

Katherine Douglas

Appellant's Letter

**From:** Steinfeld, Amy <ASteinfeld@bhfs.com>  
**Sent:** Tuesday, December 3, 2024 1:12 PM  
**To:** sbcob; Steve Lavagnino  
**Cc:** King, Veronica; Steinfeld, Amy  
**Subject:** Appellant's Letter re 2929 East Valley Road Appeal from HLAC Landmark Designation (12/10/24 Board Hearing)  
**Attachments:** 12.3 Appeal Letter to Board of Supervisors.pdf

**Caution: This email originated from a source outside of the County of Santa Barbara. Do not click links or open attachments unless you verify the sender and know the content is safe.**

Dear Chair Lavagnino, Honorable Supervisors and Clerk of the Board,

Attached for your review and consideration is a letter on behalf of Mr. Mark Armenante and Mrs. Young Sohn, the owners of 2929 East Valley Road.

We submit this letter in advance of the Board's December 10, 2024 hearing to express our continued opposition to the historic designation of this private home.

Due to the size of the exhibits, we've included them in this link: <https://bhfs.sharefile.com/public/share/web-s598e5fb7b89b4576ae58cb925544003b>.

Please add the letter and exhibits to the record and let us know if you have any questions in advance of the hearing.

Thank you for your time and consideration to this matter.

Best Regards, Amy Steinfeld

***Amy M. Steinfeld***

**Brownstein Hyatt Farber Schreck, LLP**

1021 Anacapa Street, 2nd Floor

Santa Barbara, CA 93101

805.882.1409 tel

805.335.0614 cell

[ASteinfeld@bhfs.com](mailto:ASteinfeld@bhfs.com)

Assisted by: Melissa A. Eldridge, 805.882.1482

***Brownstein - we're all in.***

STATEMENT OF CONFIDENTIALITY & DISCLAIMER: The information contained in this email message is attorney privileged and confidential, intended only for the use of the individual or entity named above. If the reader of this message is not the intended recipient, you are hereby notified that any dissemination, distribution or copy of this email is strictly prohibited. If you have received this email in error, please notify us immediately by calling (303) 223-1300 and delete the message. Thank you.

December 3, 2024

Amy Steinfeld  
Attorney at Law  
805.882.1409 direct  
asteinfeld@bhfs.com

## Via E-Mail

Steve Lavagnino, Chair  
Santa Barbara County  
Board of Supervisors

Delivered via email to sbcob@countyofsb.org, steve.lavagnino@countyofsb.org

RE: 2929 East Valley Road Appeal from HLAC Landmark Designation

Dear Chairman Lavagnino and County Supervisors:

On behalf of Mr. Mark Armenante and Mrs. Young Sohn, the owners (“homeowners”) of 2929 East Valley Road (“Property”), we submit this letter and six exhibits, in advance of Santa Barbara County (“County”) Board of Supervisors’ (“Board”) December 10, 2024 hearing to express our continued opposition to the forced historic designation of their private home.

The Historic Landmarks Advisory Commission (“HLAC”) may designate structures as Historic Landmarks; however, just because HLAC *can* designate a structure does not mean it *should* do so. This is especially true when the homeowners oppose designation, and when the structure is a private home that is not accessible or visible to the public. We respectfully request that the Board deny the forced designation of this Property as a County Historic Landmark for the following reasons:

- The homeowners oppose designation, and it is atypical for structures to be designated as landmarks without owner support.
- The homeowners are careful stewards who have expended tremendous resources, including hiring County-recognized historians to preserve this home for their private use and enjoyment.
- There is no imminent threat to the Property.
- This remote, private residence cannot be viewed from any public road, and has no public elements or access.
- The continued actions of HLAC have garnered media attention and, recently, two trespassers with cameras hopped the fence and entered the Property.
- Designation will increase illegal trespass onto the Property and create public confusion because this private home is not a museum nor will it be open to tours or the public.
- Designation would likely result in a plaque placed on the exterior of the Property to identify the Landmark for the public to see with no statement that the Property is not open to the public.

- Designation of a private home in a rural area of the County is contrary to HLAC’s mission.
- The HLAC process has delayed and distracted from the homeowners’ ongoing efforts to restore and preserve this Property.
- Potential incentives for designation either do not apply or are unwanted by the homeowners.
- Designation will cause additional undue delays and expenses for any future projects, which would require review of even the most minor alterations by up to **11 HLAC commissioners**.
- Designation exposes the Property and homeowners to new requirements when the current or future HLAC establishes new actions and requirements.
- The homeowners have complied with all regulations, policies, and standards in preserving their home.
  - HLAC review would be duplicative of the County’s existing extensive review process for any alterations, repairs, additions or changes to the Property, which require review from South Board of Architectural Review (“SBAR”), review and consistency with state historical policies, the County’s Historical Policies, and the historic preservation policies included in the Toro Canyon Plan.
  - Because this Property is considered a significant historic resource under the California Environmental Quality Act (CEQA), any future “alterations, repairs, additions or changes to the Property,” must undergo CEQA review specific to its historic nature to ensure that the historic resources are not impacted. HLAC’s statement that they are protecting the resource against future owners’ actions is negated by CEQA, and in fact, the only risk to the current and future owners is if HLAC creates new requirements for designated sites.
- Forced designation is a disincentive for homeowners willing and interested in restoring historic homes.

#### **I. Background of HLAC’s Nomination Process**

In January 2022, the homeowners purchased this Property, which included a stone home designed by Carleton M. Winslow in approximately 1918, with the understanding that this home would need significant repairs to restore it to its former glory and make it habitable. As a result, the homeowners immediately hired a pair of County-recognized historians and a renowned architect to ensure that all upgrades and additions were consistent with the home’s historic nature. Through this process, they discovered that the home underwent extensive changes in the 1970s, 80s, and 90s. They also hired a team of land use planners to guide them through the County Process.

Two years into their journey to restore this Property, HLAC unexpectedly nominated this Property to itself in early 2024. It was clear during the February 12, 2024 HLAC meeting<sup>1</sup> that there was discomfort

---

<sup>1</sup> February Meeting, found at <https://www.youtube.com/watch?v=0QJWuIJ1JTk&t=11580s>.



by some HLAC committee members with HLAC nominating properties. HLAC did not make a good faith effort to bring the homeowners on board prior to HLAC's February meeting,<sup>2</sup> and a few commissioners inquired about the owner's opinions on the designation.<sup>3</sup> Had HLAC tried to involve the homeowners prior to nominating the Property for Landmark designation, the homeowners could have voiced their reasons for opposing designation. Despite this lack of notice, on February 5, 2024 and again in March and April 2024, the homeowners' agent sent HLAC letters informing them that the homeowners were not interested in landmark designation.<sup>4</sup> Despite the homeowners' disinterest in designation, HLAC proceeded to nominate their Property.

The following options were discussed at the February HLAC Meeting: (1) wait to take any action until HLAC could speak with the homeowners; (2) move forward with the intention to designate the residence as a Place of Historic Merit without speaking with the homeowners; and (3) move forward with the intention to designate the residence as a Historic Landmark without speaking with the homeowners.<sup>5</sup> Unfortunately, HLAC voted to designate the Property's residence, garage, and designed landscape as a Historic Landmark, but ultimately conceded that the current projects (described below), which were well underway, would be exempted from HLAC review. Because the homeowners' opposition, expressed through their planners was ignored, the homeowners were forced to hire legal counsel to represent their interests.

HLAC then held hearings to designate the Property in June, July, and October 2024. I drafted several opposition letters and appeared at each of the three HLAC hearings to oppose designation. In July, HLAC did what it has never done before—forced a designation on a private property owner. The owners' home was designated as a Landmark despite their continued opposition. The homeowners then appealed the decision to the Board but the Board failed to set a hearing within the 90-day required time period. In October, HLAC re-designated the Property at another hearing. Once again, the homeowners were forced to appear at a third hearing and again appeal the decision.<sup>6</sup>

## **II. Designation is Contrary to HLAC's Mission and the Norms of HLAC Conduct.**

HLAC's stated mission is as follows:

The purpose of the Historic Landmarks Advisory Commission (HLAC) is to promote the economic welfare and prosperity of the County by preserving and protecting those places, sites, buildings, structures, works of art and other objects having a special

---

<sup>2</sup> The homeowners only received email communications from HLAC.

<sup>3</sup> *Id.*

<sup>4</sup> See **Exhibit 1**.

<sup>5</sup> 2-12-24 HLAC Unapproved Minutes,

<https://cosantabarbara.app.box.com/s/srqdru1gy34r74f189ojvd71tiu4vcze/file/1467958700574>.

<sup>6</sup> See **Exhibit 2**.



historic or aesthetic character or interest, **for the use, education and view of the general public and to remind the citizens of this County and visitors from elsewhere of the background of the County.** (Emphasis added.)

Designation of certain historic properties, such as the Coral Casino, the Main-Begg Farmhouse, and the Mattei's Tavern, are appropriate to preserve historic structures that are open to the public, accessible to the public, or visible to the public. This case is different than other recent HLAC designations. For example, the Coral Casino, which sits on one corner of the popular Butterfly Beach, is open to the public through membership, applied for its designation. Likewise, the owners of the Main-Begg Farmhouse applied for designation and now host tours and other history-focused education events. Mattei's Tavern is private property, but is open to the public as a hotel and restaurant, and is visible from Highway 154.

In contrast, here, the homeowners are preserving their rural Property for their private use and enjoyment. This home is not a place for the use, education and view of the general public. Therefore, designating this Property as a landmark is outside of HLAC's mission.

A. It is unusual to designate against a homeowner's wishes.

Typically, property owners nominate their own properties for designation to HLAC (e.g., the Coral Casino, Davison House, and the Union Hotel). In rare situations where HLAC nominates a property, they work with the landowners and come to an agreement before designation. In fact, Section V.5 of the HLAC Bylaws state that if a party other than an owner wishes to submit a nomination, the party is encouraged, but is not required, to consult in good faith with the owner of the property prior to designation.<sup>7</sup> Even the contentious nomination of Mattei's Tavern ended with the owners' approval of designation after significant negotiations between the owners and HLAC.

Thus, while HLAC has the authority to designate structures, they are not required to and should not in this case. It is extremely unusual to designate against an owners' wishes (in fact, we have not identified such a situation in the County). In Santa Barbara County, of the 53 landmarks that have been designated, 27 were designated by the owner as applicant (or owner approval), 21 are unknown (all designated before 2002), and 5 had no owner or were owned by a public agency.<sup>8</sup>

Forced designation against an owners' wishes would not only be unusual for this County, but also for other California cities and counties generally. In Ventura County, the City of San Luis Obispo, and Los Angeles County, there have been 28 homes designated as historic landmarks. Of those 28, at least 25

---

<sup>7</sup> HLAC Bylaws, <https://content.civicplus.com/api/assets/a92ca64e-8686-416b-b2c7-bd192d6c2efe>.

<sup>8</sup> See Exhibit 3.

were nominated by the owner (or an applicant on behalf of the owners). The position of the owner on the other three are unknown.<sup>9</sup> The Board should deny HLAC's designation to ensure HLAC complies with its norms of operation.

- B. It is particularly unusual to designate a property when there is no threat to the property and the property is being carefully preserved, as is the case here.

When there is imminent threat to a property, HLAC understandably wants to act quickly, regardless of the owner's preferences. However, that is not the case here. Not only is there no imminent threat, but in updating and restoring their home, the homeowners have hired renowned experts, including Post/Hazeltine Associates, a County-recognized consulting firm specializing in historic and architectural assessments, and have complied with all applicable County and State policies and regulations, as discussed in Section III below.

1. The homeowners have an appreciation for historic homes and preserve them with care and attention to detail.

The homeowners embarked on a lengthy journey when they purchased this home. This is not their first time restoring a historic home. They have experience with historic homes, including restoration of a 1929 historic Albert Farr home in San Francisco, a farm house designed by Michael Bell, a Columbia University Architecture Professor, and a Barton Myers home. Clearly, the homeowners have an appreciation for historic homes and actively engage in their preservation. Their track record speaks volumes.

When they purchased this home, they were aware of the County's stringent land use requirements but they had no idea that HLAC could nominate this home, let alone designate it against their wishes. Once they purchased the home, they followed every regulation and standard—going above and beyond to ensure the home is restored—at great expense. They were motivated, in large part, to purchase this home and undertake these projects due to their love of architecture and desire to preserve the home's history. Now, their home has become the embodiment of “no good deed goes unpunished” as they face unnecessary resource expenditures and violations of privacy and the implication that their purchase and restoration of the property was for the benefit of the County, not for their private and personal use. It was even stated by one HLAC member that the owners may want to consider hosting tours for the public at some point, which is not the case.

---

<sup>9</sup> See Exhibit 4.

2. The homeowners have followed every regulation and standard, motivated by their appreciation of architecture and desire to preserve the historic nature of this home.

The homeowners were the first to evaluate the home's historic significance. They commissioned Post/Hazeltine Associates to prepare two extensive Historic Resources Technical Reports to evaluate and protect their home's historic nature.<sup>10</sup> Unfortunately, this Post/Hazeltine Associates Report was then used against the homeowners by HLAC to nominate this Property. The owners have spent years diligently studying the Property to ensure it is properly rehabilitated. They hired a talented team of County-recognized historians, engineers, designers, architects, planners, landscape architects, and contractors to ensure that the Property is carefully and faithfully restored and that they can comfortably and privately reside on the Property once the upgrades are completed. This extensive planning, permitting, and construction process will take approximately five years and will cost millions of dollars.

HLAC does not offer expertise beyond what is being offered by the homeowners' historic consultants who have a deeper understanding of the Property and who are County-recognized historians. (In fact, only one HLAC Commissioner is a historian.) Going to HLAC to request review of future minor alternations, such as installation of new windows or a new air-conditioner, has no additional benefit for the homeowners and instead, requires them to spend additional time and money to defend themselves from up-to-eleven additional opinions on whether they can, for example, upgrade their barbecue or windows in the future.

3. The homeowners have already expended considerable resources to preserve their Property.

The homeowners have spent more than \$1.3 million just on the **planning** phase of the home restoration, including hiring the talented team described above. They are doing significant work to ensure the long-term protection of the property, including seismic updates, electrical and plumbing upgrades, and roof repairs. They are undertaking these updates to ensure that this property can continue to exist for at least another century, while still preserving the home's historic nature, which is at the heart of every element of their restoration and preservation plans.

---

<sup>10</sup> Post/Hazeltine Associate prepared two Historic Resources Technical Reports for 2929 East Valley Road: (1) August 18, 2022 Phase 1-2 Report for the interior remodel; and (2) July 10, 2023 Phase 1-2 Report for the removal of a non-historic addition for the garage and its replacement by a new addition, the glazing of an open breezeway connection the house to the garage, and the construction of a one-story wing.



Now the homeowners have been forced to pay to engage legal services to defend their private property against HLAC in each hearing and appeal.

4. Restoration of this Property is ongoing.

Restoration of 2929 East Valley Road is already well underway. There are two phases to the Project. Phase 1 is an interior remodel that has been approved by the County and has received all necessary permits. Phase 1 is in progress and is thus vested. In addition, the homeowners have obtained permission from the County to replace the deteriorated roofing with new slates matching the existing material, dimensions, finish, thickness and color. Post/Hazeltine Associates found that this roofing work was consistent with the Secretary of Interior's Standards for Treatment of Historic Properties, which requires replacement of distinctive features with materials that match the original materials.<sup>11</sup>

Phase 2 includes a residential addition and is nearly through the planning process. The sandstone façade of the home is not being altered, which preserves the home's historic character. Phase 2 plans were submitted to SBAR in June of 2023 and were well-received and approved at a hearing in August 2023. In November 2023, the Coastal Development Permit ("CDP") application was submitted and in July 2024 the County approved the CDP. The Project then received final approval from SBAR, along with accolades, in August 2024. The owners anticipate submitting Building Permit applications in the first quarter of 2025. The following permits have been issued or are expected soon:

- 23CDP-00094 was issued on July 16, 2024.
- 24GRD-00201 was recently submitted for ministerial plan check (grading permit associated with the already issued 23CDP-00094).
- The Building Permit submittal for work associated with 23CDP-00094 is anticipated for the end of the first quarter of 2025.
- Ministerial Building Permits for interior work on the existing house (not under HLAC's purview) are 22BDP-00000-01449, 24REV-00766, and 24REV-00185.
- A revision for interior work was submitted, a case number is pending.

The homeowners have diligently worked through the appropriate channels to ensure their home is both livable and maintains its historic nature. The home is not under any threat. Indeed, it is finally receiving the care and attention it deserves without HLAC's interference. Any future alterations or

---

<sup>11</sup> See March 15, 2024 Post/Hazeltine Associates Historic Resources Letter report Evaluating the Proposed Replacement of Deteriorated Slate Roofing on the House.

additions will go through the same process and be handled with the same care and in compliance with all of the relevant CEQA, County, and local historic policies.

- C. HLAC entered the conversation at the last minute and in a manner that forced the homeowners to expend tremendous resources defending themselves.

In addition to violating HLAC norms by nominating a property over the property owners' wishes, HLAC also violated the owners' trust. HLAC unilaterally nominated the Property at the last minute in an attempt to review a Project already years into the planning process. HLAC had ample opportunity to review the Project and provide public comment to other review boards, such as SBAR, but instead joined late in the process, causing confusion, delay, and frustration for the homeowners.

The continued HLAC meetings and now **second** HLAC appeal have caused and continue to cause uncertainty. As it stands now, the Property has been vacant for years. The owners purchased the dilapidated Property in 2022 and immediately started planning upgrades to the home. They have spent more than three years in the planning process working on this carefully considered goal. The Project has already received many permits and HLAC's review of future projects would only duplicate the extensive review conducted by the owners to ensure consistency with state and federal historic policies.

Despite the homeowners' clearly and consistently stated wishes, HLAC pushed the home through every stage of the HLAC process and have now forced the homeowners to appeal to the Board twice. The homeowners have been forced to hire a land use attorney to appear before HLAC on multiple occasions and now the Board—a considerable waste of time and resources for both the County and homeowners. Now, the Board is forced to spend time on this private matter instead of pressing community issues, which could and should have been avoided if HLAC had acknowledged that the historic integrity of this Property is not in jeopardy and had they listened to the homeowners' wishes. This designation is a low priority for the County because there is no imminent threat and the homeowners want nothing more than to be good stewards of their home and have done nothing to arouse concerns over that stewardship.

- D. The incentives for designation offered by HLAC are either unwanted or do not apply to the homeowners.

HLAC insists that designation comes with incentives in the form of tax benefits and relaxed County building requirements. The homeowners are not interested in these so-called benefits. First, the

homeowners will not qualify for tax benefits.<sup>12</sup> Second, the owners are already taking the utmost care of their property and complying with every necessary County and state requirement while preserving the home's historic elements despite the added difficulty, so they do not need the exceptions in the building code. These "incentives" provide no benefit to the homeowners. Nor do the exceptions to the Building Code automatically allow for elements that prolong the Property's life and preservation like seismic upgrades, etc. To complete such elements, the homeowners would need the local agency to make an express finding that such elements are necessary, further delaying the homeowners' restoration.<sup>13</sup>

- E. The homeowners are private individuals who have been unwillingly thrust into the public spotlight along with their home address.

The homeowners are private individuals who purchased a home in a rural region, setback from a public road.<sup>14</sup> However, due to the continued actions of HLAC, their home address has been published repeatedly and has garnered media attention. This fall, two trespassers with cameras jumped over a fence at the property line and entered their property. The homeowners are justifiably concerned about copycat trespassers due to the continued public hearings, and even more so if the property is designated and their address posted online and marked with a plaque hung on its exterior.

The home is setback on a 10-acre property and is shrouded by oaks. It is not visible from East Valley Road, which means these actions have meaningfully changed the private nature of this home. Any signage applied to this private property indicating it is a Historic Landmark and with the address recorded in public documents will attract people to the private residence, causing safety and security concerns for the homeowners and confusion for members of the public.

### **III. The Project Complies with all Relevant Standards and Requirements and Does Not Need an Additional Layer of Review.**

This Project has already gone through multiple reviews and has met or exceeded all local community, County, and State policies and regulations.

---

<sup>12</sup> Rev. & Tax Code § 17053.91 (b)(3). Additionally, to be a "qualified residence," the individual taxpayer who owns and occupies the residence must have a modified adjust gross income of \$200,000 or less.

<sup>13</sup> California Health & Saf. Code, § 18959.

<sup>14</sup> See Exhibit 5.



A. The Project is consistent with Toro Canyon Plan standards.

The home is located in the Toro Canyon Community Plan Area, which has “establish[ed] ‘ground rules’” for uses and designs that impact Toro Canyon.<sup>15</sup> This Property is not identified as a potential historic resource by the Toro Canyon Plan.<sup>16</sup> However, Post/Hazeltine Associates investigated and determined that the Project is consistent with Toro Canyon Plan standards.<sup>17</sup> Post/Hazeltine Associates also found that Phase 2 would “have a less than significant impact on a significant historical resource.”<sup>18</sup> The Post/Hazeltine Associates Report confirms that the homeowners have met the local community standards for the home.

B. The Project is consistent with County policies.

Santa Barbara County also has policies and standards for historic resources. Post/Hazeltine Associates found the project would have less than a significant impact on a historical resource and therefore complies with County policies.<sup>19</sup> The homeowners have met County historic policies and continue to follow all County land use procedures for all aspects of the project.

C. The Project complies with CEQA.

The Project also complies with CEQA. Pursuant to Public Resources Code Sections 21084.1 and 5024.1, this Property is deemed a historic resource for CEQA purposes.<sup>20</sup> Updates to historic properties can result in adverse changes to the resource and must mitigate these adverse changes.<sup>21</sup> However, Post/Hazeltine Associates found that this project “would have a less than significant impact on a significant historical resource.”<sup>22</sup>

Projects that meet Secretary of the Interior standards are generally considered mitigated. California Code of Regulations Section 15064.5 provides that projects that follow the Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings or the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings by Weeks and Grimmer<sup>23</sup> “shall be

---

<sup>15</sup> Toro Canyon Plan, p. 3 (accessible at <https://cosantabarbara.app.box.com/s/d0zpfiba08pvdly9ifnao5ek2dzzz52>).

<sup>16</sup> See Exhibit 6, Post/Hazeltine Associates Report p. 7 (citing to the County of Santa Barbara 2004: Section D, pg. 156).

<sup>17</sup> *Id.*

<sup>18</sup> Post/Hazeltine Associates Report, p. 31.

<sup>19</sup> Post/Hazeltine Associates Report, pp. 7–8.

<sup>20</sup> Pub. Resources Code, § 21084.1 and § 5024.1.

<sup>21</sup> Cal. Code Regs., tit. 14, § 15064.5(4).

<sup>22</sup> Post/Hazeltine Associates Report, p. 31.

<sup>23</sup> The Secretary of the Interior's Standards for the Treatment of Historic Properties, revised in 2017, <https://www.nps.gov/orgs/1739/upload/treatment-guidelines-2017-part1-preservation-rehabilitation.pdf>.

considered as mitigated to a level of less than a significant impact on the historical resource.”<sup>24</sup> Such is the case here.

The Post/Hazeltine Associates Report confirms the Project complies with these standards. Section 5.2 of the Report analyzes the application of the Secretary of the Interior’s Standards for Rehabilitation to this Project. The Report found that all 10 standards were either met (Standards 1, 2, 5, 9, and 10) or do not apply (Standards, 3, 4, 6, and 7). Therefore, these homeowners are already in compliance with the relevant CEQA requirements for historic resources. Because this Property is a historic resource pursuant to CEQA, any “alterations, repairs, additions or changes to the Property,” will undergo future CEQA review to ensure there will be no impacts to the historic resource. Review by 11 of HLAC’s commissioners is thus unnecessary.

#### **IV. Designating a Private Property Against an Owner’s Wishes Sets Bad Precedent and Will Have Unintended Consequences.**

Santa Barbara County should consider the impacts of this first-of-its-kind decision. Allowing HLAC to unilaterally designate a private home that is facing no harm and, indeed, has been carefully studied to ensure that it is restored faithfully, and where the homeowners’ do not wish to have a designated property could have serious impacts for future homebuyers interest in investing in restoration and preservation in the County. This will be a particular concern for those individuals, like the homeowners here, who have purchased a private property that is not open to the public and never will be. The fact that a committee could swoop in at any moment and force the designation of a home as historic could dissuade other good stewards from purchasing decaying, historic homes.

Santa Barbara County already has stringent permitting standards. The potential for additional, unwanted, and time and labor intensive review at HLAC will likely prevent others from purchasing historic homes in need of restoration. As a result, other historic homes will likely fall into disrepair as they require owners with the time, desire and the resources needed to study and preserve these homes.

HLAC Commissioner Melcombe, who voted twice to deny designation of this Property, summarized the impacts of this unprecedented decision at the July 8, 2024 HLAC hearing as follows:

“Imposition of landmark status without consent fosters mistrust within our community...There has been a long understood, unwritten rule or guideline, that the Commission does not contravene a property owner’s wishes, if that property owner does not want their property landmarked.

---

<sup>24</sup> Cal. Code Regs. tit. 14 § 15064.5(3).

Yes, we did violate that guideline once, and it can be argued that it very well could have been violated a couple more times, had those property owners not conceded. However, those were cases where there was much public concern that those properties were in danger of losing their historic integrity.

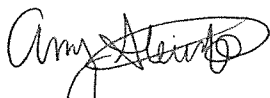
Never, to my knowledge, has this Commission ignored the wishes of private citizen property owners who were already acting as good stewards to their property, to impose a landmark designation. If we continue down this path, landmark designation will not be seen as an honor to brag about, but rather a feared imposition of property rights.”

## V. Conclusion

The Property’s homeowners are thoughtful, careful, and intentional stewards. They fully appreciate their home’s privacy and historic nature and have expended immense efforts and resources to preserve it while ensuring it will one day be fit to live in. Designation of this home as a Historic Landmark could delay their ability to call the Property home and would not bring additional protections for its restoration and preservation beyond what already exists through CEQA and County requirements.

For these reasons, we respectfully request that the Board deny designation of this property and allow the owners to get back to work with their team of County-recognized historians and land use planners to guide them through the restoration and preservation process consistent with the home’s historic nature.<sup>25</sup>

Sincerely,



Amy Steinfeld

---

<sup>25</sup> If the designation moves forward, the homeowners will not consent to the designation and will not sign the Resolution.



# **EXHIBIT 1**

**Santa Barbara County Landmarks**

	Site with Link	Property Owner Obtained Designation	Property Owner Agreed to Designation	Property Owner Public Entity	Property Owner Agreement Unknown
1.	<a href="#">Sisquoc Church</a>	X			
2.	<a href="#">Manzana School House</a>				X
3.	<a href="#">Artesia School</a>				X
4.	<a href="#">Ballard County Church aka Lopez Funeral Home</a>				X
5.	<a href="#">Ballard School</a>				X
6.	<a href="#">Stow House</a>				X
7.	<a href="#">Foxen Adobe Site</a>		X		
8.	<a href="#">Dabney Cabin</a>			X	
9.	<a href="#">Pine Grove Cemetery</a>			X	
10.	<a href="#">Thomas Hope Mansion</a>	X			
11.	<a href="#">Santa Ynez Branch Library</a>	X			
12.	<a href="#">Rancho el Alamo Pintado Adobe / Rideau Winery Tasting Room</a>				X
13.	<a href="#">Sunday School Oak</a>			X	
14.	<a href="#">The Joseph Sexton House</a>				X
15.	<a href="#">Glendessary</a>	X			
16.	<a href="#">Deane School Buildings</a>				X
17.	<a href="#">Wulff's Windmill</a>	X			
18.	<a href="#">San Ysidro Adobe</a>	X			
19.	<a href="#">Barn and Spring House 1520 San Marcos Road</a>				X
20.	<a href="#">Ballard Adobes</a>				X
21.	<a href="#">Rancho Las Fuentes Lemon Packing House/ Birnam Wood Clubhouse</a>				X
22.	<a href="#">Goleta Depot</a>				X
23.	<a href="#">Cota Adobe on Rancho Santa Rosa</a>	X			

	Site with Link	Property Owner Obtained Designation	Property Owner Agreed to Designation	Property Owner Public Entity	Property Owner Agreement Unknown
24.	<a href="#">Botanic Garden Mission Dam (&amp; Aqueduct); Santa Barbara Botanic Garden</a>	X			
25.	<a href="#">San Jose Winery</a>				X
26.	<a href="#">Berean Baptist Church/Christian Church at Los Olivos</a>	X			
27.	<a href="#">Devereux Hall</a>				X
28.	<a href="#">Casa Blanca Natatorium</a>	X			
29.	<a href="#">Barnsdall-Rio Grande Gasoline Station</a>				X
30.	<a href="#">Keenan-Hartley House</a>				X
31.	<a href="#">Masini Adobe (Ortega Hill Adobe/Pink Adobe)</a>	X			
32.	<a href="#">Orella Adobes</a>	X			
33.	<a href="#">Leaping Greyhound Bridge</a>		X		
34.	<a href="#">Juarez-Hosmer Adobe and Three (Now Two) Trees</a>				X
35.	<a href="#">World War I Monument</a>			X	
36.	<a href="#">Las Cruces Adobe</a>			X	
37.	<a href="#">Hitching Post</a>				X
38.	<a href="#">Val Verde</a>	X			
39.	<a href="#">Union Hotel, California and Victorian Mansion</a>	X			
40.	<a href="#">The Shrode Produce Company Building</a>				X
41.	<a href="#">Santa Rosa School</a>	X			
42.	<a href="#">Canby House</a>				X
43.	<a href="#">Coral Casino</a>	X			
44.	<a href="#">Irvine-Richard Property</a>		X		
45.	<a href="#">Sisquoc Store</a>	X			
46.	<a href="#">Mattei's Tavern</a>		X		
47.	<a href="#">Bryce Beach Cabana and Funicular</a>	X			
48.	<a href="#">Irene and Frances Rich Beach Cabana</a>	X			
49.	<a href="#">Moody Sisters Cottage</a>		X		



	Site with Link	Property Owner Obtained Designation	Property Owner Agreed to Designation	Property Owner Public Entity	Property Owner Agreement Unknown
50.	<a href="#">Davison House</a>	X			
51.	<a href="#">Main-Begg Farmhouse</a>	X			
52.	<a href="#">Sheldon House</a>		X		
53.	<a href="#">Rocky Nook Park</a>		X		
	TOTALS	21	7	5	20

# **EXHIBIT 2**

### **Designations of Landmarks in Other Counties and Cities**

<b>Ventura County</b>					
	<b>Site + Description</b>	<b>Resolution</b>	<b>Designation Date</b>	<b>Property Owner as Applicant</b>	<b>Obtaining Party Unknown</b>
1.	McNell Ranch <i>1340 McNell Road, Ojai</i>	<a href="#">CHB Resolution No. 2021-4</a>	October 11, 2021	X	
2.	Noble Oaks Estate <i>76 Oak Drive, Ojai</i>	<a href="#">CHB Resolution No. 2021-3</a>	September 20, 2021	X	
3.	Bella Vista Ranch <i>4106 Thacher Road, Ojai</i>	CHB Resolution No. 2022-9	September 20, 2021	X	
4.	General Charles G. Penney Residence <i>4295 Thacher Road, Ojai</i>		November 26, 2018		X
5.	Clyde Thomas Lloyd Residence <i>103 Lake Sherwood Drive, Lake Sherwood</i>		June 27, 2016		X
6.	J.A. Swartz Residence <i>636 West Fifth Street, Oxnard</i>	Oxnard City Council Resolution No. 14,900	February 23, 2016	X	
7.	Preston Butler Residence <i>1190 El Toro Road, Ojai</i>	Resolution No. CH15-0001	August 25, 2014		X
<b>TOTALS</b>				<b>7</b>	<b>3</b>

City of San Luis Obispo					
	Site + Description	Resolution	Designation Date	Property Owner as Applicant	Obtaining Party Unknown
8.	Thomas and May Brecheen House <i>1133 Pismo Street</i>	<a href="#">Resolution No. 11372 (2022 Series)</a>	November 21, 2022	X	
9.	D.M. and Carrie Proper Meredith House <i>1421 Garden Street</i>	<a href="#">Resolution No. 11356 (2022 Series)</a>	October 5, 2022	X	
10.	Muller-Noggle House and Garage <i>211 Chorro Street</i>	<a href="#">Resolution No. 11298 (2022 Series)</a>	January 11, 2022	X	
11.	Page-Selkirk House <i>2424 Sunset</i>	<a href="#">Resolution No. 11274 (2021 Series)</a>	September 21, 2021	X	
12.	Pimentel-Orth House <i>198 Paso Robles</i>	<a href="#">Resolution No. 11274 (2021 Series)</a>	September 21, 2021	X	
13.	Kenneth and Martha Schwartz House <i>201 Buena Vista</i>	<a href="#">Resolution No. 11274 (2021 Series)</a>	September 21, 2021	X	

14.	Dana/Barneberg House <i>531 Dana Street</i>	<a href="#">Resolution No. 11255 (2021 Series)</a>	June 17, 2021	X	
15.	Elbert Earle Christopher House <i>79 Benton</i>	<a href="#">Resolution No. 11242 (2021 Series)</a>	May 9, 2021	X	
16.	Lozelle and Katie Flickinger Graham House <i>1789 Santa Barbara Avenue</i>	<a href="#">Resolution No. 11139 (2020 Series)</a>	July 14, 2020	X	
17.	Virginia Levering Latima House <i>858 Toro Street</i>	<a href="#">Resolution No. 11093 (2020 Series)</a>	March 31, 2020	X	
18.	Miles Fitzgerald Home <i>1568 Higuera</i>	<a href="#">Resolution No. 10941 (2018 Series)</a>	September 26, 2018	X	
19.	1214 Mill Street	<a href="#">Resolution No. 10721 (2016 Series)</a>	July 11, 2016	X	
20.	Robert Pollard House <i>535 Higuera</i>	<a href="#">Resolution No. 10724 (2016 Series)</a>	June 13, 2016	X	
21.	Charles E. Strickland House <i>1152 Buchon</i>	<a href="#">Resolution No. 10565 (2014 Series)</a>	September 14, 2014	X	
TOTALS				14	0



Los Angeles County					
	Site + Description	Resolution	Designation Date	Property Owner as Applicant (or with Consent of Owner)	Obtaining Party Unknown
22.	<a href="#">Doumakes House</a> <i>4918 Angeles Vista Boulevard</i>	<a href="#">Doumakes House</a>	May 17, 2016	X	
23.	<a href="#">McLeod House</a> <i>717 East Baseline Road</i>	<a href="#">McLeod House</a>	October 17, 2017	X	
24.	<a href="#">Anderson House</a> <i>19974 Sischo Drive</i>	<a href="#">Anderson House</a>	June 16, 2020	X	
25.	Packard House <i>1496 N. Dominion Drive</i>	<a href="#">Project No. 2020-000320-(5)</a>	June 16, 2020	X	
26.	Holmes House <i>1022 Parkman Street</i>	<a href="#">Project No. 2020-001589-(5)</a>	February 9, 2021	X	
27.	Pearson House <i>931 New York Drive</i>	<a href="#">Project No. PRJ2023-000484</a>	July 25, 2023	X	
28.	Henry Dart Greene House <i>1405 La Solana Drive</i>	<a href="#">Project No. PRJ2023-004604-(5)</a>	August 6, 2024	X	
TOTALS				7	0

# **EXHIBIT 3**



Santa Barbara County Planning and Development Department

# Appeal Application

County Use Only	Appeal Case No.:
-----------------	------------------

### STEP 1: SUBJECT PROPERTY

005-040-025  
 ASSESSOR'S PARCEL NUMBER(S)  
 2929 East Valley Road  
 PROPERTY ADDRESS (IF APPLICABLE)  
 Santa Barbara, CA 93108  
 BUSINESS/ESTABLISHMENT NAME (IF APPLICABLE)

### STEP 4: APPEAL DETAILS

Is the Appellant the project Applicant?  Yes  No

If not, please provide an explanation of how you are an "aggrieved party", as defined in Step 5 on page 2 of this application form:

See attachment A.

### STEP 2: PROJECT DETAILS

Resolution to Designate the Chaffee Residence and Attached Garage with Landscape Features as Historic Landmark

PROJECT TITLE  
 HLAC Resolution No. 2024-56  
 CASE NO(S)  
 Select HLAC 10/14/2024  
 DECISION MAKER DATE OF ACTION

Is the appeal related to cannabis activities?  Yes  No

### STEP 3: APPEAL CONTACTS

#### APPELLANT

2929 E Valley Road LLC  
 NAME (if LLC or other legal entity, must provide documentation)  
 PO Box 352  
 STREET ADDRESS  
 Manahawkin NJ 08050  
 CITY, STATE ZIP  
 732-682-5045 team@ymfamilyoffice.com  
 PHONE EMAIL

#### AGENT

Steve Fort  
 NAME (if LLC or other legal entity, must provide documentation)  
 1625 State Street, Suite #1  
 STREET ADDRESS  
 Santa Barbara CA 93101  
 CITY, STATE ZIP  
 805-966-2758 x 101 stevef@sepps.com  
 PHONE EMAIL

Please provide a clear, complete, and concise statement of the reasons or ground for appeal:

- Why the decision or determination is consistent/inconsistent with the provisions and purposes of the County's Zoning Ordinances or other applicable law;
- There was error or abuse of discretion;
- The decision is not supported by the evidence presented for consideration;
- There was a lack of a fair and impartial hearing; or
- There is significant new evidence relevant to the decision which could not have been presented at the time the decision was made.
- Coastal Zone – Accessory Dwelling Unit appeals: Appellant must demonstrate that the project is inconsistent with the applicable provisions and policies of the certified Local Coastal Program or that the development does not conform to the public access policies set forth in the Coastal Act.

See Attachment B.

