

# **Attachment 1**

## **Attachment 1 AMENDMENT TO AGREEMENT FOR CONSTRUCTION SERVICES**

**FIRST AMENDMENT TO AGREEMENT FOR CONSTRUCTION SERVICES**

**THIS FIRST AMENDMENT TO AGREEMENT FOR CONSTRUCTION SERVICES**  
("First Amendment") is made by and between

COUNTY OF SANTA BARBARA, a  
political subdivision of the State of  
California ("County"),

and

Plant Construction Company, L.P.  
("Contractor" and, together with County,  
collectively, the "Parties" and each a  
"Party"),

with reference to the following:

**WHEREAS**, the County and Contractor are parties to that certain Santa Barbara Courthouse Roof Renovation and Envelope Restoration Project Agreement (Board Contract 23211) dated, November 7, 2023, as previously amended by Change Order #1 dated April 5, 2024, (as amended by Change Order 1, the "Agreement"), pursuant to which Contractor has agreed to perform certain Work for the County as set forth therein; and

**WHEREAS**, all capitalized terms used but not defined herein shall have the respective meanings ascribed to such terms in the Agreement; and

**WHEREAS**, the Parties desire to amend the Agreement to expand the scope of work to be provided by Contractor under the Agreement, as set forth in the Contract Documents, to include necessary additional structural repairs wood, trim repairs, ornamental iron repairs, roof replacement, painting and stucco repairs and replacement work; and

**WHEREAS**, the Parties further desire to amend the Agreement to increase the Base Contract Amount payable to Contractor thereunder by an additional \$430,771.73 in order to compensate Contractor for such additional work, and to account for \$144,579.55 in additional Work performed by Contractor and paid for by County pursuant to Change Orders under the Agreement to date.

**NOW, THEREFORE**, in consideration of the provisions, covenants and conditions set forth herein, and for other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, the Parties agree to amend the Agreement as follows:

**1. ADDITIONAL CONTRACT DOCUMENT**: Section 1 of the Agreement is hereby amended by replacing Section 1 to read in its entirety as follows:

**"1. PAYMENT**: This Agreement incorporates by reference all of the General and Special Conditions and Specifications and Drawings provided by the

COUNTY for the Santa Barbara Courthouse Roof Renovation and Envelope Restoration, Project No. 23012, the Notice to Bidders, including Addenda 1-3 thereto, the Bid Bond, the Performance Bond, the Payment Bond, the Bid executed and submitted by the CONTRACTOR for the Project with Allowances and Unit Costs, a true and correct copy of which is attached hereto as EXHIBIT B (“Proposal”) to the extent the Proposal is consistent with the provisions of this Agreement other than the Proposal, and the Additional Work Addendum attached hereto as EXHIBIT E (all of the foregoing documents, together with this Agreement, as it may be amended from time to time in accordance with the provisions hereof, collectively, the “Contract” or “Contract Documents”). A copy of each of the General and Special Conditions and Specifications and Drawings provided by the COUNTY for the Santa Barbara Courthouse Roof Renovation and Envelope Restoration, Project No. 23012, the Notice to Bidders, the Bid Bond, the Performance Bond, the Payment Bond, and Addenda 1-2 are attached hereto as EXHIBIT A. All capitalized terms used but not defined herein shall have the respective meanings ascribed to such terms in the Notice to Bidders. Copies of all Contract Documents are on file in the Department of General Services Office of the COUNTY, and have been and will be made available to the CONTRACTOR during the term of this Agreement. CONTRACTOR acknowledges receipt of all Contract Documents.”

**2. PAYMENT:** Section 5 of the Agreement is hereby amended by replacing Section 5 to read in its entirety as follows:

“**5. PAYMENT:** As full compensation for furnishing all labor, supervision, overhead, materials, and equipment, and for completing all of the Work contemplated by this Contract, and subject to adjustments and liquidated damages, if any, as provided in the Contract Documents, the base amount to be paid to the CONTRACTOR for satisfactory completion of all of the Work and other requirements of the CONTRACTOR under this Contract shall not exceed three million, -seventy-two thousand, three hundred sixty-two Dollars and seventy-three Cents (\$3,072,362.73) (“Base Contract Amount”). CONTRACTOR assumes and shall provide against any and all loss and/or damage arising out of the Work, the action of the elements, and/or from any unforeseen difficulties or obstructions which may arise or be encountered in the performance of the Work until COUNTY’s acceptance of the Work, and CONTRACTOR assumes any and all expenses incurred by or in consequence of suspension or discontinuance of the Work, for well and faithfully completing the Work and the whole thereof, in accordance with the provisions of the Contract and directions of the County Representative to the extent not inconsistent with the provisions of this Contract.”

