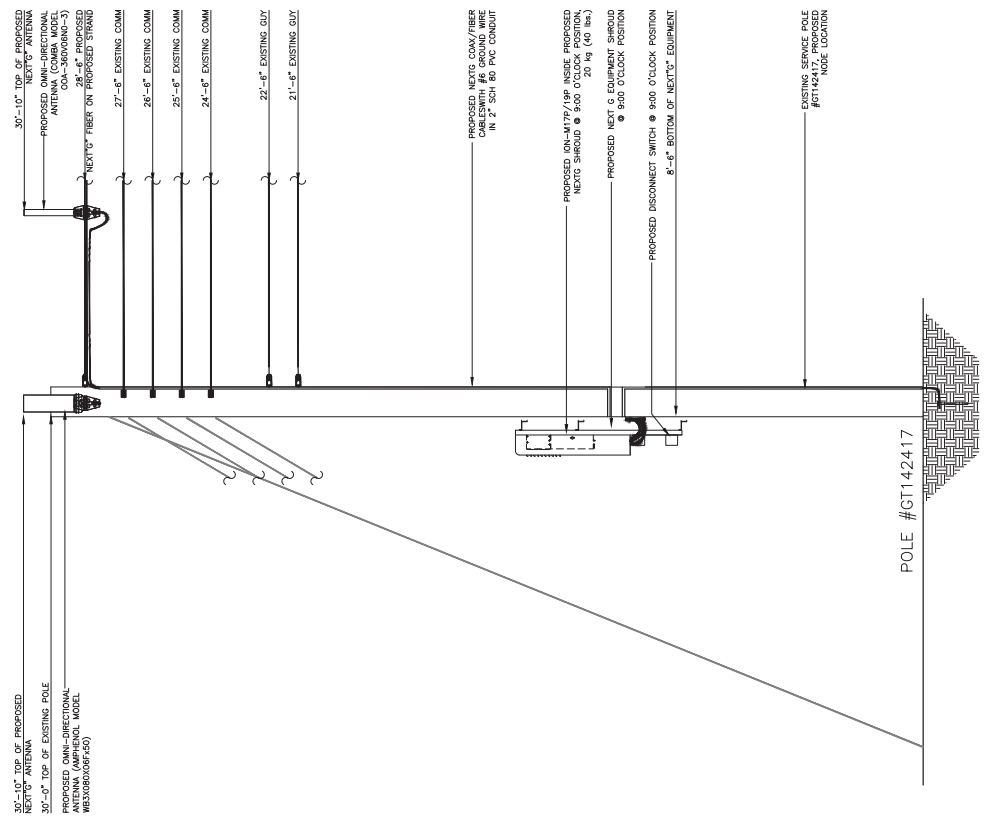
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DRAWN BY:	EN
DATE:	02/24/2012

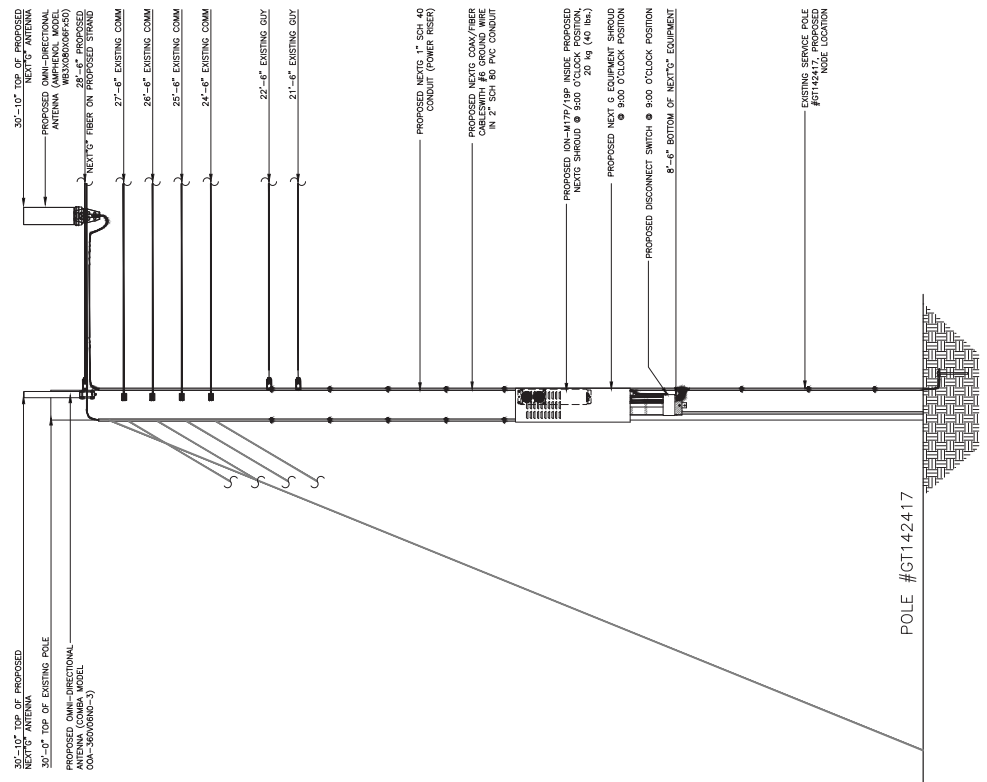
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A-2

NOTE:
ALL EQUIPMENT AND ANTENNAS ARE TO
BE PAINTED BROWN



NOTE:
ALL EQUIPMENT AND ANTENNAS ARE TO
BE PAINTED BROWN



REV.	DATE/REV.	REVISION DESCRIPTION
2	04/17/2012	ISSUED FOR FINAL
3	05/11/2012	ISSUED FOR FINAL
4	08/02/2012	ISSUED FOR FINAL
5	08/13/2012	ISSUED FOR FINAL
6	08/29/2012	ISSUED FOR FINAL

ENGINEER/CONSULTANT:

Civil Engineer

CDG

CONNELL DESIGN GROUP, LLC
CONSULTING CIVIL ENGINEERS
3845 BACHO PARKWAY SOUTH, LAKE PARKER, CA 95009
(916) 751-8007 OFFICE • (916) 751-8011 FAX

CLIENT:

NextG Networks
of
California, Inc
880 TASMAN DRIVE
MILPITAS, CA 95035-7439

STAMP:

SITE INFO:

TSR05
TMB1006CA-TSR05
SITE ADDRESS: THOMAS BROS PACE 997 GRID A1
R.O.W. NORTH SIDE OF MOORE RD
(ADJACENT TO 1650 MOORE RD)
SANTA BARBARA, CA 93108
LAT: 34.438975
LONG: -119.635881

SHEET TITLE:

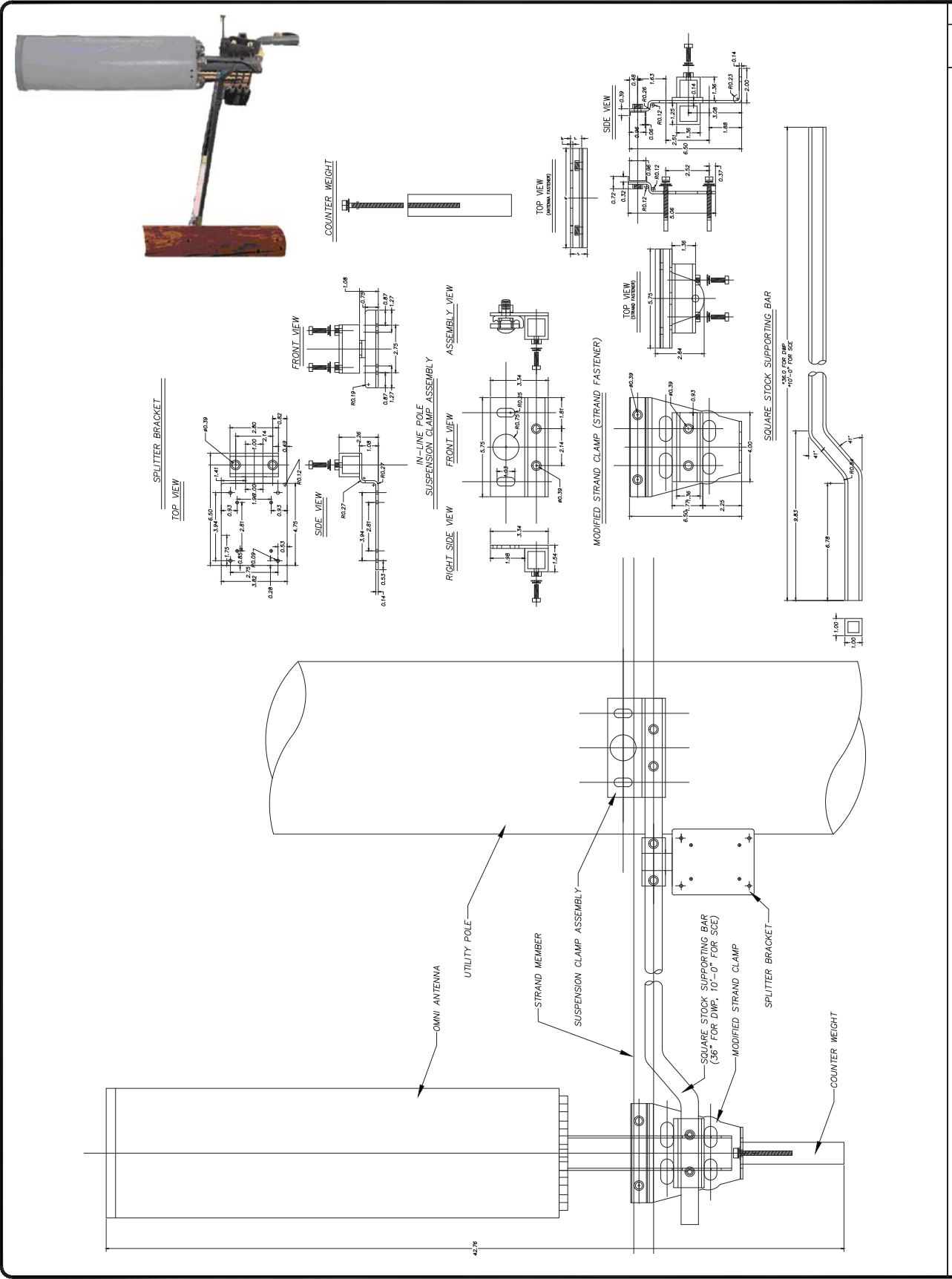
DETAILS

DRAWING INFO:

DWG. NAME: EN
DATE: 02/24/2012

SHEET NUMBER:

D-3



NextG Networks of California, Inc.

TMB1006CA-TSR07

ROW ADJACENT EAST SIDE OF HOT SPRINGS RD

(ADJACENT TO 300 HOT SPRINGS RD.)

SANTA BARBARA, CA 93108

An aerial photograph of a wooded area with two roads. Olive Mill Rd. runs diagonally from the top left towards the center. Hot Springs Rd. runs vertically on the right side. A white label 'OLIVE MILL RD.' is placed over the top part of Olive Mill Rd. Another white label 'HOT SPRINGS RD.' is placed vertically over Hot Springs Rd. A black arrow points from a white box on the right side of the image to a specific location in the woods. The white box contains the text 'SITE: TMB1006CA-TSR07' and 'POLE# GT118959'. In the bottom left corner, there is a small, partially visible white label that reads 'Pole# 118959'.

VICINITY MAP - N.T.S.

SYMBOLS, LINETYPES AND HATCH PATTERNS

<p>GROUND BAR MECH. GRND. CONN. CANNEL</p> <p>ELECTRIC BOX TELEPHONE BOX</p> <p>EXISTING SERVICE POLE SIDEWALK FLAG EX. MANHOLE</p>	<p>LIGHT POLE FOUNDATION SPOT ELEV.</p> <p>SET POINT REVISION</p> <p>DETAIL REF.</p>	<p>ELEVATION REF.</p> <p>SECTION REF.</p> <p>PROP./LEASE LINE MATCH LINE</p> <p>WORK POINT TELE. CONDUIT CENTERLINE</p>	<p>ELECT. CONDUIT COAXIAL CABLE</p> <p>MIVERS FEDESTAL VAULT STANDARD 7.5'3" STEEL POLE</p>
---	--	---	---

SYMBOLS, LINETYPES AND HATCH PATTERNS

APPLICABLE CODES	PROJECT DESCRIPTION	SHEET INDEX:
ALL WORK SHALL COMPLY WITH THE FOLLOWING APPLICABLE CODES:	PROJECT CONSISTS OF CHANGING THE EXISTING ANTENNA TO A DIFFERENT LOCATION AND ADDING A SECOND ON RADIO HOUSE THE EXISTING NEAR WALL.	TITLE SHEET
2010 CALIFORNIA BUILDING CODE		A-1 - SHEET 2 OF 6
2010 CALIFORNIA ELECTRICAL CODE		A-2 - SHEET 3 OF 6
2010 CALIFORNIA PLUMBING CODE		A-3 - SHEET 4 OF 6
2010 CALIFORNIA MECHANICAL CODE		A-4 - SHEET 5 OF 6
2010 CALIFORNIA ELECTRICAL CODE		D-2 - SHEET 6 OF 6

IN THE EVENT OF CONFLICT, THE MOST RESTRICTIVE CODE SHALL PREVAIL

[illegible]

EROSION AND SEDIMENT CONTROL NOTES

1. ALL REQUIREMENTS OF THE COUNTY OF SANTA BARBARA "LAND DEVELOPMENT MANUAL, STORM WATER STANDARDS" MUST BE INCORPORATED INTO THE DESIGN AND CONSTRUCTION OF THE PROPOSED DRAINAGE/IMPROVEMENTS CONSISTENT WITH THE APPROVED STORM WATER DRAINAGE PLAN AND THE APPROVED STORM WATER CONTROL PLAN (MOP).

2. FOR STEEP DRAIN SLOPES, PROVIDE A GRAVEL BUILT UP BASIN IMMEDIATELY UPSTREAM OF THE ALLEY TO PREVENT EROSION.
3. FOR SLOPES LOCATED AT SUMPS ADJACENT TO THE CONTRACTOR SHALL PROVIDE A DRAINAGE DITCH TO BE MAINTAINED THROUGHOUT THE PROJECT.
4. FOR SLOPES LOCATED AT SITES WITHIN THE RIGHT-OF-WAY, THE CONTRACTOR SHALL PROVIDE A DRAINAGE DITCH TO BE MAINTAINED THROUGHOUT THE PROJECT.
5. PREPARE A DRAINAGE PLAN TO PREVENT EROSION FROM THE PLAN, THE CONTRACTOR SHALL PROVIDE IT IN TEMPORARY MEASURES, I.E. GRAVEL BASIN OR DITCHES.
6. THE CONTRACTOR OR QUALIFIED PERSON SHALL BE RESPONSIBLE FOR CLEANUP OF SILT AND MUD ON ADJACENT STREET(S) AND STORM DRAIN SYSTEM DUE TO CONSTRUCTION.
7. THE CONTRACTOR OR QUALIFIED PERSON SHALL DESIGN AND MAINTAIN ALL LAND AND UNPAVED DRIVEWAYS THROUGHOUT THE PROJECT.
8. THE CONTRACTOR SHALL REMOVE SILT AND CLAYERS AFTER EACH MAJOR RAINFALL.
9. EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES DURING THE WINTER SEASON. ALL NECESSARY MATERIALS SHALL BE STOCKPILED ON SITE AT CONVENTION LOCATIONS TO FACILITATE RAPID AND CONSTRUCTION OF TEMPORARY MEASURES WHEN WINTER IS IMMINENT.
10. THE CONTRACTOR SHALL RESUME ALL EROSION/SEDIMENT CONTROL MEASURES TO PROTECT THE EXISTING DRAINAGE SYSTEMS OF THE CITY DURING ANY PERIODS OF EROSION DURING EACH RAIN AFTER PRECIPITATING RAIN.
11. THE CONTRACTOR SHALL INSTALL AUTOMATIC DRAINAGE CONTROL MEASURES AS REQUIRED BY THE RESIDENT ENGINEER DUE TO UNEXPECTED DRAINING OPERATIONS FOR UNEXPECTED CIRCUMSTANCES, WHICH MAY ARISE.
12. THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PROTECT ADJACENT DRIVEWAYS AND ALLEYS FROM UNEXPECTED WEATHER DURING A MAJOR STORM.