#### ATTORNEY

Amy Steinfeld  
 NAME (if LLC or other legal entity, must provide documentation)  
 1021 Anacapa Street, 2nd Floor  
 STREET ADDRESS  
 Santa Barbara CA 93101  
 CITY, STATE ZIP  
 805-882-1409 asteinfeld@bhfs.com  
 PHONE EMAIL



**STEP 5: APPELLANT, AGENT, AND ATTORNEY ACKNOWLEDGEMENTS**

I hereby certify under penalty of perjury that I have read the information below and that:

1. I have carefully reviewed and prepared the appeal application in accordance with the instructions; and
2. I provided information in this appeal application, including all attachments, which are accurate and correct; and
3. I understand that the submittal of inaccurate or incomplete information or plans, or failure to comply with the instructions may result in processing delays and/or denial of my application; and
4. I understand that it is the responsibility of the applicant/appellant to substantiate the request through the requirements of the appeal application; and
5. I understand that upon further evaluation, additional information/documents/reports/entitlements may be required; and
6. I understand that all materials submitted in connection with this appeal application shall become public record subject to inspection by the public. I acknowledge and understand that the public may inspect these materials and that some or all of the materials may be posted on the Department’s website; and
7. I understand that denials will result in no refunds; and
8. I understand that Department staff is not permitted to assist the applicant, appellant, or proponents and opponents of a project in preparing arguments for or against the project; and
9. I understand that there is no guarantee – expressed or implied – that an approval will be granted. I understand that such application must be carefully evaluated and after the evaluation has been conducted, that staff’s recommendation or decision may change during the course of the review based on the information presented; and
10. I understand an aggrieved party is defined as any person who in person, or through a representative, appears at a public hearing in connection with the decision or action appealed, or who, by the other nature of his concerns or who for good cause was unable to do either; and
11. Pursuant to California Civil Code Section 1633.5(b), the parties hereby agree that where this Agreement requires a party signature, an electronic signature, as that term is defined at California Civil Code Section 1633.2(h), shall have the full force and effect of an original (“wet”) signature. A responsible officer of each party has read and understands the contents of this Agreement and is empowered and duly authorized on behalf of that party to execute it; and
12. I understand that applicants, appellants, contractors, agents or any financially interested participant who actively oppose this project who have made campaign contributions totaling more than \$250 to a member of the Planning Commission or Board of Supervisors since January 1, 2023, are required to disclose that fact for the official record of the subject proceeding. Disclosures must include the amount and date of the campaign contribution and identify the recipient Board member and may be made either in writing as part of this appeal, in writing to the Clerk of the legislative body before the hearing, or by verbal disclosure at the time of the hearing; and
13. If the approval of a Land Use Permit required by a previously approved discretionary permit is appealed, the applicant shall identify:
  - How the Land Use Permit is inconsistent with the previously approved discretionary permit;
  - How the discretionary permit’s conditions of approval that are required to be completed prior to the approval of a Land Use Permit have not been completed;
  - How the approval is inconsistent with Section 35.106 (Noticing).

**REQUIRED SIGNATURES:** All aggrieved parties must sign the appeal application prior to the appeal deadline in order to be considered an aggrieved party. Please attach additional signature pages, as needed.

I have read and understand the above acknowledgements and consent to the submittal of this application.

 Mark Armenante 18 October 2024  
 SIGNATURE – APPELLANT PRINT NAME DATE

 Steve Fort 19 October 2024  
 SIGNATURE – AGENT PRINT NAME DATE

 Amy Steinfeld 21 October 2024  
 SIGNATURE – ATTORNEY PRINT NAME DATE

**Appeals to the Planning Commission.** Appeals to the Planning Commission must be filed with Planning and Development no later than 10 days following the date of the decision, along with the appropriate fees. Please contact P&D staff below for submittal instructions and to determine the appropriate fee.

South County projects: [front@countyofsb.org](mailto:front@countyofsb.org) or (805) 568-2090  
 North County projects: [nczoning@countyofsb.org](mailto:nczoning@countyofsb.org) or (805) 934-6251

**Appeals to the Board of Supervisors.** Appeals to the Board of Supervisors must be filed with the Clerk of the Board and must be filed no later than 10 days following the date of the decision, along with the appropriate fees. Appeal instructions are located online at the Clerk of the Board website: <https://www.countyofsb.org/2837/Filing-Land-Use-Appeals-Claims>

## **Attachment A**

We represent the owners of 2929 East Valley Road ("Property"). The Historic Landmarks Advisory Commission ("HLAC") nominated the Property for designation of a historic landmark, which the owners continue to oppose.

On July 8, 2024, after two contested hearings, HLAC voted 6/8 to designate the Property's Residence and Attached Garage with Sandstone Landscape Features, including the sandstone terrace and outdoor barbecue off the west side of the residence and the plinth and entry gate posts on East Valley Road, despite opposition from Property owners.

On October 14, 2024, HLAC voted to re-designate the Property, which the owners continued to oppose.

## **Attachment B**

HLAC designated the Property as a Historic Landmark despite continued opposition of the owners. We appeal for the following reasons:

1. The owners oppose designation and it is atypical for structures to be designated as landmarks without owner support.
2. Designation will disincentivize other potential home buyers from restoring historic homes if private homes can be designated without the homeowner's consent at any time.
3. There is no imminent threat to the Property. The owners have complied with all County and state rules and are committed to protecting the Property's historic values.
4. Designation will cause undue delays and expenses for the owners as it relates to any future projects (none are planned at this time).
5. HLAC review would be duplicative of the County's extensive review process for any future alterations, repairs, additions or changes to the Property, which already require SBAR review and for the County to find consistency with state historical policies, the County's Historical Policies and the historic preservation policies included in the El Toro Canyon Community Plan.
6. The potential incentives for designation either do not apply or are unwanted by the owners.
7. The Property includes a remote private residence that cannot be viewed from any public road, and no public elements or access.
8. Designation will increase illegal trespass onto the Property and create public confusion because this private home is not a museum nor is it open to tours or public access.
9. Designation is contrary to HLAC's mission.

See also attached letter submitted to HLAC in October which set forth additional reasons for appeal. Note: the wrong resolution was initially uploaded prior to the October hearing, so the concerns about the changes were resolved.

October 9, 2024

Amy Steinfeld  
Attorney at Law  
805.882.1409 direct  
asteinfeld@bhfs.com

## VIA E-MAIL

Keith Coffman-Grey, Chair  
Santa Barbara County  
Historic Landmark Advisory Commission  
Delivered via email to martinj@countyofsb.org, cfmngrey@cox.net

## **RE: 2929 East Valley Road Potential Designation, October 14, 2024 HLAC Meeting**

Dear Chairman Coffman-Grey and Historic Landmark Advisory Commissioners:

On behalf of Mr. Mark Armenante and Mrs. Young Sohn, the owners (“homeowners”) of 2929 East Valley Road (“Property”), we submit this letter in advance of Santa Barbara County Historic Landmark Advisory Commission’s (“HLAC”) October 14 hearing to express our continued opposition to a historical re-designation of their private Property. We have reviewed the draft resolution and are opposed both to the changes from the prior resolution and to the re-designation of the Property. It is unfortunate that HLAC is proposing to re-designate private Property yet again due solely to County delays in setting a Board of Supervisors (“Board”) hearing, unrelated to any actions taken by the homeowners.

Significant changes have been made to the July 8, 2024 Resolution designating the Property. The prior designation included explicit exemptions for the current, permitted projects for the interior of the Property (County Building Permit 22BDP-00000-01449 and 24REV-00185 as well as Coastal Development Permit application number 23-CDP-00094). The current designation states that the interior of the Property is not subject to the resolution; however, it does not state explicitly that the current projects are exempted. The homeowners oppose this hinderance to their current permitted work. Additionally, the new resolution includes “attached garage” inconsistently in the resolution, at times also referring to the “attached residence” instead.

HLAC promised the homeowners at the July 2024 hearing that their current projects, already approved, would not be delayed or postponed. Despite this promise, these protections were removed. If HLAC chooses to re-designate the Property against the homeowners’ wishes, of which we are adamant, we respectfully request that the current resolution be identical to the prior resolution, with the carveouts for the current projects and consistency in the buildings being designated. In addition, Section 2.3 of the resolution appears to grant access to the private Property with permission,



which is absolutely not the case. This is a private residence. The language must be changed as follows for accuracy: “This property is privately-owned and public access is not permitted.”

The homeowners oppose this designation and still are not interested in the exemptions provided by the Historic Building Code. They are already applying the utmost care to the Property and have complied with all necessary County and state requirements. Additionally, the homeowners do not qualify for any tax benefits.

For all the reasons set forth in this letter, and the prior letters and arguments made at the prior HLAC hearings on June 10 and July 8, 2024 which are incorporated herein (see Attachment), the homeowners refuse to sign the draft resolution. Without signatures by the landowner, the resolution is null and void because as written, the resolution requires approval and consent to designate the Property.<sup>1</sup> This language is included in every resolution to require owner consent. We have found no prior situation where the County has proceeded with designation of a private property, not accessible to the public, without the owner’s consent.

In summary, we continue to oppose designation for the following reasons:

- When the homeowners purchased this private Property in 2022, the Property was not designated and they had no expectation that it would be designated against their will by HLAC.
- The homeowners are opposed to designation—it is atypical for structures to receive designation without owner support.
- There is no imminent threat to the Property—the homeowners have complied with all County and state rules at every stage, and are committed to protecting the Property’s historical value, like they have with their homes in other jurisdictions. The current projects will preserve the historical eligibility of the Property.
- The homeowners have spent years diligently studying the Property to ensure it is properly rehabilitated. They have hired a talented team of historians, engineers, designers, architects, planners, landscape architects, and contractors to ensure the Property is carefully restored and that they can reside on the Property once the upgrades are completed. In addition, HLAC does not offer expertise beyond what is being offered by the homeowner’s historic consultants who have a deep understanding of the Property and who are County-recognized historians.

---

<sup>1</sup> The Resolution includes signature lines for owners after this language: “I hereby APPROVE AND CONSENT to designation of the CHAFFEE RESIDENCE AND ATTACHED GARAGE WITH SANDSTONE LANDSCAPE FEATURES as a County of Santa Barbara Historic Landmark pursuant to County Code, Chapter 18A.”

- The homeowners are opposed to the changes made in the draft October resolution that differ from the July 8 Resolution, which the owners also opposed, but was less harmful to their plans to restore the Property based on review and guidance by county-recognized historians. This sleight of hand has caused the homeowners to further lose trust in HLAC because they have received their CDP but have not received building permits; yet another necessary step in the process. The homeowners fear HLAC's amendments to the resolution will further delay the existing planned projects.
- Designation will cause undue delays and expenses for the homeowners as it relates to any future projects (none of which are planned at this time). Just like the existing projects, any future projects will have to go through the extensive County-planning process and receive confirmation that any proposed changes will not impact the historic resource. This County is already one of the most difficult jurisdictions in which to obtain land use and building permits, and now HLAC is proposing yet another layer of review. The homeowners have retained their own historic experts and are not looking for additional, potentially contradictory opinions from up to 11 HLAC members in the event they choose to undertake future home restoration projects.
- This process has created a major disincentive for prospective buyers to purchase and restore old, deteriorating homes in this County. Without homeowners willing to spend time (years!) and a profusion of resources restoring old homes (millions of dollars), these homes will decay.
- The potential incentives for designation either do not apply or are unwanted by the homeowners.
- The Property is located in a rural area of the County, with the home setback on the 10-acre Property and shrouded by oaks. The home is not visible from East Valley Road.
- Any signage applied to the private property indicating it is a historic landmark and with the address documented in public documents will attract people to the private residence, causing safety and security concerns for the homeowners and public confusion.
- This unwanted designation has created a situation where the homeowners are being forced to incur time and resources to oppose the designation, including appealing the designation not once, but twice. Now, the homeowners are being forced to appear before the Board, which takes time and resources away from the Board's consideration of numerous important issues facing the County, such as the dire housing crisis and preparation for floods and fires. Instead of addressing housing and emergency preparedness due to a changing climate, the Board is forced to spend time on this private matter, which could have been avoided if HLAC had

acknowledged that the historic integrity of this private property is not in jeopardy and had they listened to the homeowners' wishes.

- At the Board hearing, the Board will be forced to choose between HLAC and homeowners who have been coordinating with County Planning and Development Staff for years and who received accolades from the County's South Board of Architectural Review at two separate hearings for their thoughtful design and diligent rehabilitation of the Property. Truly, no good deed goes unpunished.

In short, the homeowners adamantly oppose designation. if you are inclined to re-designate the Property against the homeowner's wishes you must revise the pending resolution to include the exemptions from the prior designation, allowing the existing projects to proceed without delay and exclude language suggesting the public may visit this private home.

Our team is available to answer any questions in advance of the October 14, 2024 hearing.

Sincerely,



Amy Steinfeld

# **EXHIBIT 4**



5 February 2024

Jonathan Martin, HLAC Recording Secretary  
Email: [martinj@countyofsb.org](mailto:martinj@countyofsb.org)

**Subject: February 12, 2024 HLAC Agenda Item 9. 2929 East Valley Road**

Dear Chair Coffman-Grey and HLAC,

I am writing as authorized agent for the owners of 2929 East Valley Road.

Regarding February 12, 2024 HLAC agenda item 9. Discussion of Whether to Initiate an Application to Investigate and Potentially Designate 2929 East Valley Road as a Historic Landmark, please understand that the property owner is not interested in a landmark designation. We would appreciate it if no further discussion or action were taken on this matter.

Please feel free to contact me at (805) 966-2758 x101 and/or [stevef@sepps.com](mailto:stevef@sepps.com) if there are any questions.

Sincerely,  
**SUZANNE ELLEDGE**  
**PLANNING & PERMITTING SERVICES, INC.**

Steve Fort  
Senior Planner IV



14 March 2024

Jonathan Martin, HLAC Recording Secretary  
Email: [martinj@countyofsb.org](mailto:martinj@countyofsb.org)

**Subject: 2929 East Valley Road**

Dear Chair Coffman-Grey and HLAC,

I am writing again as authorized agent for the owners of 2929 East Valley Road.

I reviewed the recording of the March 11, 2024 HLAC hearing and heard Chair Coffman-Grey indicate he was working on nomination forms. **We request that you please cease this effort.**

As I stated in my first letter dated February 5, 2024, please understand that the property owner is **not interested** in a landmark designation. **We would appreciate it if no further discussion or action were taken on this matter.**

Please feel free to contact me at (805) 966-2758 x101 and/or [stevef@sepps.com](mailto:stevef@sepps.com) if there are any questions.

Sincerely,  
**SUZANNE ELLEDGE**  
**PLANNING & PERMITTING SERVICES, INC.**

Steve Fort  
Senior Planner IV

CC: Lisa Plowman, Director, County Planning and Development  
Veronica King, Planner, County Planning and Development  
Joe Dargel, Division Supervisor, County Planning and Development  
Anne Rierson, Deputy County Counsel





30 April 2024

Keith Coffman-Grey  
County of Santa Barbara Historic Landmarks Commission  
Via email to Jonathan Martin, HLAC Recording Secretary - [martinj@countyofsb.org](mailto:martinj@countyofsb.org)

**Subject: 2929 East Valley Road**

Dear Chair Coffman-Grey and HLAC,

We received your letter dated April 12, 2024. The information provided is appreciated and has been provided to the property owners. The owners continue to not be interested but may take designation into consideration in the future.

Please feel free to contact me at (805) 966-2758 x101 and/or [stevef@sepps.com](mailto:stevef@sepps.com) if there are any questions.

Sincerely,  
**SUZANNE ELLEDGE**  
**PLANNING & PERMITTING SERVICES, INC.**

Steve Fort  
Senior Planner IV

CC: Lisa Plowman, Director, County Planning and Development  
Veronica King, Planner, County Planning and Development  
Joe Dargel, Division Supervisor, County Planning and Development  
Anne Rierson, Deputy County Counsel



9 May 2024

Keith Coffman-Grey  
County of Santa Barbara Historic Landmarks Commission  
Via email to Jonathan Martin, HLAC Recording Secretary - [martinj@countyofsb.org](mailto:martinj@countyofsb.org)

**Subject: 2929 East Valley Road**

Dear Chair Coffman-Grey and HLAC,

We have been notified that landmark designation forms have been prepared for 2929 East Valley Road and a recommendation for designation may be considered at HLAC's June 10, 2024 hearing.

As has been indicated to HLAC several times, please understand the property owners continue to not be interested in a landmark designation. This is a private residence. There is no public access and the structure is not visible to the public from any public viewpoint. It would be appreciated if the designation were not pursued by HLAC.

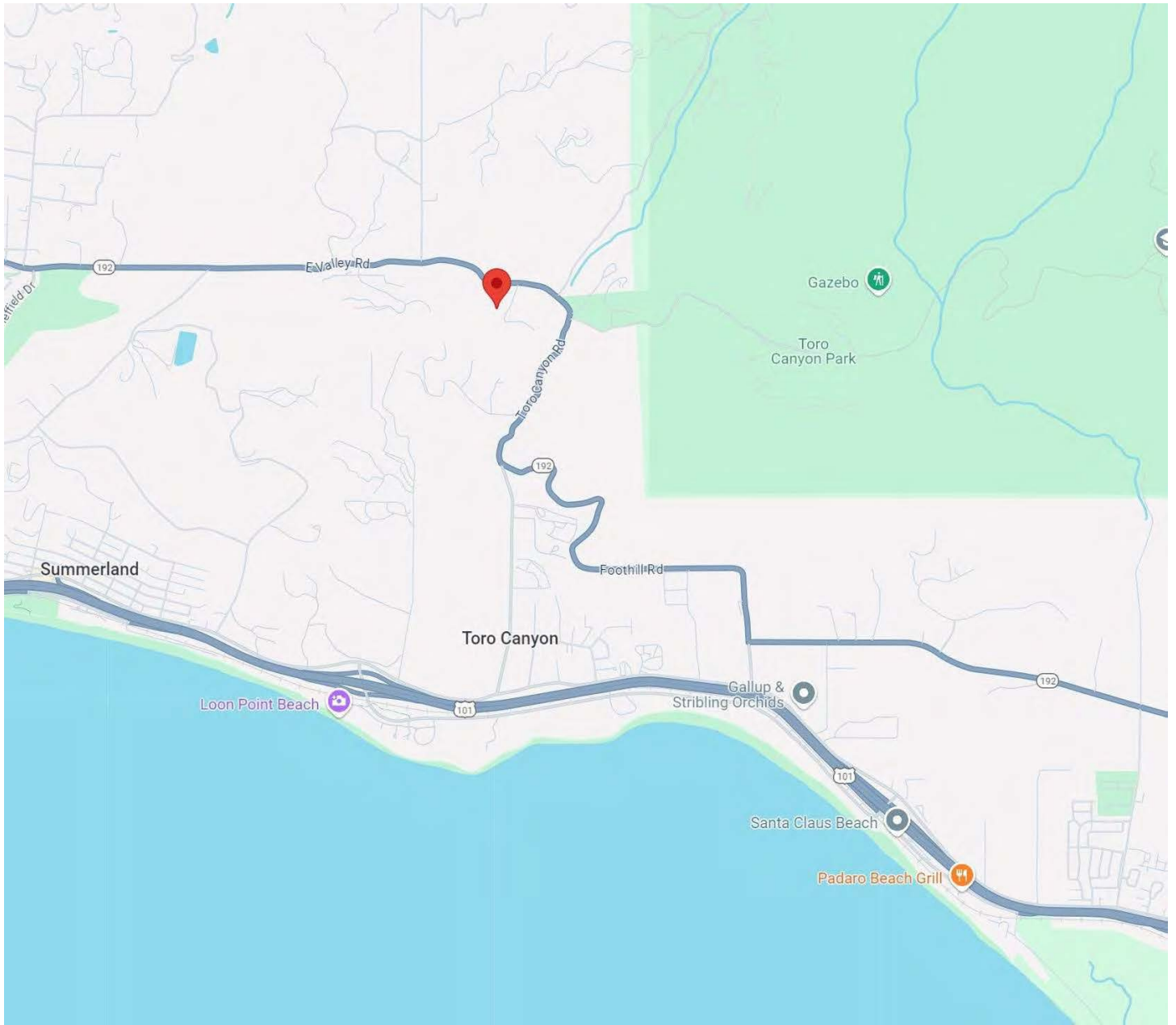
Please feel free to contact me at (805) 966-2758 x101 and/or [stevef@sepps.com](mailto:stevef@sepps.com) if there are any questions.

Sincerely,  
**SUZANNE ELLEDGE**  
**PLANNING & PERMITTING SERVICES, INC.**

Steve Fort  
Senior Planner IV

CC: Veronica King, Planner, County Planning and Development  
Joe Dargel, Division Supervisor, County Planning and Development  
Anne Rierson, Deputy County Counsel

# **EXHIBIT 5**



# **EXHIBIT 6**

**PHASE 1-2**

**HISTORIC RESOURCES TECHNICAL**

**REPORT**

**For**

**2929 East Valley Road**

**Toro Canyon Community Plan Area, Santa Barbara County,  
California**

**(APN 040-170-025)**

**for**

**2929 East Valley Road LLC**

**By**

**Pamela Post, Ph.D., Senior Author  
and Tim Hazeltine**

**POST/HAZELTINE ASSOCIATES  
213 A West Anapamu Street  
Santa Barbara, CA 93101  
(805) 682-5751  
([posthazeltine@cox.net](mailto:posthazeltine@cox.net))**

July 10, 2023



# TABLE OF CONTENTS

<u>Section</u>	<u>Page</u>
<b>1.0 INTRODUCTION</b> .....	1
1.1 Regulatory Setting .....	4
1.2 County of Santa Barbara Historical and Archaeological Polices..	6
1.3 Previous Studies and Designations.....	7
1.4 The Proposed Project .....	7
1.5 Summary of Findings.....	7
 <b>PHASE 1 COMPONENT</b>	
<b>2.0 HISTORIC CONTEXT</b> .....	8
2.1 Early of Toro Canyon and the Study Property (Pre-Contact to 1918).....	8
2.2 History of the Study Property (1918-2023) .....	8
2.3 The French Normal Revival Style (1918-1940) .....	11
2.4 Carlton Winslow (1876-1946).....	11
2.5 Jerome Bonaparte Chaffee (1866-1036) .....	12
2.6 Don Lee Gevirtz (1928-2001) .....	13
 <b>3.0 SITE DESCRIPTION</b> .....	15
3.1 Setting .....	15
3.2 Descriptions .....	15
3.2.1 Main Residence and Garage .....	16
3.2.2 Landscaping and Hardscape .....	18
3.2.3 Guesthouse .....	18
 <b>4.0 SIGNIFICANCE ASSESSMENT</b> .....	19
4.1 County of Santa Barbara Significance Criteria .....	19
4.2 Previous Designations and Age .....	19
4.3 Application of the Integrity Criteria .....	20
4.4 Summary Statement of Integrity .....	22
4.5 Application of the County of Santa Barbara Significance Criteria .....	22
4.6 Eligibility for Listing in the California Register of Historical Resources .....	24
4.7 Eligibility for Listing in the National Register of Historic Place.....	25
4.8 Summary Statement of Significance .....	26

**PHASE 2 COMPONENT**

**5.0 PONTENTIAL PROJECT IMPACTS** ..... 26

    5.1 The Proposed Project ..... 28

    5.2 Application of the Secretary of the Interior’s Standards for  
        Rehabilitation ..... 28

    5.3 Summary Statement of Project Impacts ..... 31

**6.0 SUMMARY AND CONCLUSIONS** ..... 31

**7.0 SOURCES CONSULTED IN THE PREPARATION OF THIS REPORT** ..... 32

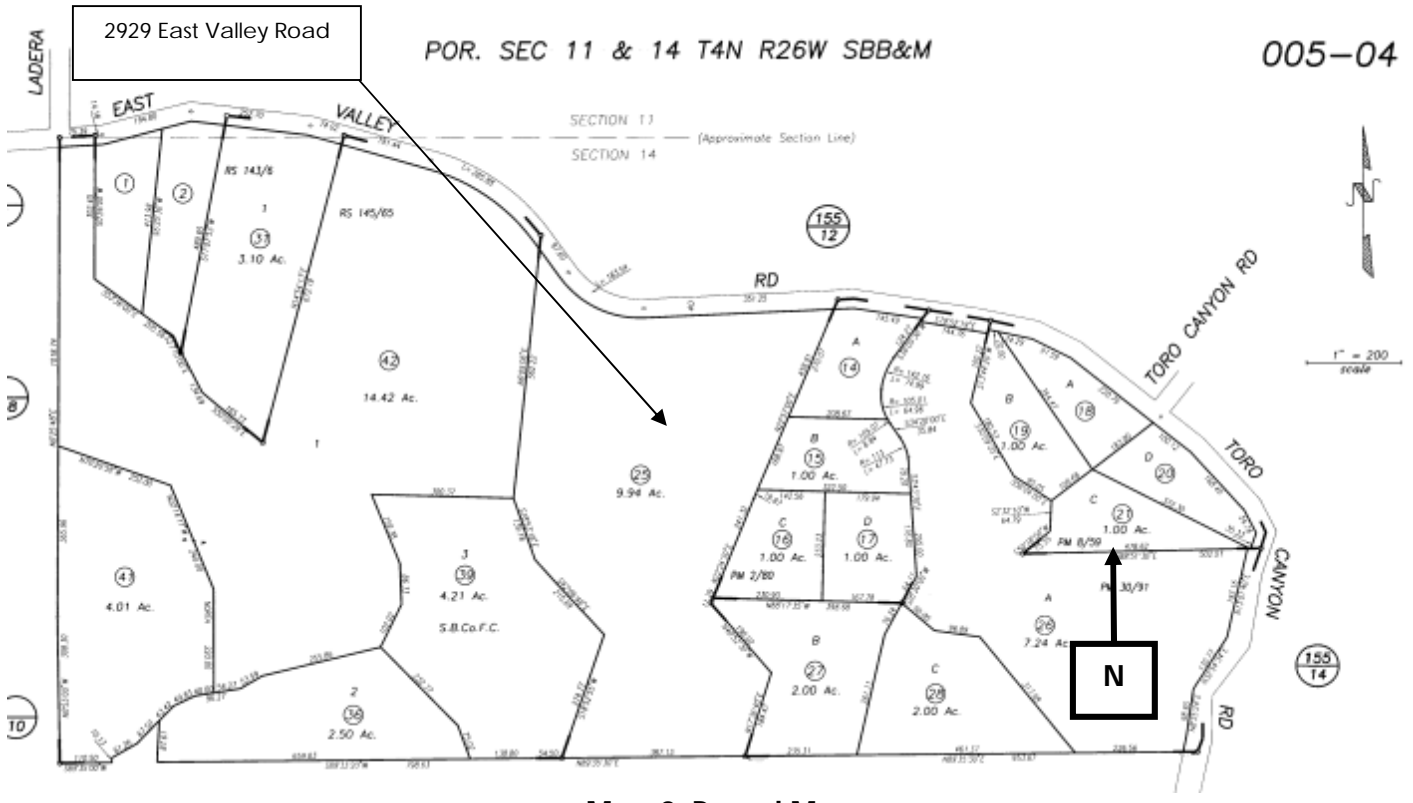
**APPENDIX A (Architect’s Plans)**

**APPENDIX B (Photographs)**

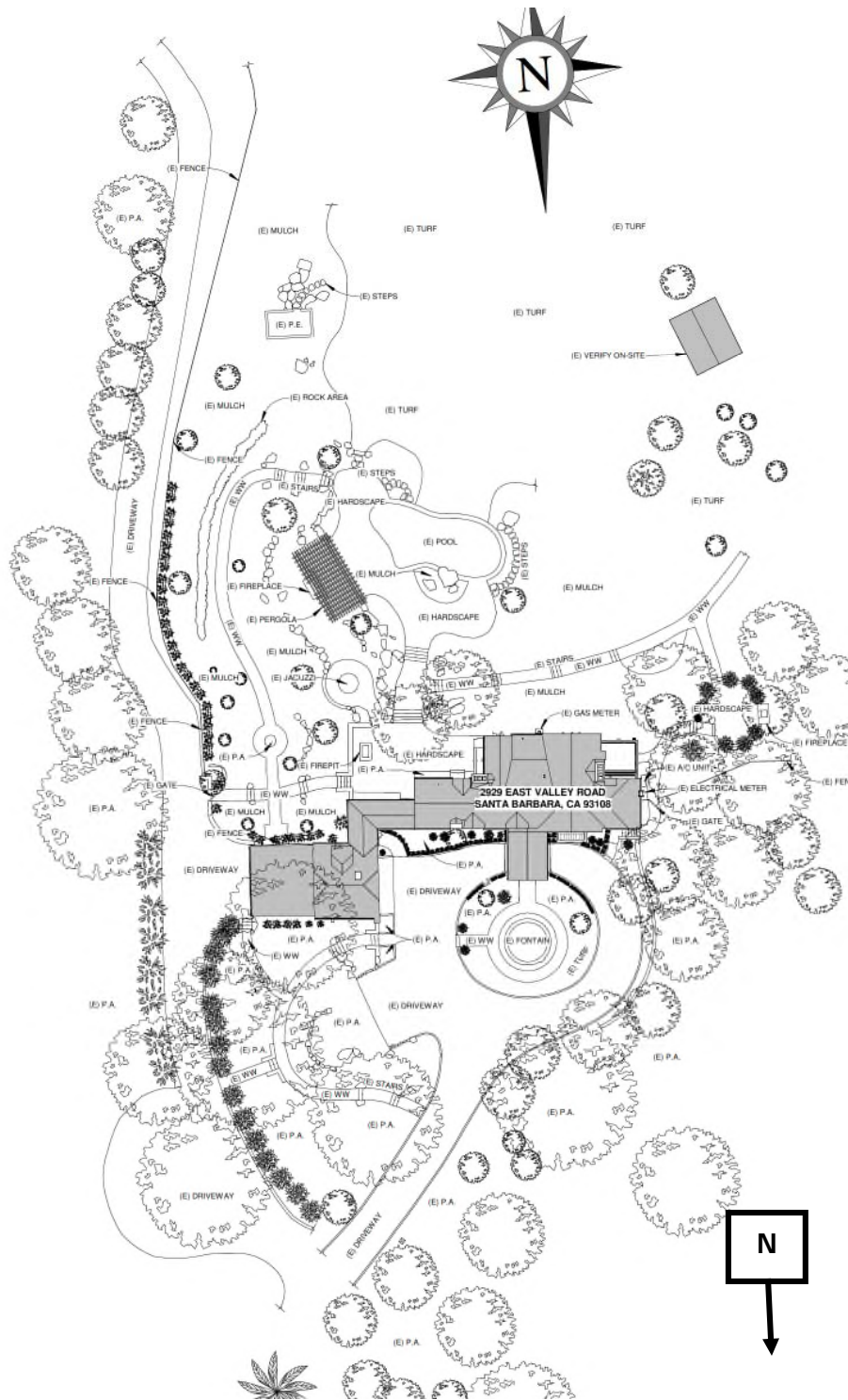
# 1.0 INTRODUCTION

This Phase 1-2 Historic Resources Technical Report for 2929 East Valley Road, Montecito, Santa Barbara County, California (APN 040-170-025) was prepared for 2929 E. Valley Rd., LLC. Located on the south side of East Valley Road, between Toro Canyon Road and Ladera Lane, the study parcel is a 9.94-acre lot developed with a two-story residence and its attached garage built in 1918 and a guesthouse built in 1986 (Maps 1 - 3). The applicants propose alterations to the main house and its attached garage. This report fulfills the requirements for historic resource evaluations outlined in the *County of Santa Barbara's Appendix B to the Environmental Thresholds and Guidelines Manual*, February 27, 2018; the *Santa Barbara County Comprehensive Plan, Land Use Element*, and the *Toro Canyon Plan*. This report was written by Pamela Post, Ph.D., senior author, and Timothy Hazeltine.





Map 2, Parcel Map



**Map 3, Partial Site Plan**

## 1.1 Regulatory Setting

### California Environmental Quality Act (CEQA)

Section 21084.1 of the Public Resources Code provides the framework for determining whether a resource is a historic resource for CEQA purposes. Historic resources that are listed in or eligible for listing in the California Register of Historical Resources (California Register), that are, *per se*, significant other resources, that are officially designated on a local register, or that are found to be significant by the State Historic Preservation Officer (SHPO) under Section 5024.1(j) of the Public Resources Code are presumed to be significant. According to CEQA, in determining potential impacts on historical resources under CEQA, projects are reviewed using the Secretary of the Interior's Standards (Standards). A "substantial adverse change" means "demolition, destruction, relocation, or alteration of the resource such that the significance of a historical resource would be materially impaired." The setting of a resource should also be taken into account in that it too may contribute to the significance of the resource, as impairment of the setting could affect the significance of a resource. Material impairment occurs when a project:

1. *Demolishes or materially alters in an adverse manner those physical characteristics of a historical resource that convey its historical significance and that justify its inclusion in, or eligibility for, inclusion in the California Register of Historical Resources;*
2. *Demolishes or materially alters in an adverse manner those physical characteristics that account for its inclusion in a local register of historical resources pursuant to Section 5020.1(k) of the Public Resources Code or its identification in a historical resources survey meeting the requirements of Section 5024.1(g) of the Public Resources Code, unless the public agency reviewing the effects of the project establishes by a preponderance of evidence that the resource is not historically or culturally significant; or*
3. *Demolishes or materially alters in an adverse manner those physical characteristics of a historical resource that convey its historical significance and that justify its eligibility for inclusion in the California Register of Historical Resources as determined by a lead agency for purposes of CEQA.*

CEQA Section 15064.5 defines historical resources as follows:

- (1) *A resource listed in or determined to be eligible by the State Historical Resources Commission for listing in the California Register of Historical Resources Commission (State CEQA Guidelines Section 5024.1, Title 14 CCR, Section 4850 et seq.).*

There are several ways in which a resource can be listed in the California Register, which are codified under Title 14 CCR, Section 4851.

- A resource can be listed in the California Register by the State Historical Resources Commission.
- If a resource is listed in or determined eligible for listing in the National Register of Historic Places (National Register), it is automatically listed in the California Register.
- If a resource is a California State Historical Landmark, from No. 770 onward, it is automatically listed in the California Register.

- (2) *A resource included in a local register of historical resources, as defined in section 5020.1(k) of the Public Resources Code or identified as significant in an historical resource survey meeting the requirements of Section 5024.1(g) of the Public Resources Code, shall be presumed to be historically*



or culturally significant. Public agencies must treat any such resource as significant unless the preponderance of evidence demonstrates that it is not historically or culturally significant.

The requirements set forth in PRC 5024.1(g) for historical resources surveys are: A resource identified as significant in a historical resource survey may be listed in the California Register if the survey meets all the following criteria:

- The survey has been or will be included in the State Historic Resources Inventory.
  - The survey and the survey documentation were prepared in accordance with office [of Historic Preservation] procedures and requirements.
  - The resource is evaluated and determined by the office [of Historic Preservation] to have a significance rating of Category 1 to 5 on DPR Form 523.
  - If the survey is five or more years old at the time of its nomination for inclusion in the California Register, the survey is updated to identify historical resources which have become eligible or ineligible due to changed circumstances or further documentation and those which have been demolished or altered in a manner that substantially diminishes the significance of the resource.
- (3) Any object, building, structure, site, area, place, record, or manuscript which a lead agency determines to be historically significant or significant in the architectural, engineering, scientific, economic, agricultural, educational, social, political, military, or cultural annals of California may be considered to be a historical resource, provided the lead agency's determination is supported by substantial evidence in light of the whole record.

Generally, a resource shall be considered by the lead agency to be "historically significant" if the resource meets the criteria for listing on the California Register of Historical Resources (Pub. Res. Code SS5024.1, Title 14 CCR, section 4852). The fact that a resource is not listed in, or determined to be eligible for listing in the California Register of Historical Resources, is not included in a local register of historical resources (pursuant to section 5020.1(k) of the Public Resources Code) or is identified in an historical resources survey (meeting the criteria in section 5024.1(g) of the Public Resources Code) does not preclude a lead agency from determining that the resource may be an historical resource as defined in Public Resources Code sections 5020.1 (j) or 5024.1.

CEQA regulations identify the Secretary of the Interior's Standards as a measure to be used in determinations of whether or not a project of new development or rehabilitation adversely impacts a "historical resource." Section 15064.5(b)(3) states:

*"Generally, a project that follows the Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings or the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings (1995), Weeks and Grimmer, shall be considered as mitigated to a level of less than a significant impact on the historical resource."*

Section 15064.5(a)(4) of the CEQA Guidelines states:

*"The fact that a resource is not listed in, or determined to be eligible for listing in the California Register of Historical Resources, not included in a local register of historical resources (pursuant to Section 5020.1(k) of the Public Resources Code), or identified in a historical resources survey (meeting the criteria in Section 5024.1(g) of the Public Resources Code) does not preclude a lead*

agency from determining that the resource may be a historical resource as defined in Public Resources Code Sections 5020.1(j) or 5024.1."

The California Environmental Quality Act (CEQA) requires an analysis of impacts that may result from project development. These include impacts to listed or potential historic resources. The California Environmental Quality Act (CEQA) mandates that a proposed project's impacts to historic resources be assessed. Historic resources are defined in Public Resource Code as follows:

§5020.1: "Properties listed in or determined eligible for listing in the California Register of Historical Resources." In order to be eligible for listing, a resource must meet one or more of the following criteria to be eligible for listing: A) Is associated with events that have made a significant contribution to the broad patterns of California's History and Cultural Heritage. B) Is associated with the lives of persons important in our past; C) Embodies the distinctive characteristics of type, period, region, or method of construction, or represents the work of an important creative individual, or possesses high artistic values; and D) Has yielded or may be likely to yield information important to history or prehistory."

§5021.1(k): Properties included in "local registers of historic resources." According to Section 5021. k local registers include the following: "a list of properties officially designated or recognized as historically significant by a local government pursuant to a local ordinance or resolution. Generally, local registers can be defined as either properties designated as landmarks per local ordinances (or resolutions) or properties included in a survey of historical resources that meets the standards of the Office of Historic Preservation (SHPO) for such studies.