**3. EXTRA WORK:** Section 7 of the Agreement is hereby amended by replacing Section 7 to read in its entirety as follows:

“**7. EXTRA WORK:** Extra work, materials, resolution of disputes, corrections, and/or changes to the specifications as are required for the proper completion of the Work contemplated in the Contract Documents, including, but not limited to, agreement(s) providing for payment(s) to CONTRACTOR in

addition to or in excess of the Base Contract Amount, may only be authorized in writing via Change Order duly executed by the Director of General Services, provided that such additional compensation is at the same rate per unit as set forth in the Contract Documents (or at a corresponding rate for work that is different from that provided for in the Contract Documents); provided further that the aggregate amount of such compensation in addition to or in excess of the Base Contract Amount shall not exceed an aggregate of \$144,579.55, and that compensation in addition to the Base Contract Amount may only be authorized by the Director of General Services to the extent that such authority is specifically delegated to the Director of General Services by resolution or minute order of the Santa Barbara County Board of Supervisors. Notwithstanding the foregoing or any other provisions of this Contract to the contrary, the CONTRACTOR shall be paid the actual cost of the use of machinery and tools and of material, and labor and of workers' compensation insurance expended by CONTRACTOR in performing the Work, plus not more than fifteen percent (15%) to cover all profits and administration. No more than the lowest current market prices shall be paid for materials whenever possible.”

**4. ADDITIONAL WORK ADDENDUM:** The Agreement is hereby amended by adding a new EXHIBIT E to the Agreement, the “Additional Work Addendum,” in the form attached hereto as Exhibit E and incorporated herein by reference.

**5. TERM:** Section 12 of the Agreement is hereby amended by replacing Section 12 to read in its entirety as follows:

“**12. TERM:** The term of this Contract shall commence as of November 7, 2023, and shall terminate on August 31, 2024, unless earlier terminated in accordance with the provisions of the Contract Documents (“Term”). All Work shall be completed during the Term. The provisions of the Contract Documents pertaining to Liquidated Damages shall apply in the event of the CONTRACTOR’S failure to complete the Work within the Term.”

**6. EXECUTION IN COUNTERPARTS:** This First Amendment may be executed in any number of counterparts, and each such counterpart shall for all purposes be deemed to be an original, and all such counterparts, or as many of them as the Parties shall preserve undestroyed, shall together constitute one and the same instrument.

**7. CERTIFICATION OF SIGNATORIES:** Each of the signatories to this First Amendment represent and warrant that such signatory is duly authorized to execute this First Amendment, and that no additional signatures are required to bind such Party to its terms and conditions, or to carry out any of such Party’s duties or obligations hereunder. The Parties each represent and warrant that:

(a) This First Amendment has been duly authorized, executed, and delivered by such Party and constitutes the legal, valid, and binding obligation of such Party.

(b) There are no actions, suits, or proceedings pending or, to the knowledge of such Party, threatened against or affecting such Party, at law or at equity or before any governmental authority that would impair such Party's ability to perform its obligations under this First Amendment.

(c) The consummation of the transactions hereby contemplated, and the performance of this First Amendment will not result in any breach or violation of, or constitute a default under, any other contract or agreement to which Contractor is a party or which is otherwise binding on Contractor. Contractor agrees that it shall provide to County, upon County's request, evidence that the execution and delivery of this First Amendment has been duly authorized by Contractor.

**8.** Except as set forth in Sections 1 through 5, above, this First Amendment shall not modify or change any of the provisions of the Agreement, and the Parties continue to be bound by the provisions of the Agreement, as amended herein.