SPECIAL NOTES

- [illegible]

TRAFFIC CONTROL NOTES

FOOTAGE TOTALS	
ASPHALT CUT	-
DIRT TRENCH	-
PUNCH THRU	-
BORE	-
TOTAL	-
RAR S&W TOTAL	-

PROJECT DICTIONARY

SITE ADDRESS: ROW ADJACENT EAST SIDE OF HOT SPRINGS RD
(ADJACENT TO 300 HOT SPRINGS RD)
SANTA BARBARA CA 93108

APPLICANT:

APPLICANT:
NEXTG NETWORKS OF CALIFORNIA, INC
2125 WRIGHT AVE, SUITE #C9
LA VERNE, CA 91750
CONTACT: DANIEL NUESKE
PHONE: (909) 247-8218

CIVIL ENGINEER:

CIVIL ENGINEER
CONNELL DESIGN GROUP, LLC
26455 RANCHO PARKWAY SOUTH
LAKE FOREST, CA 92630
CONTACT: FRANK CARTER
(949) 310-8233 PHONE
(949) 753-8833 FAX

1

REV.	DATE/REV.	REVISION DESCRIPTION:
0	E.N. 02/24/2012	ISSUED FOR REVIEW
1	E.N. 03/01/2012	ISSUED FOR FINAL
2	E.N. 04/04/2012	ISSUED FOR FINAL
3	FC 08/20/2012	ISSUED FOR FINAL
4	FC 09/14/2012	ISSUED FOR FINAL

Civil Engineer



CONNELL DESIGN GROUP, LLC
CONSULTING CIVIL ENGINEERS
26455 RANCHO PARKWAY SOUTH, LAKE FOREST, CA 92630
(949) 751-8007 OFFICE • (949) 751-8831 FAX

CLIENT:

**NextG Networks
of
California, Inc**
890 TASMAN DRIVE
MILPITAS, CA 95035-7439

STAMP:

SITE INFO:

SITE NAME: TSR07
TMB1006CA-TSR07

SITE ADDRESS: THOMAS BROS PAGE 996 GRID H3
ROW ADJACENT EAST SIDE OF HOT SPRINGS RD
(ADJACENT TO 300 HOT SPRINGS RD)
SANTA BARBARA, CA 93108
LAT: 34.2854°
LONG: -119.6408°

SHEET TITLE

TITLE SHEET

DRAWING INFO:		
NAME:	DRAWN BY: EN	DATE: 04/04/2011
SHEET NUMBER:		

11

REV.	DATE/REV.	REVISION DESCRIPTION
0	02/27/2012	ISSUED FOR REVIEW
1	03/07/2012	ISSUED FOR REVIEW
2	04/04/2012	ISSUED FOR REVIEW
3	08/20/2012	ISSUED FOR REVIEW
4	09/14/2012	ISSUED FOR REVIEW

ENGINEER/CONSULTANT:

Civil Engineer

CDG

CONNELL DESIGN GROUP, LLC
CONSULTING CIVIL ENGINEERS
3005 BACCHIO PAVIA DRIVE, LAKE FOREST, CA 92650
(949) 751-8807 OFFICE • (949) 751-8811 FAX

CLIENT:

NextG Networks of California, Inc
890 TASMAN DRIVE
MILPITAS, CA 95035-7439

STAMP

SITE INFO:

SITE NAME: **TSR07**
TMB1006CA-TSR07

SITE ADDRESS: THOMAS BROS PINE 996 GRID 43
ROW ADJACENT EAST SIDE OF HOT SPRINGS RD
(ADJACENT TO 300 HOT SPRINGS RD)
SANTA BARBARA, CA 93108
LAT: 34.452545 LONG: -119.6408

SHEET TITLE:

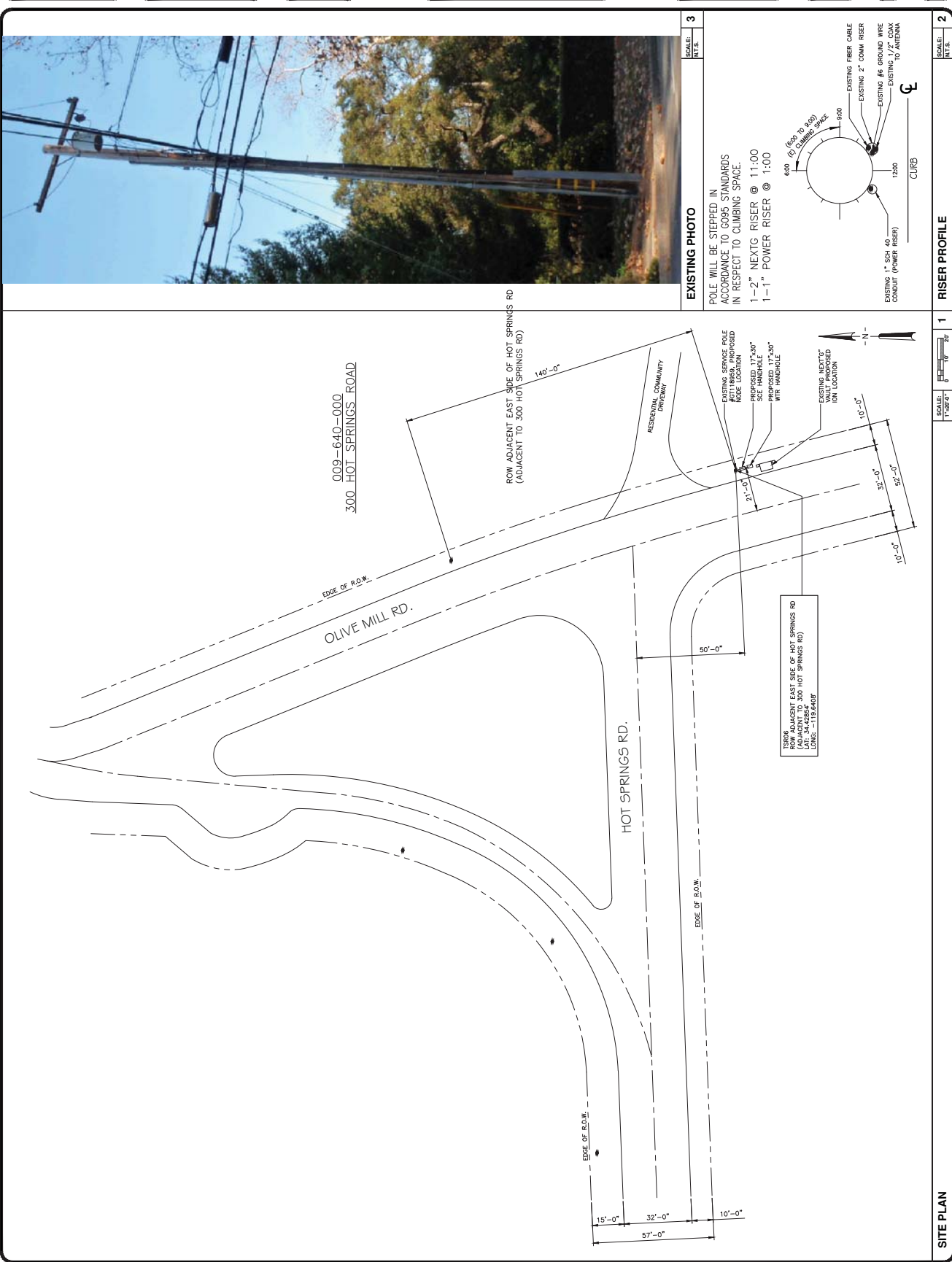
SITE PLAN / DETAILS

DRAWING INFO:

DWG. NAME: EN
DATE: 04/04/2012

SHEET NUMBER:

A-1



REV.	DATE/REV.	REVISION DESCRIPTION
0	02/27/2012	ISSUED FOR REVIEW
1	03/07/2012	ISSUED FOR REVIEW
2	04/04/2012	ISSUED FOR REVIEW
3	06/20/2012	ISSUED FOR REVIEW
4	09/14/2012	ISSUED FOR REVIEW

ENGINEER/CONSULTANT:

Civil Engineer



CONNELL DESIGN GROUP, LLC
CONSULTING CIVIL ENGINEERS
2505 BARCLAY PARKWAY SOUTH, LAKE PARKER, CA 95009
(916) 731-8807 OFFICE • (916) 731-8811 FAX

CLIENT:

NextG Networks
of
California, Inc
880 TASMAR DRIVE
MILPITAS, CA 95035-7439

STAMP:

SITE INFO:

SITE NAME:

TSR07
TMB1006CA-TSR07

SITE ADDRESS: THOMAS BROS PACE 996 GRID 13
ROW ADJACENT EAST SIDE OF HOT SPRINGS RD
(ADJACENT TO 300 HOT SPRINGS RD)
SANTA BARBARA, CA 93108
UTM: 11QUC50
Easting: 458360
Northing: 41316408

SHEET TITLE:

ELEVATIONS

DRAWING INFO:

DWG. NAME:

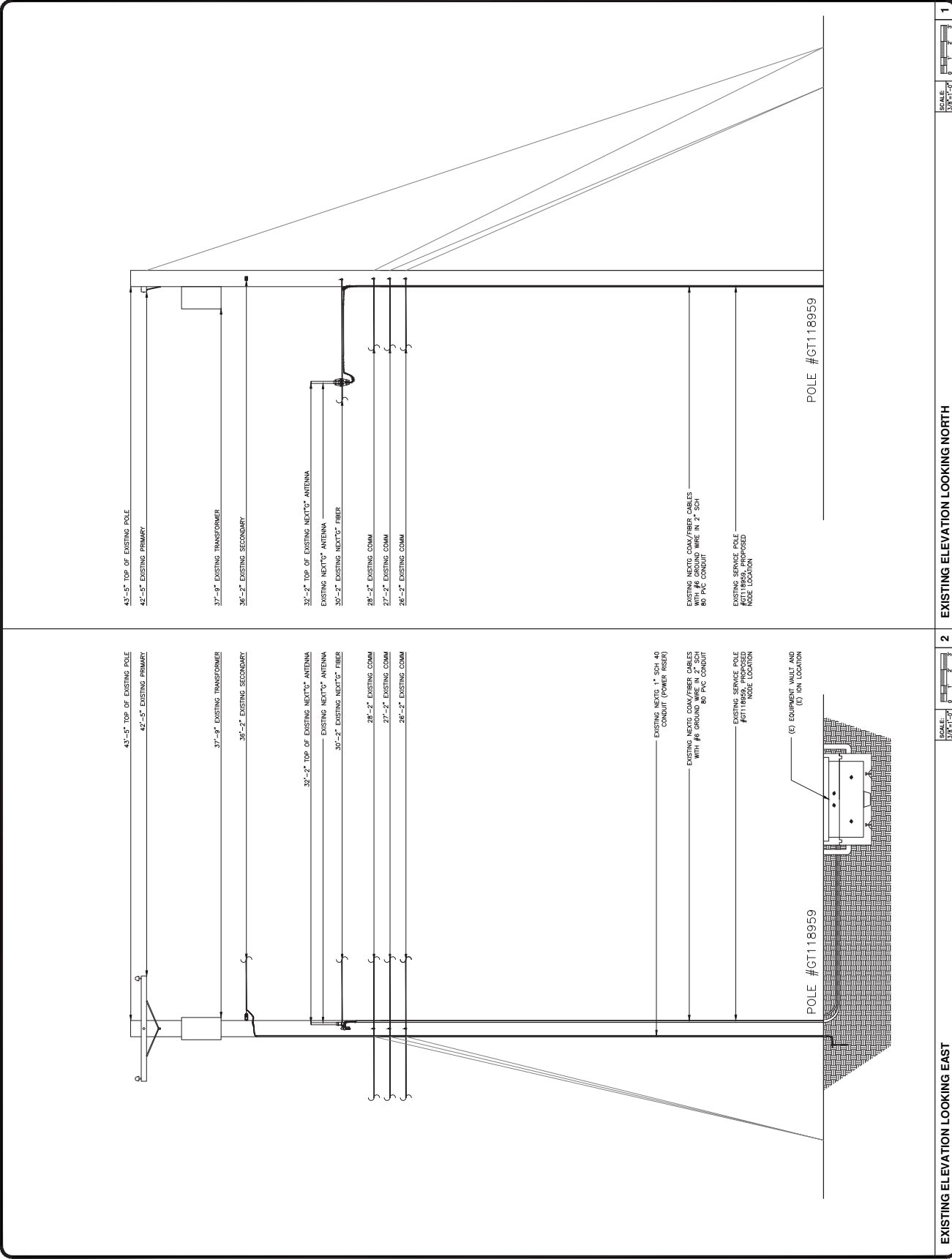
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DATE:

04/04/2012

SHEET NUMBER:

A-2



REV.	DATE/BY:	REVISION DESCRIPTION:
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1	03/07/2012 E.A.	ISSUED FOR REVIEW
2	04/04/2012 E.A.	ISSUED FOR REVIEW
3	06/20/2012 E.A.	ISSUED FOR REVIEW
4	09/14/2012 E.A.	ISSUED FOR REVIEW

ENGINEER/CONSULTANT:

Civil Engineer

**CONNELL DESIGN GROUP, LLC**
CONSULTING CIVIL ENGINEERS
2585 BARRINGTON PARKWAY SOUTH, LAKE PARKER, CA 95009
(916) 731-8807 OFFICE • (916) 731-8811 FAX

CLIENT:

NextG Networks
of
California, Inc
880 TASMAR DRIVE
LAKE PARKER, CA 95009
MILPITAS, CA 95035-7439

STAMP:

SITE INFO:

SITE NAME:
TSR07
TMB1006CA-TSR07

SITE ADDRESS: THOMAS BROOKS PACE 996 GRID 13
ROW ADJACENT EAST SIDE OF HOT SPRINGS RD
(ADJACENT TO 300 HOT SPRINGS RD)
SANTA BARBARA, CA 93108
(U.S. 4050555
LONG. -119.8468