The register also includes properties that have formally been listed in the National Register of Historic Resources or determined eligible for listing in the National Register of Historic Places. Properties eligible for listing in the National Register must meet one of the following criteria to be eligible for listing:

- A) are associated with events that have made significant contributions to the broad patterns of our history;
- B) are associated with the lives of persons significant in our past;
- C) embody the distinctive characteristics of a type, period, or method of construction, or that represent the work of a master, or that possesses high artistic values, or that represents a significant and distinguished entity whose components may lack individual distinction;
- D) have yielded or may be likely to yield information important in prehistory or history.

## **1.2 County of Santa Barbara Historical and Archaeological Policies**

The following policies enacted by the County of Santa Barbara guided the identification of potential significant historic resources and evaluation of potential project impacts to significant historic resources outlined in this report.

1) All available measures, including purchase, tax relief, purchase of development rights, etc., shall be explored to avoid the development on significant historic, prehistoric, archaeological, and other classes of cultural sites.

2) When developments are proposed for parcels where archaeological or other cultural sites are



located, project redesign shall be required, which avoids impacts to such cultural sites if possible.

3) When sufficient planning flexibility does not permit avoiding construction on archeological or other types of cultural sites, adequate mitigation shall be required. Mitigation shall be designed in accord with the State Office of Historic Preservation and the State of California Native Heritage Commission (County of Santa Barbara's Appendix B to the Environmental Thresholds and Guidelines Manual, February 27, 2018).

### 1.3 Previous Studies and Designations

The property has not been previously evaluated for historic significance. The property has not been listed in or determined eligible for listing by a previous study. The Toro Canyon Plan does not identify the property as a potential historic resource (County of Santa Barbara 2004: Section D, pg. 156).

### 1.4 The Proposed Project

The applicant is proposing alterations to the garage's rear elevation, the glazing of opening in a breezeway linking the house to the garage, the construction of a wing at the east end of the breezeway, and the new landscaping. The architect of record for the project is Richard Felix-Asman, Design Inc. Project plans are found in Appendix A of this report.

### 1.5 Summary of Findings

#### Phase 1 Component

- The Norman Revival style residence and garage were built in 1918 to the design of the architect Carleton Winslow. The residence and garage meet several criteria making them eligible for listing as a significant historic resource at County of Santa Barbara, State, and National levels. Therefore, the residence and garage are significant historic resources for the purposes of environmental review;
- A carport style addition to the rear of the garage is not a contributor to the property's historic significance;
- The swimming pool, pool deck and associated hardscape and plantings are non-contributors;
- A sandstone plinth and sandstone entry gate posts adjacent to East Valley Road are contributors;
- A sandstone terrace and outdoor barbeque off the west side of the residence are contributors;
- The guesthouse built in 1986 is less than 50 years of age and does not require further evaluation; and
- The remainder of the landscaping and hardscape are non-contributors.

#### Phase 2 Component

Implementation of the proposed project would have a less than significant impact on a significant historic resource. Therefore, the proposed project is consistent with County of Santa Barbara Historical and Archaeological Policies and the historic preservation policies outlined in the Toro Canyon Community Plan Area to the maximum extent feasible" (County of Santa Barbara 2004:

Section 4 D, History and Archaeology). At the completion of the project the residence and garage at 2929 East Valley Road would maintain their status as a potential County of Santa Barbara Landmark. Therefore, project impacts are less than significant (Class III).

## **2.0 HISTORIC CONTEXT**

### **2.1 The History of Toro Canyon and the Study Property (Pre-Contact to 1918)**

In the pre-contact period, the property that encompasses the project property at 2929 East Valley Road was located within the region inhabited by the Chumash. When the Spanish established a permanent settlement in Santa Barbara in 1782, most of Montecito and most of Toro Canyon were set aside for the use of the Royal Presidio in Santa Barbara. However, it was not until Mexico won its independence from Spain in 1821 that Montecito began to be settled. During the Mexican period, Presidio soldiers were granted small tracts of land, primarily in the area that later became known as "Old Spanish Town." Between the 1820s and the mid-1840s, the soldiers and their descendants built many adobe residences scattered throughout the Montecito area. The earliest and most notable of these was the circa- 1820 Ortega Hill-Masini Adobe at 129 Sheffield Drive. In 1848, California was incorporated into the territory of the United States as a result of the Mexican/American War; two years later, California was accepted into the Union. Over the succeeding years, the remaining Ex-Pueblo lands in the Montecito and Toro Canyon areas were granted or sold by the Common Council of Santa Barbara to residents or settlers. The study property would remain unimproved until 1918.

### **2.2 History of the Study Property (1918-2023)**

In 1918, construction began on a large, multi-acre property on what is now 2929 East Valley Road. At the time, the address was Toro Canyon. The owners of the property, Jerome, and Grace Chaffee hired architect Carleton Winslow, Sr., to build a large two-story stone residence the Chaffees called *Hacienda de Piedras* (Residence of Stone) (Montecito History Association information sheet for *Hacienda de Piedras*, n.d.). In addition to the residence, a two-car garage with living accommodations above was built. Winslow designed the residence and garage in the French Norman Revival style. This architectural scheme was just beginning to enjoy popularity in the United States following the return of American soldiers from France at the end of World War I.

By 1923, the property's address had been changed to "East Valley Road, west of Toro Canyon" (1923 City of Santa Barbara, including Montecito, Directory). In 1936, the property's address was 4040 East Valley Road (1936 Montecito Directory). Jerome and Grace lived on their East Valley Road estate until Jerome's death in 1936 (Phinney Family (South) Tree; ancestry.com). The appearance of the property in the early 1940s is documented by a 1944 aerial photograph (Figure 1).



**Figure 1, 1944 Aerial photograph (Flight C-9113\_6-85, Aero spatial Collection, Special Collections, Main Library, University of California, Santa Barbara)**

By 1952, the property had been purchased by Paul and Dorothy Landell, who owned the property until 1977 when they sold it to Don Lee Gevirtz (1952-1977 City of Santa Barbara, including Montecito, Directories).

In 1978, Gevirtz undertook the first significant changes to the property since its construction in 1918. These changes included the construction of a tennis court (County of Santa Barbara, Land Use Rider, Permit #77696, January 6, 1978, at an estimated cost of \$2,200.00) and swimming pool (County of Santa Barbara, Land Use Rider, Permit #78350, May 15, 1978) (by 1978 the address had changed to 2929 East Valley Road). Eight years later, in 1986, Gevirtz had a 750-square-foot guesthouse constructed on the property (Coastal Development Permit #86-CDP-139, Building Permit #113446, June 30, 1986). The layout of the estate at the time of Gevirtz's purchase is documented by a 1978 site plan (Figure 2). In 1991, Gevirtz received a permit to undertake unspecified remodeling to the main residence (County of Santa Barbara Building Permit #1411449, October 28, 1991). On August 6, 1997, Gevirtz received a permit to re-roof the main residence by temporarily removing the roof's slate tiles, replacing the felt covering with new felt covering, and then reinstalling the slate tiles.



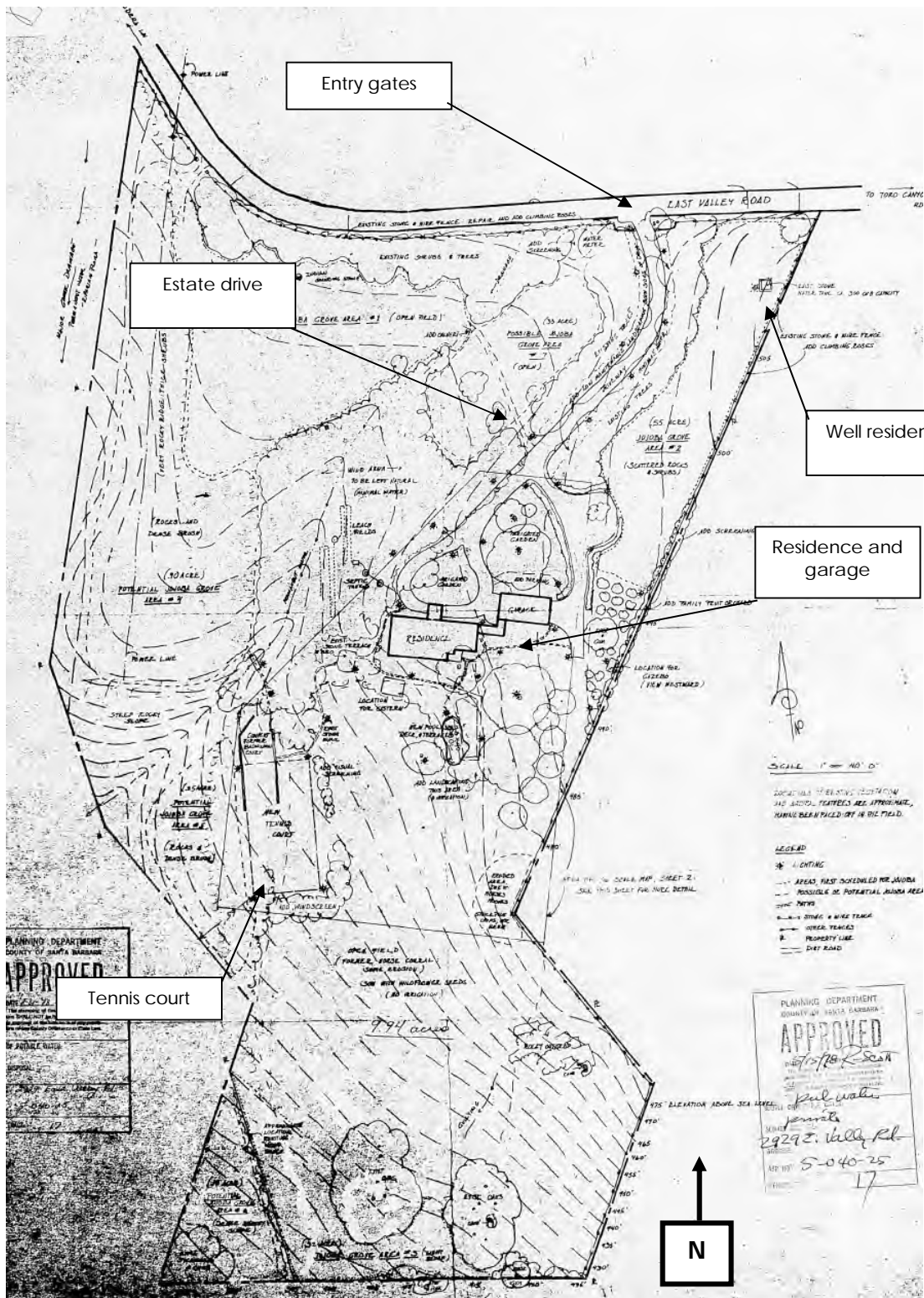


Figure 2, 1978 Site Plan

Don Gevitz lived on the study property until his death on April 22, 2001 (Find A Grave Index, 1600s to Current) (There appear to have been no other major modifications to the property until 2017 when two permits were granted to re-roof the main residence . The owner at the time was Ronald G.

Denner, who purchased the property from the Gevirtz Trust on January 1, 2017 (County of Santa Barbara Case #17BDV-00000-00002, January 3, 2017; County of Santa Barbara Case #17CNP-00000-00035, January 17, 2017; First American Transaction History for 2929 East Valley Road). No other major modifications have been made to the property since 2017. Currently, the property is owned by 2929 E. Valley Rd., LLC, who purchased it on December 27, 2021, from the G. Ronald Denner Separate Property Trust (First American Transaction History for 2929 East Valley Road).

### **2.3 The French Norman Revival Style (1918-1940)**

The French Norman Revival style was inspired by the 16<sup>th</sup>-century architecture of the Normandy region of France. Because its references are drawn from Normandy's farmhouses and rural vernacular architecture, the style was primarily used for residential projects. The French Norman Revival style reached its apex in popularity during the roughly two-decade period following the end of World War I when American soldiers who had fought in France brought home their recollections of the farm residences and rural buildings of Normandy. In the United States, publications of the French Norman Revival style, such as H. D. Eberlein's *Small Manor Residences and Farmsteads in France* (1926) and Samuel Chamberlain's *Domestic Architecture in Rural France* (1928), also helped to popularize the style. Even lumber yards provided builders with ideas and low cost plans. Characteristics of the French Norman Revival style include exterior walls in stucco, brick, stone, shingle, or often a combination of two or more of the cladding types. The study parcel's main residence and garage are of stone masonry construction. The residence's picturesque massing, one of the primary characteristics of the style, created a sense that the residence had been added to over time. Roof types were generally side gable or steeply pitched hipped or sometimes clipped gable; the main residence and attached garage exhibit all three roof types. Other character-defining features included asymmetrical arrangements of arched or trabeated multi-paned windows, dormers, and planked or paneled entry doors. The residence and attached garage exhibit all of these features.

### **2.4 Carleton Winslow (1876-1946)**

One of the leading proponents of the Period Revival Movement in California, Carleton Winslow, was born in Damariscotta, Maine, in 1876 (Figure 3). After studying at the Arts Institute in Chicago, Winslow, like many aspiring architects, traveled to Paris, where he studied under the Cheffort Brothers. Winslow quickly established his credentials as a designer. In 1905, he won a gold medal in design from the Architectural League of New York. Six years later, he was appointed supervising architect for the San Diego Exposition. Working with Bertram Goodhue, he helped design many of the fair's exposition buildings (Andree and Clark 1975: 189). After the fair closed in 1917, Winslow moved to Los Angeles, where he opened his office. Winslow soon became known for his ecclesiastical commissions, including Mary, Star of the Sea Church, St. Columba's Chapel, Community Presbyterian Church, and Saint Luke's Church. Winslow also collaborated with other architects, including Bertram Goodhue (Goodhue designed the Los Angeles Public Library) and James Osborne Craig (designer of the Hoffman Residence and El Paseo in Santa Barbara). Within a few years of establishing his practice in Los Angeles, Winslow opened an office in Santa Barbara. Richard H. Pitman, a Santa Barbara architect, had become Winslow's associate. Notable local commissions by Winslow that are still extant include the William Bliss Residence, Santa Barbara (1916); Jerome Chaffee residence, Montecito (1918); the Santa Barbara Clinic, 1421 State Street, Santa Barbara (1920-1930); Brinks Grocery, 1424 State Street, Santa Barbara (1933); Santa Barbara

Museum of Natural History (additions: 1927-1934, Santa Barbara); and additions to El Paseo, Santa Barbara (1928-29).

With the onset of the Great Depression in 1929, Winslow, like many other architects, experienced a precipitous decline in large-scale commissions. However, a number of more modest projects, such as the design for the gardener's cottage on the Gould estate in Montecito, allowed Winslow to keep his offices open. In 1942, Winslow closed his office in Santa Barbara. Winslow, a Fellow of the American Institute of Architects, served on numerous boards and commissions, including the Municipal Art Committee of Los Angeles. An Episcopalian, Winslow was a member of several church boards and organizations, including the Diocesan Architecture committee and the Episcopalian Home for the Aged. Carleton Winslow died on October 10, 1946.



**Figure 3, Carleton Winslow (Photo: circa-1930)**

## **2.5 Jerome Bonaparte Chaffee (1866-1936)**

Jerome Bonaparte Chaffee was born on July 9, 1866, in Michigan to parents Francis Warren Chaffee and Margaret Campbell Kellogg Chaffee (Phinney Family (South) Tree; ancestry.com) (Figure 4). By 1870, Jerome and his parents lived in Des Moines, Iowa (1870 United States Census). Ten years later, in 1880, the family moved to Carthage, Missouri (1880 United States Census). Jerome's early life or schooling is little known, though he clearly attended college, as his occupation is later listed as a dentist. On June 17, 1896, Jerome Chaffee married Grace Newsom in Greene, Missouri (Phinney Family (South) Tree; ancestry.com). Two years later, Jerome and Grace had a son, Jerome B. Chaffee, Jr., born in Carthage, Missouri (1898-1977). In 1900, Jerome and his family were still living in Carthage, where Jerome practiced dentistry (1900 United States Census). By 1910, the Chaffees had moved to Santa Barbara and lived on Coast Highway, where Jerome's occupation was listed as a farmer (1910 United States Census). Shortly after 1918, Jerome and his family moved into their



newly built home on East Valley Road; two years later, the 1920 census lists their address near Toro Canyon Road (1920 United States Census). By at least 1922, Jerome had become an associate of the H. G. Chase Realty Company (1922 City of Santa Barbara Directory). Jerome continued to reside on his East Valley Road estate (at the time, its address was 4040 East Valley Road) until his death in Santa Barbara on January 25, 1936, at the age of 69 (1936 City of Santa Barbara, including Montecito, Directory); U. S. Find A Grave Index, 1600s to Current).



**Figure 4, Jerome Bonaparte Chaffee (Photo: circa-1890)**

## **2.6 Don Lee Gevirtz (1928-2001)**

Don Lee Gevirtz was a successful businessman, former United States Ambassador to Tuvalu, Fiji, Nauru, and Tonga, and a generous benefactor, along with his wife, Marilyn Gevirtz, to the University of California, Santa Barbara (UCSB). Don Lee Gevirtz was born on March 1, 1928, in Chicago, Illinois, to parents Sydney Ephriam and Julia Flox Gevirtz (Find A Grave Index, 1600s to Current; Gevirtz-Gershenson Family Tree; ancestry.com; U.S. World War II Draft Cards, 1940-1947) (Figure 5). Two years after Don was born, Don and his parents moved to Peru, Indiana (1930 United States Census). Two years later, the family moved to Indianapolis, Indiana, where Don's sister, Sally, was born in 1932. In 1944, Don, along with his parents and sister, was living in Kokomo, Indiana, where he was a student at Kokomo High School. In 1946, Don Gevirtz graduated from high school (Gevirtz-Gershenson Family Tree). Shortly after graduation, Gevirtz moved to Los Angeles, where he eventually received a degree from the University of Southern California (*Los Angeles Times*, September 30, 2015, pg. B7). On April 30, 1952, 24-year-old Don Gevirtz married 19-year-old Lillian Gershenson in Los Angeles. At some point, Don and Lillian either divorced, or she had died. In 1967,

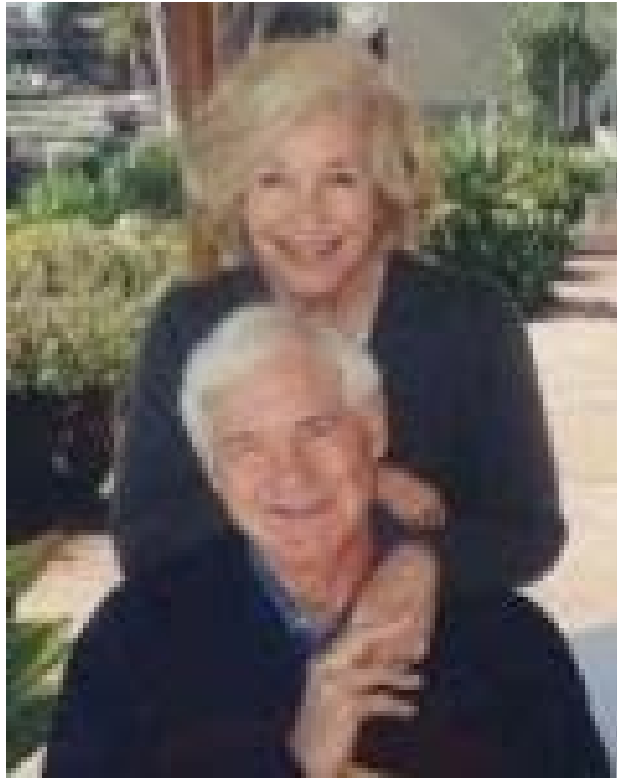
Don married for the second time Marilyn Katz (1931-2015). Subsequently, the couple had a daughter, Kathy (*Los Angeles Times*, September 30, 2015, pg. B7). During a period in the 1970s, the Gevirtzs lived in Beverly Hills, where Don achieved success as a venture capitalist (*Baltimore Sun*, April 23, 2001, pg. 9B). In 1978, Don and his family moved to the property at 2929 East Valley Road (City of Santa Barbara, including Montecito, Directory). Under Don and Marilyn Gevirtz, the first significant changes to the property on East Valley Road would occur since its initial development in 1918. These additions included the construction in 1978 of a tennis court and swimming pool, followed by the building of a detached guesthouse in 1986.

In 1985, Don and Marilyn Gevirtz endowed 10 million dollars to help fund the Graduate School of Education at UCSB; the building, named in their honor, became the Gevirtz Graduate School of Education (*Los Angeles Times*, September 30, 2015, pg. B7). From 1995 to 1997, Don Gevirtz served concurrent appointments as the Ambassador Extraordinary and Plenipotentiary to Tuvalu, Fiji, Nauru, and Tonga. At the time of his appointment by President Clinton, he was Chairman and Chief Executive Officer of the Foothill Group Incorporated, a Los Angeles financial services firm. Don and Marilyn Gevirtz continued to be generous donors to UCSB. In 1996, they founded the Gevirtz Research Center, where Don was chairman of its board of directors. In addition, he was a trustee of the UCSB Foundation and a visiting professor in UCSB's Global and International Studies Program. Marilyn Gevirtz also served as a trustee of the UCSB Foundation. Recognizing the couple's dedication to UCSB, the Gevirtz's were named Honorary Alumni in 1996 (Figure 6). Don Gevirtz died of a heart attack at 74 at his home at 2929 East Valley Road on April 22, 2001 (*Baltimore Sun*, April 23, 2001, pg. 9B). Marilyn Gevirtz (1932-2015) died in Montecito on September 2, 2015 (U.S. Find A Grave Index, 1600s to Current).



**Figure 5, Don Lee Gevirtz (Photo: 1946)**





**Figure 6, Don and Marilyn Gevirtz (Photo: Circa-1996)**

### **3.0 SETTING AND SITE DESCRIPTION**

#### **3.1 Setting**

The study parcel is located on the south side of East Valley Road. The surrounding area is semi-rural in character with large properties developed with single-family residences.

#### **3.2 Descriptions**

The more than 9-acre parcel slopes down from north to south. Its sloping terrain provides expansive views of the Pacific Ocean from the main residence. A gated driveway opening onto East Valley Road extends south to a motor court located off the main residence's south elevation. Most of the parcel is informally landscaped with native oaks and pastures. More formal landscaping is confined to the immediate setting of the residence, near the motor court off the north elevation and the pool terrace adjacent to the house's south elevation.

Built improvements include a two-story, 4,412 square-foot, four-bedroom, six-bathroom main residence and its garage built in 1918 to the design of Carlton Winslow. Other improvements include a 750-square-foot, two-bedroom, one-bath guesthouse built in 1986, a swimming pool, spa, and cabana located south of the house. A tennis court, constructed in 1978 is also located south of the house. A sandstone feature located near the northeast corner of the property appears to be the base of a wellhouse. Please note photographs of existing conditions are found in Appendix B of this report.

### 3.2.1 Main Residence and Garage

The main residence and its attached garage have an L-shaped footprint with the two-story residence linked to the adjoining garage by a hyphen capped by a complex hipped roof. Exterior walls are of sandstone block construction. The roof is a complex gable type with flush eaves. Fenestration is comprised of trabeated and arched door and window openings. Several features of the building including its rusticated stone walls, steeply pitched gable, and jerkin head roofs, and asymmetrically arranged arcuated window and door forms, identify it as an example of the Norman Revival style, a subtype of the Period Revival movement.

#### North Elevation (entrance façade) (Photographs 1 – 8)

The north elevation is L-shaped in configuration with the two-story main residence and one-story breezeway extending in an east west elevation and the two-story attached garage building extending at a right angle to the residence off the east end of the breezeway. The two-story main features a centrally placed porte-cochere with arcuated openings and a front gable roof embellished with an oculus. The porte-cochere is flanked on either side by linear portions of the elevation, which feature an asymmetrical arraignment of trabeated windows capped by stone lintels. The roof is a complex gable and jerkin head type covered in slate tiles. A stone block chimney is located at the east end of the roof.

The entry door is flanked on either side by stone benches set under diminutive arches. The porte-cochere features an open ceiling supported by wood beams. The residence's glazed six-panel wood door is capped by a massive stone lintel. The entry door, which is asymmetrically placed, is flanked on its east by a small three-light wood window with a vertical emphasis. A larger, second floor dormer with an arcuated multi-light window is located just east of the porte-cochere.

The section of façade located east of the porte-cochere features six-over-six wood windows on its first floor and a pair of six-over-six sash windows set in a dormer and a smaller double two-light casement window. The west end of the façade features a large front-facing gable element flanked on its west by a shallow recession. The front gable element features three large, six-over-six sash windows on the first floor and a smaller set of similar windows on the second floor. Roughly dressed stonework outlines each of the windows and a paneled motif below the second floor windows. The upper part of the gable features a relieving arch composed of stone blocks. The recessed west end of the elevation features a pair of first floor four-over-four sash windows and a small two-light casement window on the second floor.

At its east end the residence 's two-story main block

abuts a one-story hyphen with an open arcade set on a parapet. At its east end the arcade abuts the two-story attached garage, whose north elevation is comprised of two, four-over-four wood sash windows.

#### South Elevation (facing Pacific Ocean) (Photographs 9 – 15)

The L-shaped south elevation features a more asymmetrical arrangement of gables and rooflines, and fenestration, than the entry façade (north elevation). The recessed section of the elevation

opens onto an elevated terrace delineated by a sandstone retaining wall. A chimney is set at the intersection of the elevation's recessed and projecting elements.

It's projecting three level main block features slightly projecting front facing gables linked by a side gable roof. The west end of the elevation is capped by a rooftop terrace surrounded by wrought metal railings. The basement level features six four light casement windows. The first floor has two large, six-over-six wood frame sash windows and a larger window composed of three narrow, six-over-six windows separated by stone uprights. An open porch with arcuated openings, sheltering a glazed door, is set at the west end of the elevation. The second floor's fenestration is comprised of a nine-light window set under a small front-facing gable at the east end of the elevation, flanked on the west by smaller three and four-light casement windows. The large front-facing gable near the west end of the elevation features two, six-over-six sash windows capped by a rectangular vent.

The recessed section of the elevation opens onto a raised terrace delineated by a sandstone retaining wall. Its fenestration is comprised of a door, a six-light sash window, and a one-light window set in an arched opening on the first floor, and two multi-light casement and sash windows on the second floor.

The south elevation of the hyphen features an arched opening leading down from the hyphen to the terrace flanked on their east by two arched openings set on a parapet. The south elevation of the attached garage is linked to the residence by an L-shaped hyphen. Its fenestration is comprised of a tongue-and-groove paneled door sheltered by the hyphen and two, four-over-four sash windows. The jerkin head roof features a centrally placed dormer. A carport with a flat roof extends off the east end of the garage.

#### East Elevation (Photographs 16 & 17)

The east elevation is composed of the rear elevation of the garage wing, the short side of the hyphen element, and the side elevation of the residence. The rear of the garage is comprised of a carport addition built sometime in the 1970s or later. The side elevation of the hyphen is comprised of an arcuated opening. The side elevation of the residence is L-shaped in configuration with the hyphen element. Its first floor fenestration is comprised of an arched opening inset with a single light. Second floor fenestration is comprised of an arched sash window flanked by multi-light rectangular sash windows. The recessed portion of the residence features double doors existing down to the terrace. Its second floor fenestration is comprised of multi-light sash windows.

#### West Elevation (Figures 18 & 19)

The west elevation of the residence is comprised of a basement level with a wood panel door set in a deep reveal flanked on its north by a small four-light casement window. The first floor features a recessed porch with an arched opening flanked on its north by a six-light casement window. The second floor features a roof level deck surrounded by metal railings. The garage's west elevation features two sectional bay doors (a recent replacement) separated by a stonework pier. The second floor features three six-over-six sash windows.

#### Alterations and Modifications

---

- The single-light glazing in the arched opening at the east end of the south elevation and the on the east elevation do not appear to be original. It is possible this section of the elevation was original an open porch;
- The garage’s bay doors are recent replacements;
- The flat-roofed carport was added sometime before 1944;
- The roof was re-laid in 1997;
- The roofing was replaced in 2017 (it is not clear if the original slates were reused or replaced).

### 3.2.2 Landscaping and Hardscape (Photographs 20 – 29)

The property’s landscaping and hardscape are informal in nature with an emphasis on the use of sandstone for hardscape features such as retaining walls, curbing, steps, the entry gates, and a well residence (Map 3 and Figure 2). Plantings of native oaks are interspersed with ornamental plantings along the estate driveway and in the vicinity of the main residence. The formal entry into the property is via a gated entry comprised of sandstone block walls and gate piers opening onto East Valley Road. The graveled entry drive, which features sandstone block curbing, extends south to a motor court off the residence’s entry façade. Just north of the motor court, a secondary driveway extends southeast of the main driveway towards the rear of the garage.

The motor court features a circular driveway that passes under the residence’s porte-cochere and then to the garage. A landscaped area north of the garage features a sandstone bench, steps, and curbing. A paved terrace with sandstone retaining walls, a firepit and steps extends off the east end of the south elevation. The terrace overlooks the swimming pool and its terraces, steps, and gazebo. This area is informally landscaped. A tennis court accessed via a walkway is located southwest of the swimming pool. Another terrace feature with a sandstone block barbeque is located off the residence’s west elevation. The remainder of the property, including the vicinity of the guesthouse features similar plantings. A wellhouse built of sandstone blocks is located near the northeast corner of the parcel near the property’s frontage on East Valley Road.

#### Alterations and Modifications

- The swimming pool, pool terrace and its pergola, spa, fire pit and portions of the south terrace, tennis court and its shelter, and guesthouse are less than 50 years of age;
- The main driveway, secondary driveway, and terraces off the residence’s west elevation and the east end of the main residence’s south elevation are depicted on a 1944 aerial photograph, which suggests these features are original;
- The base of the wellhouse at the northeast corner of the property appears to be original;
- It is likely the gate piers are East Valley Road are original;
- Small scale plantings appear to have been planted within the last 30 years.

### 3.2.3 Guesthouse (Photograph 30)

A one-story guesthouse built in 1986, is located northeast of the residence. This building, which is less than 50 years of age does not require evaluation.

## 4.0 SIGNIFICANCE ASSESSMENT

---

#### 4.1 County of Santa Barbara Significance Criteria

The guesthouse, swimming pool, spa, and tennis court are less than 50 years of age and do not require further evaluation.

The County of Santa Barbara uses the following criteria to evaluate significance:

*Any structure 50 years or older is considered potentially significant and shall be subjected to the following criteria (County of Santa Barbara's Appendix B to the Environmental Thresholds and Guidelines Manual, February 27, 2018). A significant resource: a) possesses integrity of location, design, workmanship, material, and setting; b) is at least fifty years old, and c) demonstrates one or more of the following:*

- A. It exemplifies or reflects special elements of the County's cultural, social, economic, political, archaeological, aesthetic, engineering, architectural, or natural history;*
- B. It is identified with persons or events significant in local, state, or national history;*
- C. It embodies distinctive characteristics of a style, type, period, or method of construction or is a valuable example of the use of indigenous materials or craftsmanship;*
- D. It is representative of the work of a notable builder, designer, or architect;*
- E. It contributes to the significance of a historic area, being a geographically definable area possessing a concentration of historic, prehistoric, archaeological, or scenic properties, or thematically related grouping of properties, which contribute to each other and are unified aesthetically by plan or physical development;*
- F. It has a location with unique physical characteristics or is a view or vista representing an established and familiar visual feature of a neighborhood, community, or the County of Santa Barbara;*
- G. It embodies elements of architectural design, detail, materials, or craftsmanship that represent a significant structural or architectural achievement or innovation;*
- H. It reflects significant geographical patterns, including those associated with different eras of settlement and growth, particularly transportation modes or distinctive examples of park or community planning;*
- I. It is one of the few remaining examples in the County, region, state, or nation possessing distinguishing characteristics of an architectural or historical type or specimen.*

#### 4.2 Previous Designations and Age

The study property is not a designated historic resource. The property's historic significance has not been previously evaluated. Built in 1918, the residence and garage, well residence, and remnants of the designed landscape meet the 50-years-of-age requirement for further evaluation. The guesthouse, tennis court, and swimming pool are less than 50 years of age; therefore, they do not require further evaluation.

#### 4.3 Application of the Integrity Criteria

## 1) Integrity of Location

*Location is the place where the historic property was constructed or the place where the historic event occurred.*

### Residence and Garage

The residence and garage have remained at their original location since their construction. Therefore, the residence and garage retain integrity of location.

### Designed Landscape

Substantial elements of the designed landscape, including the entry gate piers, driveways, motor court and terraces, remain in-situ. Therefore, the designed landscape retains integrity of location.

## 2) Integrity of Design

*Design is the combination of elements that create the form, plan, space, structure, and style of a property.*

### Residence and Garage

The French Norman Revival style residence and garage retain their original layout comprised of the two-story residence, hyphen and attached garage. Original materials and design features, including stonework, windows, doors and wrought metalwork, and character-defining elements, and almost all of its original windows and doors. Because the residence can convey its original plan and design features that define its French Norman Revival style architecture, it retains its integrity of design.

### Designed Landscape

Substantial elements of the designed landscape, including the entry gate piers, driveways, motor court and terraces, remain in-situ which allows the landscape to convey its early 20<sup>th</sup> century appearance. Therefore, the designed landscape retains integrity of design.

## 3) Integrity of Setting

*Setting is the physical environment of a historic property.*

The property, historically known as *Hacienda de Piedras*, maintains integrity of setting. The guesthouse, swimming pool, and tennis court added in the 1970s and 1980s are modest in scale and their placement has not impaired the property's ability to convey its original appearance or design. The surrounding neighborhood still conveys the semi-rural quality that has defined East Valley Road since the early 20<sup>th</sup> century. Therefore, the property retains integrity of setting.

## 4) Integrity of Materials

*Materials are the physical elements that were combined or deposited during a particular period of time and in a particular pattern or configuration to form a historic property.*

### Residence and Garage

The residence and garage retain almost all of their original exterior construction materials, including stone masonry, roof assembly, windows, and doors. Because the residence and garage retain original fabric, they can convey the type and character of their original construction materials. Therefore, the residence and garage retain integrity of materials.

### Designed Landscape

Substantial elements of the designed landscape, including the sandstone entry gate piers, driveways, motor court and terraces, remain in-situ which allows these features to convey the quality and type of their original materials. Therefore, the designed landscape retains integrity of materials in regard to its hardscape.

## **5) Integrity of Workmanship**

*Workmanship is the physical evidence of the crafts of a particular culture or people during any given period in history or prehistory.*

### Residence and Garage

The residence and garage retain their original exterior construction materials, including sandstone walls, roof assembly, windows, and doors, which allows them to convey the character of their original construction methods. Therefore, the residence and garage retain integrity of workmanship.

### Designed Landscape

Substantial elements of the designed landscape, including the sandstone entry gate piers, driveways, motor court and terraces, remain in-situ which allows these features to convey the quality and type of their original construction methods. Therefore, the designed landscape retains integrity of workmanship in regard to its hardscape.

## **6) Integrity of Feeling**

*Feeling is a property's expression of the aesthetic or historic sense of a particular period of time.*

The residence and garage, and elements of the designed landscape's hardscape, associated with the initial development of the property by its first owner, Jerome Chaffee, survive in a very good state of preservation. Subsequent additions, including the construction of a detached guesthouse, swimming pool, and tennis court, have not significantly intruded on the vistas or landscape features that characterized the property during the early 20<sup>th</sup> century. Therefore, the property retains integrity of feeling.

## **7) Integrity of Association**



*Association is the direct link between an important historic event or person and a historic property.*

The residence and garage, wellhouse, and the designed landscape features dating to the period of significance, retain integrity of location, design, setting, materials, and workmanship. Therefore, the property retains integrity of association.

#### **4.4 Summary Statement of Integrity**

The residence and garage, and elements of the designed landscape retain integrity of location, design, materials, workmanship, feeling, and association. Therefore, the residence and garage, as well as elements of the designed landscape, retain sufficient integrity to convey their historic architectural style, landscape design, and historical associations.

#### **4.5 Application of County of Santa Barbara Significance Criteria**

The property must also meet one or more of the following Significance Criteria to be considered a significant resource:

*A. It exemplifies or reflects special elements of the County's cultural, social, economic, political, archaeological, aesthetic, engineering, architectural, or natural history*

The residence and garage designed by renowned architect Carleton Winslow exemplifies the French Norman Revival Style, one of several Period Revival styles popular in the United States between circa-1918 and the end of 1930s. Drawing its inspiration from manor houses of 16<sup>th</sup> century rural France, the residence and garage are one of the few French Norman Revival style residential projects dating to the Regional Culture Period (1918 -1945), an era in Santa Barbara history characterized by the construction of estates residences in the Santa Barbara area. Therefore, the residence and garage and surviving elements of the designed landscape's hardscape exemplify high artistic values and are examples of an uncommon architectural style, the property at 2929 East Valley Road meets Criterion A.

*B. It is identified with persons or events significant in local, state, or national history*

The property has a direct and substantive association with Don Lee Gevirtz, who lived on the property from 1978 until he died in 2001. During his occupancy, Gevirtz made notable contributions to the community and nation through his business ventures, diplomatic posts, and charitable giving. A successful businessman, Gevirtz served as a United States Ambassador to Tuvalu, Fiji, Nauru, and Tonga and, through his endowment, founded the Gevirtz Graduate School of Education at UCSB. The association between Gevirtz and the property occurred less than 50 years ago, consequently, when this association achieves an age of 50 years or more, this association may become historically significant.

*C. It embodies distinctive characteristics of a style, type, period, or method of construction or is a valuable example of the use of indigenous materials or craftsmanship*

The residence and garage retain sufficient integrity to convey their French Norman Revival style architecture. They represent an important example of their architectural subtype of the Period



Revival movement in early 20<sup>th</sup> century Santa Barbara County. The remaining elements of the designed landscape's hardscape composed of sandstone block construction, are important examples of this construction method and type. Therefore, the property at 2929 East Valley Road meets Criterion C.