*[Signatures appear on the following pages]*

**IN WITNESS WHEREOF**, the Parties have executed this First Amendment by their respective authorized officers as set forth below, effective as of the first date duly executed by all of the parties hereto.

**“COUNTY”**  
COUNTY OF SANTA BARBARA

**ATTEST:**  
MONA MIYASATO  
CLERK OF THE BOARD

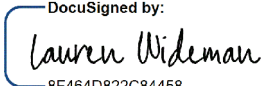
By: \_\_\_\_\_  
Steve Lavagnino, Chair  
Board of Supervisors

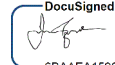
By \_\_\_\_\_  
Sheila De La Guerra, Deputy Clerk

Dated: \_\_\_\_\_

**APPROVED AS TO FORM:**  
RACHEL VAN MULLEM  
COUNTY COUNSEL

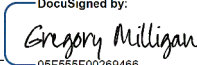
**APPROVED AS TO FORM:**  
BETSY M. SCHAFFER, CPA  
AUDITOR-CONTROLLER

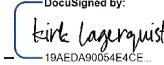
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Lauren Wideman  
Deputy County Counsel

By:  DocuSigned by:  
6BAAEA15901943F... 4/8/2024 | 4:19 PM PDT  
C. Edwin Price, Jr  
Deputy Auditor-Controller

**APPROVED AS TO FORM:**  
GREG MILLIGAN, ARM  
RISK MANAGER

**RECOMMENDED FOR APPROVAL**  
KIRK LAGERQUIST, DIRECTOR  
GENERAL SERVICES DEPARTMENT

By:  DocuSigned by:  
05F558F00269466... 4/8/2024 | 4:19 PM PDT  
Risk Management

By:  DocuSigned by:  
19AEDA90034E4CE... 4/8/2024 | 5:02 PM PDT  
Department Head

*[Contractor signature appears on the following page]*

**IN WITNESS WHEREOF**, the Parties have executed this First Amendment by their respective authorized officers as set forth above and below, effective as of the first date duly executed by all of the parties hereto.

“CONTRACTOR”

Plant Construction Company L.P.

By:  \_\_\_\_\_  
Name: Chris Rivielle  
Title: President

Date: 4/8/2024 | 12:21 PM PDT, 2024

## **Exhibit E**

### **Additional Work Addendum**

CONTRACTOR shall provide all labor, materials, equipment and construction services necessary to renovate and restore the Santa Barbara Courthouse Clock Tower Roof, exterior and observation deck in accordance with drawing package provided by ARG Architects, as set forth in greater detail below.

The maximum aggregate amount to be paid by the COUNTY to CONTRACTOR for the additional Work set forth in this Additional Work Addendum is **\$430,771.73**.

#### **SCOPE OF WORK**

Restoration of Clock Tower roof and observation deck based on drawing package provided by ARG Architects.

- Work to commence following Phase 2 construction.
- Construction duration of 8 weeks from June 30th - August 31, 2024.
- Assumes observation deck will be closed to the public during construction.
- Assumes elevator can be used for construction material and personnel. Cab interior finish protection included.

Scope Includes:

- Scaffolding for access to underside of observation deck & tower roof only.
- Debris netting and temporary safety measures for pedestrian safety.
- Salvage of Historic Clay Tiles & cleaning per specs.
- Abatement of underlayment (assumes ACM per Phase 2 testing)
- Installation of new underlayment and sheet metal flashings.
- Installation of salvaged tiles and new replica tiles.
- Allowance for structural concrete repairs at roof slab and walls.
- Painting & Plaster repairs.
- Painting of wrought iron railings and decorative metal elements.
- Removal and replacement of broken floor tiles.

Excludes:

- Painting or repairs to walls below the observation deck (underside of slab only).
- Any work inside the clock tower stairway or elevator.