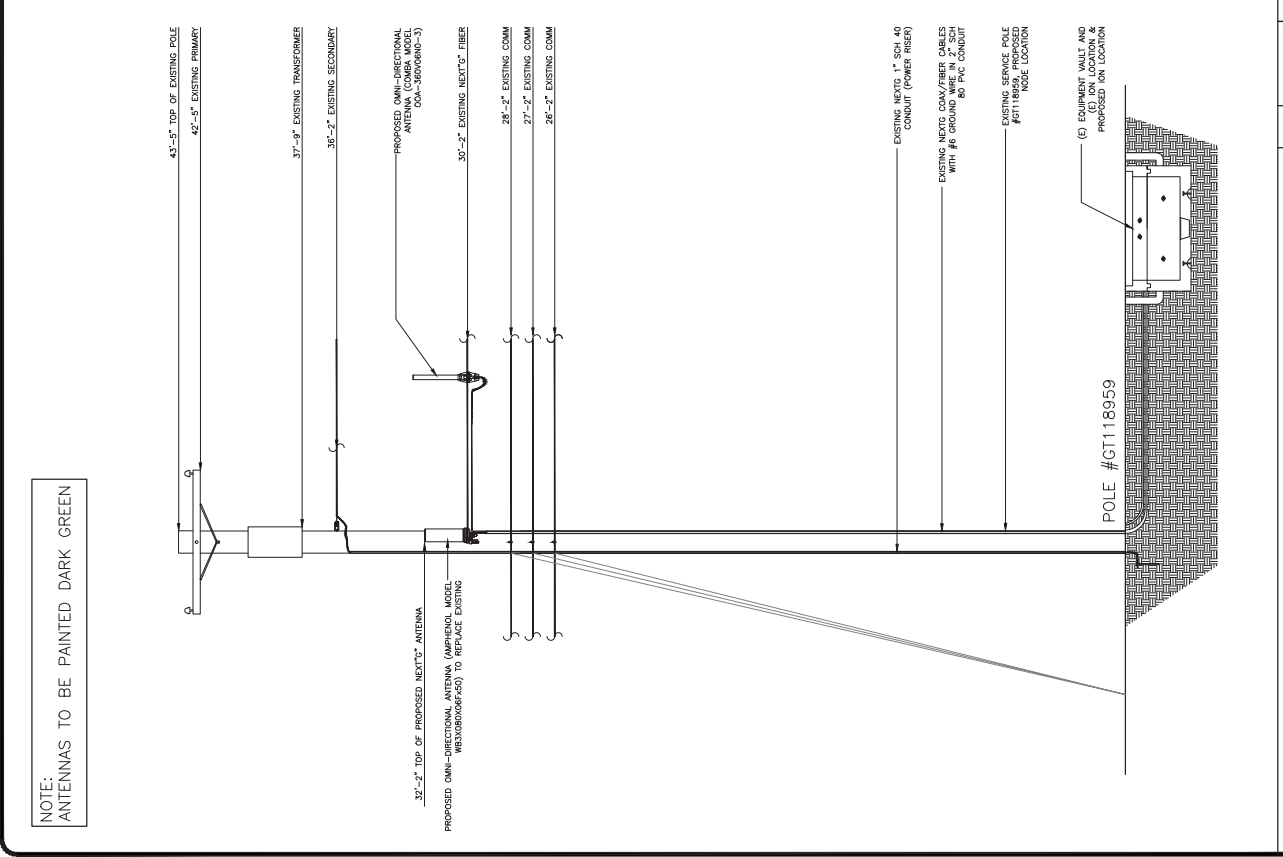
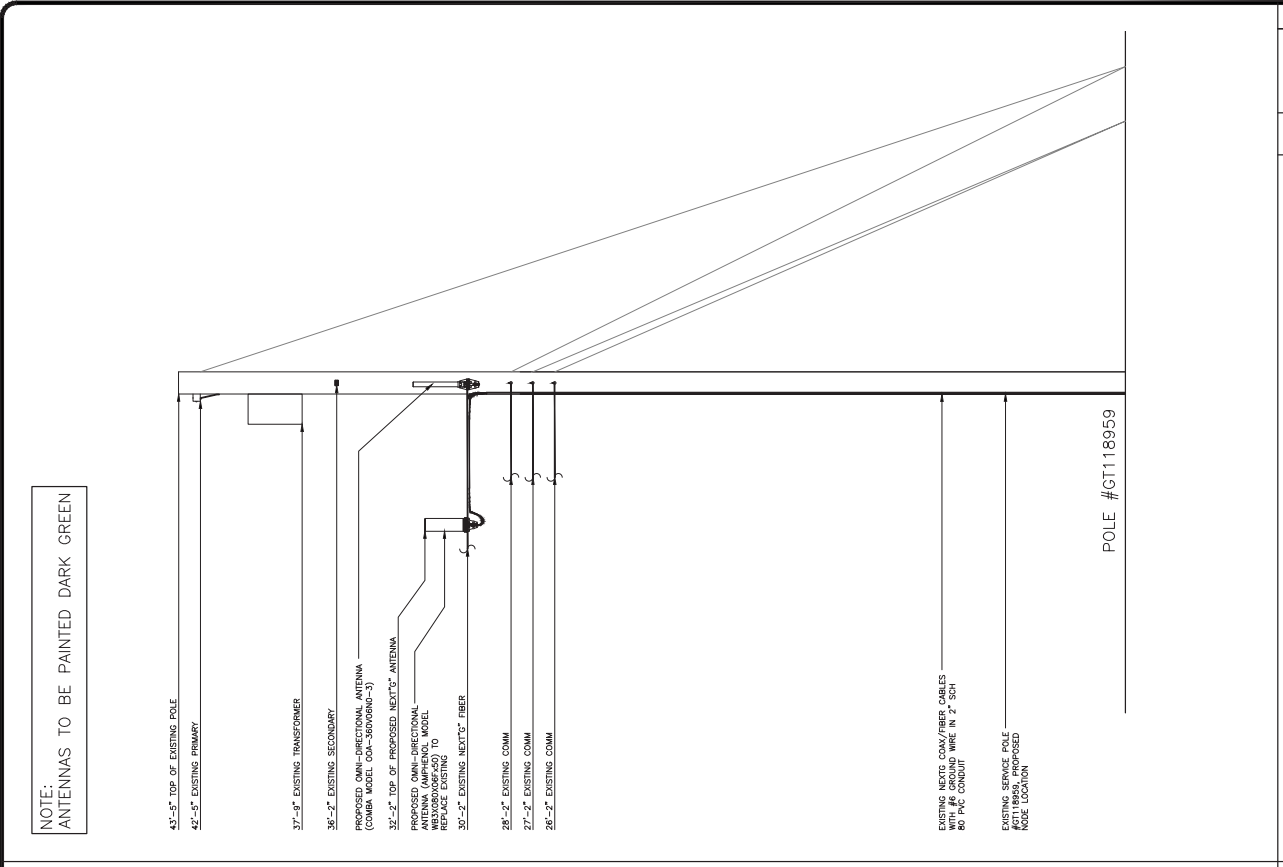
SHEET TITLE:

ELEVATIONS

DWG. NAME:	EN
DRAWN BY:	EN
DATE:	04/04/2012

SHEET NUMBER:

A-3



REV.	DATE/REV.	REVISION DESCRIPTION
0	02/27/2012	ISSUED FOR REVIEW
1	03/07/2012	ISSUED FOR REVIEW
2	04/04/2012	ISSUED FOR REVIEW
3	06/20/2012	ISSUED FOR REVIEW
4	09/14/2012	ISSUED FOR REVIEW

ENGINEER/CONSULTANT:

Civil Engineer

CDG

CONNELL DESIGN GROUP, LLC
CONSULTING CIVIL ENGINEERS
3045 BACHO PARKWAY SOUTH LAKE PARK, CA 95009
(949) 751-8007 OFFICE • (949) 751-8011 FAX

CLIENT:

NextG Networks
of
California, Inc
880 TASMAN DRIVE
MILPITAS, CA 95035-7439

STAMP:

SITE INFO:

TSR07
TMB1006CA-TSR07

SITE ADDRESS: THOMAS BROS PINE 996 GRID A3
ROW ADJACENT EAST SIDE OF HOT SPRINGS RD
(ADJACENT TO 300 HOT SPRINGS RD)
SANTA BARBARA, CA 93108
UTM: 11S, 44Q, 600000
LONG: -119.6408

SHEET TITLE:

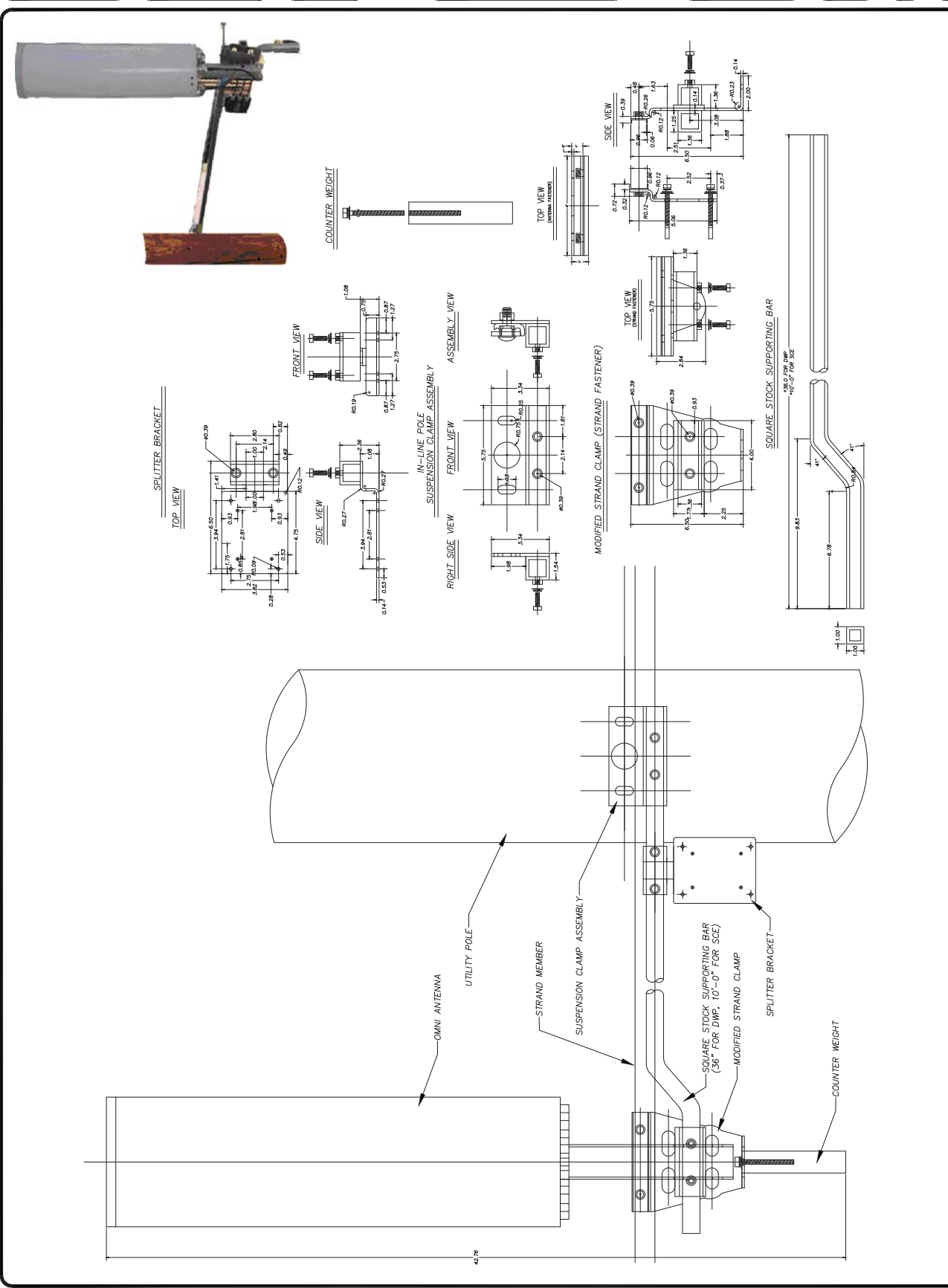
DETAILS

DRAWING INFO:

DWG. NAME: EN
DATE: 04/04/2012

SHEET NUMBER:

D-2



[illegible]

THE FOLLOWING NOTES ARE PROVIDED TO GIVE DIRECTIONS TO THE CONTRACTOR BY THE ENGINEER OF WORK. THE CITY ENGINEER'S SIGNATURE AND SEAL SHALL NOT CONSTITUTE APPROVAL OF THESE NOTES AND THE CITY WILL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION CONTAINED HEREIN. THE CONTRACTOR SHALL VERIFY THE LOCATION EXISTING INTERFERING UTILITIES INCLUDING SERVO JUNCTIONS AND WATER SERVICES TO INDIVIDUAL LOTS BOTH BEFORE AND DURING CONSTRUCTION TO AVOID UNNECESSARY OPERATIONS. THE CONTRACTOR SHALL HAVE SUFFICIENT INFORMATION AND LOCATE EXISTING FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO AVOID UNNECESSARY OPERATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO CONSTRUCTION OF ANY WORK.

THE LOCATION AND ELEVATIONS OF INFRASTRUCTURES TO BE MET BY WORK SHALL BE COMPARED BY FIELD MEASUREMENT PRIOR TO CONSTRUCTION OF ANY WORK.

ON GRADED SLOPES AND FINISH GRADES, CONTRACTOR SHALL DETERMINE NECESSARY SOIL GRADE ELEVATIONS AND SHALL CONSTRUCT CONSTRUCTION OF THE PROJECT INCLUDING THE SHALL ASSUME SOLE RESPONSIBILITY FOR JOB SITE LOCATION DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT INCLUDING THE USE OF PERSONS AND PROPERTY; THAT THIS PROVISION SHALL APPLY TO ALL WORKS OF THE CONTRACTOR AND SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS PRIOR TO CONSTRUCTION OF ANY WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO CONSTRUCTION OF ANY WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO CONSTRUCTION OF ANY WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO CONSTRUCTION OF ANY WORK.

THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR COMPLIANCE WITH THE PROVISIONS OF THE STATE OF CALIFORNIA SAFETY ORDERS.

ALL OF ALL UTILITIES LOCATED WITHIN THE PLANS ARE FROM CITY RECORDS AND CALIFORNIA SAFETY ORDERS. IT IS POSSIBLE THAT UTILITIES, RELOCATIONS OR DELETIONS FOR CONFORMING TO THE LOCATION SHALL BE MADE HORIZONTALLY AND VERTICALLY PRIOR TO CONSTRUCTION. IF EXISTING LOCATIONS ARE NOT SUBSTANTIALLY FROM THE PLANNED ENGINEER'S LOCATION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO CONSTRUCTION OF ANY WORK.

[illegible]

TMB1006CA-TSR12

(ADJACENT TO 453 SHEFFIELD DR.)

<p> GROUND BUS BAR MECH. GRID. CONN. CANNEL ELECTRIC BOX TELEPHONE BOX EXISTING SERVICE POLE SIDEWALK FLAG EX. MANHOLE </p>	<p> LIGHT POLE FOUNDATION SPOT ELEV. SET POINT REVISION DETAIL REF. </p>	<p> ELEVATION REF. SECTION REF. PROP./ACCESS LINE MATCH LINE WORK POINT TELE. CONDUIT CENTERLINE </p>	<p> ELEC. CONDUIT CANNAL CABLE METERS PEDESTAL VAULT STANDARD 7x5 STEEL POLE </p>
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SYMBOLS, LINETYPES AND HATCH PATTERNS

SHEET INDEX:	
TITLE SHEET	T-1 - SHEET
SITE PLAN	A-1 - SHEET
EXISTING ELEVATIONS	A-2 - SHEET
PROPOSED ELEVATIONS	A-3 - SHEET
DETAILS	D-1 - SHEET
DETAILS	D-2 - SHEET

PROJECT CONSISTS OF
CHANGING THE EXISTING ANTENNA TO A DIFFERENT
MODEL/MAKE AND ADDING A SECOND ANTENNA
ADDING A SECOND ION RADIO INSIDE A NEW NEXTG

ALL WORK SHALL COMPLY WITH THE FOLLOWING APPLICABLE CODES:

- *2010 CALIFORNIA BUILDING CODE
- *2010 CALIFORNIA MECHANICAL CODE
- *2010 CALIFORNIA PLUMBING CODE
- *2010 CALIFORNIA ELECTRICAL CODE

TEMPORARY EROSION/SEDIMENT CONTROL, PRIOR TO COMPLETION OF FINAL IMPROVEMENTS, SHALL BE PERFORMED BY THE CONTRACTOR OR QUALIFIED PERSON AS INDICATED BELOW:

1. ALL REQUIREMENTS OF THE COUNTY OF SANTA BARBARA "LAND DEVELOPMENT MANUAL, STORM WATER STANDARDS" MUST BE INCORPORATED INTO THE DESIGN AND CONSTRUCTION OF THE PROPOSED GRADING/IMPROVEMENTS CONSISTENT WITH THE APPROVED STORM WATER AND/OR WATER POLLUTION CONTROL PLAN (WPCP).