*D. It is representative of the work of a notable builder, designer, or architect;*

Carleton Winslow, who practiced in Santa Barbara County between circa-1915 and 1946, was one of the most notable regional architects in California between the late teens and the 1940s. During this period, Winslow established a thriving residential and ecclesiastical design practice best known for his interpretation of the various iterations of the Period Revival movement, including the French Norman Revival style. The residence and garage represent one of Winslow's earliest commissions. Therefore, as an exemplar of the work of one of Santa Barbara County's most notable early 20<sup>th</sup> century architects, the property at 2929 East Valley Road meets Criterion D.

*E. It contributes to the significance of a historic area, being a geographically definable area possessing a concentration of historic, prehistoric, archaeological, or scenic properties, or thematically related grouping of properties, which contribute to each other and are unified aesthetically by plan or physical development*

The property is not part of a larger assemblage of resources linked by a shared history or architecture. Therefore, the study property at 2929 East Valley Road does not meet Criterion E.

*F. It has a location with unique physical characteristics or is a view or vista representing an established and familiar visual feature of a neighborhood, community, or the County of Santa Barbara*

The property is not part of an established view or vista important to the community. Therefore, the study property at 2929 East Valley Road does not meet Criterion F.

*G. It embodies elements of architectural design, detail, materials, or craftsmanship that represent a significant structural or architectural achievement or innovation*

Designed by Carleton Winslow, the residence and garage retain sufficient integrity to convey their French Norman Revival style architecture. They are one Santa Barbara County's earliest examples of this architectural subtype of the Period Revival Movement. The landscape's hardscape features, which represent a good example of early 20<sup>th</sup> century masonry construction are substantially intact and contribute to the setting of the residence and garage. Therefore, the project property at 2929 East Valley Road meets Criterion G.

*H. It reflects significant geographical patterns, including those associated with different eras of settlement and growth, particularly transportation modes or distinctive examples of park or community planning*

The property does have an association with the theme of Great Estates during the Regional Culture Period between 1915 and 1945. Therefore, the property at 2929 East Valley Road meets Criterion H.

*I. It is one of the few remaining examples in the County, region, state, or nation possessing distinguishing characteristics of an architectural or historical type or specimen*

As an early and substantially intact example of its French Norman Revival style a rare subtype of the Period Revival Movement, the residence and garage, designed by Carleton Winslow, meet Criterion I. While the designed landscape's hardscape survives, it represents a relatively common type in both Montecito and Toro Canyon, of which other examples survive including boundary walls on the former Riven Rock estate and Val Verde. Therefore, the hardscape does not meet Criterion I.

#### **4.6 Eligibility for Listing in the California Register of Historical Resources**

*For purposes of this section, the term "historical resources" shall include the following:*

- 1.) A resource listed in or determined to be eligible by the State Historical Resources Commission, for listing in the California Register of Historical Resources (Pub. Res. Code SS5024.1, Title 14 CCR, Section 4850 et seq.).*
- 2.) A resource included in a local register of historical resources, as defined in section 5020.1(k) of the Public Resources Code, or identified as significant in an historical resource survey meeting the requirements section 5024.1(g) of the Public Resources Code, shall be presumed to be historically or culturally significant. Public agencies must treat any such resource as significant unless the preponderance of evidence demonstrates that it is not historically or culturally significant.*
- 3.) Any object, building, structure, site, area, place, record, or manuscript which a lead agency determines to be historically significant or significant in the architecturally, engineering, scientific, economic, agricultural, educational, social, political, military, or cultural annals of California may be considered to be an historical resource, provided the lead agency's determination is supported by substantial evidence in light of the whole record. Generally, a resource shall be considered by the lead agency to be "historically significant" if the resource meets the criteria for listing on the California Register of Historical Resources (Pub. Res. Code SS5024.1, Title 14 CCR, Section 4852) including the following:*

*Criterion 1: A resource listed in or determined to be eligible by the State Historical Resources Commission, for listing in the California Register of Historical Resources (Pub. Res. Code SS5024.1, Title 14 CCR, Section 4850 et seq.).*

The property at 2929 East Valley Road is not listed in the California Register of Historical Resources, nor has it been deemed eligible for listing by the State Historical Resources Commission. Therefore, the property does not meet Criterion 1.

*Criterion 2: A resource included in a local register of historical resources, as defined in section 5020.1(k) of the Public Resources Code, or identified as significant in an historical resource survey meeting the requirements section 5024.1(g) of the Public Resources Code, shall be presumed to be historically or culturally significant. Public agencies must treat any such resource as significant unless the preponderance of evidence demonstrates that it is not historically or culturally significant.*

The property at 2929 East Valley Road has not been identified by a County survey or previous study as a potentially significant historic resource, nor is it listed in a local register of historic resources. Therefore, the property at 2929 East Valley Road does not meet Criterion 2.

Criterion 3a: *Is associated with events that have made a significant contribution to the broad patterns of California's history and cultural heritage.*

The study property does not have a direct link with a specific historic event important to interpreting California or local history. Therefore, the property at 2929 East Valley Road, does not meet Criterion 3a.

Criterion 3b: *Is associated with the lives of persons important in our past.*

The Chaffee family who created the estate did not make substantive contributions to local or state history while residing at the property. The occupancy of Don Lee Gevirtz occurred less than 50 years ago and has not reached the threshold necessary for evaluation. Therefore, the property at 2929 East Valley Road does not meet Criterion 3b.

3c *Embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of an important creative individual, or possesses high artistic values.*

As noted above, under local level eligibility, the residence and garage designed by Carleton Winslow are significant examples of the French Norman Revival style embodying outstanding design, use of materials and workmanship that are associated with a creative individual who made substantial contributions to California's architectural heritage. Therefore, the property at 2929 East Valley Road meets Criterion 3c.

Criterion 3d: *Has yielded, or may be likely to yield, information important in prehistory or history.*

The application of this criterion to archaeological reports is beyond the purview of this report.

#### **4.7 Eligibility for Listing in the National Register of Historic Places**

Also, to be considered are the criteria for listing in the National Register of Historic Places. (MEA Technical Appendix 1 VGB-10):

Criterion (a): *That are associated with events that have made a significant contribution to the broad patterns of our history.*

As noted above, the study property was not the site of an important historical event. Therefore, the property at 2929 East Valley Road does not meet Criterion a.

Criterion (b): *That is associated with the lives of persons significant in our past.*

As noted above, under the application of local and state criteria, the property's historical associations, including with the Chaffee family that occurred more than 50 years ago are not historically significant. The occupancy of Don Lee Gevirtz occurred less than 50 years ago. Consequently, it has not achieved a sufficient depth of time to require evaluation. Therefore, the property at 2929 East Valley Road does not meet Criterion b.

Criterion (c): *That embody the distinctive characteristics of a type, period, or method of construction, or that represent the work of a master, or that possess high artistic values, or that*

represent a significant and distinguishable entity whose components may lack individual distinction.

As noted above, under local level and state level eligibility, the residence and garage, designed by Carleton Winslow, are significant examples of the French Norman Revival style embodying outstanding design, materials and workmanship associated with creative individuals who made substantial contributions to the nation's architectural and cultural heritage. The landscape's early 20<sup>th</sup> century sandstone hardscape features contribute to the setting and significance of the property. Therefore, the property at 2929 East Valley Road meets Criterion c.

Criterion (d): *That has yielded, or may be likely to yield, information important in prehistory or history.*

The application of this criteria to archaeological reports is beyond the purview of this report.

#### **4.8 Summary Statement of Significance**

The residence and its garage and surviving elements of the early 20<sup>th</sup> century hardscape on the study property meets County of Santa Barbara Significance Criteria A, B, C, D, G, H, and I, making them eligible for listing as a County of Santa Barbara Landmark. The study property is eligible for listing at the State level under Criterion 3c and for listing in the National Register of Historic Places under Criterion c. Buildings, structures, and features including hardscape and landscape that are less than 50 years of age are non-contributing to the property's significance. Because the residence and garage and elements of the hardscape are eligible for listing at the County, state and national levels, the property is considered a significant resource for the purposes of environmental review.

### **PHASE 2 COMPONENT**

#### **5.0 POTENTIAL PROJECT IMPACTS**

The following section of the report will evaluate the proposed project's impact on the significant resources identified in this report. Potential adverse impacts include alterations or changes that result in changes to a resource or its setting that diminish those qualities that justify its potential listing as a significant historic resource at the County of Santa Barbara, state, and national levels. Please see Appendix A for project plans.

State CEQA Guidelines #15064.5(a) for determining the significance of impacts to historic resources:

Historical resources are broadly defined as those cultural resources that are considered significant under CEQA and may include sites, objects, structures, buildings, etc. Historical resources may be prehistoric or historic in age and may be archaeological resources, part of the existing built environment, other important historic resource, or a tribal cultural resource, such as a sacred space. The CEQA Guidelines provides guidance as to what qualifies as a significant historical resource. CEQA Guidelines Section 15064.5(a) of the State CEQA Guideline provides a definition of "historical resource." Resources that meet this definition are significant. Public Resources Code Sections 5020-5029.5 also contain many important definitions of terms used in the code section below, including historical resources, the California Register of Historical Resources, the State Historical Resources Commission, the State Office of Historical Preservation, and others.

CEQA defines material impairment of a historic resource as follows:

- A. Demolishes or materially alters in an adverse manner those physical characteristics of a historical resource that convey its historical significance and that justify its inclusion in, or eligibility for, inclusion in the California Register of Historical Resources;
- B. Demolishes or materially alters in an adverse manner those physical characteristics that account for its inclusion in a local register of historical resources pursuant to section 5020.1(k) of the Public Resources Code or its identification in an historical resources survey meeting the requirements of section 5024.1(g) of the Public Resources Code, unless the public agency reviewing the effects of the project establishes by a preponderance of evidence that the resource is not historically or culturally significant; or
- C. Demolishes or materially alters in an adverse manner those physical characteristics of a historical resource that convey its historical significance and that justify its eligibility for inclusion in the California Register of Historical Resources as determined by a lead agency for purposes of CEQA. (Public Resources Code 15064.5 (b2).
- D. Generally, a project that follows the Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings or the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings (1995) shall be considered as mitigated to a level of less than significant.
- E. A lead agency shall identify potentially feasible measures to mitigate significant adverse changes in the significance of a historical resource. The lead agency shall ensure that any adopted measures to mitigate or avoid significant adverse changes are fully enforceable through permit conditions, agreements, or other measures.

Secretary of the Interior's Standards (Standards):

Under the Standards, a future project encompassing an addition and installing a swimming pool would be defined as rehabilitation. The Standards define rehabilitation as follows:

*Rehabilitation is defined as the act or process of making possible a compatible use for property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural, or architectural values (<http://nps.ov/history/hps/tps/standards/rehabilitation.htm>).*

The following standards developed by the National Park Service to evaluate rehabilitation projects will guide the evaluation of the proposed project:

Secretary of the Interior's Standards for Rehabilitation

- 1) A property will be used as it was historically or given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
- 2) The historic character of a property will be retained and preserved. The removal of distinctive materials or alterations of features, spaces, and spatial relationships that characterize a property will be avoided.



- 3) *Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.*
- 4) *Changes to a property that have acquired historic significance in their own right will be retained and preserved.*
- 5) *Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.*
- 6) *Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.*
- 7) *Chemical and physical treatments, if appropriate, will be undertaken by the gentlest means possible. Treatments that cause damage to historic materials will not be used.*
- 8) *Archaeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.*
- 9) *New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale, and proportion, and massing to protect the integrity of the property and its environment.*
- 10) *New additions and adjacent or related new construction will be undertaken in such a manner that if removed, in the future, the essential form and integrity of the historic property will be unimpaired (36 CFR Part 68, 1995 Federal Register, Vol. 60, No. 133).*

## **5.1 The Proposed Project**

The applicant is proposing the removal of non-historic addition from the rear elevation of the garage and its replacement by a new addition, the glazing of an open breezeway connecting the house to the garage, and the construction of a one-story wing off the east end of the breezeway. The architectural firm of architect of record for the project is Richard Felix-Ashman Design Inc. Project plans are found in Appendix A of this report.

The proposed addition to the rear elevation of the garage is a one-story addition in the Modernist style with a flat roof and sandstone veneered walls. The east elevation of the garage would feature a series of garage bay doors.

The proposed addition which is built into the slope would read as a one-story volume with a ground level element at its south end. The addition would be connected to the existing covered breezeway connecting the house to the garage via a glazed hyphen. The addition is designed in the Modernist style with extensive glazing, gabled roofs and flat cantilevered green roofs set on wall on a ground level primarily in coursed sandstone veneer.

The proposed project is located in an area of the property that does not contain historic landscape features.

## **5.2 Application of the Secretary of the Interior's Standards for Rehabilitation**

*Rehabilitation is defined as the act or process of making possible a compatible use for property through repair, alterations, and additions while preserving those portions or features which convey its*

historical, cultural, or architectural values (<http://nps.ov/history/hps/tps/standards/restoration.htm>).

The following standards developed by the National Park Service to evaluate rehabilitation projects will guide the evaluation of the proposed project:

#### Application of the Secretary of Interior's Standards for Rehabilitation to the Proposed Alterations

The following Standards apply to the restoration aspect of the project:

**Standard 1:** *A property will be used as it was historically or given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.*

Analysis: The property will retain its historic use as a residential property and the parcel's main residence will remain single-family. The proposed removal of the non-historic addition to the east elevation of the garage would not impair the historic resource. The proposed glazing of existing openings in the breezeway would alter the appearance of the breezeway, but not to the extent it could not convey its original configuration or function as a link between the house and the garage. The design of the addition, which is subservient in scale and massing to the historic building, is linked by a hyphen, employs stonework, and is located at the east end of the existing breezeway to minimize its visual impact on the historic house and garage, follows the guidance set forth in the Standards, which encourages additions to be respectful in scale, massing, and materials to the existing building while maintaining a clear distinction between the historic building and the additions. Therefore, the proposed project to modify the interior meets Standard 1.

**Standard 2:** *The historic character of a property will be retained and preserved. The removal of distinctive materials or alterations of features, spaces, and spatial relationships that characterize a property will be avoided.*

Analysis: The insertion of glazing into the breezeway's existing opening, alterations to the rear elevation of the garage, and the insertion of a hyphen linking the house to addition to the breezeway would not require the removal of historic building fabric. Moreover, the project does not propose other alterations or repairs that would affect historic exterior building fabric. Therefore, the proposed project meets Standard 2.

**Standard 3:** *Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.*

The project does not propose the addition of conjectural features or architectural or decorative elements from other historic properties. Therefore, Standard 3 does not apply to this aspect of the project.

**Standard 4:** *Changes to a property that have acquired historic significance in their own right will be retained and preserved*

None of the additions postdating the construction of the house have achieved historic significance in their own right. Therefore, Standard 4 does not apply to the project.

**Standard 5:** *Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize a property will be preserved.*

Analysis: The proposed project to glaze opening remodel the rear elevation of the garage does not require the removal of historic building fabric. Therefore, the proposed project meets Standard 5.

**Standard 6:** *Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.*

Repairs to exterior building fabric or features are not currently proposed to the residence's exterior. Therefore, Standard 6 does not apply to the project.

**Standard 7:** *Chemical and physical treatments, if appropriate, will be undertaken by the gentlest means possible. Treatments that cause damage to historic materials will not be used.*

Cleaning or treatment of the building's exterior historic building fabric is not proposed. Therefore, Standard 7 does not apply.

**Standard 8:** *Archaeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.*

The application of this criterion to archaeological deposits is beyond the purview of this report.

**Standard 9:** *New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale, and proportion, and massing to protect the integrity of the property and its environment.*

The proposed removal of a non-historic addition to the rear (east elevation) of the garage would not remove historic building fabric. Moreover, the design of the addition, with its sandstone block walls and low one-story massing, is contextual in scale and massing and compatible in materials to the historic resource. The addition will not impair the spatial or visual relationship of the house and garage to their setting, or impair the ability of the historic resource to convey its historic appearance. Infilling the breezeway's opening with glazing would somewhat alter the appearance of this element. However, this alteration would not require the removal of historic building material because the glazing would be set into the existing openings. The proposed wing, which will read as a one-story mass set on a plinth is compatible in scale and massing, to the historic resource. Moreover, the addition, while contemporary in design, follows the guidance in the Standards for differentiating additions from the historic building while maintaining compatible scale, massing, and materials (the proposed use of sandstone veneer). Therefore, the proposed additions and alterations, which will not remove significant amounts of historic building fabric and are compatible in scale, massing, and materials to the historic resource meet Standard 9.



**Standard 10:** *New additions and adjacent or related new construction will be undertaken in such a manner that if removed, in the future, the essential form and integrity of the historic property will be unimpaired.*

The proposed wing, glazing of opening in the breezeway, and the addition to the rear of the garage could be removed with minimal impact to historic building fabric. Therefore, the proposed project meets Standard 10.

### **5.3 Summary Statement of Project Impacts**

After implementation of the proposed project, the resource would maintain its status as a potential County of Santa Barbara Landmark. Therefore, implementation of the proposed project would have a less than significant impact on a significant historic resource (Class III).

## **6.0 SUMMARY AND CONCLUSIONS**

The proposed project would have a less than significant impact on a significant historic resource. Therefore, the proposed project is consistent with County of Santa Barbara Historical and Archaeological Policies and the historic preservation policies outlined in the Toro Canyon Community Plan Area to the maximum extent feasible" (County of Santa Barbara 2004: Section 4 D, History and Archaeology). At the completion of the project the residence and garage, at 2929 East Valley Road would maintain their status as a potential County of Santa Barbara Landmark. Therefore, project impacts are less than significant.

## **7.0 SOURCES CONSULTED DURING THE PREPARATION OF THIS REPORT**

Andree, Herb and Noel Young.

1975 *Santa Barbara Architecture: From Spanish Colonial to Modern*,  
Santa Barbara: Capra Press.

*Baltimore Sun*, as cited in text.

Birnbaum, Charles, and Robin Karon

2000 *Pioneers of American Landscape Design: A Project of the National Park Service Historic Landscape History CATALOG of Landscape Records in the United States at Wave Hill Cultural Landscape Foundation*. McGraw-Hill, New York.

Clark, Clifford E.

1986 *The American Family Home: 1800-1960*. University of North Carolina Press, Chapel Hill.

Cole, Alexandra

2000 Draft of the Toro Canyon Plan Environmental Impact Report (SCH#99051022)  
2000-EIR-1, February 2000.

County of Santa Barbara

2004 Toro Canyon Plan (2002 updated 2004).

Dobyns, Winifred, S.

1996 *California Gardens*. Allen A. Knoll, Publishers, Santa Barbara, California. Reprint of the 1931 edition.

Griscom Elaine

1999 *Behind the Hedge of Montecito*. Fithian Press.

Hewitt, Mark, Alan.

1981 *The Architect & the American Country Residence , 1890-1940*. Yale University Press, New Haven, and London.

Karson, Robin

2007 *A Genius for Place: American Landscape of the Country Place Era*  
University of Massachusetts Press, Library of American Landscape History.

*Los Angeles Times*, as cited in text.

McAlester, Virginia, and Lee McAlester

1993 *A Field Guide to American Residence s*. Alfred A. Knopf, New York.

Myrick, David.

1987 *Montecito and Santa Barbara: From Farms to Estates*. Pentrex Media Group, Pasadena, California

2001 *The Days of the Great Estates of Montecito and Santa Barbara: Volume II: The Days of the Great Estates*. Pentrex Media Group, Glendale, California.

National Park Service

1991 Brochure, Preservation Assistance Division, Washington D.C.

1995 *The Secretary of the Interior's Standards for the Treatment of Historic Properties*. Brochure, Preservation Assistance Division, Washington D.C

Staats, Phillip H.

1990 *California Architecture in Santa Barbara*. Architectural Book Publishing Company, Stamford, Connecticut. Reprint of 1929 publication.

Streatfield, David, C.

1982 *California Gardens: Creating a New Eden*. Abbeville Press, Publishers, New York.

Vogt, Elizabeth E.

1982 *Montecito: California's Garden Paradise*. MIP Publishing, Santa Barbara.

The following archives were used in the preparation of this report:

Montecito History Committee, Montecito Association.

Santa Barbara Historical Museum, Gledhill Library.

## Maps

Sanborn Fire Insurance Maps for Montecito, 1918, 1924, 1942 & 1958.

U. S. Geodetic Survey Maps, 1870, 1878.

U.S.G.S. Map of Montecito, Quad, 1903.

U. S. Land Commission Map, 1855.

## Other Sources

City of Santa Barbara, including Montecito, Directories (1923-1977).

Find A Grave Index, 1600s to Current.

Montecito History Association information sheet for *Hacienda de Piedras*, n.d.

Phinney Family (South) Tree; [ancestry.com](https://www.ancestry.com).

U.S. Find A Grave Index, 1600s to Current.

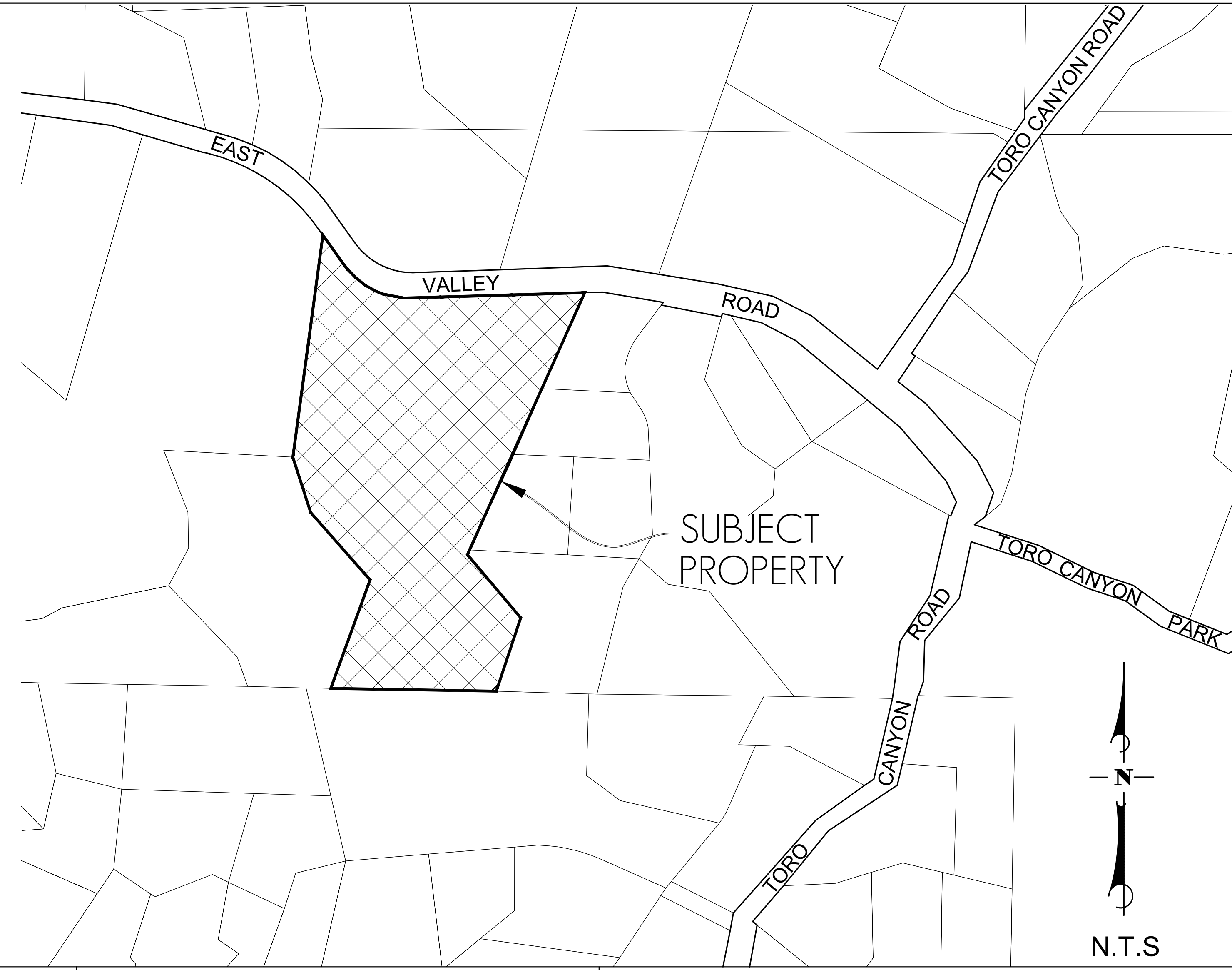
# **Appendix A**

## **Project Plans**



# 2929 EAST VALLEY ROAD, SANTA BARBARA, CALIFORNIA

## VICINITY MAP



## APPLICABLE CODES

- 2022 CALIFORNIA RESIDENTIAL CODE
- 2022 CALIFORNIA MECHANICAL CODE
- 2022 CALIFORNIA ELECTRICAL CODE
- 2022 CALIFORNIA PLUMBING CODE
- 2022 CALIFORNIA GREEN BUILDING CODE
- CALIFORNIA GREEN BUILDING STANDARDS CODE
- 2022 CALIFORNIA ENERGY CODE
- SANTA BARBARA COUNTY LAND USE & DEVELOPMENT CODE
- SANTA BARBARA COUNTY COASTAL ZONING ORDINANCE

## PROJECT INFORMATION

ADDRESS: 2929 EAST VALLEY ROAD, SANTA BARBARA CA 93108

LEGAL DESCRIPTION:  
 APN: 005-040-025  
 LOT: 25  
 BLOCK: NONE  
 OVERLAY ZONE: TORO CANYON PLAN DESIGN CONTROL OVERLAY ENVIRONMENTALLY SENSITIVE HABITAT, INNER-RURAL (LAND PORTION AND RURAL COASTAL PORTION), COSTAL COMMISSION APPEALS JURISDICTION 5.5.1

ZONING: SRP-002  
 LAND USE DESIGNATION: 4412 SQFT PER CITY RECORDS  
 BUILDING AREA: 1,125 SQFT PER CITY RECORDS  
 GARAGE AREA: 794 ACRES (432,986.4 SQFT PER COUNTY RECORDS)  
 LOT/PARCEL AREA: 180  
 TYPE OF CONSTRUCTION: R-3 (U)  
 OCCUPANCY GROUP: 1

REQUIRED SETBACKS:  
 FRONT: 35 FEET FROM CL OF ROAD, 20 FEET FROM ROW  
 SIDE: 100 LOT WIDTH: MIN. 10 FEET / MAX. 20 FEET  
 REAR: 25 FEET

HEIGHT LIMIT IN COASTAL ZONE PORTION OF SITE: 25 FEET OR 16 FEET WHERE THERE IS A 16 FEET DROP IN ELEVATION WITHIN 100 FEET IN ANY DIRECTION OF PROPOSED BUILDING FOOTPRINT

MONTECITO WATER DISTRICT  
 CARRITERA / SUMMERLAND FIRE PROTECTION DISTRICT  
 ON-SITE WASTEWATER TREATMENT SYSTEM

## SCOPE OF WORK

PLEASE NOTE:  
 SCOPE OF WORK FOR INTERIOR REMODEL OF EXISTING STONE HOUSE - UNDER SEPARATE PERMIT

### UNDER THIS SUBMITTAL:

1. PROJECT IS LOCATED WITHIN COASTAL ZONE
2. PROJECT HEIGHT LIMIT EXCEEDS 16 FEET DROP WITHIN 100 FEET RADIUS
3. PROJECT REQUESTS EXEMPTION FROM THE BOARD OF ARCHITECTURAL REVIEW TO RIDGELINE/HILLSIDE DEVELOPMENT HEIGHT LIMIT OF 16'-0" (ARTICLE II - SECTIONS 35-1.44 & 35-1.44.4)

### EXISTING GARAGE

- DEMO INTERIOR OF EXISTING (2) CAR GARAGE & CONVERT TO DOUBLE HEIGHT SPACE
- REPLACE EXISTING GARAGE DOORS WITH NEW STEEL & GLASS DOORS
- CREATE NEW DOOR WITHIN EXISTING STONE WALL FOR ACCESS TO NEW GARAGE (AT REAR)
- RELOCATE EXISTING KITCHEN (CURRENTLY WITHIN ORIGINAL HOUSE) TO EXISTING GARAGE
- PERFORM SEISMIC & STRUCTURAL DESIGN UPGRADES TO EXISTING UNREINFORCED STONE STRUCTURE & ROOF FRAMING

### EXISTING STONE HOUSE (ORIGINAL HOUSE)

- REMOVE EXISTING KITCHEN & RELOCATE TO GARAGE, PER ABOVE NOTE, PERFORM PRELIMINARY

### COVERED WALKWAY

- PERFORM SEISMIC & STRUCTURAL DESIGN UPGRADES TO EXISTING UNREINFORCED STONE STRUCTURE & ROOF FRAMING
- ENCLOSE WALKWAY TO BE CONDITIONED, INTERIOR SPACE (CURRENTLY OPEN TO AIR)
- ADD NEW WOOD WINDOWS TO MATCH ORIGINAL HOUSE
- WIDEN OPENING AS REQUIRED FOR PASSAGEWAY TO NEW KITCHEN
- LOWER SILL AS REQUIRED FOR NEW PASSAGEWAY TO NEW ADDITION

### NEW ADDITION

- ADDITION OF NEW 2 FLOOR WING
- ADDITION TO COMPRISE OF:
  - a. 2 BEDROOMS
  - b. 3 1/2 BATHROOMS
  - c. CONSERVATORY
  - d. TV ROOM
  - e. LAUNDRY
  - f. OFFICE
  - g. GYM (LOWER LEVEL)
  - h. STORAGE & MECHANICAL SPACES

### NEW GARAGE

- ADDITION OF NEW, TWO-CAR GARAGE TO REPLACE EXISTING

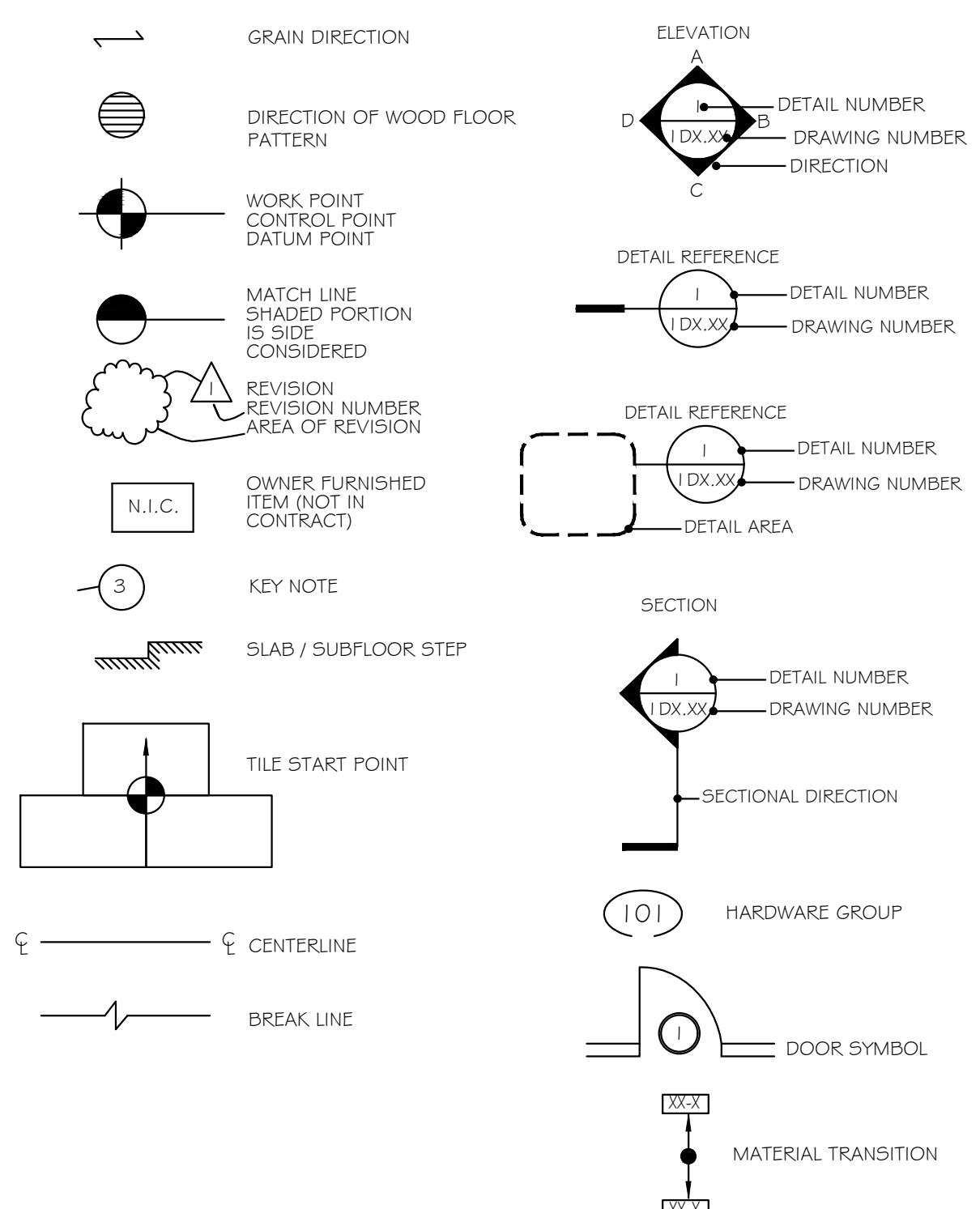
### POOL & HARDSCAPE

- REPLACEMENT OF EXISTING POOL AND ASSOCIATED HARDSCAPE WITH NEW - REFER TO SITE PLAN & LANDSCAPE PLANS

## GENERAL NOTES

1. THE CONTRACT DOCUMENTS ARE COMPLEMENTARY. PROVIDE ITEMS SHOWN OR REFERRED TO ON A DRAWING AS REQUIRED BY THE SPECIFICATION SECTION. ITEMS MENTIONED IN A SPECIFICATION SECTION BUT NOT CALLED OUT OR SHOWN ON A DRAWING SHOULD BE VERIFIED WITH THE ARCHITECT.
2. MAKE ALL FIELD MEASUREMENTS AND INVESTIGATIONS NECESSARY TO PERFORM THE WORK. NO ALLOWANCES WILL BE MADE ON BEHALF OF THE CONTRACTOR FOR ERRORS DUE TO FAILURE TO ACQUAINT HIMSELF WITH THE EXISTING CONDITIONS.
3. ALL WORK SHALL BE IN ACCORDANCE WITH APPLICABLE LAWS, CODES AND REGULATORY AGENCIES HAVING JURISDICTION, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
  - A) CALIFORNIA BUILDING CODE (2019)
  - B) STATE OR COUNTY BUILDING CODE (WHERE MORE RESTRICTIVE THAN LOCAL CODES).
  - C) FEDERAL OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION.
  - D) CURRENT NFPA REQUIREMENTS.
4. PROTECT AND OBEY ALL LOCAL LAWS, ORDINANCES AND RULES, REGULATIONS, AND ORDERS OF ANY PUBLIC AUTHORITY BEARING ON THE PERFORMANCE OF THE WORK.
5. USE EXTREME CAUTION IN THE REMOVAL OF ANY ITEM AND PROVIDE PROTECTION OF PERSONNEL AND OTHERS IN ALL DEMOLITION WORK. CONFORM TO ALL OSHA REQUIREMENTS AND GOVERNING CODES (TYPICAL).
6. SECURE AND PAY FOR ALL PERMITS, FEES AND LICENSES NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK.
7. VERIFY THAT NO CONFLICTS EXIST IN THE LOCATION OF ANY AND ALL MECHANICAL, TELEPHONE, ELECTRICAL, IRRIGATION AND LIGHTING EQUIPMENT (INCLUDING ALL PIPING, DUCT AND CONDUIT ROUTING) AND THAT ALL REQUIRED CLEARANCES FOR THE INSTALLATION AND MAINTENANCE OF EQUIPMENT ARE PROVIDED.
8. ANY ALL EXISTING UTILITIES REMOVED SHALL BE TERMINATED BACK TO THE NEAREST USEFUL SOURCE OR REROUTED AS NECESSARY (TYPICAL).
9. SEAL ALL SLAB AND WALL PENETRATIONS AS REQUIRED BY BUILDING CODE.
10. DISPOSE OF ITEMS AND MATERIALS IN A LEGAL MANNER ON A DAILY OR WEEKLY BASIS AS THE WORK PROCEEDS.
11. DO NOT SCALE DRAWINGS. REFER TO DIMENSIONS OR NOTES. INFORM THE ARCHITECT OF ANY DISCREPANCIES.

## ARCHITECTURAL PLAN SYMBOLS



## DRAWING LIST

- |         |  |
|---------|--|
| A-0.00  | COVER SHEET - NOTES, DATA, LEGENDS, SYMBOLS, INDEX, DWG LIST |
|         | BOUNDARY & TOPOGRAPHIC MAP                                   |
|         | TOPOGRAPHICAL SITE SURVEY                                    |
|         | TOPOGRAPHICAL SITE SURVEY                                    |
| C-1     | PRELIMINARY GRADING PLAN                                     |
| A-1.00  | OVERALL SITE PLAN  |
| A-1.01  | ENLARGED SITE PLAN   |
| A-1.03  | PHOTOGRAPHS - EXISTING CONDITIONS                            |
| A-1.04  | PHOTOGRAPHS - EXISTING CONDITIONS                            |
| A-2.00  | PROPOSED GROUND FLOOR PLAN                                   |
| A-2.01  | PROPOSED LOWER FLOOR PLAN                                    |
| A-2.02  | PROPOSED ROOF PLAN   |
| A-3.00N | EXISTING & PROPOSED NORTH ELEVATION                          |
| A-3.00S | EXISTING & PROPOSED SOUTH ELEVATION                          |
| A-3.01  | PROPOSED SOUTH ELEVATION                                     |
| A-3.02  | PROPOSED WEST ELEVATION                                      |
| A-3.03  | PROPOSED EAST ELEVATION                                      |
| A-4.00  | PROPOSED BUILDING SECTION                                    |
| A-10.00 | CONCEPT PERSPECTIVE RENDERING                                |
| A-10.01 | PROPOSED MATERIAL PALETTE                                    |
| A-10.02 | PROPOSED CONCEPT DETAILS                                     |
| L-1.00  | PROPOSED SITE PLAN   |
| L-2.00  | PROPOSED MATERIALS & DETAILS                                 |
| L-3.00  | PROPOSED PLANTS  |
| L-4.00  | SITE IMAGES  |

## AREA TABULATIONS

1. EXISTING GUEST HOUSE (NOT IN SCOPE) - 750 SQ. FT.
2. EXISTING (ORIGINAL) HOUSE - BASEMENT - 1253 SQ. FT., FIRST FLOOR - 1831 SQ. FT., SECOND FLOOR - 1637 SQ. FT.
3. EXISTING BREEZEWAY - (PROPOSED: MODIFIED TO CONDITIONED SPACE) - 177 SQ. FT.
4. EXISTING GARAGE - (PROPOSED: REMODELED TO NEW KITCHEN) - 461 SQ. FT.
5. PROPOSED (NEW) ATTACHED GARAGE - 861 SQ. FT.
6. PROPOSED (NEW) ADDITION - LOWER LEVEL - 2298 SQ. FT., GROUND FLOOR - 4628 SQ. FT.
7. PROPOSED TERRACE (COVERED) - LOWER LEVEL - 640 SQ. FT., GROUND LEVEL - 1596 SQ. FT.