**GENERAL SITE PLAN NOTES**

- WORK SHALL INCLUDE TREE AND LANDSCAPE PROTECTION MEASURES, AS DIRECTED BY PROJECT LANDSCAPE ARCHITECT AND/OR ARBORIST.
- MINIMUM 3/4" THICK PLY WOOD SHALL BE PROVIDED TO PROTECT LAWN AREAS FROM CONSTRUCTION EQUIPMENT AND VEHICLES.
- PROVIDE PEDESTRIAN PROTECTION MEASURES PER CBC 2019 SECTION 3306

**3306.1 Protection Required** Pedestrians shall be protected during construction, remodeling and demolition activities as required by this chapter and Table 3306.1. Signs shall be provided to direct pedestrian traffic.

| TABLE 3306.1<br>PROTECTION OF PEDESTRIANS                             |   |
|---|---|
| HEIGHT OF CONSTRUCTION  | TYPE OF PROTECTION REQUIRED                 |
| 8 feet or less  | Lowest 5 feet: Construction safety fence    |
| 5 feet or more  | 5 feet or more: Barrier and no-over walkway |
| Lowest 5 feet   | Lowest 5 feet: Barrier and no-over walkway  |
| 5 feet or more, but not more than construction height of construction | Barrier and no-over walkway                 |
| 5 feet or more, but not more than construction height of construction | Barrier                                     |
| 5 feet or more, but exceeding overall height of construction          | None  |

**3306.2 Walkways** A walkway shall be provided for pedestrians located in front of any construction and demolition site. The walkway shall be constructed of concrete or asphalt. The walkway shall be at least 4 feet wide and shall be provided for pedestrian travel that leads from a building entrance or exit of an occupied structure to a public way. Walkways shall be of sufficient width to accommodate the pedestrian traffic, but shall not be less than 4 feet wide. Walkways shall be constructed of concrete or asphalt. Walkways shall be designed to support all imposed loads, and the design live load shall be not less than 150 pounds per square foot (psf) (7.2 kN/m<sup>2</sup>).

**3306.3 Directional Barricades** Pedestrian traffic shall be protected by a directional barricade where the walkway extends into the street. The directional barricade shall be of sufficient size and construction to direct vehicular traffic away from the pedestrian path.

**3306.4 Construction Railings** Construction railings shall be not less than 42 inches (1067 mm) in height and shall be sufficient to direct pedestrians around construction areas.

**3306.5 Barriers** Barriers shall be not less than 8 feet (2438 mm) in height and shall be placed on the side of the walkway nearest the construction. Barriers shall extend the entire length of the construction area. Openings in such barriers shall be protected by doors that are normally kept closed.

**3306.6 Barrier Design** Barriers shall be designed to resist loads specified in Chapter 16 unless constructed as follows:

1. The barrier shall be provided with 2-inch by 4-inch (51 mm by 102 mm) top and bottom rails.
2. The barrier shall be supported by posts that are not less than 4 inches (101 mm) thick or wood structural panels not less than 1/2 inch (12.7 mm) thick.
3. Wood structural use panels shall be bonded with an adhesive identical to that for exterior wood structural panels.
4. Wood structural use panels 1/2 inch (12.7 mm) thick (6.4 mm) or 5/8 inch (15.9 mm) thick shall have studs spaced not more than 2 feet (610 mm) on center.
5. Wood structural use panels 3/4 inch (19.0 mm) thick shall have studs spaced not more than 2 feet (610 mm) on center.
6. Wood structural use panels 1 inch (25.4 mm) thick shall have studs spaced not more than 2 feet (610 mm) on center.
7. Wood structural use panels 1 1/8 inch (31.8 mm) thick shall have studs spaced not more than 2 feet (610 mm) on center.