2. FOR STORM DRAIN INLETS, PROVIDE A GRAVEL BAG SILT BASIN IMMEDIATELY UPSTREAM OF INLET AS INDICATED ON DETAILS.

3. FOR INLETS LOCATED AT SLOPES ADJACENT TO TOP OF SLOPES, THE CONTRACTOR SHALL ENSURE THAT WATER DRAINING TO THE SUMP IS DIRECTED INTO THE INLET AND THAT A MINIMUM OF 1.00' FREEBOARD EXISTS AND IS MAINTAINED ABOVE THE TOP OF THE INLET. IF FREEBOARD IS NOT PROVIDED BY GRADING SHOWN ON THESE PLANS, THE CONTRACTOR SHALL PROVIDE IT VIA TEMPORARY MEASURES, I.E. GRAVEL RAIRS OR Dikes.

4. THE CONTRACTOR OR QUALIFIED PERSON SHALL BE RESPONSIBLE FOR CLEANUP OF SILT AND MUD ON ADJACENT STREET(S) AND STORM DRAIN SYSTEM DUE TO CONSTRUCTION ACTIVITY.

5. THE CONTRACTOR OR QUALIFIED PERSON SHALL CHECK AND MAINTAIN ALL LINED AND UNLINED DITCHES AFTER EACH RAINFALL.

6. THE CONTRACTOR SHALL REMOVE SILT AND DEBRIS AFTER EACH MAJOR RAINFALL.
7. EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON, ALL NECESSARY MATERIALS SHALL BE STOCKPILED ON

8. THE CONTRACTOR SHALL RESTORE ALL EROSION/SEDIMENT CONTROL MEASURES TO SITE AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES WHEN RAIN IS IMMINENT.

9. THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION CONTROL MEASURES AS ORDERED BY THE COUNTY ENGINEER OR RESIDENT ENGINEER AFTER EACH RUN-OFF PRODUCING RAINFALL.

10. THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS OR UNFORESEEN CIRCUMSTANCES, WHICH MAY ARISE.

11. ALL EROSION/SEDIMENT CONTROL MEASURES PROVIDED PER THE APPROVED GRADING HAZARDOUS CONDITION.

12. GRADED AREAS AROUND THE PROJECT PERMETER MUST DRAIN AWAY FROM THE FACE. CONDITIONS SHALL BE DONE TO THE SATISFACTION OF THE RESIDENT ENGINEER.

13. ALL REMOVABLE PROTECTIVE DEVICES SHOWN SHALL BE IN PLACE AT THE END OF EACH OF THE SLOPE AT THE CONCLUSION OF EACH WORKING DAY.

14. THE CONTRACTOR SHALL ONLY GRADE, INCLUDING CLEARING AND GRUBBING FOR THE AREAS FOR WHICH THE CONTRACTOR OR QUALIFIED PERSON CAN PROVIDE EROSION/SEDIMENT CONTROL MEASURES.

15. THE CONTRACTOR SHALL ARRANGE FOR WEEKLY MEETINGS DURING OCTOBER 1ST TO APRIL 30TH FOR PROJECT TEAM (GENERAL CONTRACTOR, QUALIFIED PERSON, EROSION CONTROL, SUBCONTRACTOR IF ANY, ENGINEER OF WORK, OWNER AND THE

- TRAFFIC CONTROL NOTES
-
- TO EVALUATE THE ADEQUACY OF THE EROSION/SEDIMENT CONTROL
-
- MEASURES AND OTHER RELATED CONSTRUCTION ACTIVITIES.
-
- RESIDENT ENGINEER)

THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN (11" X 17") FOR APPROVAL PRIOR TO STARTING WORK. THE PLAN SHOULD BE SUBMITTED TO THE TRAFFIC CONTROL PERMIT COUNTER. CONTRACTOR SHALL OBTAIN A TRAFFIC CONTROL PERMIT. A MINIMUM OF TWO (2) WORKING DAYS PRIOR TO STARTING WORK, AND A MINIMUM FIVE (5) DAYS IF WORK WILL AFFECT A BUS STOP OR AN EXISTING TRAFFIC SIGNAL, OR IF WORK WILL REQUIRE A ROAD OR ALLEY CLOSURE.

FOOTAGE TOTALS	
ASPHALT CUT	-
DIRT TRENCH	-
PUNCH THRU	-
SCORE	-
TOTAL	-
RAW SURF TOTAL	-

SITE ADDRESS: ROW ADJACENT WEST SIDE OF SHEFFIELD DRIVE
(ADJACENT TO 453 SHEFFIELD DR)
SANTA BARRARA, CA 93108

2125 WRIGHT AVE, SUITE #C9
LA VERNE, CA 91750
CONTACT: DANIEL NUESKE
PHONE: (909) 247-8218

CIVIL ENGINEER: CONNELL DESIGN GROUP, LLC
26455 RANCHO PARKWAY SOUTH
LAKE FOREST, CA 92630
CONTACT: FRANK CARTER
(949) 310-8233 PHONE
(949) 753-8833 FAX

SHEET INDEX:	
TITLE SHEET	T-1 - SHEET
SITE PLAN	A-1 - SHEET
EXISTING ELEVATIONS	A-2 - SHEET
PROPOSED ELEVATIONS	A-3 - SHEET
DETAILS	D-1 - SHEET
DETAILS	D-2 - SHEET

PROJECT DESCRIPTION	DATE	STATUS	COMMENTS
Project A	2023-01-15	Completed	Successful launch
Project B	2023-02-01	In Progress	Minor delays
Project C	2023-03-10	On Hold	Resource allocation
Project D	2023-04-05	Planned	Initial planning

PROJECT CONSISTS OF
CHANGING THE EXISTING ANTENNA TO A DIFFERENT
MODEL/MAKE AND ADDING A SECOND ANTENNA
ADDING A SECOND ION RADIO INSIDE A NEW NEXTG

APPLICABLE CODES

ALL WORK SHALL COMPLY WITH THE FOLLOWING APPLICABLE CODES:

- *2010 CALIFORNIA BUILDING CODE
- *2010 CALIFORNIA MECHANICAL CODE
- *2010 CALIFORNIA PLUMBING CODE
- *2010 CALIFORNIA ELECTRICAL CODE

REV.	DATE/P#	REVISION DESCRIPTION
0	E.N 02/28/2012	ISSUED FOR REVIEW
1	E.N 03/01/2012	ISSUED FOR FINAL
2	FC 04/04/2012	ISSUED FOR FINAL
3	FC 08/20/2012	ISSUED FOR FINAL
4	FC 09/14/2012	ISSUED FOR FINAL

CONNELL DESIGN GROUP, LLC
CONSULTING CIVIL ENGINEERS
26455 RANCHO PARKWAY SOUTH, LAKE FOREST, CA 92630

**NextG Networks
of
California, Inc**
890 TASMAN DRIVE
MILPITAS, CA 95035-7439

SITE NAME: TSR12
TMB1006CA-TSR12

SITE ADDRESS: THOMAS BROS. PAGE 997 GRID C2
ROW ADJACENT WEST SIDE OF SHEFFIELD DRIVE
(ADJACENT TO 453 SHEFFIELD DR.)
SANTA BARBARA, CA 93108
LAT: 34.430900°
LONG: -119.605150°

TITLE SHEET

WG. NAME:	DRAWN BY: FC	DATE: 04/04/2011
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1-

REV.	DATE/REV.	REVISION DESCRIPTION
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1	03/07/2012	ISSUED FOR E.A.
2	04/04/2012	ISSUED FOR E.C.
3	06/20/2012	ISSUED FOR E.C.
4	09/14/2012	ISSUED FOR E.C.

ENGINEER/CONSULTANT:

Civil Engineer

CDG

CONNELL DESIGN GROUP, LLC

CONSULTING CIVIL ENGINEERS

2845 BACCHIO PARKWAY SOUTH LAKE FOREST, CALIFORNIA 94599

(949) 751-8807 OFFICE • (949) 751-8811 FAX

CLIENT:

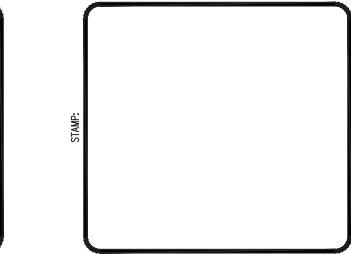
NextG Networks

of

California, Inc

880 TASMAN DRIVE

MILPITAS, CA 95035-7439



SITE INFO:

SITE NAME: **TSR12**

TMB1006CA-TSR12

SITE ADDRESS: THOMAS BROS PACE 997 GRID C2

ROW ADJACENT WEST SIDE OF SHEFFIELD DRIVE

(ADJACENT TO 453 SHEFFIELD DR)

SANTA CLARA COUNTY, CA 95108

LAT: 34.4309005

LONG: -118.6515507

SHEET TITLE:

SITE PLAN / DETAILS

DRAWING INFO:

DRAWN BY: FC

DATE: 04/04/2012

SHEET NUMBER:

A-1



EXISTING PHOTO

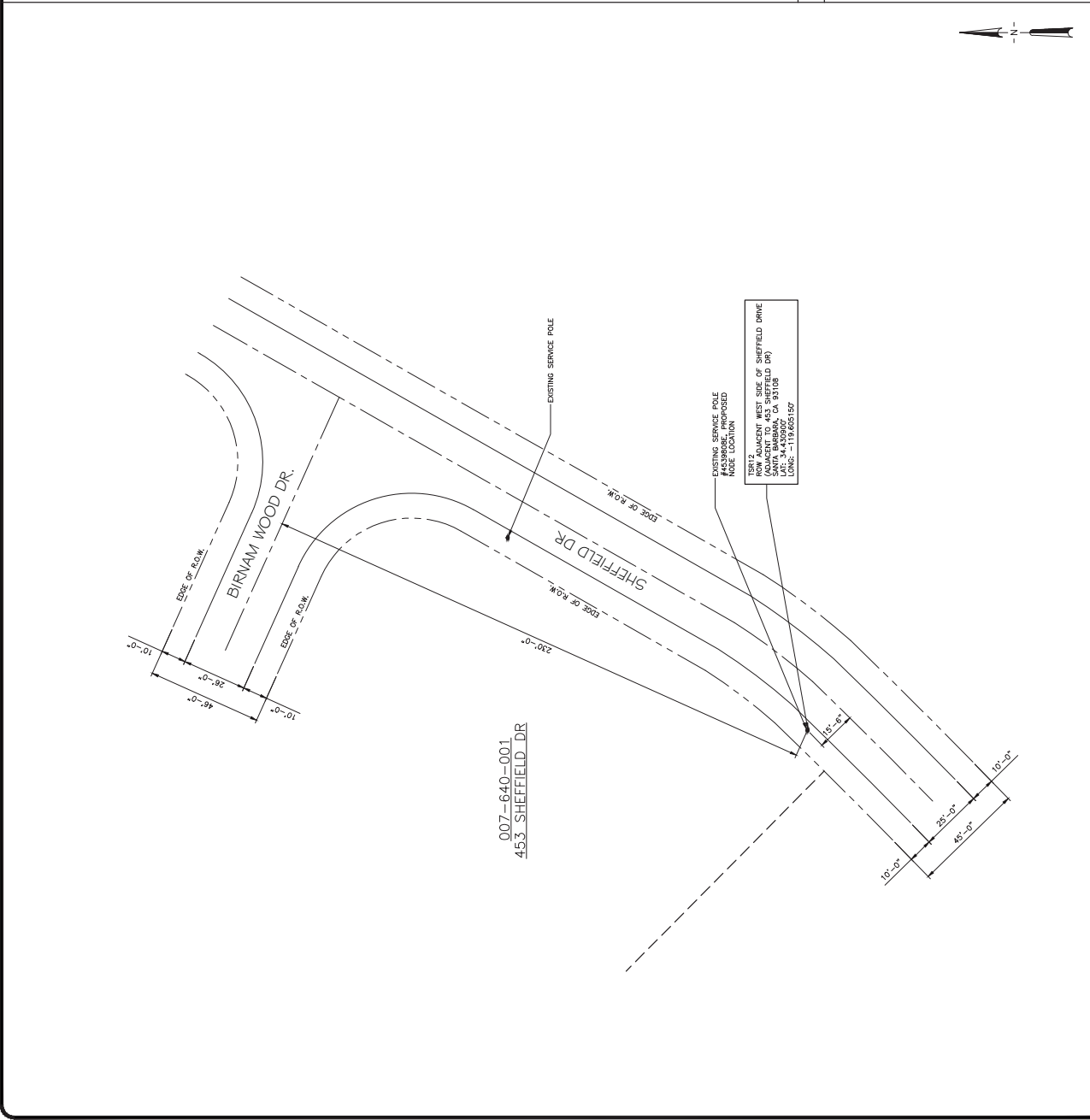
POLE WILL BE STEPPED IN ACCORDANCE TO CG95 STANDARDS IN RESPECT TO CLIMBING SPACE.

1-2" NEXTG RISER @ 10:00

1-1" POWER RISER @ 8:00

SCALE: N.T.S.