RICHARD FELIX-ASHMAN DESIGN INC.  
 SAN FRANCISCO & MILL VALLEY CALIFORNIA  
 T. 415.834.8115  
 521 WEST BUTHEDEALE MILL VALLEY, CA 94041

NO.	DATE	NO.	REVISION
01	10/16/2023	01	304K CONCEPTUAL REVIEW

OWNER  
 YMB LLC

CONSTRUCTION MANAGER  
 PEAK PROJECTS LLC  
 www.peakprojects.com

GENERAL CONTRACTOR  
 JOHN MADSON CONSTRUCTION INC.  
 PO BOX 1207  
 CARRISHERA, CA 93014  
 T. 805.684.0615

PERMIT EXPEDITOR  
 SUZANNE RUDGE PLANNING & PERMITTING SERVICES INC.  
 1625 STATE STREET, SUITE 1  
 SANTA BARBARA, CA 93101  
 T. 805.966.2758

STRUCTURAL ENGINEER  
 VANSANDE STRUCTURAL CONSULTANT  
 2920 DE LA VINA  
 SANTA BARBARA, CA 93105  
 T. 805.963.6901

LANDSCAPE ARCHITECT  
 STUDIO PARRATERRA  
 T. 213.484.1168

ARCHITECTURAL HISTORIAN  
 POST HAZELTINE ASSOCIATES  
 2139A WEST ANAPAAU STREET  
 SANTA BARBARA, CA 93101  
 T. 805.682.3751

GEOTECHNICAL ENGINEER  
 PACIFIC MATERIALS LABORATORY INC.  
 354 SOUTH LA FARELA LANE, PO BOX 96  
 OCEITA, CA 93115  
 T. 805.964.6901

ELECTRICAL ENGINEER  
 POWERFILE ELECTRIC INC.  
 5301 VENCE BLVD  
 LOS ANGELES, CA 90019  
 T. 310.293.9333

PLUMBING & HVAC ENGINEER  
 MOJAVE ENERGY GROUP  
 26465 CARVEL RANCHO BLVD #8  
 CARVEL, CA 93023  
 T. 831.372.8528

TITLE 24  
 MOJAVE ENERGY GROUP  
 26465 CARVEL RANCHO BLVD #8  
 CARVEL, CA 93023  
 T. 831.372.8528

PROJECT  
 2929 EAST VALLEY ROAD  
 SANTA BARBARA, CA 93108

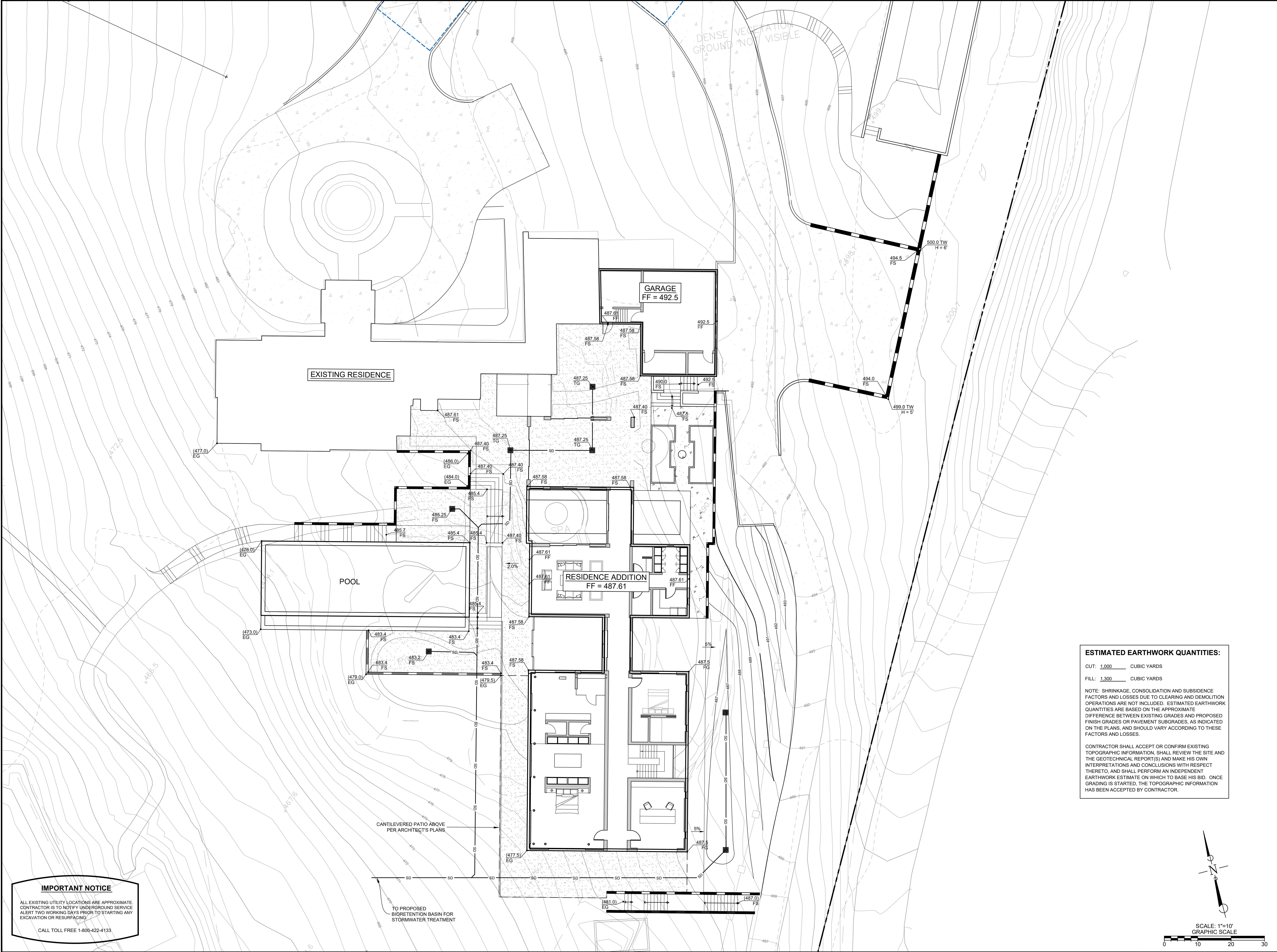
## COVER SHEET

SCALE: N.T.S.

A-000

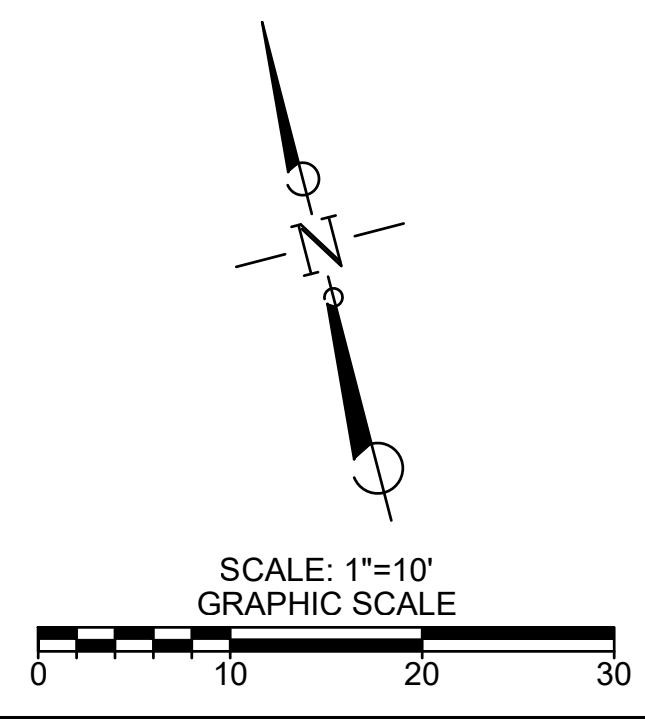


REF: 23045 - (A) Project: (V:\Projects\23045 - (A) Design.dwg)  
 REF: 23045 - (B) Project: (V:\Projects\23045 - (B) Design.dwg)  
 REF: 23045 - (C) Project: (V:\Projects\23045 - (C) Design.dwg)  
 REF: 23045 - (D) Project: (V:\Projects\23045 - (D) Design.dwg)  
 REF: 23045 - (E) Project: (V:\Projects\23045 - (E) Design.dwg)  
 REF: 23045 - (F) Project: (V:\Projects\23045 - (F) Design.dwg)  
 REF: 23045 - (G) Project: (V:\Projects\23045 - (G) Design.dwg)  
 REF: 23045 - (H) Project: (V:\Projects\23045 - (H) Design.dwg)  
 REF: 23045 - (I) Project: (V:\Projects\23045 - (I) Design.dwg)  
 REF: 23045 - (J) Project: (V:\Projects\23045 - (J) Design.dwg)  
 REF: 23045 - (K) Project: (V:\Projects\23045 - (K) Design.dwg)  
 REF: 23045 - (L) Project: (V:\Projects\23045 - (L) Design.dwg)  
 REF: 23045 - (M) Project: (V:\Projects\23045 - (M) Design.dwg)  
 REF: 23045 - (N) Project: (V:\Projects\23045 - (N) Design.dwg)  
 REF: 23045 - (O) Project: (V:\Projects\23045 - (O) Design.dwg)  
 REF: 23045 - (P) Project: (V:\Projects\23045 - (P) Design.dwg)  
 REF: 23045 - (Q) Project: (V:\Projects\23045 - (Q) Design.dwg)  
 REF: 23045 - (R) Project: (V:\Projects\23045 - (R) Design.dwg)  
 REF: 23045 - (S) Project: (V:\Projects\23045 - (S) Design.dwg)  
 REF: 23045 - (T) Project: (V:\Projects\23045 - (T) Design.dwg)  
 REF: 23045 - (U) Project: (V:\Projects\23045 - (U) Design.dwg)  
 REF: 23045 - (V) Project: (V:\Projects\23045 - (V) Design.dwg)  
 REF: 23045 - (W) Project: (V:\Projects\23045 - (W) Design.dwg)  
 REF: 23045 - (X) Project: (V:\Projects\23045 - (X) Design.dwg)  
 REF: 23045 - (Y) Project: (V:\Projects\23045 - (Y) Design.dwg)  
 REF: 23045 - (Z) Project: (V:\Projects\23045 - (Z) Design.dwg)



**IMPORTANT NOTICE**  
 ALL EXISTING UTILITY LOCATIONS ARE APPROXIMATE.  
 CONTRACTOR IS TO NOTIFY UNDERGROUND SERVICE  
 ALERT TWO WORKING DAYS PRIOR TO STARTING ANY  
 EXCAVATION OR RESURFACING.  
 CALL TOLL FREE 1-800-422-4133

**ESTIMATED EARTHWORK QUANTITIES:**  
 CUT: 1,000 CUBIC YARDS  
 FILL: 1,300 CUBIC YARDS  
 NOTE: SHRINKAGE, CONSOLIDATION AND SUBSIDENCE  
 FACTORS AND LOSSES DUE TO CLEARING AND DEMOLITION  
 OPERATIONS ARE NOT INCLUDED. ESTIMATED EARTHWORK  
 QUANTITIES ARE BASED ON THE APPROXIMATE  
 DIFFERENCE BETWEEN EXISTING GRADES AND PROPOSED  
 FINISH GRADES OR PAVEMENT SUBGRADES, AS INDICATED  
 ON THE PLANS, AND SHOULD VARY ACCORDING TO THESE  
 FACTORS AND LOSSES.  
 CONTRACTOR SHALL ACCEPT OR CONFIRM EXISTING  
 TOPOGRAPHIC INFORMATION. SHALL REVIEW THE SITE AND  
 THE GEOTECHNICAL REPORT(S) AND MAKE HIS OWN  
 INTERPRETATIONS AND CONCLUSIONS WITH RESPECT  
 THERETO, AND SHALL PERFORM AN INDEPENDENT  
 EARTHWORK ESTIMATE ON WHICH TO BASE HIS BID. ONCE  
 GRADING IS STARTED, THE TOPOGRAPHIC INFORMATION  
 HAS BEEN ACCEPTED BY CONTRACTOR.



**PRELIMINARY GRADING & DRAINAGE PLAN**  
 2929 EAST VALLEY ROAD  
 APN: 005-040-025  
 COUNTY OF SANTA BARBARA, CALIFORNIA

F..... ASSOCIATES, INC.  
 115 W. Canon Perdido Street  
 Santa Barbara, CA 93101  
 TEL: 805.969.2224

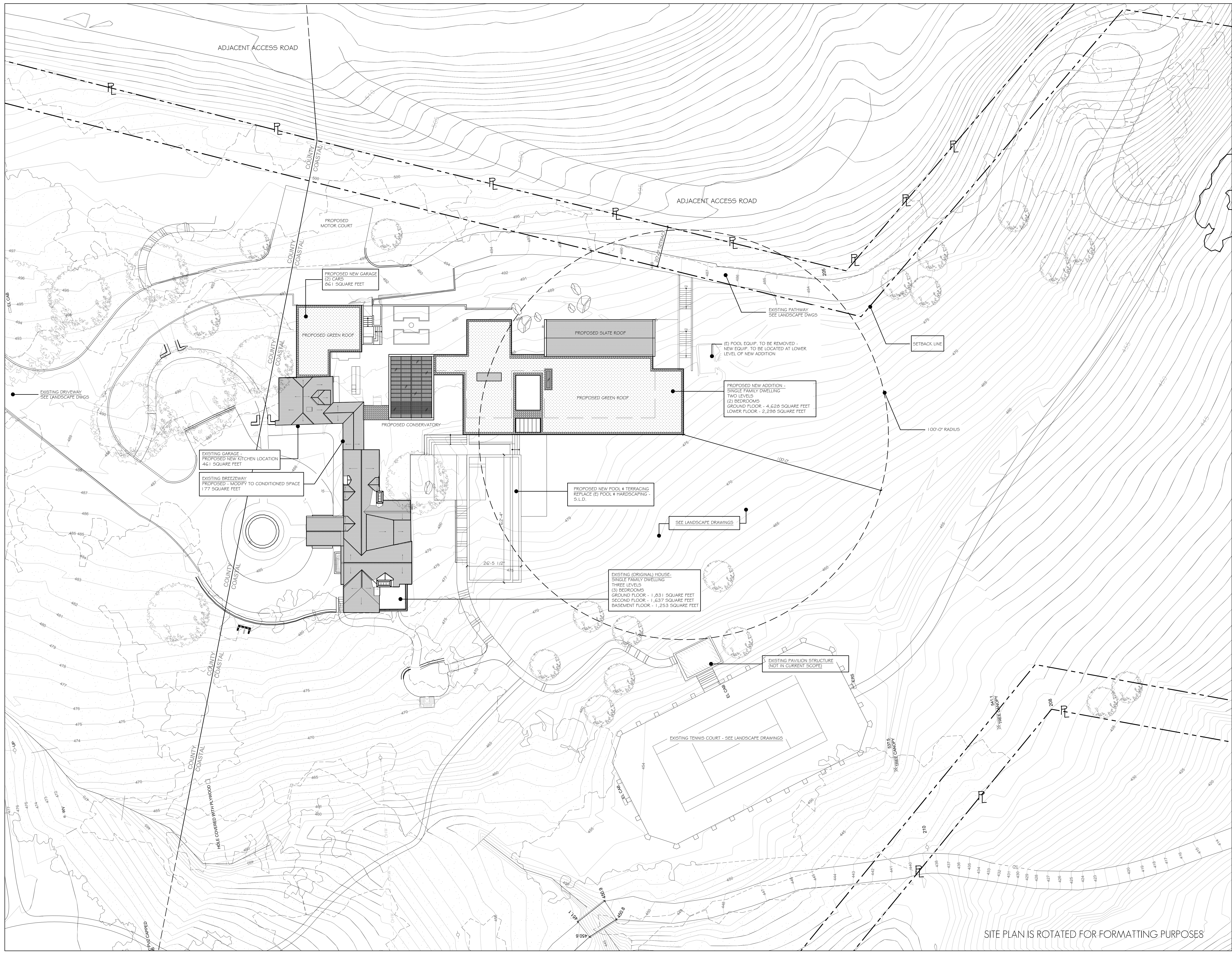
PRELIMINARY  
 NOT FOR CONSTRUCTION  
 DATE:

NO.	DESCRIPTION	DATE	APPROVED

THESE PLANS HAVE BEEN PREPARED SOLELY FOR USE FOR THE PROJECT SCOPE AND SITE SPECIFICALLY IDENTIFIED HEREON AT THE TIME THESE PLANS ARE SIGNED. THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, USE OF ANY PART OF THESE PLANS, INCLUDING ANY NOTE OR DETAIL, FOR ANY UNAPPROVED OR REVISED PROJECT SCOPE, OR FOR ANY OTHER PROJECT AT THIS OR ANY OTHER SITE.

**C-1**  
 JUNE 15, 2023  
 SHEET 1 OF 1  
 W.O. 23045





RICHARD FELIX-ASHMAN  
DESIGN INC.  
SAN FRANCISCO & MILL VALLEY  
CALIFORNIA  
T. 415.834.8115  
521 WEST BUTHEDEALE  
MILL VALLEY, CA 94041

DATE	NO.	REVISION
06/16/2023	01	SSM CONCEPTUAL REVIEW

OWNER  
YMB, LLC

CONSTRUCTION MANAGER  
PEAK PROJECTS, LLC  
www.peakprojects.com

GENERAL CONTRACTOR  
JOHN MADSON CONSTRUCTION INC.  
PO BOX 1207  
CARMEL, CA 93014  
T. 805.684.0615

PERMIT EXPEDITOR  
SUZANNE ELLIOTT PLANNING &  
PERMITTING SERVICES INC.  
1655 STATE STREET, SUITE 1  
SANTA BARBARA, CA 93101  
T. 805.966.2758

STRUCTURAL ENGINEER  
VANSANDE STRUCTURAL CONSULTANT  
2920 DE LA VINA  
SANTA BARBARA, CA 93105  
T. 805.963.6901

LANDSCAPE ARCHITECT  
STUDIO PAPPATERRA  
T. 213.484.1168

ARCHITECTURAL HISTORIAN  
POST HAZELTINE ASSOCIATES  
2139A WEST ANAPAMU STREET  
SANTA BARBARA, CA 93101  
T. 805.682.3751

GEOTECHNICAL ENGINEER  
PACIFIC MATERIALS LABORATORY INC.  
354 SOUTH LA FARELLA LANE, PO BOX 46  
GOLETA, CA 93115  
T. 805.964.6901

ELECTRICAL ENGINEER  
POWERFILE ELECTRIC INC.  
5361 VENCE BLVD  
LOS ANGELES, CA 90019  
T. 310.293.9333

PLUMBING & HVAC ENGINEER  
MONTEREY ENERGY GROUP  
26465 CARMEL RANCHO BLVD #8  
CARMEL, CA 93923  
T. 831.372.8528

TITLE 24  
MONTEREY ENERGY GROUP  
26465 CARMEL RANCHO BLVD #8  
CARMEL, CA 93923  
T. 831.372.8528

PROJECT  
2929 EAST VALLEY ROAD  
SANTA BARBARA, CA 93108

PROJECT  
2929 EAST VALLEY ROAD  
SANTA BARBARA, CA 93108

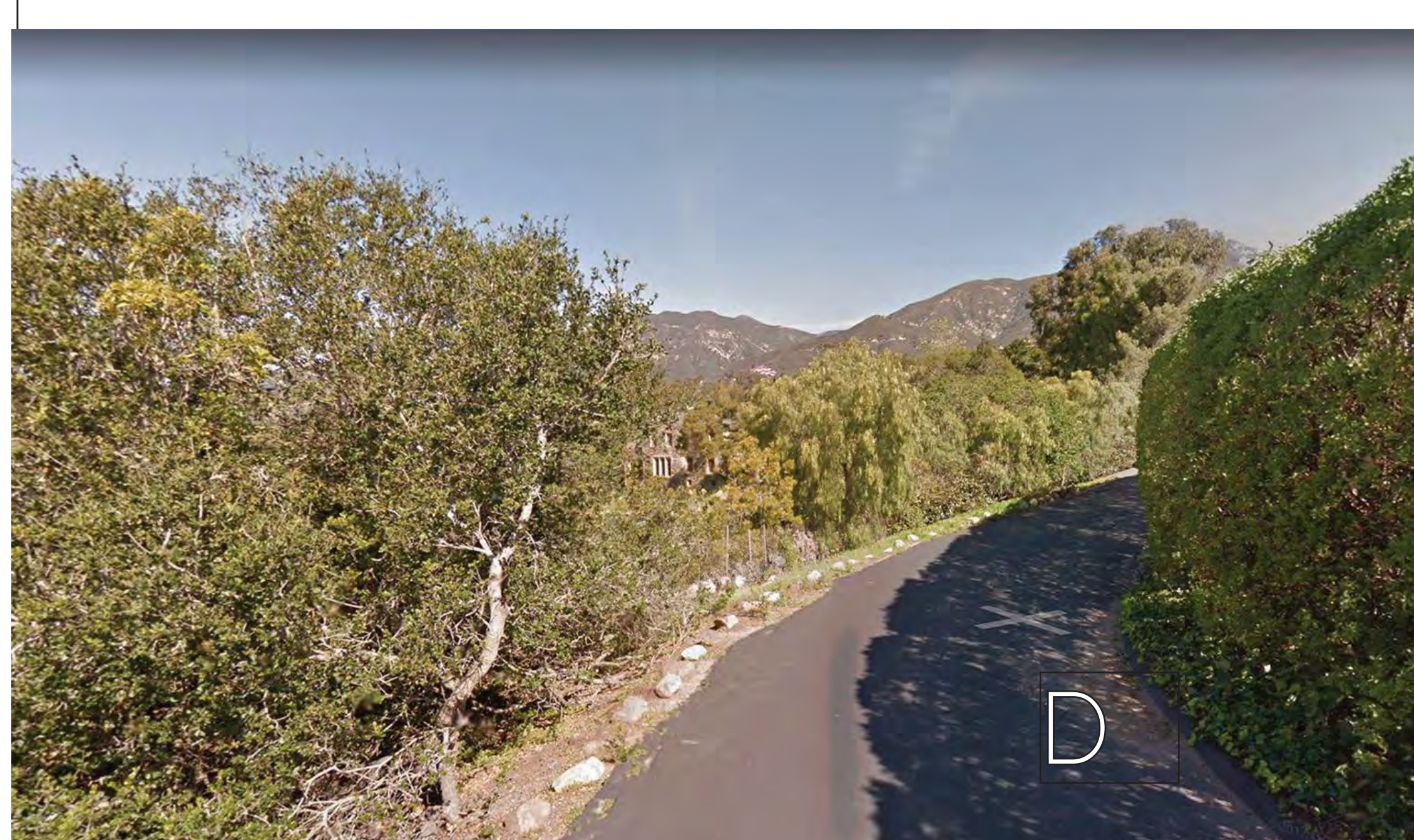
SITE PLAN  
(PROPOSED)

SCALE 1/8" = 1'-0"

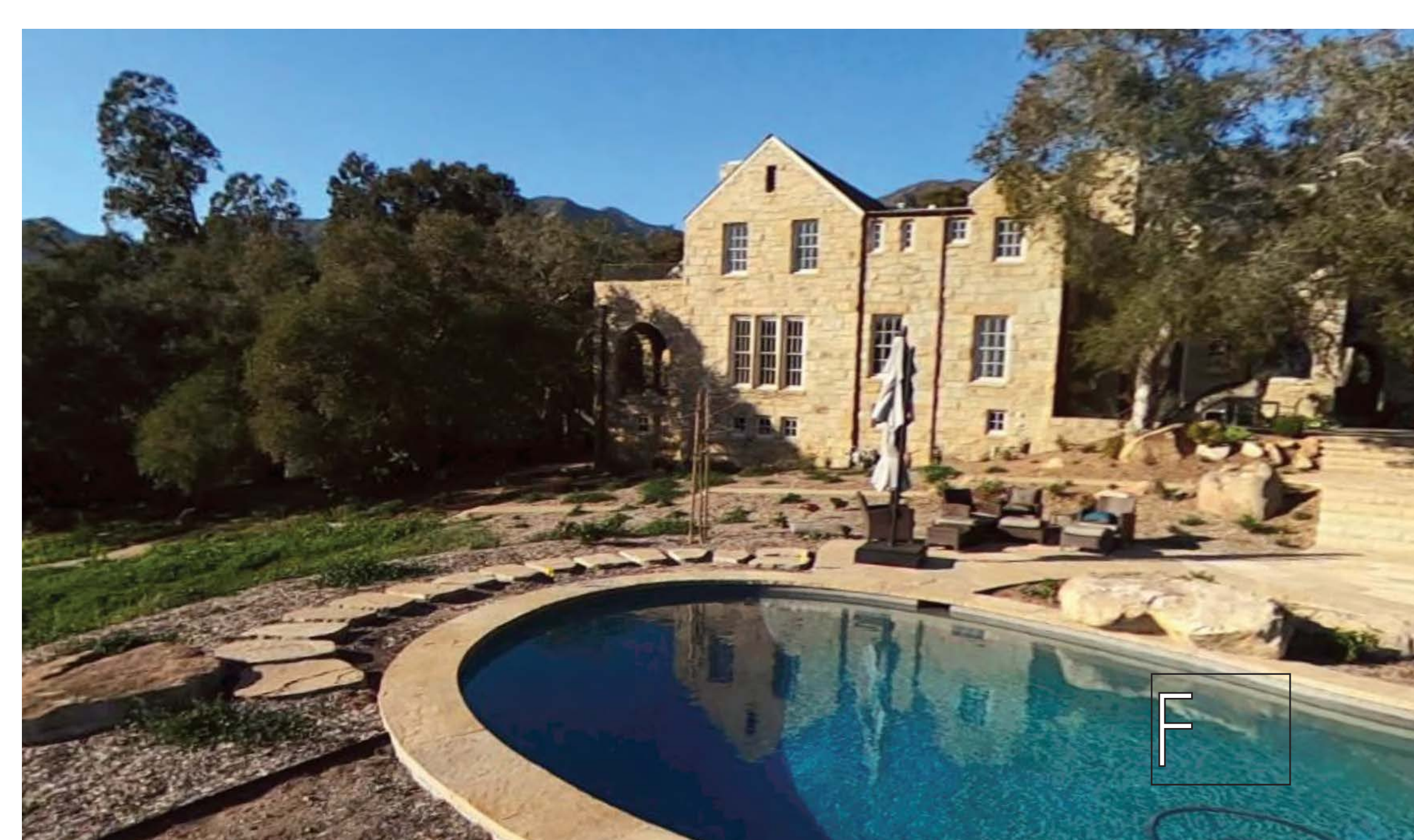
A-100

SITE PLAN IS ROTATED FOR FORMATTING PURPOSES





KEY PLAN



RICHARD FELIX-ASHMAN  
DESIGN INC.  
SAN FRANCISCO & MILL VALLEY  
CALIFORNIA  
T. 415.834.8115  
521 WEST BUTHEDALE  
MILL VALLEY, CA 94041

DATE: No. REVISION:

OWNER  
YMB, LLC

CONSTRUCTION MANAGER  
PEAK PROJECTS, LLC  
www.peakprojects.com

GENERAL CONTRACTOR  
JOHN MADDOX CONSTRUCTION, INC.  
PO BOX 1207  
CARMEL, CA 93014  
T. 805.684.0615

PERMIT EXPEDITOR  
SUZANNE RUDGE PLANNING &  
PERMITTING SERVICES, INC.  
1625 STATE STREET, SUITE 1  
SANTA BARBARA, CA 93101  
T. 805.966.2758

STRUCTURAL ENGINEER  
VANSANDE STRUCTURAL CONSULTANT  
2920 DE LA VINA  
SANTA BARBARA, CA 93105  
T. 805.963.6901

LANDSCAPE ARCHITECT  
STUDIO PAPPATERRA  
T. 213.484.1168

ARCHITECTURAL HISTORIAN  
POST HAZELTINE ASSOCIATES  
2139A WEST ANAPAIU STREET  
SANTA BARBARA, CA 93101  
T. 805.682.3751

GEO TECHNICAL ENGINEER  
PACIFIC MATERIALS LABORATORY, INC.  
354 SOUTH LA FAYETTE AVE. FOLSOM, CA  
COLUMBIA, CA 95115  
T. 805.964.6901

ELECTRICAL ENGINEER  
POWERTEK ELECTRIC, INC.  
5301 VANCE BLVD  
LOS ANGELES, CA 90019  
T. 310.293.9333

PLUMBING & HVAC ENGINEER  
MONTEREY ENERGY GROUP  
26465 CARMEL RANCHO BLVD. #8  
CARMEL, CA 93923  
T. 831.372.8528

TITLE 24  
MONTEREY ENERGY GROUP  
26465 CARMEL RANCHO BLVD. #8  
CARMEL, CA 93923  
T. 831.372.8528

PROJECT  
2929 EAST VALLEY ROAD  
SANTA BARBARA, CA 93108

PHOTOGRAPHS-  
EXISTING  
CONDITIONS

SCALE: N.T.S.





A



C



KEY PLAN



B



D

RICHARD FELIX-ASHMAN  
DESIGN INC.  
SAN FRANCISCO & MILL VALLEY  
CALIFORNIA  
T. 415.834.8115  
521 WEST BUTHEDALE  
MILL VALLEY, CA 94041

DATE	No.	REVISION

OWNER  
YMB, LLC

CONSTRUCTION MANAGER  
PEAK PROJECTS LLC  
www.peakprojects.com

GENERAL CONTRACTOR  
JOHN MADSON CONSTRUCTION INC.  
PO BOX 1207  
CAMPVERA, CA 93014  
T. 805.684.0615

PERMIT EXPEDITOR  
SUZANNE RUDGE PLANNING &  
PERMITTING SERVICES INC.  
1625 STATE STREET, SUITE 1  
SANTA BARBARA, CA 93101  
T. 805.966.2758

STRUCTURAL ENGINEER  
VANSANDE STRUCTURAL CONSULTANT  
2920 DE LA VINA  
SANTA BARBARA, CA 93105  
T. 805.963.6901

LANDSCAPE ARCHITECT  
STUDIO PARRATERRA  
T. 213.484.1168

ARCHITECTURAL HISTORIAN  
POST HAZELTINE ASSOCIATES  
2139A WEST ANAPAAU STREET  
SANTA BARBARA, CA 93101  
T. 805.682.3751

GEOTECHNICAL ENGINEER  
PACIFIC MATERIALS LABORATORY INC.  
354 SOUTH LA FAYETTE LANE, PO BOX 96  
OCEITA CA 93115  
T. 805.964.6901

ELECTRICAL ENGINEER  
POWERLINE ELECTRIC INC.  
5361 VENCE BLVD  
LOS ANGELES, CA 90019  
T. 310.293.9333

PLUMBING & HVAC ENGINEER  
MCARDREY ENERGY GROUP  
26465 CARMEL RANCHO BLVD #8  
CARMEL, CA 93923  
T. 831.372.8528

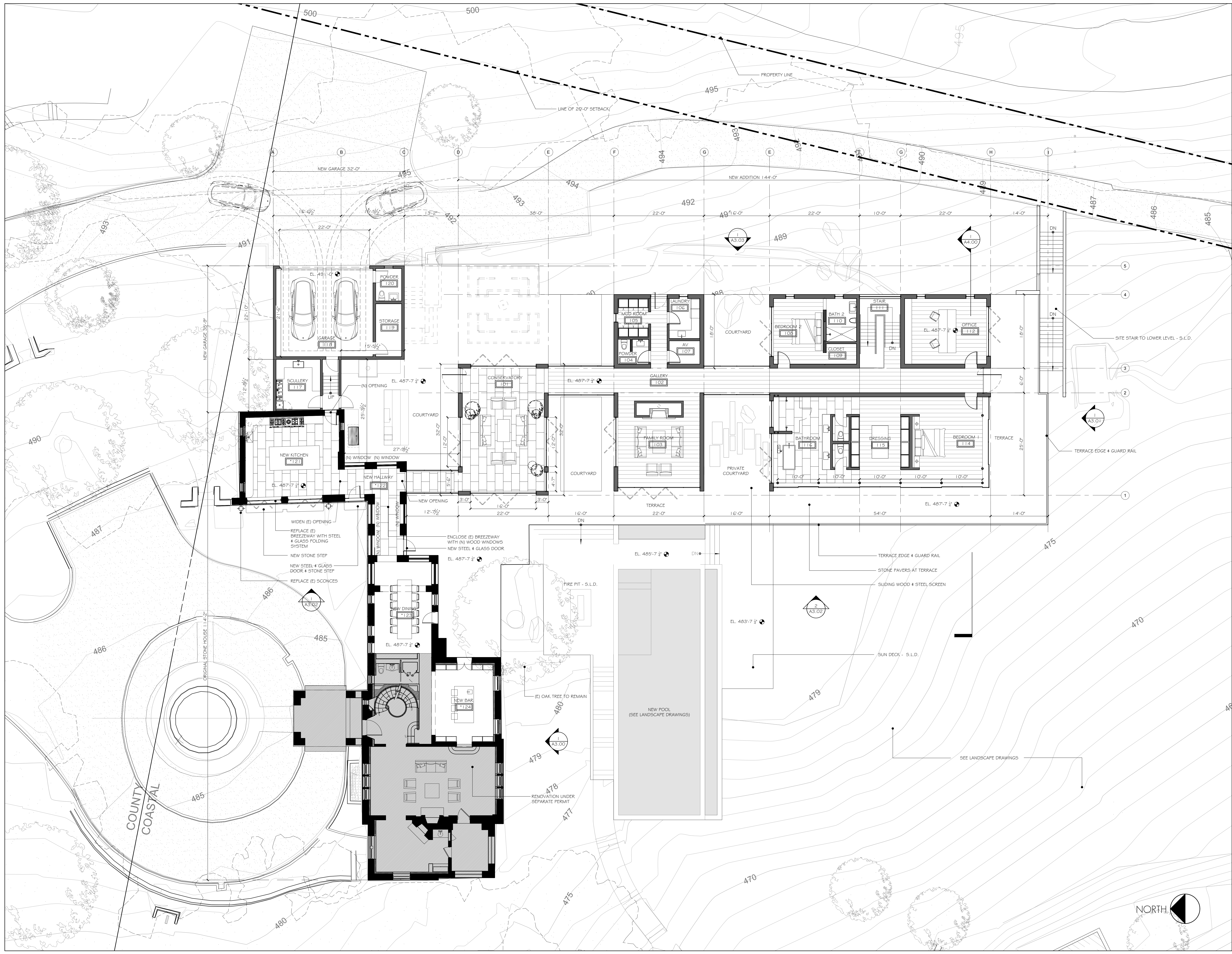
TITLE 24  
MCARDREY ENERGY GROUP  
26465 CARMEL RANCHO BLVD #8  
CARMEL, CA 93923  
T. 831.372.8528

PROJECT  
2929 EAST VALLEY ROAD  
SANTA BARBARA, CA 93108

PHOTOGRAPHS-  
EXISTING  
CONDITIONS

SCALE: N.T.S.