3



REV.	DATE/REV.	REVISION DESCRIPTION
0	02/28/2012	ISSUED FOR REVIEW
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2	04/04/2012	ISSUED FOR REVIEW
3	06/20/2012	ISSUED FOR REVIEW
4	09/14/2012	ISSUED FOR REVIEW

ENGINEER/CONSULTANT:

Civil Engineer



CONNELL DESIGN GROUP, LLC
CONSULTING CIVIL ENGINEERS
2505 BACCHIO PARKWAY SOUTH LAKE FOREST, CA 92650
(949) 751-8800 OFFICE • (949) 751-8801 FAX

CLIENT:

**NextG Networks
of
California, Inc**
890 TASMAN DRIVE
MILPITAS, CA 95035-7439

STAMP:

SITE INFO:

SITE NAME:
TSR12
TMB1006CA-TSR12
SITE ADDRESS: THOMAS BROS PACE 997 GRID C2
ROW ADJACENT WEST SIDE OF SHEPHERD DRIVE
SANTA ANITA, CA 93006
LAT: 34.429007
LONG: -119.605107

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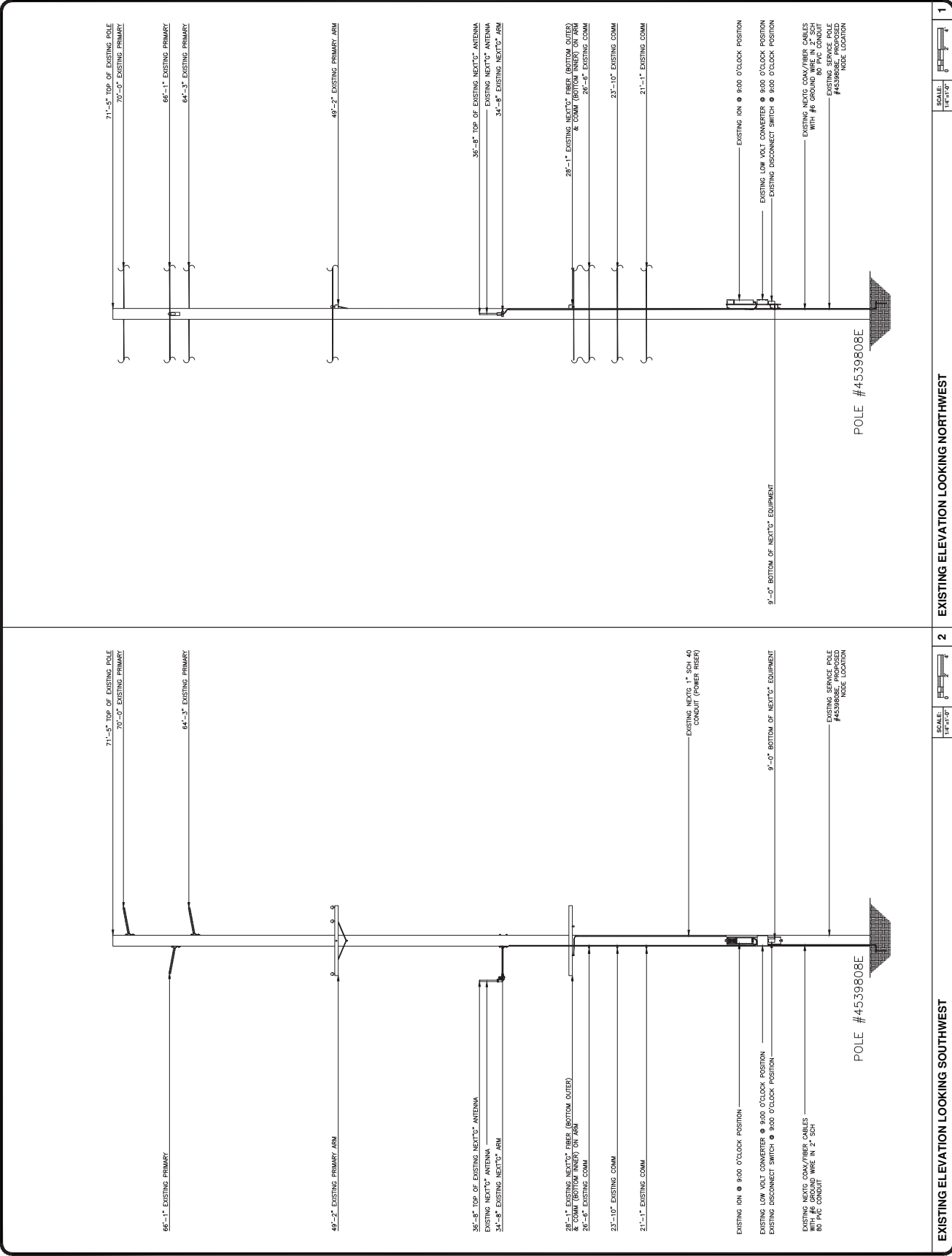
ELEVATIONS

DRAWING INFO:

DWG. NAME:
FC
DATE:
04/04/2012

SHEET NUMBER:

A-2



NOTE:
ANTENNAS TO BE PAINTED DARK GREEN

71'-5" TOP OF EXISTING POLE
70'-0" EXISTING PRIMARY

66'-1" EXISTING PRIMARY

64'-3" EXISTING PRIMARY

49'-2" EXISTING PRIMARY ARM

PROPOSED OMNI-DIRECTIONAL
ANTENNA (AMPHENOL MODEL
W850000000000000) TO
REPLACE EXISTING

36'-8" TOP OF PROPOSED NEXTG[®] ANTENNA

PROPOSED OMNI-DIRECTIONAL
ANTENNA (AMPHENOL MODEL
W850000000000000) TO
REPLACE EXISTING

34'-8" PROPOSED NEXTG[®] 6'-0" ANTENNA ARM

28'-1" EXISTING NEXTG[®] FIBER (BOTTOM OUTER)
& COM1 (BOTTOM INNER) ON ARM

26'-8" EXISTING COM1

23'-10" EXISTING COM1

21'-1" EXISTING COM1

PROPOSED OMNI-DIRECTIONAL
ANTENNA (AMPHENOL MODEL
W850000000000000) TO
REPLACE EXISTING

EXISTING LOW VOLT CONVERTER @ 9:00 O'CLOCK POSITION

EXISTING DISCONNECT SWITCH @ 9:00 O'CLOCK POSITION

EXISTING NEXTG[®] COM/FIBER CABLES
WITH #6 GROUND WIRE IN 2" SCH
80 PVC CONDUIT

POLE #4539808E

EXISTING NEXTG[®] 1" SCH 40
CONDUIT (POWER RISK)

EXISTING OMNI @ 9:00 O'CLOCK POSITION

PROPOSED NEXT G EQUIPMENT SHROUD
@ 9:00 O'CLOCK POSITION

9'-0" BOTTOM OF NEXTG[®] EQUIPMENT

EXISTING SERVICE POLE
PASSAGE, PROPOSED
NODE LOCATION

PROPOSED ELEVATION LOOKING SOUTHWEST

SCALE:
1"=10'-0"

2

NOTE:
ANTENNAS TO BE PAINTED DARK GREEN

71'-5" TOP OF EXISTING POLE
70'-0" EXISTING PRIMARY

66'-1" EXISTING PRIMARY

64'-3" EXISTING PRIMARY

49'-2" EXISTING PRIMARY ARM

36'-8" TOP OF PROPOSED NEXTG[®] ANTENNA

PROPOSED OMNI-DIRECTIONAL
ANTENNA (AMPHENOL MODEL
W850000000000000) TO
REPLACE EXISTING

34'-8" PROPOSED NEXTG[®] 6'-0" ANTENNA ARM

28'-1" EXISTING NEXTG[®] FIBER (BOTTOM OUTER)
& COM1 (BOTTOM INNER) ON ARM

26'-8" EXISTING COM1

23'-10" EXISTING COM1

21'-1" EXISTING COM1

EXISTING OMNI @ 9:00 O'CLOCK POSITION

PROPOSED NEXT G EQUIPMENT SHROUD
@ 9:00 O'CLOCK POSITION

EXISTING LOW VOLT CONVERTER @ 9:00 O'CLOCK POSITION

EXISTING DISCONNECT SWITCH @ 9:00 O'CLOCK POSITION

EXISTING NEXTG[®] COM/FIBER CABLES
WITH #6 GROUND WIRE IN 2" SCH
80 PVC CONDUIT

EXISTING SERVICE POLE
PASSAGE, PROPOSED
NODE LOCATION

POLE #4539808E

PROPOSED 17'-0" S&E
HANDHOLE

PROPOSED ELEVATION LOOKING NORTHWEST

SCALE:
1"=10'-0"

1

REV.	DATE/REV.	REVISION DESCRIPTION
0	02/27/2012	ISSUED FOR PERMIT
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4	09/14/2012	ISSUED FOR F.C.

ENGINEER/CONSULTANT:

Civil Engineer



CONNELL DESIGN GROUP, LLC
CONSULTING CIVIL ENGINEERS
2385 BACCHIO PARKWAY SOUTH LAKE FOREST, CA 92609
(949) 751-8800 OFFICE • (949) 751-8801 FAX

CLIENT:

**NextG Networks
of
California, Inc**
880 TASMAN DRIVE
MILPITAS, CA 95035-7439

STAMP:

SITE INFO:

SITE NAME:
TSR12
TMB1006CA-TSR12
SITE ADDRESS: THOMAS BROOKS PACE 997 GRID C2
(ADJACENT WEST SIDE OF SHEPHERD DRIVE)
SANTA ANA, CALIFORNIA 92706
LAT: 34.439900
LONG: -118.605100

SHEET TITLE:

ELEVATIONS

DRAWING INFO:

DWG. NAME: FC
DATE: 04/04/2012

SHEET NUMBER:

A-3

REV.	DATE/APP.	REVISION DESCRIPTION
0	02/28/2012	ISSUED FOR EXAM
1	03/07/2012	ISSUED FOR EXAM
2	04/04/2012	ISSUED FOR FC
3	06/20/2012	ISSUED FOR FC
4	09/14/2012	ISSUED FOR FC

ENGINEER/CONSULTANT:

Civil Engineer

CDG

CONNELL DESIGN GROUP, LLC
CONSULTING CIVIL ENGINEERS
3245 BACCHUS PARKWAY SOUTH LAUREL PARK, CA 95008
(949) 751-8000 OFFICE • (949) 751-8001 FAX

CLIENT:

NextG Networks
of
California, Inc
880 TASMAR DRIVE
MILPITAS, CA 95035-7439

STAMP:

SITE INFO:

SITE NAME: TSR12
TMB1006CA-TSR12

SITE ADDRESS: THOMAS BROOKS PACE 997 GRID C2
ROW ADJACENT TO 453 SHEFFIELD DRIVE
(ADJACENT TO 453 SHEFFIELD DRIVE)
SANTA CLARA COUNTY, CA 95008
SANTA CLARA, CA 95050
LONG: -118.805507

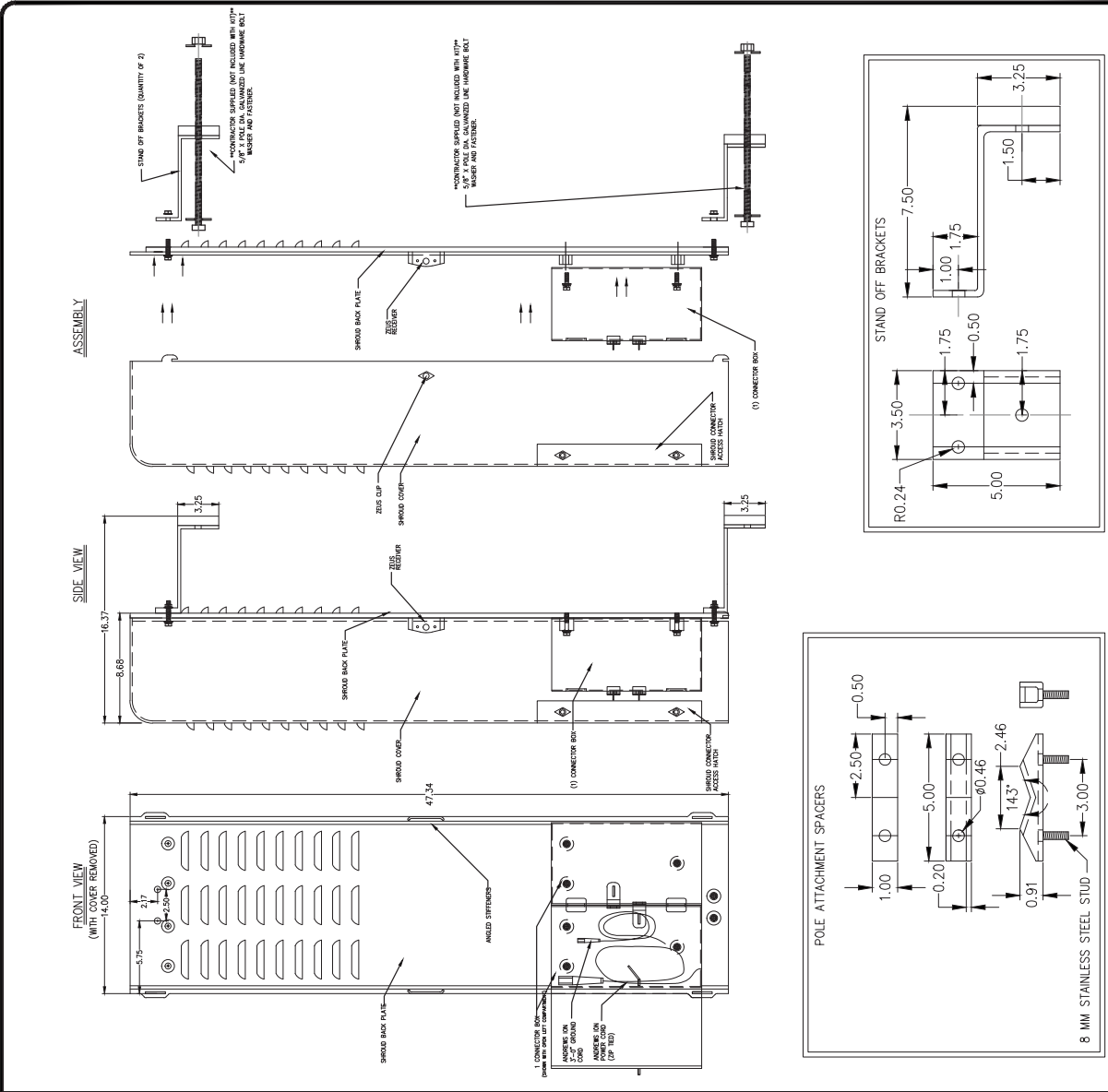
SHEET TITLE:

DETAILS

DWG. NAME:	DATE:
FC	04/04/2012

SHEET NUMBER:

D-1



GENERAL NOTES

1. PERSONS OF THESE PLANS BY THE COUNTY ENGINEER DOES NOT AUTHORIZE ANY WORK TO BE PERFORMED UNTIL A PERMIT HAS BEEN OBTAINED.
2. NO WORK SHALL BE PERMITTED ON WEEKENDS OR HOLIDAYS WITHOUT PERMISSION FROM THE ENGINEERING DEPARTMENT.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR OBTAINING THE NECESSARY INFORMATION FROM THE COUNTY ENGINEER'S OFFICE.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR OBTAINING THE NECESSARY INFORMATION FROM THE COUNTY ENGINEER'S OFFICE.
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SPECIAL NOTES

1. THE FOLLOWING NOTES ARE REQUIRED TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF THE CONTRACT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR OBTAINING THE NECESSARY INFORMATION FROM THE COUNTY ENGINEER'S OFFICE.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR OBTAINING THE NECESSARY INFORMATION FROM THE COUNTY ENGINEER'S OFFICE.
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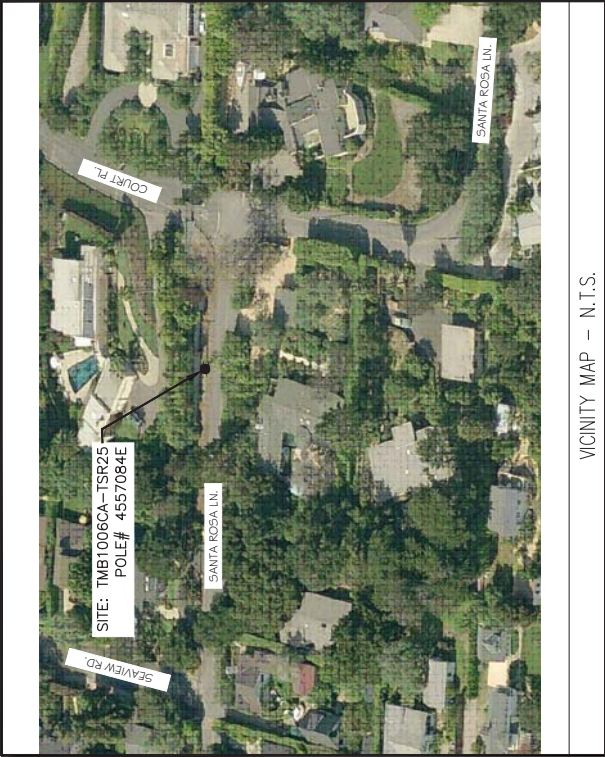


CONSTRUCTION CHANGE TABLE	
CHANGE	DATE























NextG Networks of California, Inc.

TMB1006CA-TSR25

ROW ADJACENT NORTH SIDE OF SANTA ROSA LN
(ADJACENT TO 405 COURT PL)
SANTA BARBARA, CA 93108



VICINITY MAP - N.T.S.

SYMBOLS, LINETYPES AND HATCH PATTERNS	
	GROUND BUS BAR
	MECH. GROUND CONDUIT
	CABLED
	ELECTRIC BOX
	TELEPHONE BOX
	EXISTING SERVICE POLE
	SEMAFLAG
	EX. MANHOLE
	LIGHT POLE
	FOUNDATION
	SPOT ELEV.
	SECTION REF.
	PROP./LEASE LINE
	MATCH LINE
	WORK POINT
	TELE CONDUIT
	CENTERLINE
	ELECT. CONDUIT
	CONDUIT
	INVERTERS PEDESTAL
	VAULT
	STANDARD 2 1/2" STEEL POLE

SHEET INDEX:

TITLE SHEET	1-1 - SHEET 1 OF 7
SITE PLAN	A-1 - SHEET 2 OF 7
PROPOSED ELEVATIONS	A-2 - SHEET 3 OF 7
DETAILS	D-1 - SHEET 4 OF 7
DETAILS	D-2 - SHEET 5 OF 7
DETAILS	D-3 - SHEET 6 OF 7
DETAILS	D-4 - SHEET 7 OF 7

PROJECT DESCRIPTION

THE PROJECT IS THE INSTALLATION OF TRAFFIC CONTROL SIGNALS AND ASSOCIATED EQUIPMENT CABINETS FOR NEXTG NETWORKS OF CALIFORNIA, INC. (NOC) AT THE INTERSECTION OF SANTA ROSA LN AND COURT PL.

APPLICABLE CODES

ALL WORK SHALL COMPLY WITH THE FOLLOWING APPLICABLE CODES:
2010 CALIFORNIA BUILDING CODE
2010 CALIFORNIA ELECTRICAL CODE
2010 CALIFORNIA PLUMBING CODE
2010 CALIFORNIA FIRE CODE
IN THE EVENT OF CONFLICT, THE MOST RESTRICTIVE CODE SHALL PREVAIL.

EROSION AND SEDIMENT CONTROL NOTES

TEMPORARY EROSION/SEDIMENT CONTROL MEASURES TO PREVENT EROSION AND SEDIMENTATION FROM THE PROJECT SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION.

1. ALL REQUIREMENTS OF THE COUNTY OF SANTA BARBARA, LAND DEVELOPMENT MANUAL, STORM WATER STANDARDS MUST BE INCORPORATED INTO THE DESIGN AND CONSTRUCTION OF THE PROPOSED GRADING/IMPROVEMENTS CONSISTENT WITH THE APPROVED STORM WATER AND/OR WATER POLLUTION CONTROL PLAN (WPP).

2. FOR STORM DRAIN INLETS, PROVIDE A GRAVEL BASIN AND SUMP IMMEDIATELY UPSTREAM OF ANY INLET AS INDICATED ON DETAILS.

3. FOR INLETS LOCATED AT SLOPES ADJACENT TO TOP OF SLOPES, THE CONTRACTOR SHALL PROVIDE A GRAVEL BASIN AND SUMP IMMEDIATELY UPSTREAM OF ANY INLET AS INDICATED ON DETAILS. A MINIMUM OF 10' FREEBOARD EXISTING AND 5' MINIMUM ABOVE THE TOP OF THE INLET. IF FREEBOARD IS NOT PROVIDED BY GRADING SHOWN ON THESE PLANS, THE CONTRACTOR SHALL PROVIDE IT VIA TEMPORARY MEASURES, I.E. GRAVEL BASIN OR Dikes.

4. THE CONTRACTOR OR QUALIFIED PERSON SHALL BE RESPONSIBLE FOR CLEANUP OF SILT AND MUD ON ADJACENT STREETS AND STORM DRAIN SYSTEM DUE TO CONSTRUCTION ACTIVITIES.

5. THE CONTRACTOR OR QUALIFIED PERSON SHALL CHECK AND MAINTAIN ALL UNED DRAINAGE SYSTEMS FOR PROPER OPERATION.

6. THE CONTRACTOR SHALL REMOVE SILT AND DEBRIS AFTER EACH MAJOR DRAINAGE EVENT.

7. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING DRAINAGE SYSTEMS AND ALL NEW DRAINAGE SYSTEMS SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE APPROVED STORM WATER AND/OR WATER POLLUTION CONTROL PLAN (WPP).

8. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING DRAINAGE SYSTEMS AND ALL NEW DRAINAGE SYSTEMS SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE APPROVED STORM WATER AND/OR WATER POLLUTION CONTROL PLAN (WPP).

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REV.	DATE/REV.	REVISION DESCRIPTION
1	03/02/2012	ISSUED FOR PERMITS
2	04/02/2012	ISSUED FOR FINAL
3	04/16/2012	ISSUED FOR FINAL
4	08/02/2012	ISSUED FOR FINAL
5	11/19/2012	ISSUED FOR FINAL

CDG
CONNELL DESIGN GROUP, LLC
CONSULTING CIVIL ENGINEERS
284545 RANCHO PARKWAY SOUTH
SANTA BARBARA, CA 93108
(805) 755-0001 FAX (805) 755-0002

NextG Networks
of
California, Inc
880 TASMAN DRIVE
MILPITAS, CA 95035-7439

STAMP

SITE NAME: TSR25
TMB1006CA-TSR25
SITE ADDRESS: 284545 RANCHO PARKWAY SOUTH
SANTA BARBARA, CA 93108
(805) 755-0001 FAX (805) 755-0002

TITLE SHEET

DWG. NAME: FC
DRAWN BY: FC
DATE: 08/20/2012

SHEET NUMBER: T-1

REV.	DATE/BY:	REVISION DESCRIPTION:
1	03/02/2012 EJA	ISSUED FOR PERMIT
2	04/02/2012 EJA	ISSUED FOR FINAL
3	04/16/2012 EJA	ISSUED FOR FINAL
4	08/20/2012 FC	ISSUED FOR FINAL
5	11/19/2012 FC	ISSUED FOR FINAL

ENGINEER/CONSULTANT:

CDG
CONNELL DESIGN GROUP, LLC
CONSULTING CIVIL ENGINEERS
2505 BACRO PARKWAY SOUTH, LAKE PARK, CA 95009
(916) 751-8807 OFFICE • (916) 751-8811 FAX

CLIENT:

NextG Networks
of
California, Inc
880 TASMAN DRIVE
MILPITAS, CA 95035-7439

STAMP:

SITE INFO:

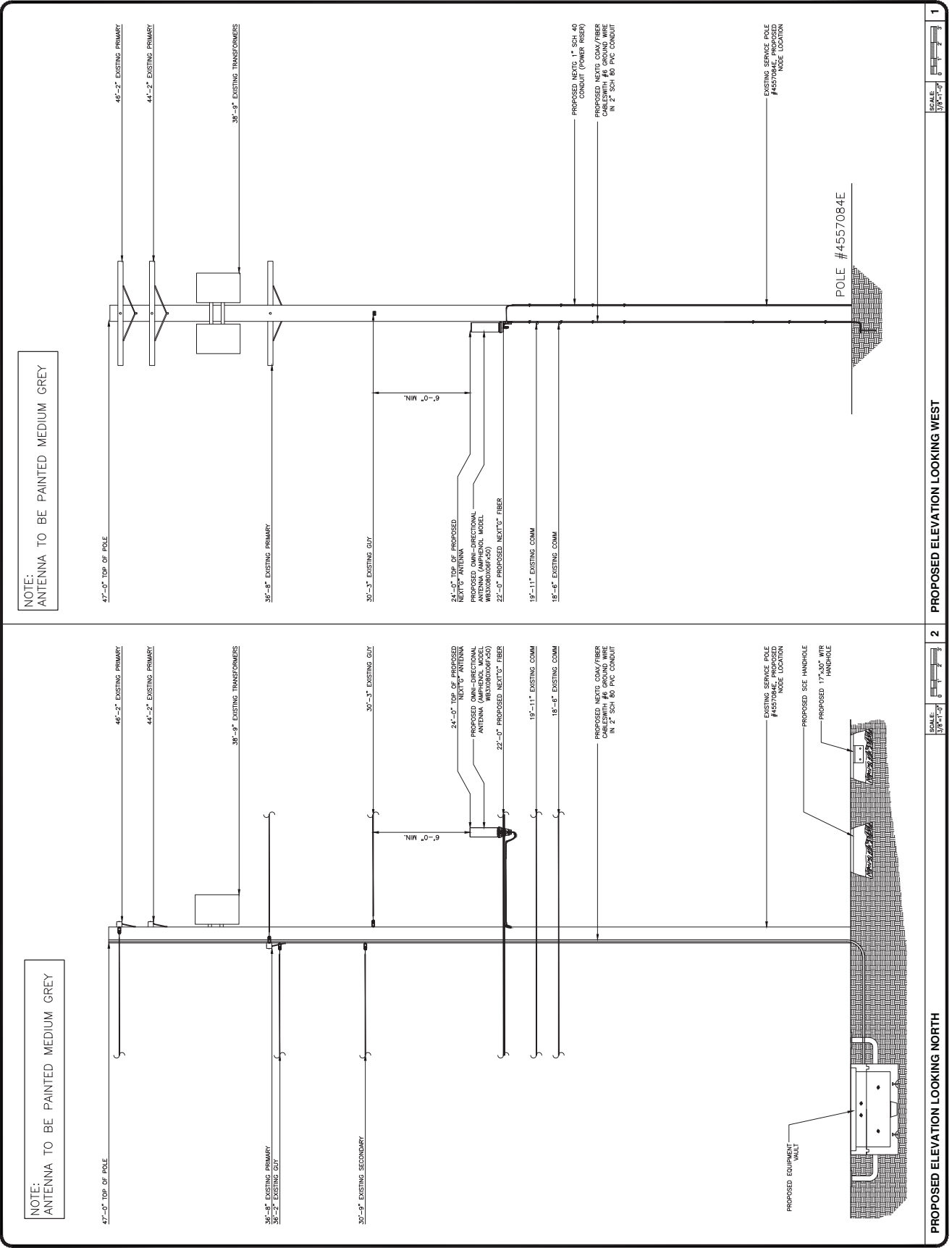
TSR25
TMB1006CA-TSR25

SITE ADDRESS: THOMAS BRIDG PACE 680 02
ROW ADJACENT TO THE SOUTH SIDE OF SANTA ROSA LN
(ADJACENT TO 415 COURT PL)
SANTA BARBARA, CA 93108
LAT: 34.4229285
LONG: -119.682285

ELEVATIONS

DWG. NAME: FC
DATE: 08/20/2012

SHEET NUMBER:
A-2



REV.	DATE/REV.	REVISION DESCRIPTION
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2	04/02/2012	ISSUED FOR FINAL
3	04/02/2012	ISSUED FOR FC
4	04/06/2012	ISSUED FOR FC
5	08/20/2012	ISSUED FOR FC
5	11/19/2012	ISSUED FOR FINAL

ENGINEER/CONSULTANT:

Civil Engineer

CDG

CONNELL DESIGN GROUP, LLC

CONSULTING CIVIL ENGINEERS

3805 BACCHIO PARKWAY SOUTH LAKE PARKER, CA 93008

(909) 751-8000 OFFICE • (909) 751-8001 FAX

CLIENT:

NextG Networks

of

California, Inc

880 TASMAN DRIVE

MILPITAS, CA 95035-7439

STAMP:

SITE INFO:

TSR25

TMB1006CA-TSR25

SITE ADDRESS: THOMAS BRIG PARK 6800 J2 ROW ADJACENT TO 405 SOUTH LAKE PARKER, CA 93008 (ADJACENT TO 405 COURT PL) (SANTA BARBARA, CA 93008)

DATE: 08/20/2012

DWG. NAME: FC

DRAWN BY: FC

DATE: 08/20/2012

SHEET NUMBER: D-1

DETAILS

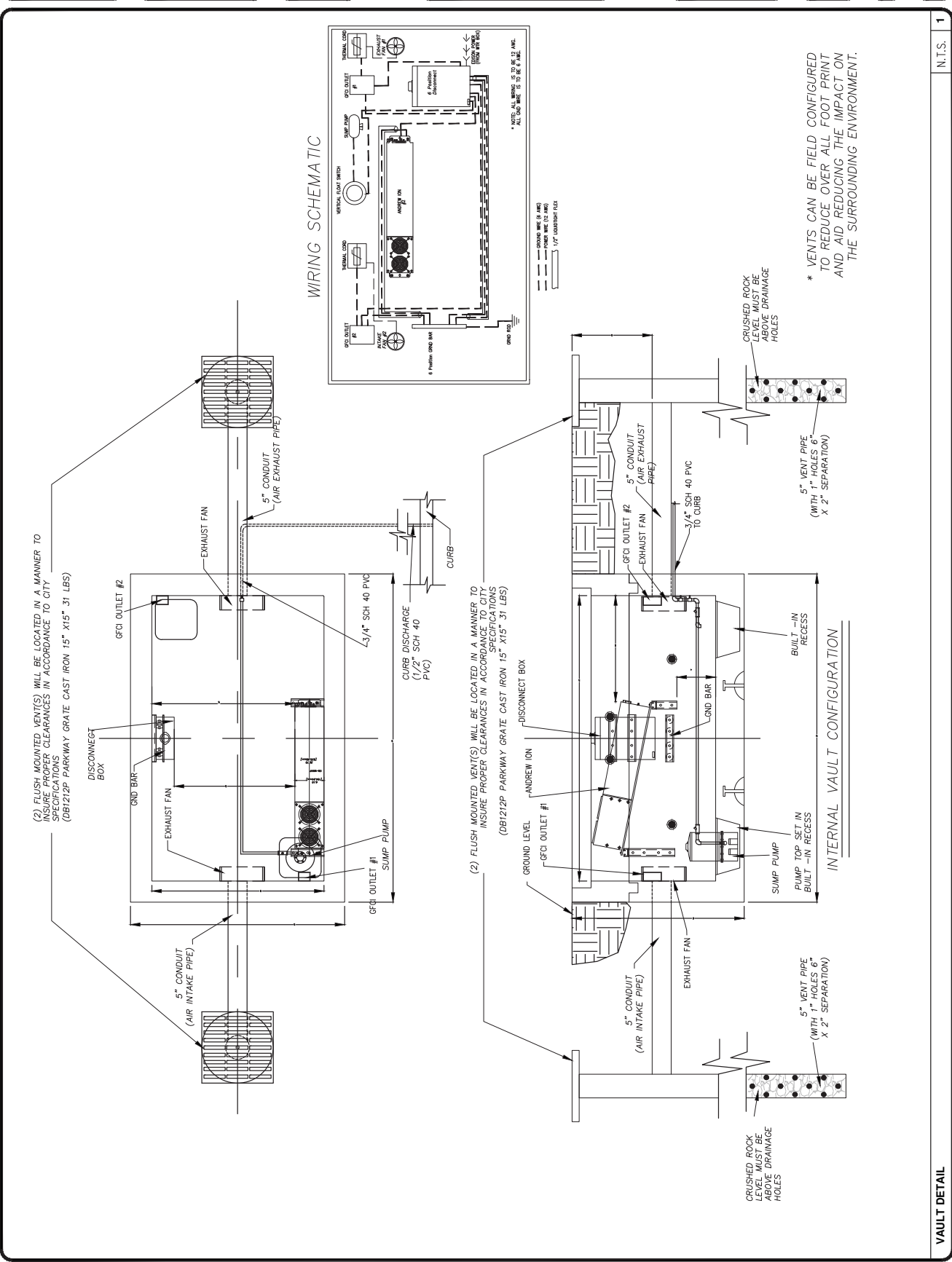
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DRAWN BY: FC