RICHARD FELIX-ASHMAN  
DESIGN INC.  
SAN FRANCISCO & MILL VALLEY  
CALIFORNIA  
T. 415.834.8115  
521 WEST BUTHEDALE  
MILL VALLEY, CA 94041

DATE	NO.	REVISION
06/14/2023	01	30M CONCEPTUAL REVIEW

OWNER  
YMB LLC

CONSTRUCTION MANAGER  
PEAK PROJECTS LLC  
www.peakprojects.com

GENERAL CONTRACTOR  
JOHN MADSEN CONSTRUCTION INC.  
PO BOX 1207  
CARMEL, CA 93014  
T. 805.684.0615

PERMIT EXPEDITOR  
SUZANNE RUDGE PLANNING &  
PERMITTING SERVICES INC.  
1625 STATE STREET, SUITE 1  
SANTA BARBARA, CA 93101  
T. 805.966.2758

STRUCTURAL ENGINEER  
VANSANDE STRUCTURAL CONSULTANT  
2920 DE LA VINA  
SANTA BARBARA, CA 93105  
T. 805.963.6901

LANDSCAPE ARCHITECT  
STUDIO PAPERBERA  
T. 213.484.1168

ARCHITECTURAL HISTORIAN  
POST HAZELTINE ASSOCIATES  
2139A WEST ANAPANAI STREET  
SANTA BARBARA, CA 93101  
T. 805.682.3751

GEOTECHNICAL ENGINEER  
PACIFIC MATERIALS LABORATORY INC.  
354 SOUTH LA FARELLA LANE, PO BOX 46  
GOLETA, CA 93115  
T. 805.964.6901

ELECTRICAL ENGINEER  
POWERFILE ELECTRIC INC.  
5301 VENICE BLVD  
LOS ANGELES, CA 90019  
T. 310.293.9333

PLUMBING & HVAC ENGINEER  
MONTEREY ENERGY GROUP  
26465 CARMEL RANCHO BLVD #8  
CARMEL, CA 93923  
T. 831.372.8528

TITLE 24  
MONTEREY ENERGY GROUP  
26465 CARMEL RANCHO BLVD #8  
CARMEL, CA 93923  
T. 831.372.8528

PROJECT  
2929 EAST VALLEY ROAD  
SANTA BARBARA, CA 93108

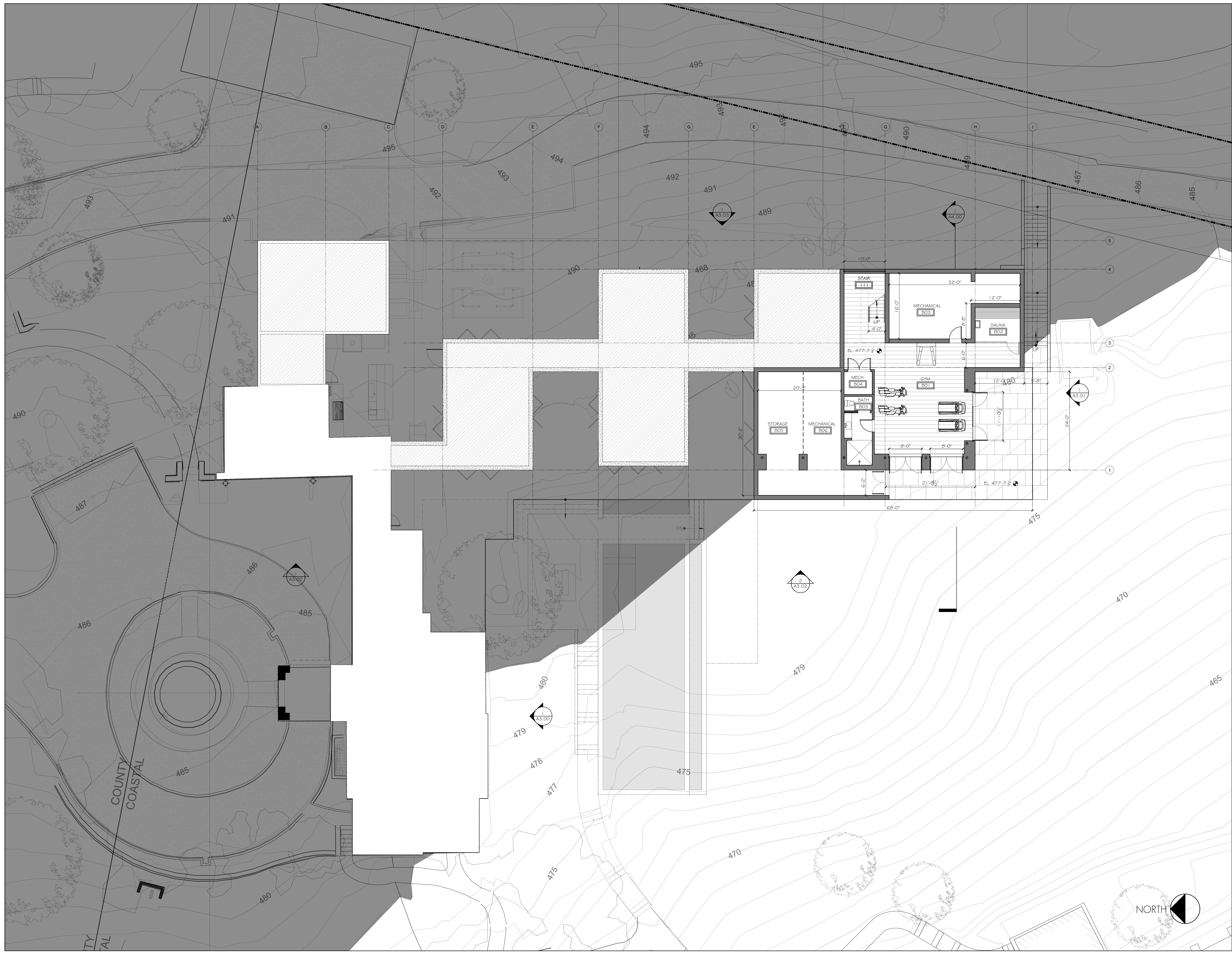
PROPOSED  
GROUND FLOOR  
PLAN

SCALE: 1/8" = 1'-0"

NORTH

A-200





RICHARD FELIX-ASHMAN  
DESIGN INC.  
SAN FRANCISCO & MILL VALLEY  
CALIFORNIA  
T. 415.834.8115  
521 WEST BUTHEDEALE  
MILL VALLEY, CA 94041


06.16.2023			
DATE	NO.	REVISION	

OWNER  
YMB, LLC

CONSTRUCTION MANAGER  
PEAK PROJECTS, LLC  
www.peakprojects.com

GENERAL CONTRACTOR  
JOHN MADSON CONSTRUCTION INC.  
PO BOX 1207  
CARMEL, CA 93014  
T. 805.684.0615

PERMIT EXPEDITOR  
SUZANNE RUDGE PLANNING &  
PERMITTING SERVICES INC.  
1625 STATE STREET, SUITE 1  
SANTA BARBARA, CA 93101  
T. 805.966.2758

STRUCTURAL ENGINEER  
VANSANDE STRUCTURAL CONSULTANT  
2920 DE LA VINA  
SANTA BARBARA, CA 93105  
T. 805.963.6901

LANDSCAPE ARCHITECT  
STUDIO PARRERA  
T. 213.484.1168

ARCHITECTURAL HISTORIAN  
POST HAZELTINE ASSOCIATES  
2139A WEST ANAPAMU STREET  
SANTA BARBARA, CA 93101  
T. 805.682.3751

GEO TECHNICAL ENGINEER  
PACIFIC MATERIALS LABORATORY INC.  
354 SCOUT LA FERRALANE, PO BOX 46  
GOLETA, CA 93115  
T. 805.964.6901

ELECTRICAL ENGINEER  
POWERLINE ELECTRIC INC.  
5301 VENICE BLVD  
LOS ANGELES, CA 90019  
T. 310.293.9333

PLUMBING & HVAC ENGINEER  
MONTEREY ENERGY GROUP  
26465 CARMEL RANCHO BLVD #8  
CARMEL, CA 93923  
T. 831.372.8528

TITLE 24  
MONTEREY ENERGY GROUP  
26465 CARMEL RANCHO BLVD #8  
CARMEL, CA 93923  
T. 831.372.8528

PROJECT  
2929 EAST VALLEY ROAD  
SANTA BARBARA, CA 93108

PROPOSED  
LOWER FLOOR  
PLAN

SCALE: 1/4"=1'-0"

NORTH

A-201



06/16/2023	2024 CONCEPTUAL REVIEW
DATE	NO. REVISION

OWNER  
YMB LLC

CONSTRUCTION MANAGER  
PEAK PROJECTS LLC  
www.peakprojects.com

GENERAL CONTRACTOR  
JOHN MADSON CONSTRUCTION INC.  
PO BOX 1207  
CAMPBELL, CA 95014  
T. 905.684.0615

PERMIT EXPEDITOR  
SUZANNE RUDOLPH PLANNING &  
PERMITTING SERVICES INC.  
1625 STATE STREET, SUITE 1  
SANTA BARBARA, CA 93101  
T. 805.966.2758

STRUCTURAL ENGINEER  
VANSANDE STRUCTURAL CONSULTANT  
2920 DE LA VINA  
SANTA BARBARA, CA 93105  
T. 805.963.6901

LANDSCAPE ARCHITECT  
STUDIO PAPERBERA  
T. 213.434.1168

ARCHITECTURAL HISTORIAN  
POST HAZELTINE ASSOCIATES  
2134A WEST ANAPAMU STREET  
SANTA BARBARA, CA 93101  
T. 805.682.3751

GEOTECHNICAL ENGINEER  
PACIFIC MATERIALS LABORATORY INC.  
354 SOUTH LA FARELA LANE, PO BOX 46  
GOLETA, CA 93115  
T. 805.964.6901

ELECTRICAL ENGINEER  
POWERTEL ELECTRIC INC.  
5301 VENICE BLVD  
LOS ANGELES, CA 90019  
T. 310.293.9333

PLUMBING & HVAC ENGINEER  
MONTEREY ENERGY GROUP  
26465 CARVEL RANCHO BLVD #8  
CARMEL, CA 93923  
T. 831.372.8328

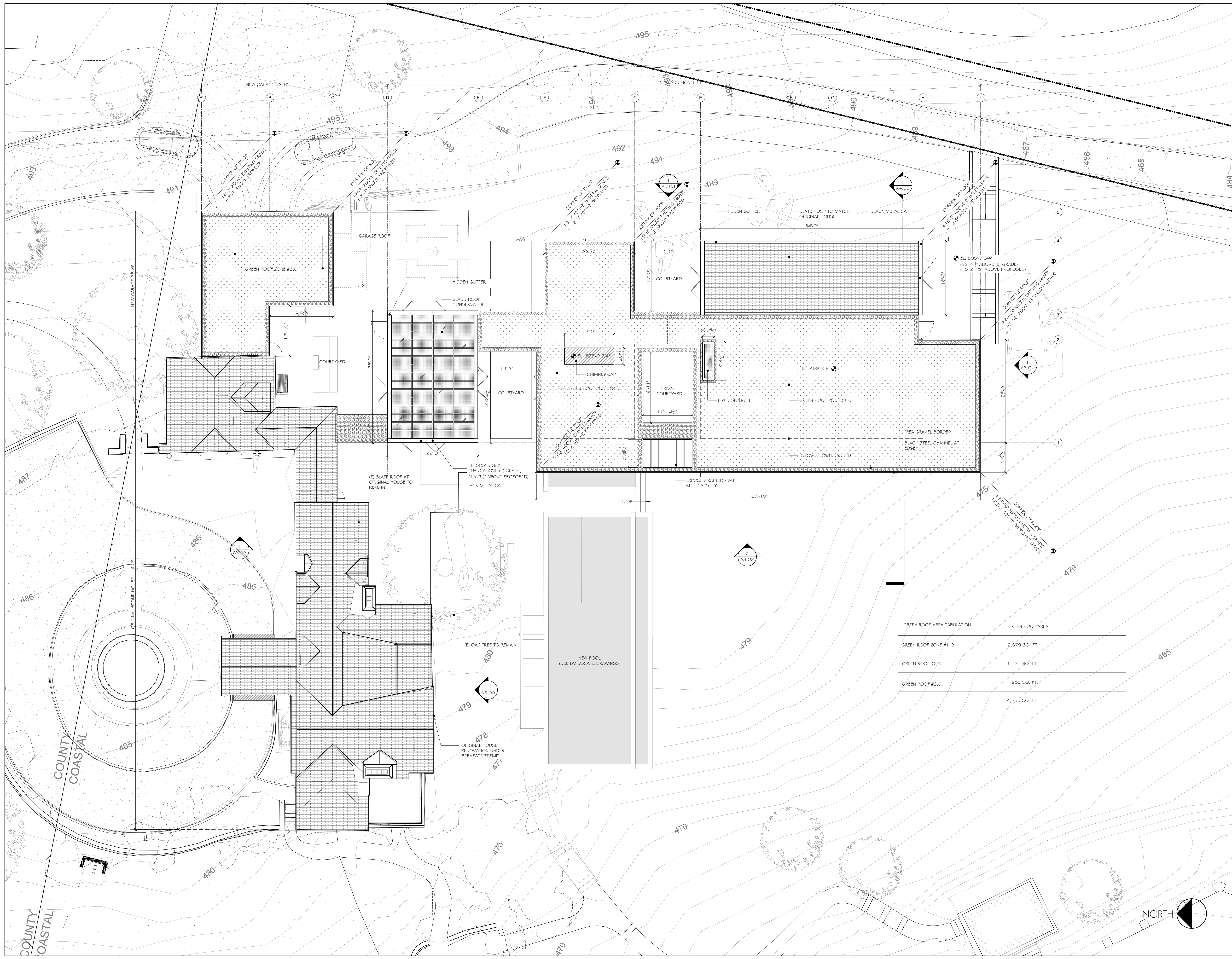
TITLE 24  
MONTEREY ENERGY GROUP  
26465 CARVEL RANCHO BLVD #8  
CARMEL, CA 93923  
T. 831.372.8328

PROJECT  
2929 EAST VALLEY ROAD  
SANTA BARBARA, CA 93108

PROPOSED  
ROOF  
PLAN

SCALE: 1/4"=1'-0"

A-202



GREEN ROOF AREA TABULATION	GREEN ROOF AREA
GREEN ROOF ZONE #1.0	2,379 SQ. FT.
GREEN ROOF #2.0	1,171 SQ. FT.
GREEN ROOF #3.0	685 SQ. FT.
	4,235 SQ. FT.



RICHARD FELIX-ASHMAN  
DESIGN INC.  
SAN FRANCISCO & MILL VALLEY  
CALIFORNIA  
T. 415. 834. 8115  
521 WEST BUTHEDALE  
MILL VALLEY, CA 94041

DATE	No.	REVISION
------	-----	----------

OWNER  
YMB, LLC

CONSTRUCTION MANAGER  
PEAK PROJECTS LLC  
[www.peakprojects.com](http://www.peakprojects.com)

GENERAL CONTRACTOR  
JOHN MADSON CONSTRUCTION INC.  
PO BOX 1207  
CARMEL, CA 95014  
T. 805. 664. 0615

PERMIT EXPEDITOR  
SUZANNE RUDGE PLANNING &  
PERMITTING SERVICES INC.  
1655 STATE STREET, SUITE 1  
SANTA BARBARA, CA 93101  
T. 805. 966. 2758

STRUCTURAL ENGINEER  
VANSANDE STRUCTURAL CONSULTANT  
2920 DE LA VINA  
SANTA BARBARA, CA 93105  
T. 805. 963. 6901

LANDSCAPE ARCHITECT  
STUDIO PARRA  
T. 213.484.1168

ARCHITECTURAL HISTORIAN  
POST HAZELINE ASSOCIATES  
21394 WEST ANAHAU STREET  
SANTA BARBARA, CA 93101  
T. 805. 682. 3751

GEOTECHNICAL ENGINEER  
PACIFIC MATERIALS LABORATORY INC.  
354 SOUTH LA TABLA LANE, PO BOX 96,  
GOLETA, CA 93115  
T. 805. 964. 6901

ELECTRICAL ENGINEER  
POWERFUL ELECTRIC INC.  
5361 VENICE BLVD  
LOS ANGELES, CA 90019  
T. 310. 293. 9333

PLUMBING & HVAC ENGINEER  
MONTEREY ENERGY GROUP  
26465 CARMEL RANCHO BLVD #8  
CARMEL, CA 95023  
T. 831.372.8528

TITLE 24  
MONTEREY ENERGY GROUP  
26465 CARMEL RANCHO BLVD #8  
CARMEL, CA 95023  
T. 831.372.8528

PROJECT  
2929 EAST VALLEY ROAD  
SANTA BARBARA, CA 93108

EXISTING HOUSE  
NORTH ELEVATION

SCALE: AS NOTED

A-3.00 N



1 EXISTING NORTH ELEVATION  
SCALE: 3/16" = 1'-0"



DATE	No.	REVISION

OWNER  
YMB, LLC

CONSTRUCTION MANAGER  
PEAK PROJECTS LLC  
www.peakprojects.com

GENERAL CONTRACTOR  
JOHN MADSON CONSTRUCTION INC.  
PO BOX 1207  
CARNIVERA, CA 95014  
T. 905. 684. 0615

PERMIT EXPEDITOR  
SUZANNE ELLIOTT PLANNING &  
PERMITTING SERVICES INC.  
1625 STATE STREET, SUITE 1  
SANTA BARBARA, CA 93101  
T. 805. 966. 2758

STRUCTURAL ENGINEER  
VANSANDE STRUCTURAL CONSULTANT  
2920 DE LA VINA  
SANTA BARBARA, CA 93105  
T. 805. 963. 6901

LANDSCAPE ARCHITECT  
STUDIO PAPPATERRA  
T. 213.484.1168

ARCHITECTURAL HISTORIAN  
POST HAZELTINE ASSOCIATES  
2139A WEST ANAPAMU STREET  
SANTA BARBARA, CA 93101  
T. 805. 682. 3751

GEOTECHNICAL ENGINEER  
PACIFIC MATERIALS LABORATORY INC.  
354 SOUTH LA FARELA LANE, PO BOX 46,  
GOLETA CA 93115  
T. 805. 964. 6901

ELECTRICAL ENGINEER  
POWERLINE ELECTRIC, INC.  
5361 VANCE BLVD  
LOS ANGELES, CA 90019  
T. 310. 293. 9333

PLUMBING & HVAC ENGINEER  
MONTEREY ENERGY GROUP  
26465 CARMEL RANCHO BLVD #8  
CARMEL, CA 93923  
T. 831.372.8528

TITLE 24  
MONTEREY ENERGY GROUP  
26465 CARMEL RANCHO BLVD #8  
CARMEL, CA 93923  
T. 831.372.8528

PROJECT  
2929 EAST VALLEY ROAD  
SANTA BARBARA, CA 93108

EXISTING HOUSE  
SOUTH ELEVATION

SCALE: AS NOTED

A-300 S



1 EXISTING SOUTH ELEVATION  
SCALE: 3/16" = 1'-0"



DATE	No.	REVISION

OWNER  
YMB, LLC

CONSTRUCTION MANAGER  
PEAK PROJECTS, LLC  
www.peakprojects.com

GENERAL CONTRACTOR  
JOHN MADSEN CONSTRUCTION INC.  
PO BOX 1207  
CARMEL, CA 95014  
T. 805.684.0615

PERMIT EXPEDITOR  
SUZANNE RLEDGE PLANNING &  
PERMITTING SERVICES INC.  
1625 STATE STREET, SUITE 1  
SANTA BARBARA, CA 93101  
T. 805.966.2758

STRUCTURAL ENGINEER  
VANSANDE STRUCTURAL CONSULTANT  
2920 DE LA VINA  
SANTA BARBARA, CA 93105  
T. 805.963.6901

LANDSCAPE ARCHITECT  
STUDIO PAPERERA  
T. 213.484.1168

ARCHITECTURAL HISTORIAN  
POST HAZELTINE ASSOCIATES  
2139A WEST ANAPAMU STREET  
SANTA BARBARA, CA 93101  
T. 805.682.3751

GEOTECHNICAL ENGINEER  
PACIFIC MATERIALS LABORATORY INC.  
354 SOUTH LA FABRILANE, P.O. BOX 46,  
GOLETA, CA 93115  
T. 805.964.6901

ELECTRICAL ENGINEER  
POWERLIFE ELECTRIC INC.  
5361 VENICE BLVD  
LOS ANGELES, CA 90019  
T. 310.293.9333

PLUMBING & HVAC ENGINEER  
MONTEREY ENERGY GROUP  
26465 CARMEL RANCHO BLVD #8  
CARMEL, CA 93923  
T. 831.372.8528

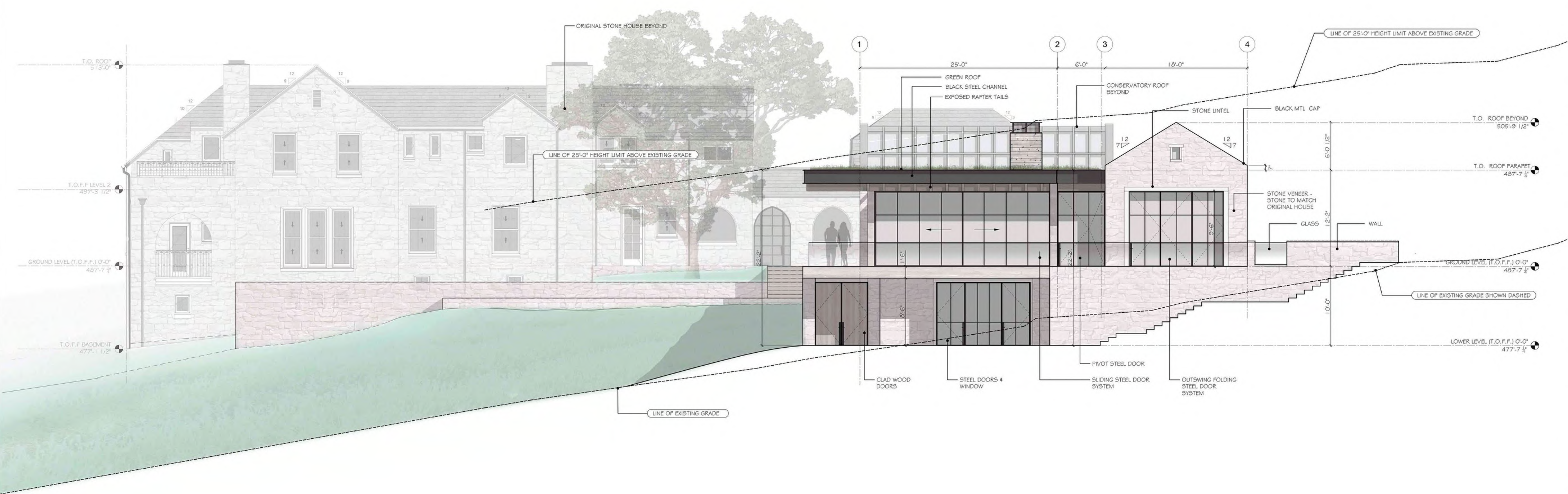
TITLE 24  
MONTEREY ENERGY GROUP  
26465 CARMEL RANCHO BLVD #8  
CARMEL, CA 93923  
T. 831.372.8528

PROJECT  
2929 EAST VALLEY ROAD  
SANTA BARBARA, CA 93108

PROPOSED  
SOUTH ELEVATION

SCALE: AS NOTED

A-301



1 PROPOSED SOUTH ELEVATION  
SCALE: 3/16" = 1'-0"




DATE	NO.	REVISION
------	-----	----------

OWNER  
YMB, LLC

CONSTRUCTION MANAGER  
PEAK PROJECTS LLC  
www.peakprojects.com

GENERAL CONTRACTOR  
JOHN MADSEN CONSTRUCTION INC.  
PO BOX 1297  
CARMEL, CA 95014  
T. 805.684.0615

PERMIT EXPEDITOR  
SUZANNE RLEDGE PLANNING &  
PERMITTING SERVICES INC.  
1825 STATE STREET, SUITE 1  
SANTA BARBARA, CA 93101  
T. 805.966.2758

STRUCTURAL ENGINEER  
VANSANDE STRUCTURAL CONSULTANT  
2920 DE LA VINA  
SANTA BARBARA, CA 93105  
T. 805.963.6901

LANDSCAPE ARCHITECT  
STUDIO PAPERERA  
T. 213.434.1168

ARCHITECTURAL HISTORIAN  
POST HAZELTINE ASSOCIATES  
2134 WEST ANAPAMU STREET  
SANTA BARBARA, CA 93101  
T. 805.682.3751

GEOTECHNICAL ENGINEER  
PACIFIC MATERIALS LABORATORY INC.  
354 SOUTH LA FARELANE, PO BOX 96  
GOLETA, CA 93115  
T. 805.964.6901

ELECTRICAL ENGINEER  
POWERTEL ELECTRIC INC.  
5361 VENICE BLVD  
LOS ANGELES, CA 90019  
T. 310.293.9333

PLUMBING & HVAC ENGINEER  
MONTEREY ENERGY GROUP  
26465 CARMEL RANCHO BLVD #8  
CARMEL, CA 93923  
T. 831.372.8528

TITLE 24  
MONTEREY ENERGY GROUP  
26465 CARMEL RANCHO BLVD #8  
CARMEL, CA 93923  
T. 831.372.8528

PROJECT  
2929 EAST VALLEY ROAD  
SANTA BARBARA, CA 93108

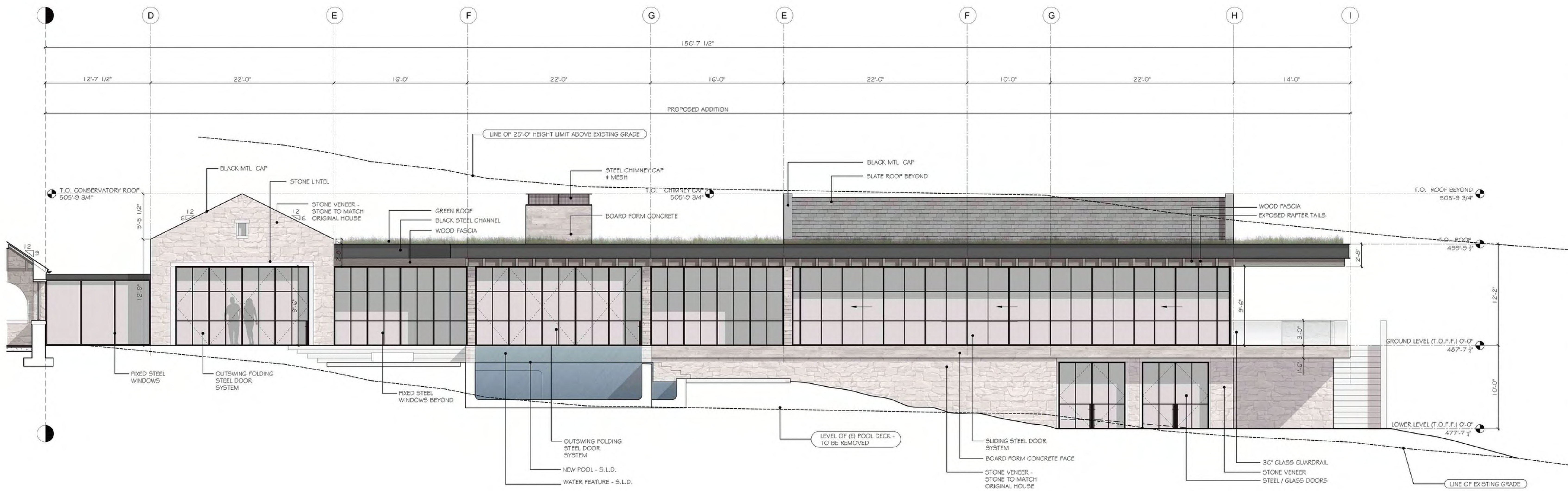
PROJECT  
2929 EAST VALLEY ROAD  
SANTA BARBARA, CA 93108

PROJECT  
2929 EAST VALLEY ROAD  
SANTA BARBARA, CA 93108

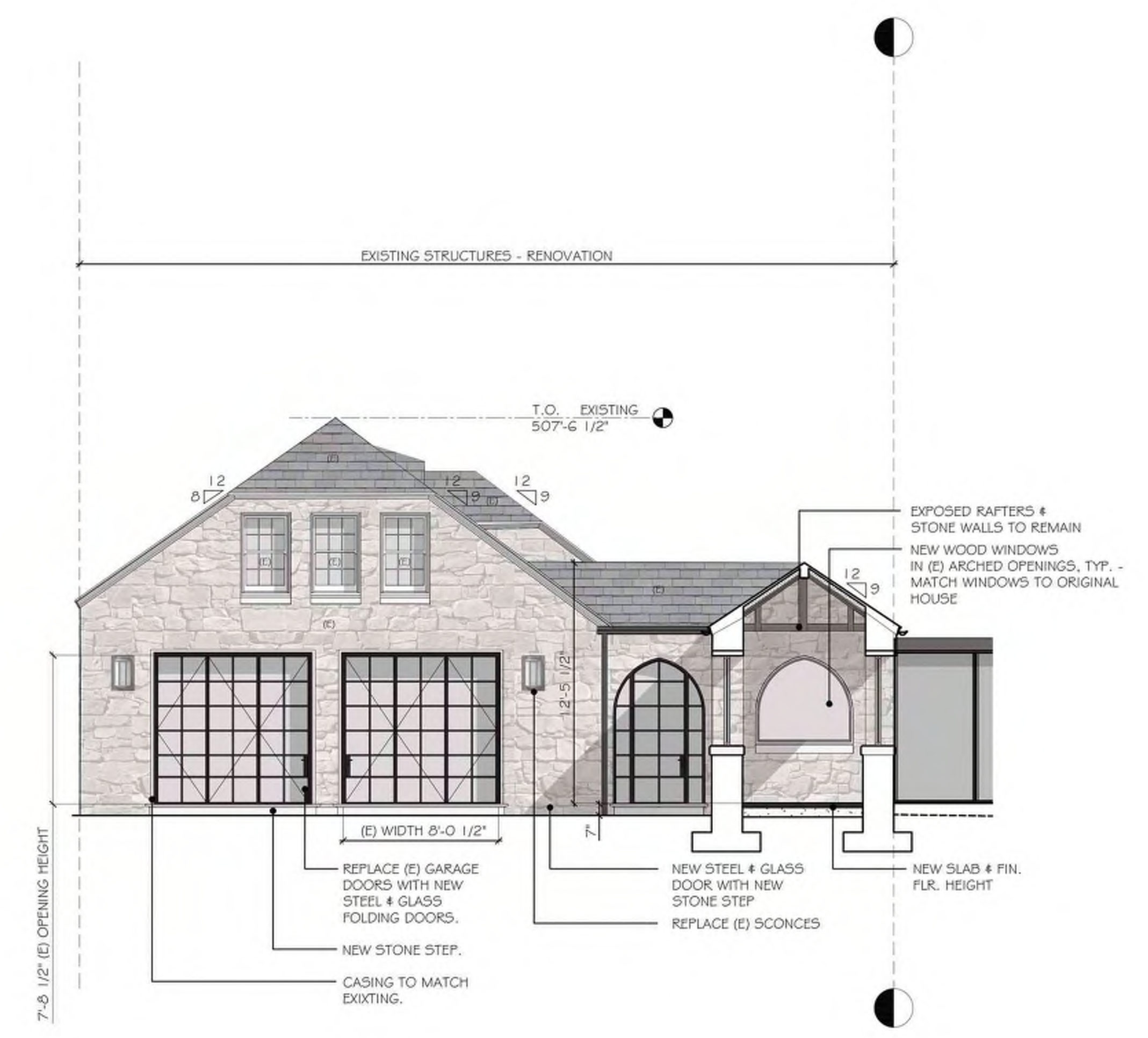
SCALE: AS NOTED

PROPOSED WEST ELEVATION

A-302



2 PROPOSED WEST ELEVATION  
SCALE: 3/16" = 1'-0"



1 WEST ELEVATION - EXISTING GARAGE  
SCALE: 3/16" = 1'-0"



DATE	No.	REVISION

OWNER

YMB, LLC

CONSTRUCTION MANAGER

PEAK PROJECTS LLC

GENERAL CONTRACTOR

JOHN MADSON CONSTRUCTION INC.  
PO BOX 1207  
CAMPVERA, CA 93014  
T. 805.684.0015

PERMIT EXPEDITOR

SUZANNE ELLIOTT PLANNING &  
PERMITTING SERVICES INC.  
1625 STATE STREET, SUITE 1  
SANTA BARBARA, CA 93101  
T. 805.966.2758

STRUCTURAL ENGINEER

VANSANDE STRUCTURAL CONSULTANT  
2920 DE LA VINA  
SANTA BARBARA, CA 93105  
T. 805.963.6901

LANDSCAPE ARCHITECT

STUDIO PAPER PAPER

T. 213.434.1168

ARCHITECTURAL HISTORIAN

POST HAZELTINE ASSOCIATES  
2134 WEST ANAPAMU STREET  
SANTA BARBARA, CA 93101  
T. 805.682.3751

GEO TECHNICAL ENGINEER

PACIFIC MATERIALS LABORATORY INC.  
354 SOUTH LA PARRAL LAKE, PO BOX 90,  
GOLETA CA 93115  
T. 805.964.6901

ELECTRICAL ENGINEER

POWERLINE ELECTRIC INC.  
5361 VENICE BLVD  
LOS ANGELES CA 90019  
T. 310.293.9333

PLUMBING & HVAC ENGINEER

MONTEREY ENERGY GROUP  
26465 CARMEL RANCHO BLVD #8  
CARMEL, CA 93923  
T. 831.372.8528

TITLE 24

MONTEREY ENERGY GROUP  
26465 CARMEL RANCHO BLVD #8  
CARMEL, CA 93923  
T. 831.372.8528

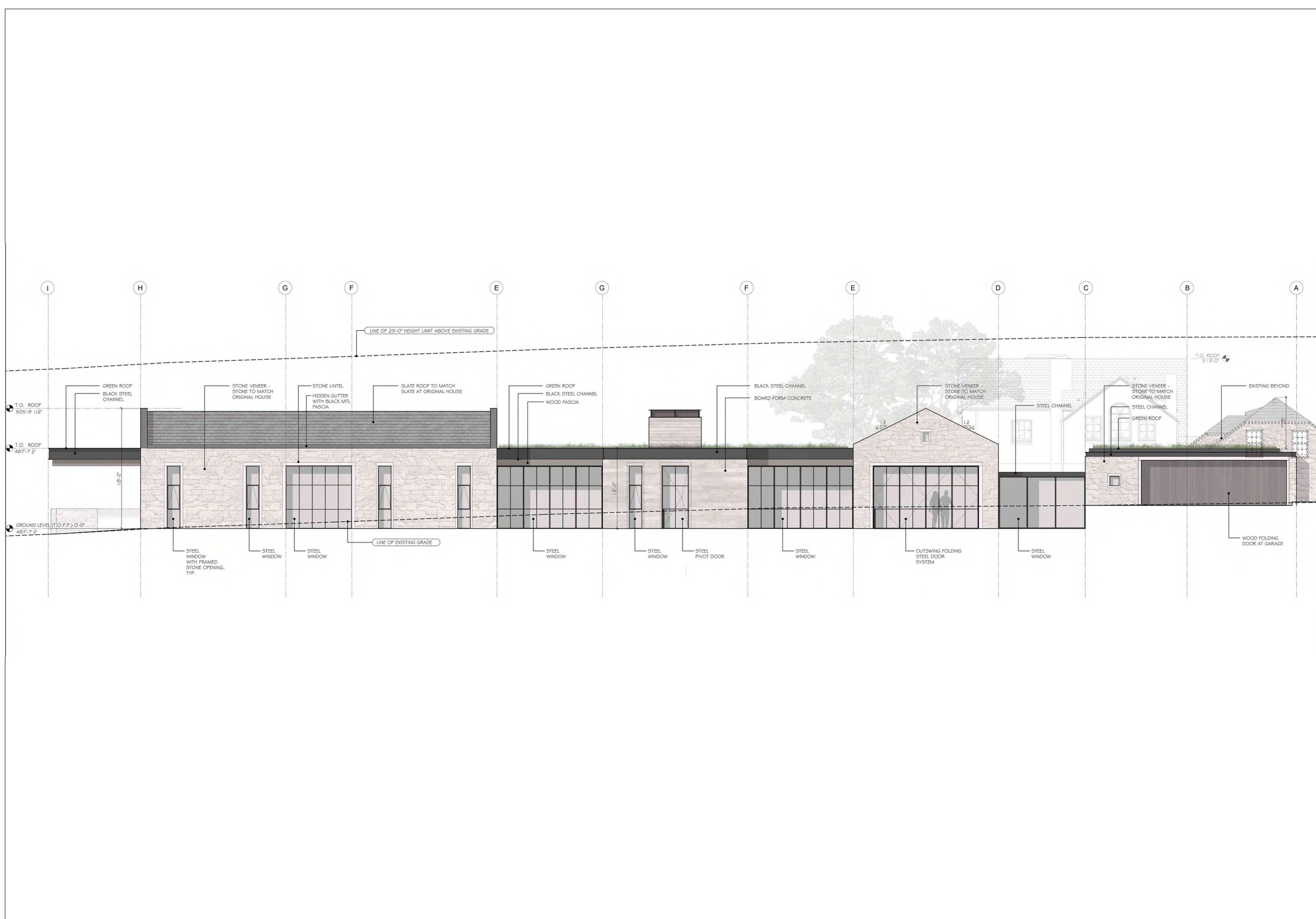
PROJECT

2929 EAST VALLEY ROAD  
SANTA BARBARA, CA 93108

PROPOSED  
EAST ELEVATION

SCALE: AS NOTED

A-303



1 PROPOSED EAST ELEVATION  
SCALE: 3/16" = 1'-0"



DATE	No.	REVISION
06/14/2023		304K CONCEPTUAL REVIEW

OWNER  
YMB, LLC

CONSTRUCTION MANAGER  
PEAK PROJECTS LLC  
www.peakprojects.com

GENERAL CONTRACTOR  
JOHN MADSON CONSTRUCTION INC.  
PO BOX 1207  
CARMEL, CA 95014  
T. 805.684.0615

PERMIT EXPEDITOR  
SUZANNE ELLIOTT PLANNING &  
PERMITTING SERVICES INC.  
1625 STATE STREET, SUITE 1  
SANTA BARBARA, CA 93101  
T. 805.966.2758

STRUCTURAL ENGINEER  
VANSANDE STRUCTURAL CONSULTANT  
2920 DE LA VINA  
SANTA BARBARA, CA 93105  
T. 805.963.6901

LANDSCAPE ARCHITECT  
STUDIO PARRERA  
T. 213.434.1168

ARCHITECTURAL HISTORIAN  
POST HAZELTINE ASSOCIATES  
2139A WEST ANAPAMU STREET  
SANTA BARBARA, CA 93101  
T. 805.682.3751

GEO TECHNICAL ENGINEER  
PACIFIC MATERIALS LABORATORY INC.  
354 SOUTH LA FARELLE LANE, PO BOX 46  
GOLETA, CA 93115  
T. 805.964.6901