DATE: 08/20/2012

SHEET NUMBER: D-1



REV.	DATE/REV.	REVISION DESCRIPTION
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2	04/02/2012	ISSUED FOR FINAL
3	04/02/2012	ISSUED FOR EXAM
4	04/02/2012	ISSUED FOR FINAL
5	08/20/2012	ISSUED FOR FINAL
6	11/19/2012	ISSUED FOR FINAL

ENGINEER/CONSULTANT:

CDG

CONNELL DESIGN GROUP, LLC
CONSULTING CIVIL ENGINEERS
2805 BAYVIEW PARKWAY SOUTH, LAKELAND, FL 33809
(888) 753-8807 OFFICE • (888) 753-8807 FAX

CLIENT:

NextG Networks
of
California, Inc
880 TASMAN DRIVE
MILPITAS, CA 95035-7439

STAMP:

SITE NAME:

TSR25
TMB1006CA-TSR25

SITE INFO:

SITE ADDRESS: THOMAS BRIDGE PARK 6800 J.
ROW ADJACENT TO THE STATE OF CALIFORNIA
(ADJACENT TO 405 COURT PL)
SANTA BARBARA, CA 93108
LAT: 34.4229585
LONG: -119.685855

SHEET TITLE:

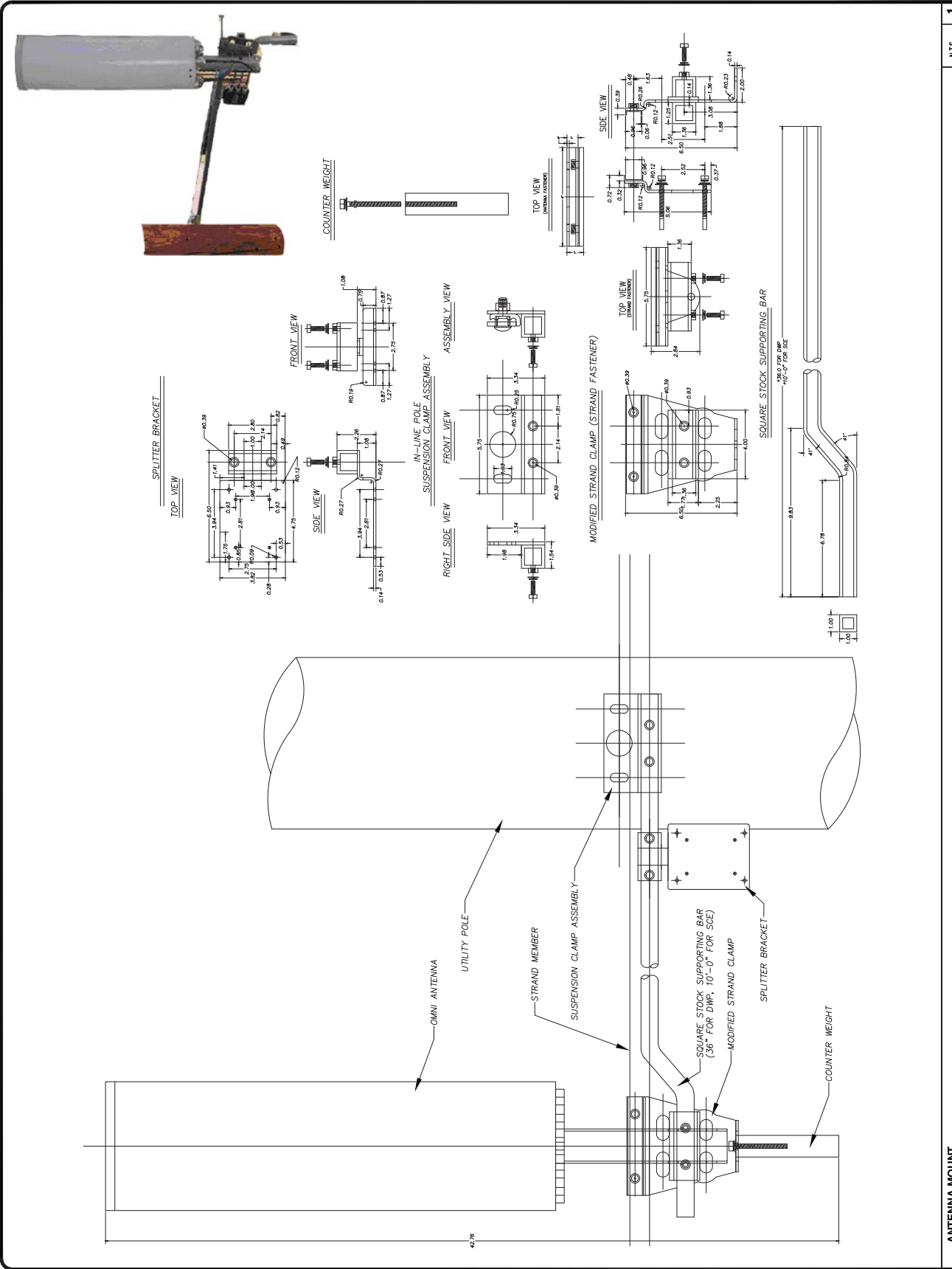
DETAILS

DRAWING INFO:

DWG. NAME: FC
DATE: 08/20/2012

SHEET NUMBER:

D-3



REV.	DATE/REV.	REVISION DESCRIPTION
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2	04/02/2012	ISSUED FOR FINAL
3	04/02/2012	ISSUED FOR EX
4	04/16/2012	ISSUED FOR FINAL
5	08/20/2012	ISSUED FOR FC
5	11/19/2012	ISSUED FOR FINAL

ENGINEER/CONSULTANT:

Civil Engineer

CDG

CONNELL DESIGN GROUP, LLC
CONSULTING CIVIL ENGINEERS
2405 BANCROFT PARKWAY SOUTH, LAKE FOREST, CA 92650
(949) 751-8800 OFFICE • (949) 751-8811 FAX

CLIENT:

NextG Networks
of
California, Inc
880 TASMAN DRIVE
MILPITAS, CA 95035-7439

STAMP:

SITE INFO:

TSR25
TMB1006CA-TSR25

SITE ADDRESS: THOMAS BRIDG PAVE 680 32
ROW ADJACENT TO THE SAN JUAN RIVER
(ADJACENT TO 405 COURT PL)
SANTA BARBARA, CA 93108
LAT: 34.422585
LONG: -119.838585

SHEET TITLE:

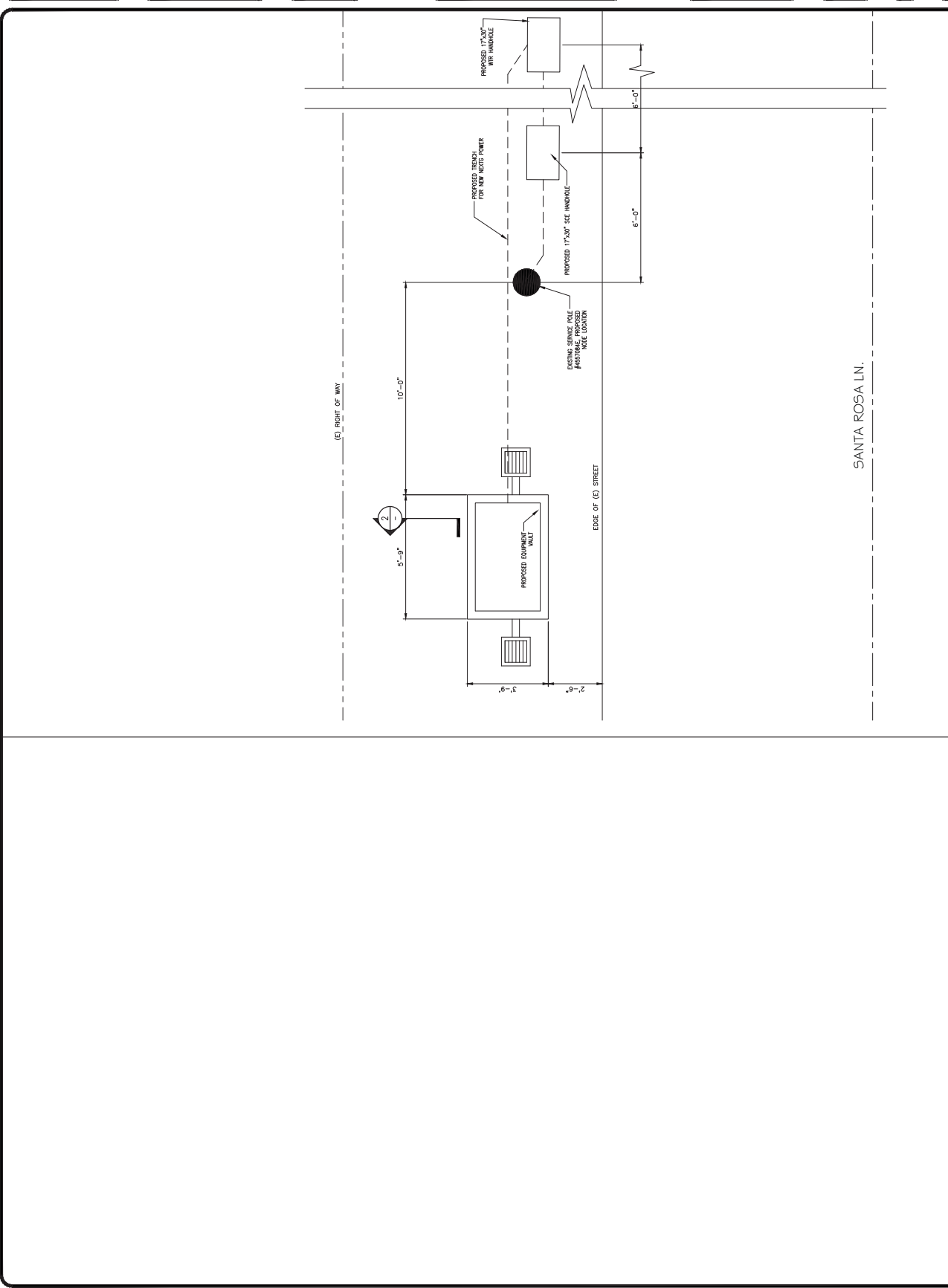
DETAILS

DRAWING INFO:

DWG. NAME: FC
DATE: 08/20/2012

SHEET NUMBER:

D-4



UN-USED	2	1	SCALE: 1/8"=1'-0"	1
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NextG Networks of California, Inc.

TMB1006CA-TSR26

ROW ADJACENT EAST SIDE OF SANTA ROSA LN
(ADJACENT TO 380 SANTA ROSA LN)
SANTA BARBARA, CA 93108

VICINITY MAP - N.T.S.

SYMBOLS, LINETYPES AND HATCH PATTERNS

[illegible]

ALL WORK SHALL COMPLY WITH THE FOLLOWING APPLICABLE CODES:

- *2010 CALIFORNIA BUILDING CODE
- *2010 CALIFORNIA MECHANICAL CODE
- *2010 CALIFORNIA PLUMBING CODE
- *2010 CALIFORNIA ELECTRICAL CODE

IN THE EVENT OF CONFLICT, THE MOST RESTRICTIVE CODE SHALL PREVAIL.

THE PROJECT CONSISTS OF THE INSTALLATION AND OPERATION OF ANTENNAS AND ASSOCIATED EQUIPMENT CABINETS FOR NEXTG. THE INSTALLATION OF EQUIPMENT CABINETS, ANTENNAS ON A NEW 19'-0" STEEL POLE (25 TOTAL HEIGHT)

TITLE SHEET	T-1 - SHEET 1 OF 6
SITE PLAN	A-1 - SHEET 2 OF 6
PROPOSED ELEVATIONS	A-2 - SHEET 3 OF 6
DETAILS	D-1 - SHEET 4 OF 6
DETAILS	D-2 - SHEET 5 OF 6
DETAILS	D-3 - SHEET 6 OF 6

EROSION AND SEDIMENT CONTROL NOTES

TEMPORARY EROSION/SEDIMENT CONTROL, PRIOR TO COMPLETION OF FINAL IMPROVEMENTS, SHALL BE PERFORMED BY THE CONTRACTOR OR QUALIFIED PERSON AS INDICATED BELOW:

1. ALL REQUIREMENTS OF THE COUNTY OF SANTA BARBARA "LAND DEVELOPMENT MANUAL, STORAGE STANDARDS" MUST BE INCORPORATED INTO THE DESIGN AND CONSTRUCTION OF THE PROPOSED GRADING/IMPROVEMENTS CONSISTENT WITH THE APPROVED STORM WATER AND/OR WATER POLLUTION CONTROL PLAN (WQCP).
2. FOR STORM DRAIN INLETS, PROVIDE A GRAVEL BAG SALT BASIN IMMEDIATELY UPSTREAM OF INLET AS INDICATED ON DETAILS.

2. FOR STORM DRAIN INLETS, PROVIDE A GRAVEL BAG SILT BASIN IMMEDIATELY UPSTREAM OF INLET AS INDICATED ON DETAILS.
3. FOR INLETS LOCATED AT SUMPS ADJACENT TO TOP OF SLOPES, THE CONTRACTOR SHALL ENSURE THAT WATER DRAINING TO THE SUMP IS DIRECTED INTO THE INLET AND THAT A MINIMUM OF 1.00" FREEBOARD EXISTS AND IS MAINTAINED ABOVE THE TOP OF THE INLET. IF FREEBOARD IS NOT PROVIDED BY GRADING SHOWN ON THESE PLANS, THE CONTRACTOR SHALL PROVIDE IT VIA TEMPORARY MEASURES (E.G. GRAVEL RIGS OR DUMPS).

4. THE CONTRACTOR OR QUALIFIED PERSON SHALL BE RESPONSIBLE FOR CLEANUP OF SILT AND MUD ON ADJACENT STREET(S) AND STORM DRAIN SYSTEM DUE TO CONSTRUCTION ACTIVITY.
5. THE CONTRACTOR OR QUALIFIED PERSON SHALL CHECK AND MAINTAIN ALL UND AND UNLINED DITCHES AFTER EACH RAINFALL.
6. THE CONTRACTOR SHALL REMOVE SILT AND DEBRIS AFTER EACH MAJOR RAINFALL.
7. EQUIPMENT AND MACHINERY FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON, ALL NECESSARY MATERIALS SHALL BE STOCKPILED ON SITE AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY EROSION CONTROL MEASURES WHEN RAIN IS IMMINENT.

8. THE CONTRACTOR SHALL RESTORE ALL EROSION/SEDIMENT CONTROL MEASURES TO WORKING ORDER TO THE SATISFACTION OF THE COUNTY ENGINEER OR RESIDENT ENGINEER AFTER EACH RUN-OFF PRODUCING RAINFALL.
9. THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION CONTROL MEASURES AS MAY BE REQUIRED BY THE RESIDENT ENGINEER DUE TO UNCOMPLETED GRADING OPERATIONS OR UNFORSSEEN CIRCUMSTANCES, WHICH MAY ARISE.
10. THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC INGRESS ONTO AREAS WHERE ADJACENT INTERESTS CREATE A HAZARDOUS CONDITION.

11. ALL EROSION/SEDIMENT CONTROL MEASURES PROVIDED PER THE APPROVED GRADING PLAN SHALL BE INCORPORATED HEREON. ALL EROSION/SEDIMENT CONTROL FOR INTERM CONDITIONS SHALL BE DONE TO THE SATISFACTION OF THE RESIDENT ENGINEER.

12. GRADED AREAS AROUND THE PROJECT PERIMETER MUST DRAIN AWAY FROM THE FACE OF THE SLOPE AT THE CONCLUSION OF EACH WORKING DAY.

13. ALL REMOVABLE PROTECTIVE DEVICES SHOWN SHALL BE IN PLACE AT THE END OF EACH

14. THE CONTRACTOR SHALL ONLY GRADE, INCLUDING CLEARING AND GRUBBING FOR THE AREAS FOR WHICH THE CONTRACTOR OR QUALIFIED PERSON CAN PROVIDE EROSION/STABILIZATION CONTROL MEASURES.

15. THE CONTRACTOR SHALL ARRANGE FOR MEETING DURING OCTOBER 1ST TO APRIL 30TH FOR PROJECT TEAM (GENERAL CONTRACTOR, QUALIFIED PERSON, EROSION CONTROL, SUBCONTRACTOR & ANY ENGINEER OF WORK, OWNER AND THE RESIDENT ENGINEER) TO EVALUATE THE ADEQUACY OF THE EROSION/SEDIMENT CONTROL MEASURES AND OTHER RELATED CONSTRUCTION ACTIVITIES.

TRAFFIC CONTROL NOTES

THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN (11" X 17") FOR APPROVAL PRIOR TO STARTING WORK. THE PLAN SHOULD BE SUBMITTED TO THE TRAFFIC CONTROL PERMIT COUNTER. CONTRACTOR SHALL OBTAIN A TRAFFIC CONTROL PERMIT A MINIMUM OF TWO (2) WORKING DAYS PRIOR TO STARTING WORK, AND A MINIMUM FIVE (5) DAYS IF WORK WILL AFFECT A BUS STOP OR AN EXISTING TRAFFIC SIGNAL, OR IF WORK WILL REQUIRE A BOND, OR AILEY CLOSURE.

FOOTAGE TOTALS	
ASPHALT CUT	=
DIRT TRENCH	=
PUNCH THRU	=
BORE	=
TOTAL	=
RARE SUE TOTAL	=

PROJECT DICTIONARY

SITE ADDRESS: ROW ADJACENT EAST SIDE OF SANTA ROSA LN
(ADJACENT TO 380 SANTA ROSA LN)

APPLICANT:

LA VERNE, CA 91750
CONTACT: DANIEL NUESKE
PHONE (909) 247-8218

CIVIL ENGINEER-

26455 RANCHO PARKWAY SOUTH
LAKE FOREST, CA 92630
CONTACT: FRANK CARTER
(949) 310-8233 PHONE
(949) 753-8833 FAX

REV.	DATE/RY:	REVISION DESCRIPTION:
0	E.N 03/01/2012	ISSUED FOR REVIEW
1	E.N 03/05/2012	ISSUED FOR FINAL
2	E.N 04/02/2012	ISSUED FOR FINAL
3	E.N 08/20/2012	ISSUED FOR FINAL
4	FC 09/14/2012	ISSUED FOR FINAL

ENGINEER/CONSULTANT



CLIENT:

**NextG Networks
of
California, Inc**
890 TASMAN DRIVE
MILPITAS, CA 95035-7439

STAMP.

SITE NAME:
TSR26
TMB1006CA-TSR26

SITE INFO:
SITE ADDRESS: THOMAS BROS PAGE 997 GRD A2
ROW ADJACENT EAST SIDE OF SANTA ROSA LN
(ADJACENT TO 380 SANTA ROSA LN)
SANTA BARBARA, CA 93108
LAT: 34.430684°
LONG: -119.625869°

CURRENT TITLE:

TITLE SHEET

DWG. NAME:	DRAWN BY:	DATE:
	FC	04/02/2012

1

GENERAL NOTES

- [illegible]

SPECIAL NOTES

THE FOLLOWING NOTES ARE PROVIDED TO GIVE DIRECTIONS TO THE CONTRACTOR BY THE ENGINEER OF WORK. THE CITY ENGINEER'S SIGNATURE ON THESE PLANS DOES NOT CONSTITUTE APPROVAL OF THESE NOTES AND THE CITY WILL NOT BE RESPONSIBLE FOR THEIR ENFORCEMENT.

- [illegible]

- THE CONTRACTOR SHALL PROVIDE TEMPORARY SUPPORT FOR ALL SEWER AND WATER MAIN UNDER CROSSING IN ACCORDANCE WITH PART 1, SECTION 5-2 OF THE STANDARD SPECIFICATIONS.
- THE CONTRACTOR SHALL REPLACE OR REPAIR ALL TRAFFIC SIGNAL LOOPS, CONDUITS, AND LANE STRIPING DAMAGED DURING CONSTRUCTION.
10. THE CONTRACTOR SHALL SUBMIT WORK PLANS FOR ALL ROSE OPERATIONS TWO WEEKS PRIOR TO COMMENCING WORK.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PORTABLE AND LOCKING OF ALL EXISTING UTILITIES THAT CROSS THE PROPOSED TRUNK LINE AND MAINS MAINLINE 1' MINIMUM CLEARANCE.
12. ALL-BUILT WORK MUST BE SUBMITTED TO THE CITY ENGINEER PRIOR TO ACCEPTANCE OF THIS PROJECT.



CONSTRUCTION CHANGE TABLE

CHANGE	DATE	EFFECTED OR ADDED SHEET NUMBERS

REV.	DATE/REV.	REVISION DESCRIPTION
0	03/27/2012	ISSUED FOR REVIEW
1	03/05/2012	ISSUED FOR REVIEW
2	04/02/2012	ISSUED FOR REVIEW
3	06/20/2012	ISSUED FOR REVIEW
4	09/14/2012	ISSUED FOR REVIEW

ENGINEER/CONSULTANT:

Civil Engineer

CDG

CONNELL DESIGN GROUP, LLC
CONSULTING CIVIL ENGINEERS
2545 BAKER PARKWAY SOUTH, LAKE FOREST, CA 92033
(949) 751-8807 OFFICE • (949) 751-8811 FAX

CLIENT:

NextG Networks
of
California, Inc
890 TASMAN DRIVE
MILPITAS, CA 95035-7439

STAMP:

SITE INFO:

TSR26
TMB1006CA-TSR26

SITE ADDRESS: THOMAS BROS PACE 907 GRID A2
ROW ADJACENT EAST SIDE OF SANTA ROSA LN
(ADJACENT TO 380 SANTA ROSA LN)
SANTA BARBARA, CA 93108
LAT: 34.51535833
LONG: -119.628697

SHEET TITLE:

ELEVATIONS

DWG. NAME:

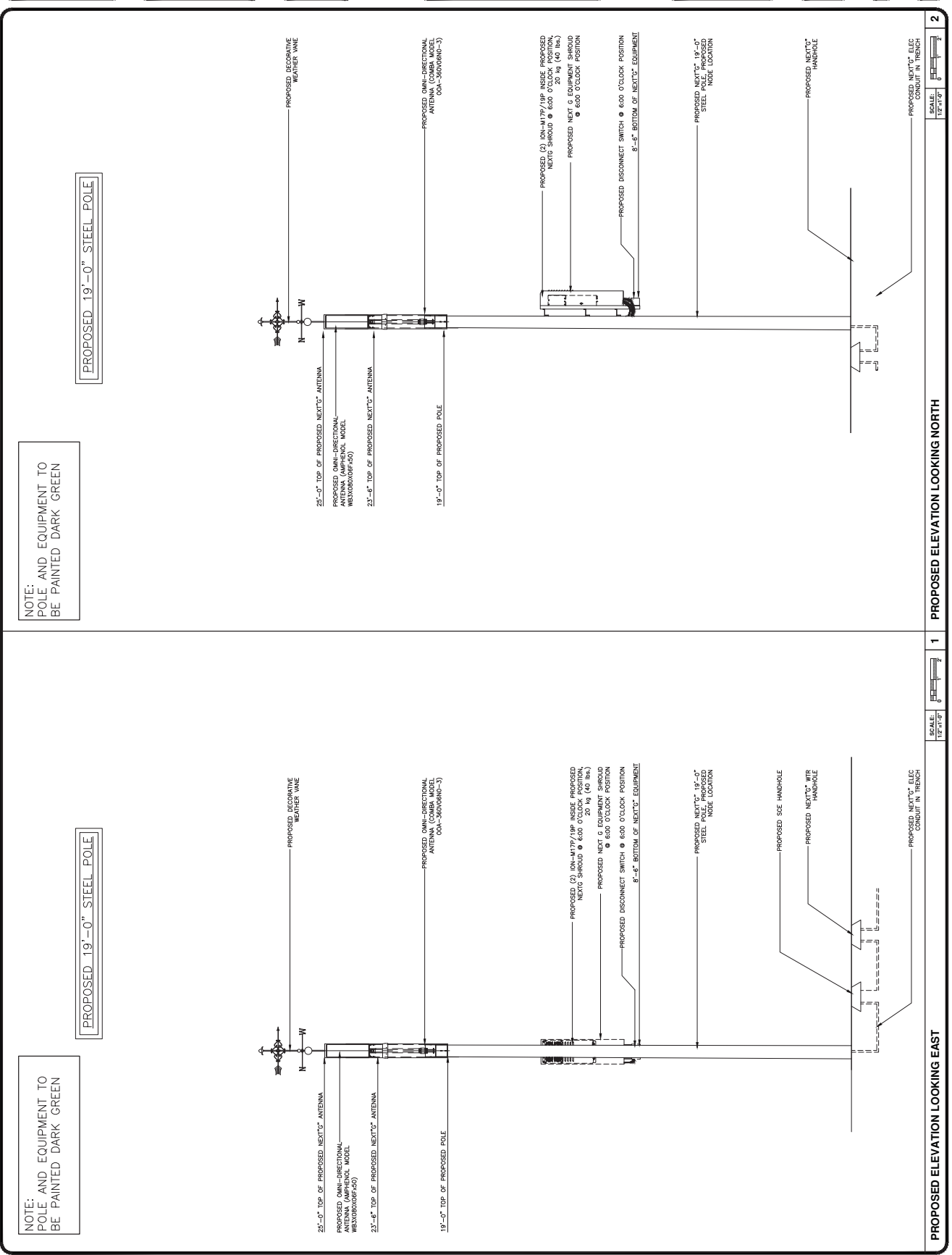
FC

DATE:

04/02/2012

SHEET NUMBER:

A-2



REV.	DATE/REV.	REVISION DESCRIPTION
0	03/27/2012	ISSUED FOR REVIEW
1	03/06/2012	ISSUED FOR FINAL
2	04/02/2012	ISSUED FOR FINAL
3	06/20/2012	ISSUED FOR FINAL
4	03/14/2012	ISSUED FOR FINAL

ENGINEER/CONSULTANT:
Civil Engineer

**CONNELL DESIGN GROUP, LLC**
CONSULTING CIVIL ENGINEERS
2345 BACCHIO PARKWAY SOUTH LAKE PARKER, CA 95009
(949) 751-8007 OFFICE • (949) 751-8011 FAX

CLIENT:

**NextG Networks
of
California, Inc**
880 TASMAN DRIVE
MILPITAS, CA 95035-7439

STAMP:

SITE NAME:
TSR26
TMB1006CA-TSR26

SITE INFO:
SITE ADDRESS: THOMAS BROS PAPER 897 GRID A2
ROW ADJACENT EAST SIDE OF SANTA ROSA LN
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SANTA BARBARA, CA 93108
LAT: 34.51535833
LONG: -119.628697

SHEET TITLE:

DETAILS

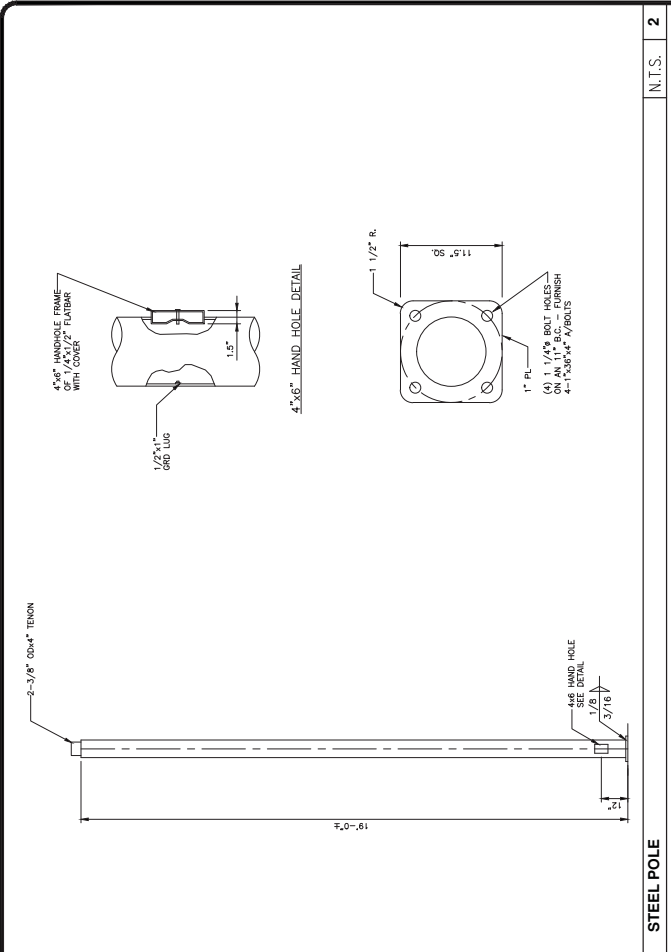
DWG. NAME:

DRAWN BY:
FC

DATE:
04/02/2012

SHEET NUMBER:

D-3



Outdoor Omni-directional Antenna

COMBA

OOA-360V06N0-3 VPol, 696-960/1710-2170MHz, 360°, 40/6.0dBi

Technical Specifications

Electrical

Frequency Range	MHz	696-960	1710-2170
Polarization		Vertical	Vertical
Gain	dBi	4.0±1	6.0±1
Horizontal Beamwidth	deg	360	360
Vertical Beamwidth	deg	22-53	0-8
Electrical Down tilt-Fixed	deg	0-8	20-26
VSWR		1.8	1.8
Maximum Power	W	200	200
Impedance		50	50
Lightning Protection		Direct Ground	Direct Ground

Mechanical

Dimensions, HxIxD	mm (in)	650x60 (25.6x2.4)
Weight, with Mounting kit	kg (lb)	1 (2.2)
Radome Material and Color		Fiberglass, Light Grey
Radiating Element Material		Copper
Connector Type and Location		N-Female, Bottom
Operational Temperature		-55 to +70
Wind Speed	km/h (mph)	200 (124)
Operational Wind Speed	km/h (mph)	670x100x100 (26.4x39x39)
Shipping Dimensions	mm (in)	1.2 (2.65)
Shipping Weight	kg (lb)	

Technical drawing of the antenna. It shows a long, thin cylindrical body with a mounting bracket at one end. The total length of the antenna is labeled as 25.6 inches. The mounting bracket at the top is labeled as 2.4 inches wide.

ANTENNA SPECIFICATION

N.T.S. 3