ELECTRICAL ENGINEER  
POWERLIFE ELECTRIC INC.  
5361 VENICE BLVD  
LOS ANGELES, CA 90019  
T. 310.293.9333

PLUMBING & HVAC ENGINEER  
MONTEREY ENERGY GROUP  
26465 CARMEL RANCHO BLVD #8  
CARMEL, CA 93923  
T. 831.372.8328

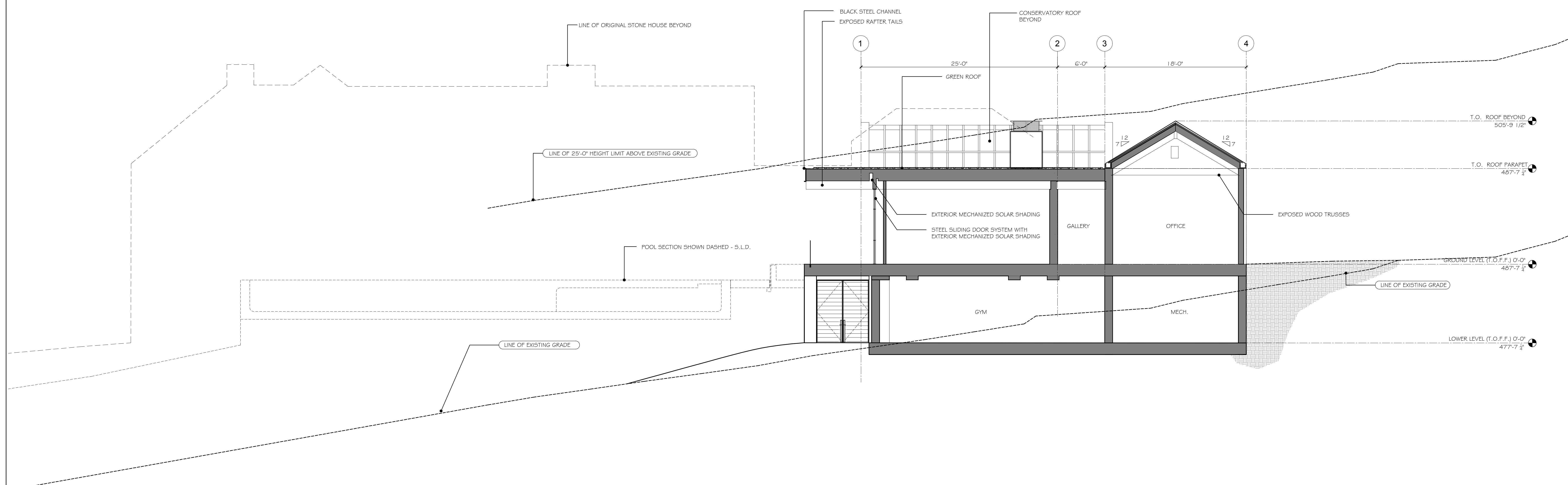
TITLE 24  
MONTEREY ENERGY GROUP  
26465 CARMEL RANCHO BLVD #8  
CARMEL, CA 93923  
T. 831.372.8328

PROJECT  
2929 EAST VALLEY ROAD  
SANTA BARBARA, CA 93108

PROPOSED  
BUILDING  
SECTION

SCALE: AS NOTED

A-400



1 PROPOSED CROSS SECTION  
SCALE: 3/16" = 1'-0"









CONCRETE



SLATE



STONE



BLACK STEEL



METAL TRIM



WOOD

RICHARD FELIX-ASHMAN  
DESIGN INC.  
SAN FRANCISCO & MILL VALLEY  
CALIFORNIA  
T. 415.834.8115  
521 WEST BUTHEDALE  
MILL VALLEY, CA 94041

OWNER  
YMB, LLC

CONSTRUCTION MANAGER  
PEAK PROJECTS LLC  
www.peakprojects.com

GENERAL CONTRACTOR  
JOHN MADSON CONSTRUCTION INC.  
PO BOX 1207  
CAMPVERA, CA 95014  
T. 905.684.0615

PERMIT EXPEDITOR  
SUZANNE RUDOLPH PLANNING &  
PERMITTING SERVICES INC.  
1625 STATE STREET, SUITE 1  
SANTA BARBARA, CA 93101  
T. 805.966.2758

STRUCTURAL ENGINEER  
VANSANDE STRUCTURAL CONSULTANT  
2920 DE LA VINA  
SANTA BARBARA, CA 93105  
T. 805.963.6901

LANDSCAPE ARCHITECT  
STUDIO PAPERBERA  
T. 213.484.1168

ARCHITECTURAL HISTORIAN  
POST HAZELTINE ASSOCIATES  
2139A WEST ANAPAMAU STREET  
SANTA BARBARA, CA 93101  
T. 805.682.3751

GEOTECHNICAL ENGINEER  
PACIFIC MATERIALS LABORATORY INC.  
354 SOUTH LA FAYETTE AVE. FORTY 46  
OAKETA CA 93115  
T. 805.964.6901

ELECTRICAL ENGINEER  
POWERTEL ELECTRIC INC.  
5361 VENICE BLVD  
LOS ANGELES, CA 90019  
T. 310.293.9333

PLUMBING & HVAC ENGINEER  
MONTREY ENERGY GROUP  
26465 CARMEL RANCHO BLVD #8  
CARMEL, CA 93923  
T. 831.372.8528

TITLE 24  
MONTREY ENERGY GROUP  
26465 CARMEL RANCHO BLVD #8  
CARMEL, CA 93923  
T. 831.372.8528

PROJECT  
2929 EAST VALLEY ROAD  
SANTA BARBARA, CA 93108

MATERIALS &  
DETAILS

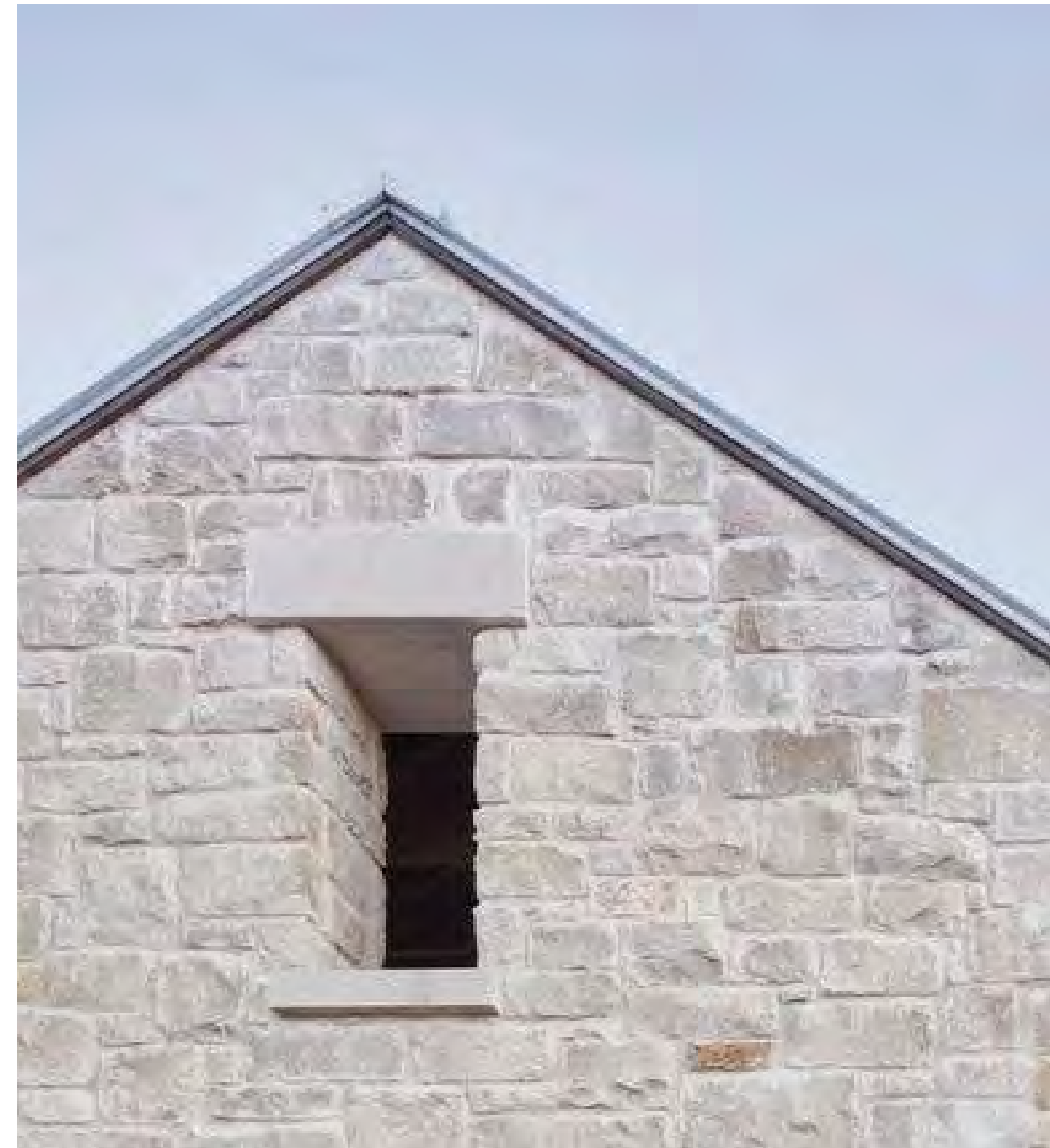
SCALE: N.T.S.

A-1001

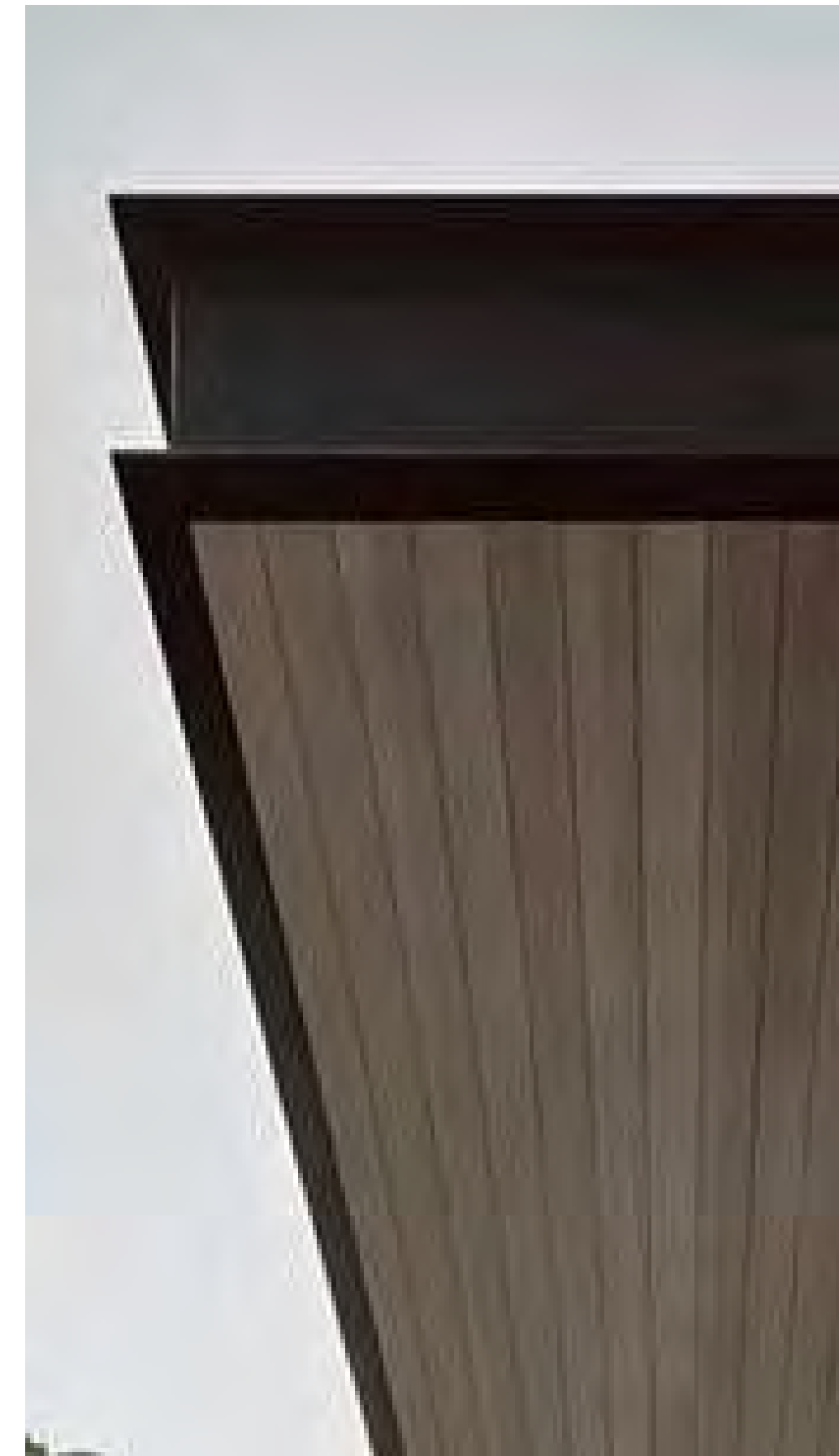




CONCRETE



GABLES



OVERHANGS



CONSERVATORY



COURTYARDS



FRAMED OPENINGS



GREEN ROOF



EXPOSED RAFTERS

DATE	No.	REVISION

OWNER  
YMB, LLC

CONSTRUCTION MANAGER  
PEAK PROJECTS LLC  
www.peakprojects.com

GENERAL CONTRACTOR  
JOHN MADSEN CONSTRUCTION INC.  
PO BOX 1207  
CARMEL, CA 93014  
T. 805.684.0615

PERMIT EXPEDITOR  
SUZANNE BLUDGE PLANNING &  
PERMITTING SERVICES INC.  
1625 STATE STREET, SUITE 1  
SANTA BARBARA, CA 93101  
T. 805.966.2758

STRUCTURAL ENGINEER  
VANSANDE STRUCTURAL CONSULTANT  
2920 DE LA VINA  
SANTA BARBARA, CA 93105  
T. 805.963.6901

LANDSCAPE ARCHITECT  
STUDIO PAPPATERRA  
T. 213.484.1168

ARCHITECTURAL HISTORIAN  
POST HAZELTINE ASSOCIATES  
2139A WEST ANAPAMAU STREET  
SANTA BARBARA, CA 93101  
T. 805.682.3751

GEO TECHNICAL ENGINEER  
PACIFIC MATERIALS LABORATORY INC.  
35-A SOUTH LA TABLA LANE, P.O. BOX 96,  
GOLETA CA 93115  
T. 805.964.6901

ELECTRICAL ENGINEER  
POWERLINE ELECTRIC INC.  
5361 VENICE BLVD  
LOS ANGELES, CA 90019  
T. 310.293.9333

PLUMBING & HVAC ENGINEER  
MONTEREY ENERGY GROUP  
26465 CARMEL RANCHO BLVD. #8  
CARMEL, CA 93923  
T. 831.372.8528

TITLE 24  
MONTEREY ENERGY GROUP  
26465 CARMEL RANCHO BLVD. #8  
CARMEL, CA 93923  
T. 831.372.8528

PROJECT  
2929 EAST VALLEY ROAD  
SANTA BARBARA, CA 93108

MATERIALS &  
DETAILS

SCALE: N.T.S.



DATE No. REVISION

OWNER  
YMS, LLC

GENERAL CONTRACTOR  
JOHN MADDEN CONSTRUCTION INC.  
PO BOX 1307  
CARPINTERIA, CA 93014  
T. 805 . 684 . 0615

PERMIT EXPEDITOR  
SUZANNE ELLEDGE PLANNING &  
PERMITTING SERVICES INC.  
1625 STATE STREET, SUITE 1  
SANTA BARBARA, CA 93101  
T. 805 . 966 . 2758

STRUCTURAL ENGINEER  
VAN SANDE STRUCTURAL CONSULTANT  
2920 DE LA VINA  
SANTA BARBARA, CA 93105  
T. 805 . 963 . 6901

LANDSCAPE ARCHITECT  
**studio pappaterra**  
T. 213.434.1168

ARCHITECTURAL HISTORIAN  
POST HAZELINE ASSOCIATES  
2154A WEST ANAPAMU STREET  
SANTA BARBARA, CA 93101  
T. 805 . 682 . 5751

GEOTECHNICAL ENGINEER  
PACIFIC MATERIALS LABORATORY, INC.  
35-A SOUTH LA PATERA LANE P.O.BOX 96,  
GOLETA CA 93115  
T. 805 . 964 . 6901

ELECTRICAL ENGINEER  
POWERFUL ELECTRIC, INC  
5361 VONCE BLVD  
LOS ANGELES, CA 90019  
T. 310 . 293 . 9333

PLUMBING & HVAC ENGINEER  
MONTEREY ENERGY GROUP  
26465 CARMEL RANCHO BLVD. #8  
CARMEL, CA 93923  
T. 831.372.8328

TITLE 24  
MONTEREY ENERGY GROUP  
26465 CARMEL RANCHO BLVD. #8  
CARMEL, CA 93923  
T. 831.372.8328

PROJECT  
2929 EAST VALLEY ROAD  
SANTA BARBARA, CA 93108

**SITE PLAN**

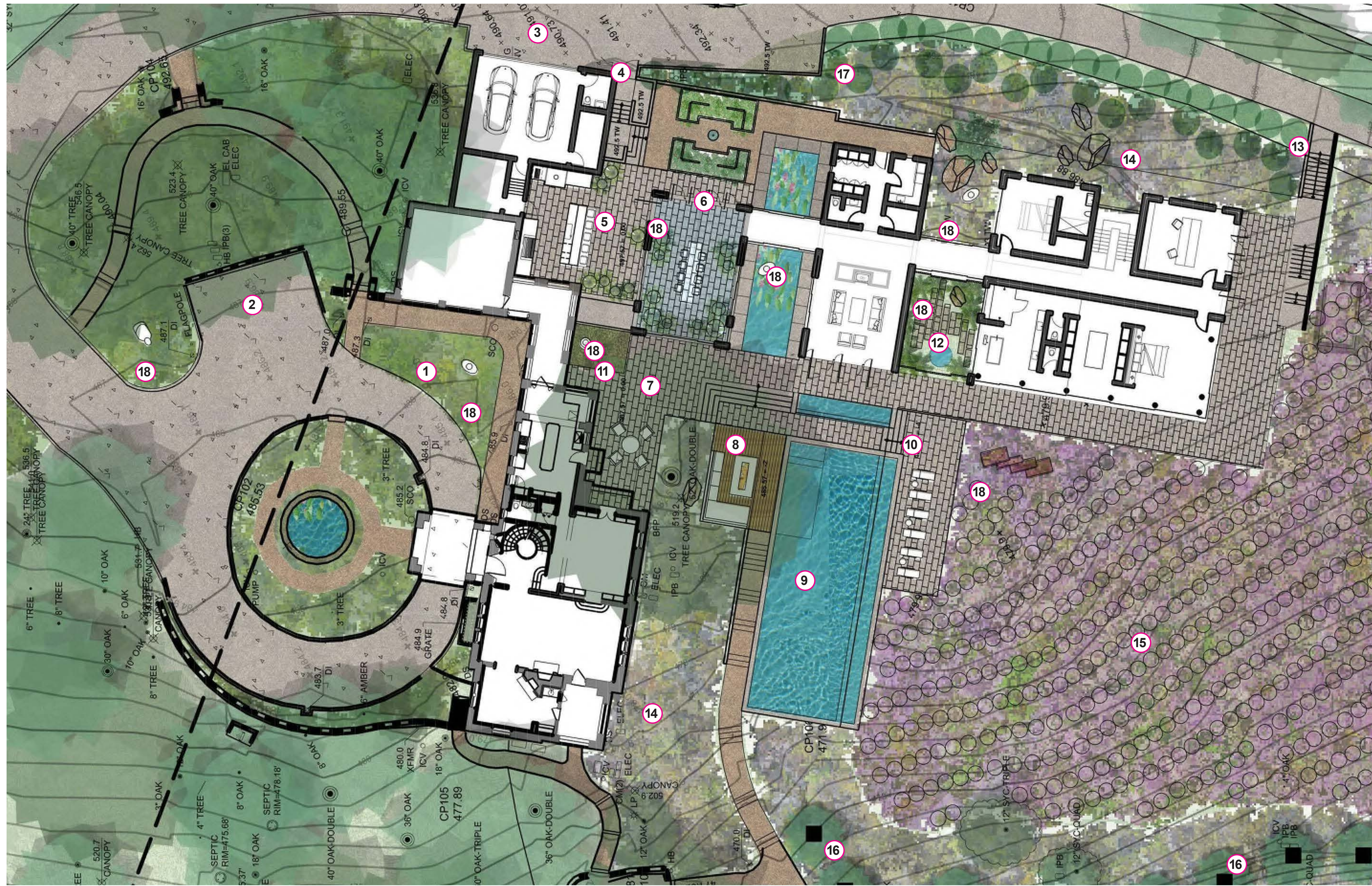


- LEGEND**
- 1 Relocated Entry Gates
  - 2 Guest Arrival Garden
  - 3 Motor Court
  - 4 Bocce Court and Guest Gardens
  - 5 Courtyard Garden
  - 6 Courtyard Pond
  - 7 Sunset Fire Lounge
  - 8 Outdoor Kitchen and Edible Garden
  - 9 Pool and Sun Terrace
  - 10 Play Court and Club House
  - 11 Scented Meadow Farm
  - 12 California Sage and Pollinator Corridor
  - 13 Avocado and Fruit Orchard
  - 14 Creekside Gardens
  - 15 Oval Cottage Garden
  - 16 Screening and Fencing
  - 17 Oak Woodland Expansion
  - 18 Fire Department Turn-Around

**PLANT SCHEDULE**

TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY
	PER GCG	Persea americana 'Gem'	GEM® Avocado	15 gal.	44
	QUE AGR	Quercus agrifolia	Coast Live Oak	15 gal.	28
	ORCHARD	TBD	TBD	15 gal.	12





**LEGEND**

- ① Guest Arrival Garden (expanded)
- ② Guest Parking
- ③ Motor Court
- ④ Service Entry and Trash Storage
- ⑤ Outdoor Kitchen
- ⑥ Edible Garden
- ⑦ Courtyard Terraces (Stone Paving)
- ⑧ Sunset Fire Lounge (Wood Deck)
- ⑨ Pool w. Infinity Edge
- ⑩ Sun Terrace
- ⑪ Atrium Garden
- ⑫ Private Bath Garden
- ⑬ Gym and Fire Department Access
- ⑭ California Sage and Pollinator Corridor
- ⑮ Scented Meadow Farm
- ⑯ Various Fruit Orchard
- ⑰ Screening and Fencing
- ⑱ Sculpture Opportunities

RICHARD FELIX-ASHMAN  
DESIGN INC.  
SAN FRANCISCO & MILL VALLEY  
CALIFORNIA  
T. 415. 834. 8115  
521 WEST BLITHEDALE  
MILL VALLEY, CA 94941

DATE No. REVISION

OWNER  
YMS - LLC

GENERAL CONTRACTOR  
JOHN MADDEN CONSTRUCTION INC.  
PO BOX 1207  
CARRINTEIRA, CA 93014  
T. 805. 684. 0615

PERMIT EXPEDITOR  
SUZANNE ELEDGE PLANNING &  
PERMITTING SERVICES INC.  
1625 STATE STREET, SUITE 1  
SANTA BARBARA, CA 93101  
T. 805. 966. 2758

STRUCTURAL ENGINEER  
VAN SANDE STRUCTURAL CONSULTANT  
2920 DE LA VINA  
SANTA BARBARA, CA 93105  
T. 805. 963. 6901

LANDSCAPE ARCHITECT  
**studio pappaterra**  
T. 213.434.1168

ARCHITECTURAL HISTORIAN  
POST HAZELINE ASSOCIATES  
2154A WEST ANAPAKU STREET  
SANTA BARBARA, CA 93101  
T. 805. 682. 5751

GEOTECHNICAL ENGINEER  
PACIFIC MATERIALS LABORATORY, INC.  
35-A SOUTH LA PATERA LANE P.O. BOX 96,  
OLETA CA 93115  
T. 805. 964. 6901

ELECTRICAL ENGINEER  
POWERFUL ELECTRIC, INC.  
5361 VENICE BLVD.  
LOS ANGELES, CA 90019  
T. 310. 283. 9333

PLUMBING & HVAC ENGINEER  
MONTEREY ENERGY GROUP  
26465 CARMEL RANCHO BLVD. #8  
CARMEL, CA 93923  
T. 831.372.8328

TITLE 24  
MONTEREY ENERGY GROUP  
26465 CARMEL RANCHO BLVD. #8  
CARMEL, CA 93923  
T. 831.372.8328

**HARDSCAPE MATERIALS**



Cut stone to match (E) stone wall



Decomposed granite (DG)  
Gold



Formal entry court garden



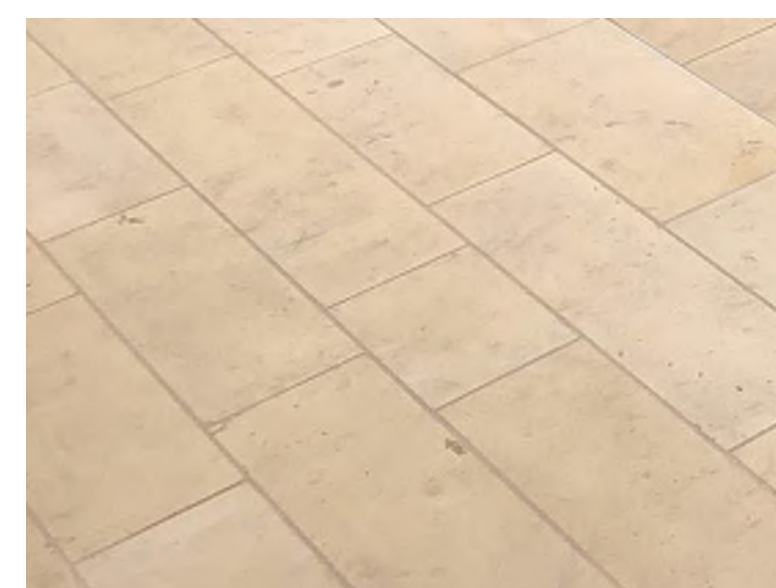
Swimming pool with wood deck



Planted pond



Gold gravel chipseal



Santa Barbara sandstone paving  
Running bond



Outdoor kitchen and edible garden



Dining atrium



Lavender field

**MATERIALS  
& DETAILS**

PROJECT  
2929 EAST VALLEY ROAD  
SANTA BARBARA, CA 93108



PLANT LIST

CREEK GARDEN	6,509 sf	SCREENING	11,514 sf
Artemisia douglasiana / Mugwort	752 --- 36" oc	Calycanthus occidentalis / Western Spicebush	333 --- 72" oc
Clematis ligusticifolia / Western White Clematis	188 --- 72" oc	Cercis occidentalis / Western Redbud Multi-trunk	120 --- 120" oc
Cornus sericea / Red Twig Dogwood	188 --- 72" oc	Heteromeles arbutifolia / Toyon	333 --- 72" oc
Frangula californica / Leatherleaf / Leatherleaf Coffeeberry	188 --- 72" oc	Heteromeles arbutifolia Davis Gold / Davis Gold Toyon	333 --- 72" oc
Juncus patens / Elk Blue / Spreading Rush	1,692 --- 24" oc	Philadelphus lewisii / Wild Mockorange	550 --- 56" oc
Keckiella cordifolia / Climbing Penstemon	1,692 --- 24" oc	Rhus integrifolia / Lemonade Berry	187 --- 96" oc
Muhlenbergia rigens / Deer Grass	752 --- 36" oc	Rhus ovata / Sugar Bush	333 --- 72" oc
Rhamnus crocea / Redberry	188 --- 72" oc		
Ribes amarum / Bitter Gooseberry	752 --- 36" oc		
Ribes speciosum / Fuchsia Flowering Gooseberry	423 --- 48" oc		
Rosa californica / California Wild Rose	752 --- 36" oc		
Rubus ursinus / California Blackberry	423 --- 48" oc		
Salix lasiolepis / Arroyo Willow	31 --- 18" oc		
Solidago californica / California Goldenrod	752 --- 36" oc		
Symphoricarpos mollis / Creeping Snowberry	423 --- 48" oc		
Umbellularia californica / Bay Laurel	8 --- 36" oc		
Woodwardia fimbriata / Giant Chain Fern	752 --- 36" oc		
POLLINATOR CORRIDOR	5,254 sf	OAK WOODLAND (SMALL TREES / ACCENT SHRUBS)	17,453 sf
Abutilon palmeri / Indian Mallow	152 --- 72" oc	Arctostaphylos bakeri / Louis Edmunds' / Louis Edmunds Baker's Manzanita	833 --- 56" oc
Arctostaphylos glandulosa / Eastwood Manzanita	1,365 --- 24" oc	Arctostaphylos densiflora / Howard McMinn / Howard McMinn Vine Hill Manzanita	833 --- 56" oc
Arctostaphylos glauca / Bigberry Manzanita	152 --- 72" oc	Cercis occidentalis / Western Redbud	126 --- 144" oc
Asclepias californica / California Milkweed	1,365 --- 24" oc		
Asclepias eriocarpa / Indian Milkweed	607 --- 36" oc		
Asclepias fascicularis / Narrowleaf Milkweed	607 --- 36" oc		
Baccharis pilularis / Coyote Brush	1,365 --- 24" oc		
Calystegia macrostegia / Island Morning Glory	55 --- 120" oc		
Ceropegia gigantea / Giant Ceropegia	1,365 --- 24" oc		
Dendromecon rigida / Bush Poppy	152 --- 72" oc		
Diplospora grandiflora / Largeflower Bush Monkeyflower	342 --- 48" oc		
Eriogonum fasciculatum / California Buckwheat	607 --- 36" oc		
Hesperoyucca whipplei / Chaparral Yucca	342 --- 48" oc		
Lesdingia filaginifolia / Silver Carpet / Branching Sea Aster	2,427 --- 18" oc		
Opuntia littoralis littoralis / Coastal Prickly Pear	291 --- 52" oc		
Ribes speciosum / Fuchsia Flowering Gooseberry	342 --- 48" oc		
Ribes viburnifolium / Evergreen Currant	607 --- 36" oc		
Romneya coulteri / Matilija Poppy	342 --- 48" oc		
Rosa californica / California Wild Rose	607 --- 36" oc		
Salvia leucophylla / Purple Sage	607 --- 36" oc		
Salvia spathacea / Hummingbird Sage	1,365 --- 24" oc		
Solanum xanti / Nightshade	291 --- 52" oc		
Trichostema lanatum / Woolly Blue Curtis	1,365 --- 24" oc		
POLLINATOR CORRIDOR SEED MIX	32,935 sf	STONE HOUSE GARDENS (TREES)	18,545 sf
Abarema glauca / Abarema	343 --- 120" oc	Cupressus cashmeriana / Kashmir Cypress	173 --- 120" oc
Acmispon americanus / Birdfoot Trefoil	8,557 --- 24" oc	Juniperus scopulorum / Toileson's Blue Weeping Juniper	991 --- 60" oc
Acmispon glaber / Deerweed	8,557 --- 24" oc	Lythothamnium floribundum asplenifolius / Fernleaf Catalina Ironwood	49 --- 240" oc
Artemisia californica / California Sagebrush	8,557 --- 24" oc	Quercus agrifolia / Coast Live Oak	49 --- 240" oc
Camissonopsis cheiranthifolia / Beach Evening Primrose	12,322 --- 20" oc	Quercus tomentella / Island Oak	86 --- 180" oc
Collinsia heterophylla / Chinese Houses	15,212 --- 18" oc		
Encelia californica / California Encelia	8,557 --- 24" oc		
Eriogonum fasciculatum / California Buckwheat	8,557 --- 24" oc		
Eriophyllum confertiflorum / Golden Yarrow	15,212 --- 18" oc		
Eschscholzia californica / California Poppy	15,212 --- 18" oc		
Festuca microstachya / Small Fescue	15,212 --- 18" oc		
Isocoma menziesii / Goldenbush	15,212 --- 18" oc		
Lasthenia californica / California Goldfields	15,212 --- 18" oc		
Lupinus succulentus / Arroyo Lupine	15,212 --- 18" oc		
Mimulus aurantiacus var. puniceus / Red Bush Sticky Monkeyflower	15,212 --- 18" oc		
Phacelia cicutaria / Caterpillar Phacelia	15,212 --- 18" oc		
Salvia apiana / White Sage	8,557 --- 24" oc		
Salvia mellifera / Black Sage	2,140 --- 48" oc		
Sisyrinchium bellum / Blue-eyed Grass	15,212 --- 18" oc		
Stipa pulchra / Purple Needle Grass	15,212 --- 18" oc		
Trifolium wildenovii / Tomcat Clover	15,212 --- 18" oc		
SCENTED MEADOW	52,789 sf	STONE HOUSE GARDENS (SMALL TREES / ACCENT SHRUBS)	11,374 sf
Chrysopsis zizanioides / Vetiver Grass	13,715 --- 24" oc	Arctostaphylos bakeri / Louis Edmunds' / Louis Edmunds Baker's Manzanita	543 --- 56" oc
Lavandula angustifolia Vera / Vera English Lavender	6,096 --- 36" oc	Arctostaphylos densiflora / Howard McMinn / Howard McMinn Vine Hill Manzanita	119 --- 120" oc
Lavandula x intermedia 'Provence' / Provence Lavendin	6,096 --- 36" oc	Cercis occidentalis / Western Redbud	739 --- 48" oc
Salvia apiana / White Sage	6,096 --- 36" oc		
STONE HOUSE GARDENS (SCREENING)	7,320 sf	STONE HOUSE GARDENS (SHRUBS)	9,546 sf
Ceanothus x Concha / Concha Wild Lilac	212 --- 72" oc	Arctostaphylos x Emerald Carpet / Emerald Carpet Manzanita	456 --- 56" oc
Cercocarpus betuloides / Mountain Mahogany	119 --- 96" oc	Baccharis pilularis / Pigeon Point / Pigeon Point Coyote Brush	456 --- 56" oc
Grevillea x 'Little Honey' / Little Honey Grevillea	350 --- 56" oc	Carex pansa / Meadow Sedge	2,481 --- 24" oc
Heteromeles arbutifolia / Toyon	77 --- 120" oc	Carrisa macrocarpa / Natal Plum	456 --- 56" oc
Laurus nobilis / Sweet Bay	350 --- 56" oc	Ceanothus californica 'Elizabeth' / Elizabeth Bush Anemone	456 --- 56" oc
Podocarpus gracilior / Fern Pine	846 --- 36" oc	Ceanothus griseus 'Anchor Bay' / Anchor Bay Point Reyes Ceanothus	1,103 --- 36" oc
Prunus ilicifolia / Hollyleaf Cherry	77 --- 120" oc	Ceanothus griseus horizontalis / Carmel Creeper	1,103 --- 36" oc
Rhus integrifolia / Lemonade Berry	77 --- 120" oc	Ceanothus x 'Centennial' / Centennial Wild Lilac	621 --- 48" oc
		Dianella revoluta / Big Rev / Big Rev Flax Lily	1,103 --- 36" oc
		Eriogonum fasciculatum / California Buckwheat	1,103 --- 36" oc
		Frangula californica / Leatherleaf / Leatherleaf Coffeeberry	621 --- 48" oc
		Frangula californica 'Mound San Bruno' / Mound San Bruno Coffeeberry	621 --- 48" oc
		Grevillea tangiera / Coastal Gem / Coastal Gem Grevillea	621 --- 48" oc
		Iris douglasiana / Douglas Iris	2,481 --- 24" oc
		Iris x pacifica 'Native Warrior' / Native Warrior Pacific Coast Iris	2,481 --- 24" oc
		Lesdingia filaginifolia / Silver Carpet / Branching Sea Aster	2,481 --- 24" oc
		Leucophyllum x 'Heavenly Cloud' / Barometerbush	456 --- 56" oc
		Lippia nodiflora / Kurapia ST / Kurapia®	456 --- 56" oc
		Lomandra nystax / LICOM / Tropical Mat Rush	1,103 --- 36" oc
		Lomandra longifolia / Breeze / Breeze™ Mat Rush	1,103 --- 36" oc
		Monardella villosa / Coyote Mint	2,481 --- 24" oc
		Monardella villosa 'Russian River' / Russian River Coyote Mint	2,481 --- 24" oc
		Nephrrolepis cordifolia / Sword Fern	1,103 --- 36" oc
		Olea europaea / European Olive	45 --- 180" oc
		Ribes viburnifolium / Evergreen Currant	621 --- 48" oc
		Salvia clevelandii / Winnifred Gilman / Winnifred Gilman Cleveland Sage	621 --- 48" oc
		Salvia leucophylla / Purple Sage	456 --- 56" oc
		Salvia mellifera / Black Sage	456 --- 56" oc
		Salvia spathacea / Las Pilitas / Las Pilitas Hummingbird Sage	1,103 --- 36" oc
		Sisyrinchium bellum / Blue-eyed Grass	2,481 --- 24" oc
		Stachys byzantina / Helen von Stein Lamb's Ear	1,103 --- 36" oc
		Verbena lilacina 'De la Mina' / De la Mina Lilac Verbena	1,103 --- 36" oc
		HEDGE SCREENING	148 sf
		Laurus nobilis / Sweet Bay	18 --- 36" oc

PLANT SCHEDULE

TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY	REMARKS
▲	PER GCG	Persea americana 'Gem'	GEM® Avocado	15 gal.	44	
●	QUE AGR	Quercus agrifolia	Coast Live Oak	15 gal.	28	
■	ORCHARD	TBD	TBD	15 gal.	12	

CREEK GARDEN



Artemisia douglasiana  
Mugwort



Muhlenbergia rigens  
Deer Grass



Ribes speciosum  
Fuchsia Flowering  
Gooseberry



Solidago californica  
California Goldenrod

POLLINATOR CORRIDOR



Dendromecon rigida  
Bush Poppy



Hesperoyucca whipplei  
Chaparral Yucca



Romneya coulteri  
Matilija Poppy



Salvia leucophylla  
Purple Sage

OAK WOODLAND



Frangula californica  
California Coffeeberry



Iris x pacifica  
Pacific Coast Iris  
'Big Wheel'



Muhlenbergia rigens  
Deer Grass



Ribes speciosum  
Fuchsia Flowering  
Gooseberry

STONE HOUSE TREES



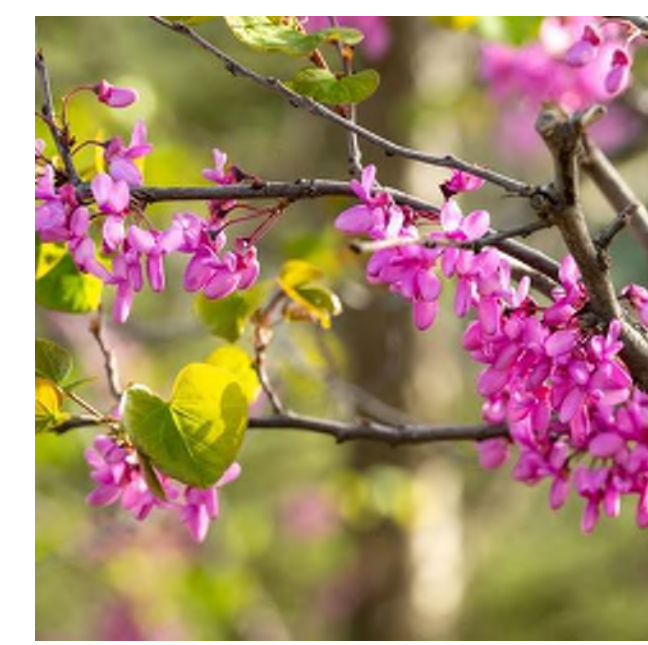
Cupressus cashmeriana  
Kashmir Cypress



Lyonothamnus floribundus  
asplenifolius  
Fernleaf Catalina Ironwood



Quercus agrifolia  
Coast Live Oak



Cercis occidentalis  
Western Redbud

STONE HOUSE SHRUBS



Arctostaphylos  
Manzanita  
'Emerald Carpet'



Baccharis pilularis  
Coyote Brush  
'Pigeon Point'



Ceanothus griseus  
horizontalis  
Carmel Creeper



Verbena lilacina  
Lilac Verbena  
'De La Mina'





1. Entry gate at main house



2. Approach to motor court



3. Oak at back yard



4. Slope below pool



5. Private drive to south end of property



6. Pool and ocean view



7. Tennis court and covered patio



8. Private footpath between main house and guest house



9. Guest house from driveway



10. Approach to guest house from main house



11. Back of guest house



12. Entry gate at guest house

RICHARD FELIX-ASHMAN  
DESIGN INC.  
SAN FRANCISCO & MILL VALLEY  
CALIFORNIA  
T. 415. 834. 8115  
521 WEST BLITHEDALE  
MILL VALLEY, CA 94941

DATE No. REVISION

OWNER  
YMS - LLC

GENERAL CONTRACTOR  
JOHN MADDEN CONSTRUCTION INC.  
PO BOX 1207  
CARRINTEIRA, CA 93014  
T. 805. 684. 0615

PERMIT EXPEDITOR  
SUZANNE ELLEDGE PLANNING &  
PERMITTING SERVICES INC.  
1625 STATE STREET, SUITE 1  
SANTA BARBARA, CA 93101  
T. 805. 966. 2758

STRUCTURAL ENGINEER  
VAN SANDE STRUCTURAL CONSULTANT  
2920 DE LA VINA  
SANTA BARBARA, CA 93105  
T. 805. 963. 6901

LANDSCAPE ARCHITECT  
**studio pappaterra**  
T. 213.434.1168

ARCHITECTURAL HISTORIAN  
POST HAZELINE ASSOCIATES  
2158A WEST ANAPAKU STREET  
SANTA BARBARA, CA 93101  
T. 805. 682. 5751

GEOTECHNICAL ENGINEER  
PACIFIC MATERIALS LABORATORY, INC.  
35-A SOUTH LA PATERA LANE P.O. BOX 96,  
COLETA CA 93115  
T. 805. 964. 6901

ELECTRICAL ENGINEER  
POWERFUL ELECTRIC, INC.  
5361 VENICE BLVD.  
LOS ANGELES, CA 90019  
T. 310. 283. 9333

PLUMBING & HVAC ENGINEER  
MONTEREY ENERGY GROUP  
26465 CARMEL RANCHO BLVD. #8  
CARMEL, CA 93923  
T. 831.372.8328

TITLE 24  
MONTEREY ENERGY GROUP  
26465 CARMEL RANCHO BLVD. #8  
CARMEL, CA 93923  
T. 831.372.8328

PROJECT  
2929 EAST VALLEY ROAD  
SANTA BARBARA, CA 93108

**SITE  
IMAGES**

**L4.00**



# BOUNDARY & TOPOGRAPHIC MAP

## 2929 EAST VALLEY ROAD

### UNINCORPORATED COUNTY OF SANTA BARBARA

#### STATE OF CALIFORNIA

#### A.P.N. 005-040-025

### SURVEYOR'S NOTES

**1. MAPPING NOTES**

**AERIAL MAPPING NOTES:**

AERIAL MAPPING WAS PERFORMED USING IMAGERY COLLECTED FROM A UNMANNED AERIAL SYSTEM (UAS) FLIGHT IN APRIL 2022, SUPPLEMENTED IN MAY 2022. IMAGERY WAS COLLECTED AT +/- 1.5CM GROUND SAMPLING DISTANCE (GSD). IMAGERY WAS PROCESSED AND ADJUSTED TO FIELD SET GROUND CONTROL TO CALCULATE EXTERIOR IMAGERY ORIENTATIONS AND PERFORM AN IN-SITU CAMERA CALIBRATION. THOSE PORTIONS OF GROUND CONTOURING LYING WITHIN THE EXTENTS OF TREE CANOPY/DENSE VEGETATION ARE APPROXIMATE AND SHALL BE VERIFIED BY A GROUND BASED FIELD SURVEY PRIOR TO FINAL DESIGN AND/OR CONSTRUCTION.

**SUPPLEMENTAL GROUND BASED FIELD SURVEY:**

A SUPPLEMENTAL GROUND SURVEY WAS PERFORMED IN APRIL 2022 (SURFACE UTILITIES AND BUILDING FOOTPRINTS ONLY) AND ADDITIONAL WORK IN FEBRUARY 2023. THE GROUND BASED FIELD SURVEY WAS PERFORMED USING A COMBINATION OF TRIMBLE S6/S7 TOTAL STATIONS AND TRIMBLE R10 GNSS RECEIVERS.

### 2. BASIS OF BEARINGS AND COORDINATES

THE BEARINGS AND COORDINATES SHOWN ON THIS MAP ARE BASED ON THE CALIFORNIA COORDINATE SYSTEM OF 1983 (CCS83), NAD83(2011), ZONE 5, EPOCH 2017.50, DEFINED LOCALLY BY CONVENTIONAL AND STATIC GNSS FIELD TIES TO THE MONTECITO HIGH PRECISION GEODETIC CONTROL NETWORK AS SHOWN ON THE MAP FILED IN BOOK 212, PAGE 48 THROUGH 52 OF RECORD OF SURVEYS (RO). THIS SURVEY TIED LOCALLY TO STATION No. 40 ("VALLEY") OF SAID NETWORK. ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) PER SAID TIES TO RO.

### 3. BOUNDARY NOTES

THE BOUNDARY AND EASEMENTS SHOWN HEREON ARE BASED ON THAT CERTAIN PRELIMINARY REPORT PREPARED BY FIDELITY NATIONAL TITLE COMPANY, TITLE NUMBER FSBA-4204210584-SA, HAVING AN EFFECTIVE DATE OF OCTOBER 29, 2021 AT 07:30 A.M., REFER TO SAID REPORT FOR ADDITIONAL EXCEPTIONS TO TITLE AND/OR TITLE RELATED MATTERS AFFECTING THE SUBJECT PROPERTY. THE COMPLETENESS AND/OR CORRECTNESS OF SAID REPORT AS PROVIDED TO STANTEC IS THE RESPONSIBILITY OF OTHERS. RECORD DISTANCES AND BEARINGS ARE AS SHOWN OR NOTED IN THE DOCUMENT BEING REFERENCED. REFER TO THE DOCUMENT ITSELF TO DETERMINE IF THE RECORD DATA IS EXPRESSED AS GRID OR GROUND DISTANCE VALUES.

### 4. VERTICAL RELIEF NOTE

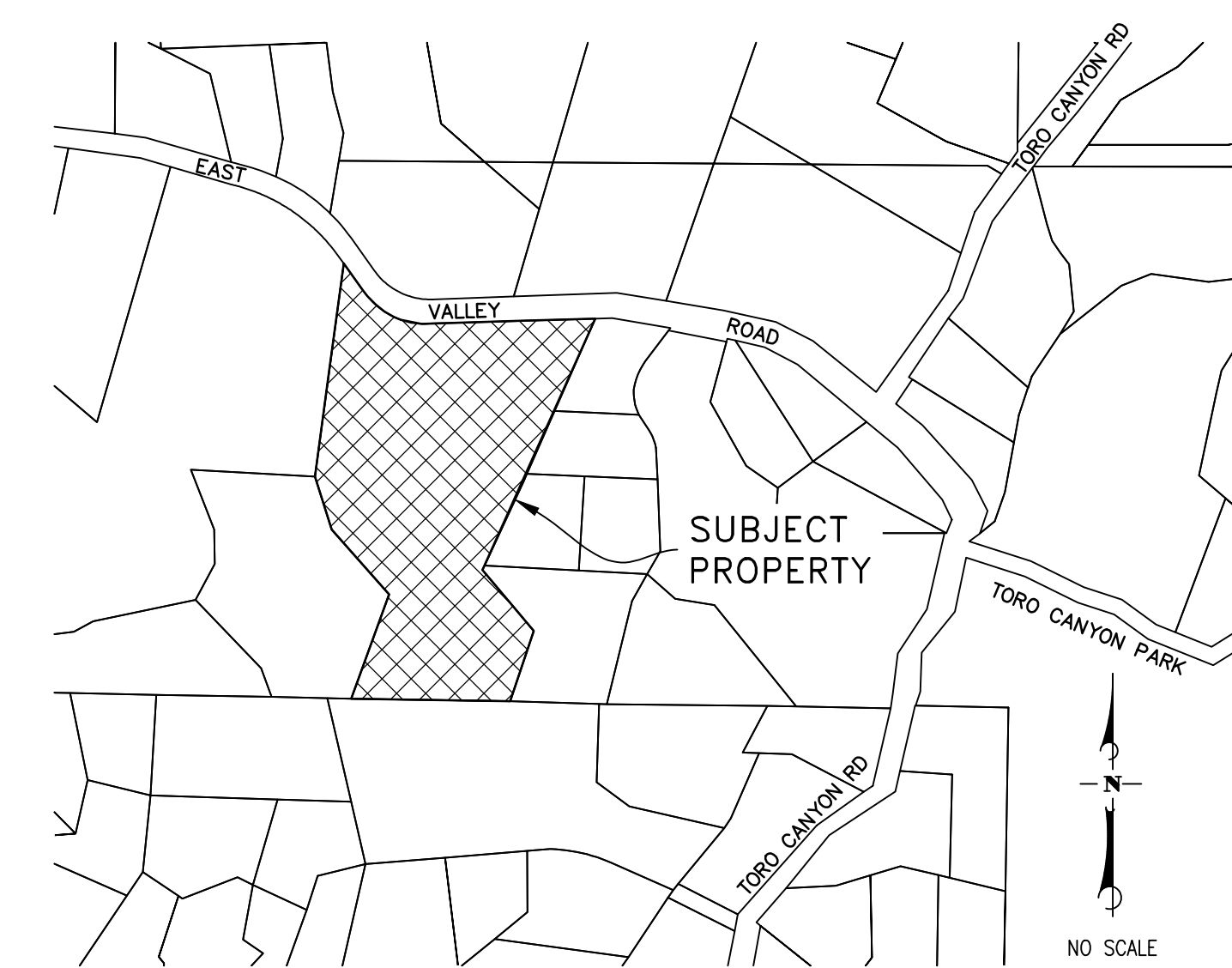
THE CONTOURING SHOWN HEREON IN CONTINUOUS LINETYPE IS BASED ON GROUND BASED FIELD SURVEY DATA COLLECTED BY STANTEC. DASHED LINETYPE CONTOURS ARE BASED ON GROUND SAMPLED LIDAR DATA FROM THE 2018 NOAA SANTA BARBARA USGS MAPPING EFFORT. DATA SETS WERE MERGED BY CREATING A VARIABLE WIDTH (5 TO 15+FOOT) BUFFER BEYOND THE BOUNDARY OF SAID LIDAR DATA SET AS A BASIS OF THE CROPPING LIMIT OF SAID LIDAR DATA SET. THE BUFFER AREA WAS THEN MERGED BY INTERPOLATION BETWEEN SAID BOUNDARY WITH SAID LIDAR DATA. SAID LIDAR DATA IS PRESENTED HEREON IN ITS RAW FORM FROM NOAA, INCLUDING KNOWN ANOMALIES SUCH AS CONTOURING THROUGH STRUCTURES, ETC. SAID LIDAR DATA SHALL BE USED FOR PLANNING PURPOSES ONLY. IT WAS NOT WITHIN THE SCOPE OF THIS SURVEY TO FIELD VERIFY THE ENTIRETY OF SAID DATA SET.

### LEGEND

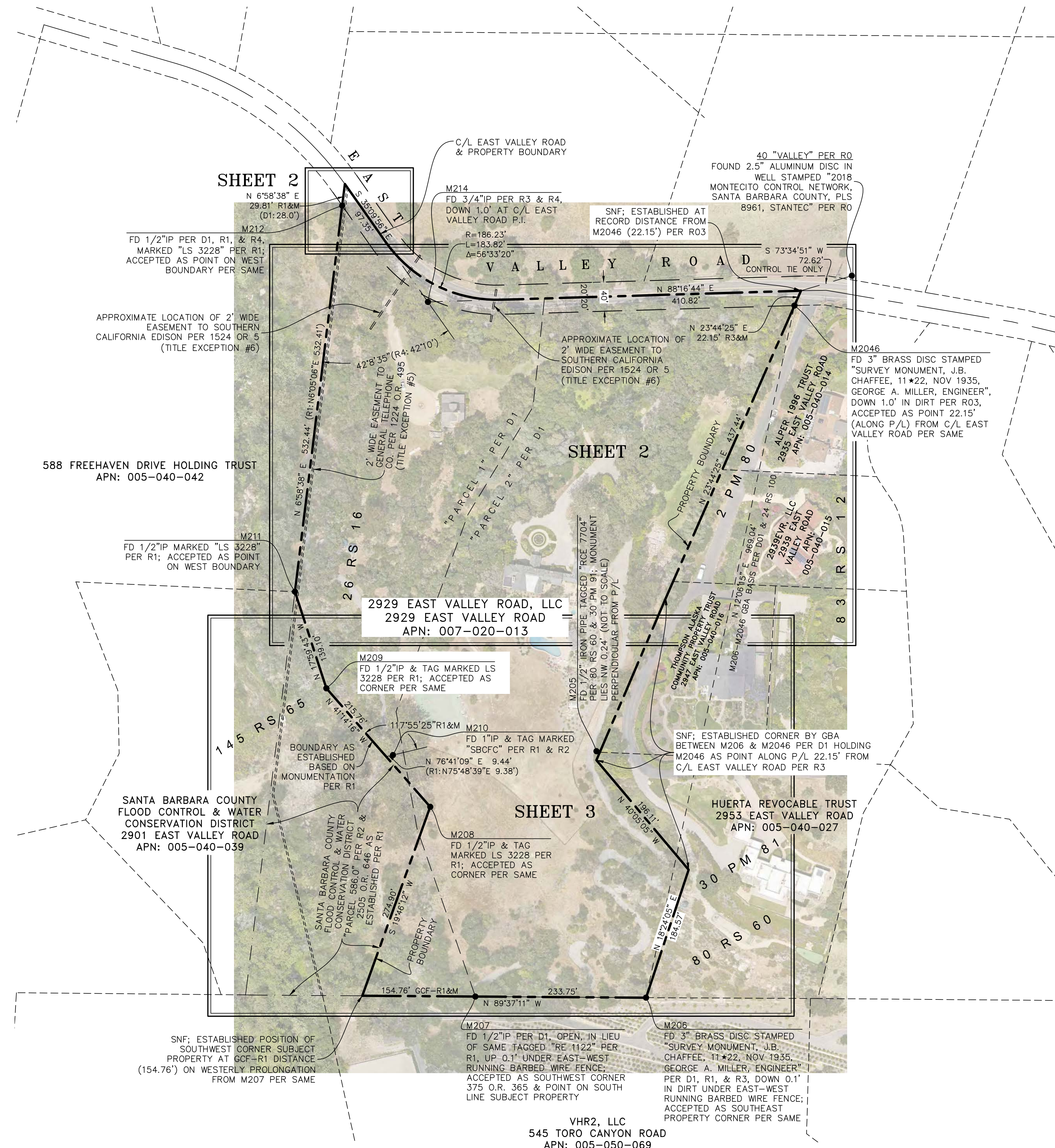
- & AND TAX ASSESSOR PARCEL NUMBER
- BFP BACKFLOW PREVENTER
- C/L CENTERLINE
- CAB CABINET (UTILITY)
- CM COMMUNICATION PULL BOX
- CP CONTROL POINT
- CSF COMBINED SCALE FACTOR
- DI DRAIN INLET
- DS DOWN SPOUT
- EL ELECTRICAL
- ELEC ELECTRICAL PULL BOX
- EVT ELECTRICAL VAULT
- FF FINISHED FLOOR
- FL FLOWLINE
- GCF GRID DISTANCE CALCULATED FROM
- GM GAS METER
- GUY GUY WIRE
- INV INVERT
- ICV IRRIGATION CONTROL VALVE
- IPB IRRIGATION PULL BOX
- LP LIGHT POLE
- LS LAND SURVEYOR
- M MEASURED
- MH MANHOLE
- O.R. OFFICIAL RECORD
- P.I. POINT OF INTERSECTION
- PM PARCEL MAP
- PP POWER POLE
- R.E. REGISTERED ENGINEER
- RS RECORD OF SURVEY
- SBFCFD SANTA BARBARA COUNTY FLOOD CONTROL DISTRICT
- SCO SEWER CLEAN OUT
- SD STORM DRAIN
- SDPI STORM DRAIN PIPE
- TG TOP OF GRATE INLET
- UNK UNKNOWN
- UP UTILITY POLE
- WT WATER
- XTMR TRANSFORMER

### RECORD REFERENCES

- DD1 DOCUMENT NUMBER 2022-0001072, SANTA BARBARA COUNTY OFFICIAL RECORDS
- RO "2018 MONTECITO HIGH PRECISION GEODETIC CONTROL NETWORK" (MHPGN) PER RECORD OF SURVEY BOOK 212, PAGES 48 THROUGH 52, INCLUSIVE
- R01 RECORD OF SURVEY BOOK 145 PAGE 65
- R02 RECORD OF SURVEY BOOK 47 PAGE 77
- R03 RECORD OF SURVEY BOOK 24 PAGE 100
- R04 RECORD OF SURVEY BOOK 26 PAGE 16



VICINITY MAP



### SHEET INDEX

- | SHEET # | CONTENTS  |
|---------|---|
| 01      | BOUNDARY ESTABLISHMENT, SURVEYOR'S NOTES, LEGEND, RECORD REFERENCES, VICINITY MAP, SURVEYOR'S STATEMENT |
| 02      | TOPOGRAPHIC MAPPING   |
| 03      | TOPOGRAPHIC MAPPING   |

### BOUNDARY ESTABLISHMENT & SHEET LAYOUT

SCALE: 1 INCH = 80 U.S. SURVEY FEET

### SURVEYOR'S STATEMENT

THIS MAP WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AT THE REQUEST OF 2929 EAST VALLEY ROAD, LLC, IN MARCH OF 2023 AND IS BASED ON A FIELD SURVEY.

## PRELIMINARY

DANIEL B. EISENGART, PLS  
License No. L8961



NO.	DATE	REVISIONS	APPD.
01	2022-09-19	ADDED LIMITS OF COASTAL ZONE	DBE
02	2023-02-27	SUPPLEMENTAL GROUND BASED MAPPING	DBE



200 East Corrallo St, Suite 101 Santa Barbara, CA 93101  
Phone: (805) 963-9532 Fax: (805) 966-9801

FIELD CREW: DW, HG, LC, JS  
SURVEY COMPLETED: FEBRUARY 2023  
OFFICE TECH: NK, DW, JS  
COMPILED COMPLETED: FEBRUARY 27, 2023

**TITLE SHEET**  
2929 EAST VALLEY ROAD  
UNINCORPORATED COUNTY OF SANTA BARBARA  
STATE OF CALIFORNIA

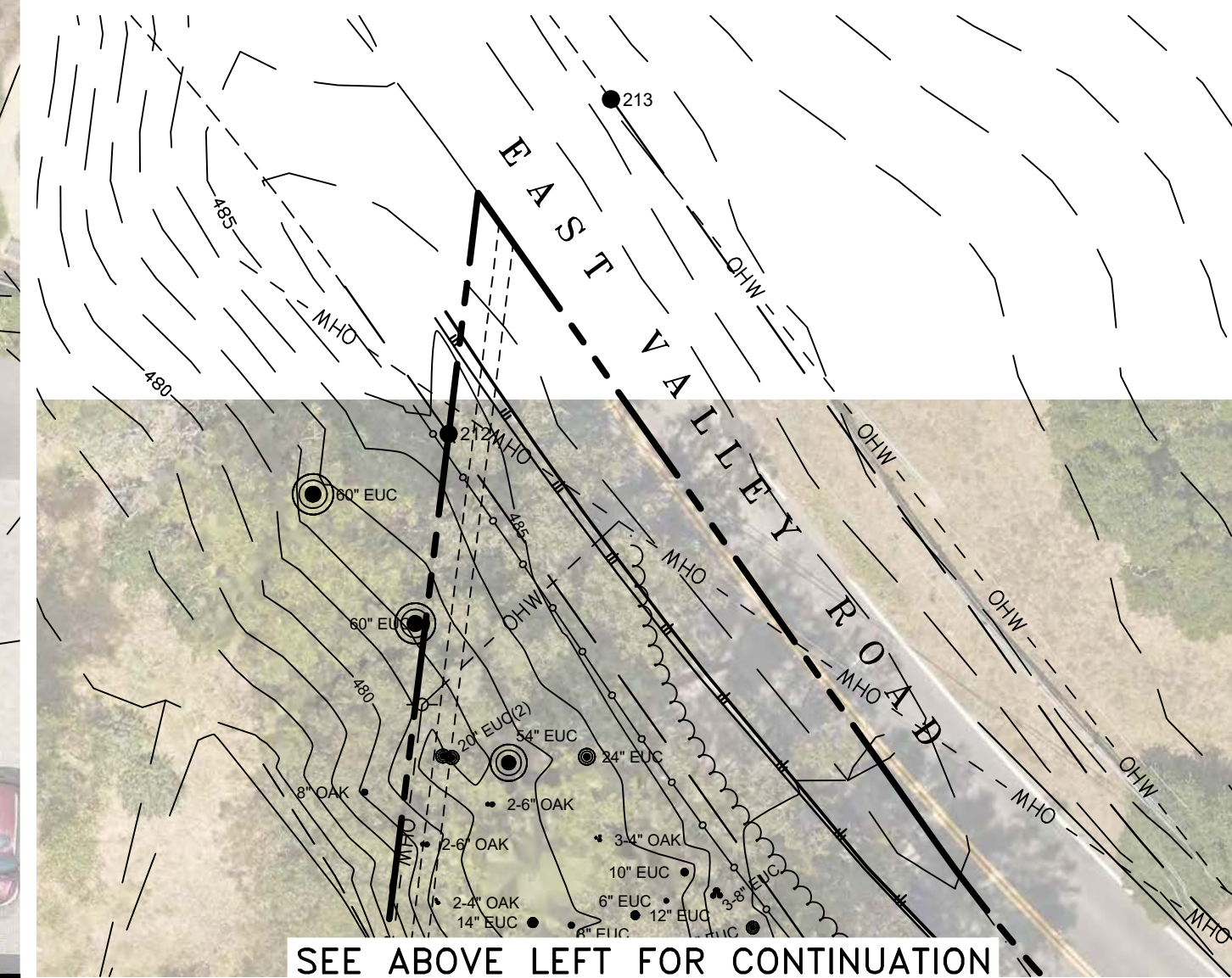
PROJECT NUMBER: 2042636000  
SHEET: 1 OF 3  
DWG: 2042636000\_BD1+TPO\_SHTS



SEE BELOW RIGHT FOR CONTINUATION



2929 EAST VALLEY ROAD, LLC  
2929 EAST VALLEY ROAD  
APN: 007-020-013



SEE ABOVE LEFT FOR CONTINUATION

SEE SHEET 3 FOR CONTINUATION

NO.	DATE	REVISIONS	APPD.
01	2022-05-19	ADDED LIMITS OF COASTAL ZONE	DBE
02	2023-02-27	SUPPLEMENTAL GROUND BASED MAPPING	DBE



FIELD CREW: DW, HG, LC, JS  
 SURVEY COMPLETED: MAY 2022  
 OFFICE TECH: NK, DW, JS  
 COMPILATION COMPLETED: MARCH 2023

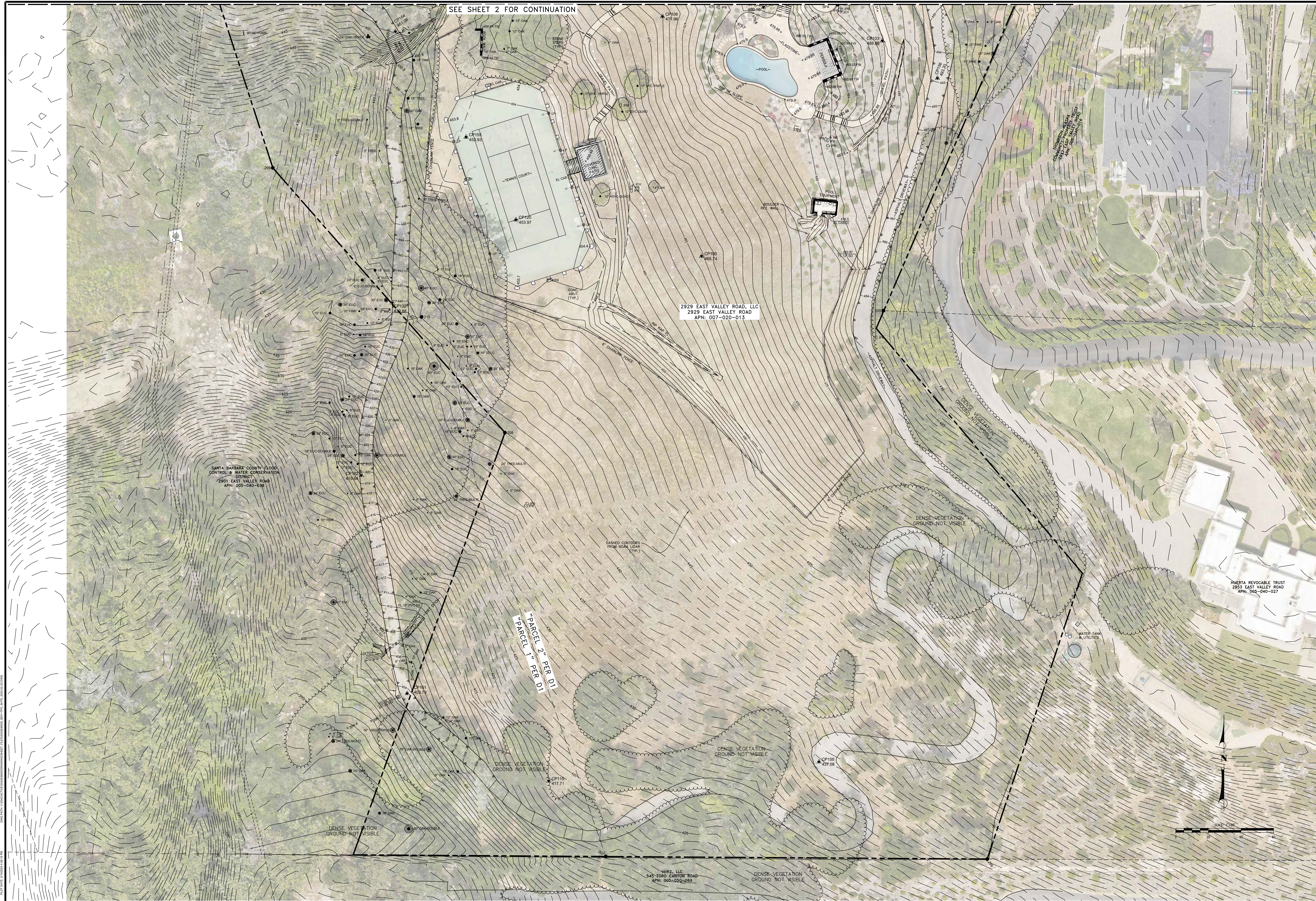
TOPOGRAPHIC MAPPING  
 2929 EAST VALLEY ROAD  
 UNINCORPORATED COUNTY OF SANTA BARBARA  
 STATE OF CALIFORNIA

PROJECT NUMBER: 2042636000  
 SHEET: 2 OF 3  
 DWG: 2042636000\_BD1+TPO\_SHTS

DATE: 2023-02-27  
 DRAWN BY: JLS  
 CHECKED BY: JLS  
 PROJECT: 2042636000  
 SHEET: 2 OF 3  
 DWG: 2042636000\_BD1+TPO\_SHTS



SEE SHEET 2 FOR CONTINUATION



SANTA BARBARA COUNTY FLOOD CONTROL & WATER CONSERVATION DISTRICT  
 2901 EAST VALLEY ROAD  
 APN: 005-040-039

2929 EAST VALLEY ROAD, LLC  
 2929 EAST VALLEY ROAD  
 APN: 007-020-013

HUERTA REVOCABLE TRUST  
 2955 EAST VALLEY ROAD  
 APN: 005-040-027

VER2, LLC  
 545 TORO CANYON ROAD  
 APN: 005-050-069

1" PARCEL 2" PER D1  
 1" PARCEL 1" PER D1

NO.	DATE	REVISIONS	APPD.
01	2022-09-19	ADDED LIMITS OF COASTAL ZONE	DBE
02	2023-02-27	SUPPLEMENTAL GROUND BASED MAPPING	DBE

**Stantec**  
 200 East Carrillo St, Suite 101 Santa Barbara, CA 93101  
 Phone: (805) 963-9532 Fax: (805) 966-9801

FIELD CREW: DW, HG, LC, JS  
 SURVEY COMPLETED: MAY, 2022  
 OFFICE TECH: NK, DW, JS  
 COMPILATION COMPLETED: MARCH, 2023

**TOPOGRAPHIC MAPPING**  
 2929 EAST VALLEY ROAD  
 UNINCORPORATED COUNTY OF SANTA BARBARA  
 STATE OF CALIFORNIA

PROJECT NUMBER: 2042636000  
 SHEET: 3 OF 3  
 DWG: 2042636000\_BD+TPO\_SHTS

DWG DATE: 11/02/23 4:08:19 PM  
 PLOT DATE: 11/02/23 4:08:19 PM  
 SAVE DATE: 11/02/23

ATTENTION: IF THIS DOCUMENT IS PROVIDED AS AN ELECTRONIC FILE, THE DELIVERY OF THE ELECTRONIC FILE DOES NOT CONSTITUTE THE DELIVERY OF THE PROFESSIONAL WORK PRODUCT. ONLY A HARD COPY DOCUMENT THAT IS SIGNED AND SEALED BY AN AUTHORIZED PROFESSIONAL EMPLOYEE OF STANTEC CONSTITUTES THE PROFESSIONAL WORK PRODUCT. IN THE EVENT THE ELECTRONIC FILE IS ALTERED, THE HARD COPY MUST BE REFERRED TO FOR THE ORIGINAL AND CORRECT INFORMATION. STANTEC SHALL NOT BE RESPONSIBLE FOR ANY REPRODUCTION MADE TO THE ELECTRONIC FILE OR ANY PRODUCTS DERIVED FROM THE ELECTRONIC FILE WHICH ARE NOT REVIEWED, SIGNED AND SEALED BY AN AUTHORIZED PROFESSIONAL EMPLOYEE OF STANTEC.



**Appendix A,  
Photographs Documenting Existing Conditions**



**Photograph 1, Residence, Garage, and Motor Court, looking south**





**Photograph 2, Residence, Garage, and Motor Court, looking southeast**





**Photograph 3, Residence, west end of the north elevation, looking southeast**





**Photograph 4, Residence, west end of the north elevation, looking south**





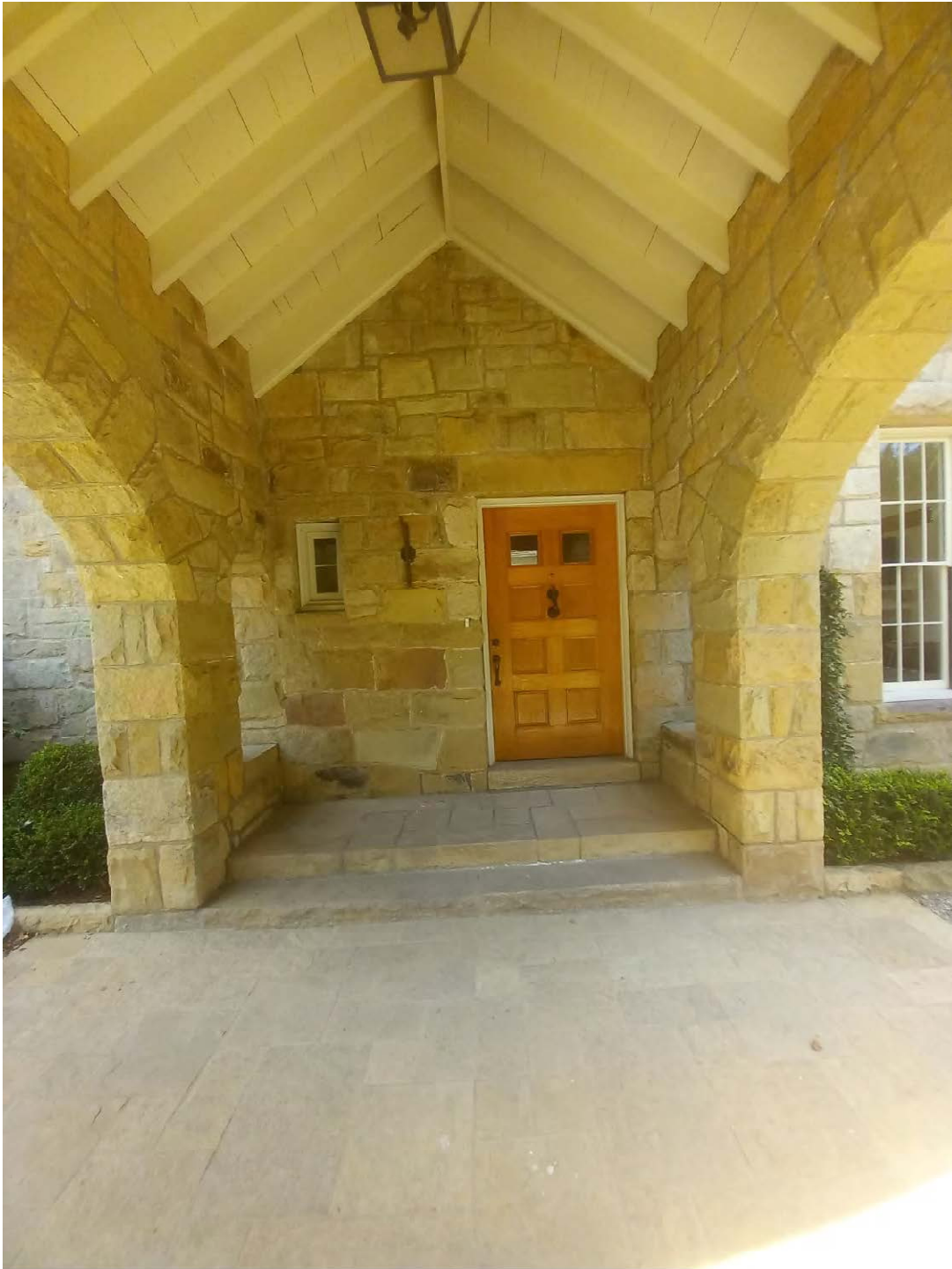
**Photograph 5, Residence, east end of the north elevation, looking southeast**





**Photograph 6, Residence, Looking north from the porte-cochere to the motor court**





**Photograph 7, North elevation of the residence, Looking south to the front door**





**Photograph 8, Residence and garage, north elevation of the attached garage, looking south**





Photograph 9, Residence, south elevation, looking north





Photograph 10, Residence, East end of the residence's and hyphen's south elevation, looking north





**Photograph 11, Residence, Looking south from the hyphen to the swimming pool**





Photograph 13, Residence, East end of the south elevation with residence and hyphen, looking north





**Photograph 14, Residence, north end of the hyphen with door leading into garage, looking north**





**Photograph 15, Residence, south elevation, looking northeast**





**Photograph 16, Residence, East elevation, looking northwest**





**Photograph 17, Garage, East elevation, looking west**





**Photograph 18, Residence, west elevation, looking east**





**Photograph 19, Garage, west elevation, looking east**





Photograph 20, Gates on East Valley Road, looking north





**Photograph 21, Entry driveway, looking north**





**Photograph 22, Secondary driveway, looking north**





**Photograph 23, Stone bench located north of the garage, looking north**





Photograph 24, Swimming pool, gazebo and spa off the residence's south elevation, looking south





Photograph 25, Swimming pool, gazebo, looking east





**Photograph 26, Upper terrace with fire pit located off the residence's south elevation, looking south**





**Photograph 27, The south end of the property with the tennis court and tennis pavilion, looking southwest**





**Photograph 28, Pathway from the tennis court to the residence, looking northeast**





**Photograph 29, Terrace and barbeque off the residence's west elevation, looking north**





**Photograph 30, Guesthouse (1986)**