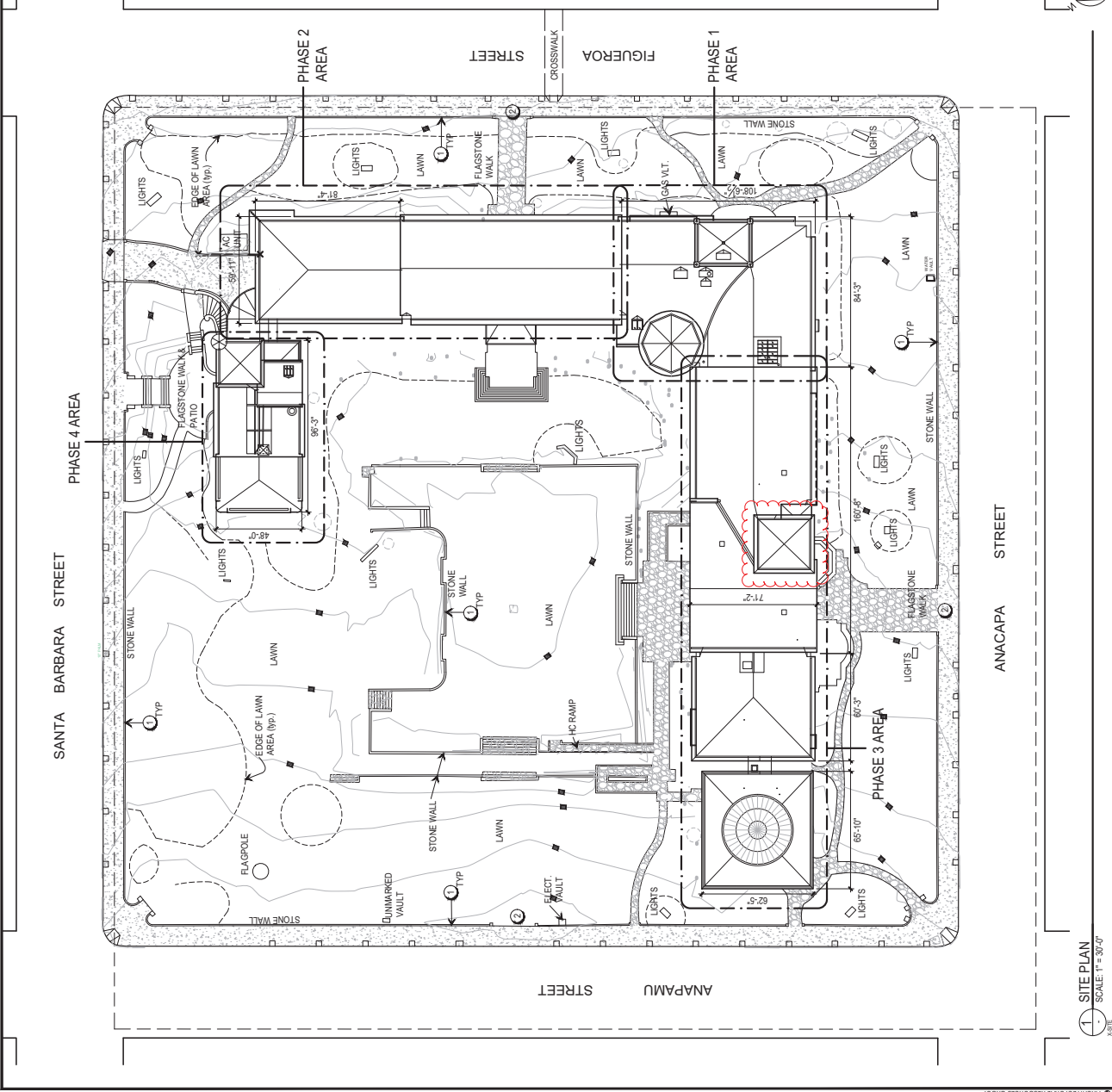
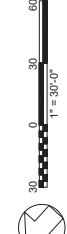
**3306.7 Covered Walkways** Covered walkways shall have a clear height of not less than 8 feet (2438 mm) as measured from the floor surface to the canopy overhead. Adequate lighting shall be provided at all times. Covered walkways shall be designed to support all imposed loads. The design live load shall be not less than 150 pounds per square foot (psf) (7.2 kN/m<sup>2</sup>).

**3306.8 Repair, Maintenance and Removal** Pedestrian protection required by this chapter shall be maintained in place and kept in good order for the entire length of time pedestrians are subject to being endangered. The owner or the owner's authorized agent, on completion of the construction activity, shall immediately remove walkways, barriers and other considerations and leave such public property in as good a condition as it was before such work commenced.

**SITE PLAN KEY NOTES**

(NOT ALL NOTES APPEAR ON THIS SHEET)

- EXISTING STONE WALL AND/OR STEPS TO REMAIN, OBSTRUCTS CONSTRUCTION EQUIPMENT AND VEHICLE ACCESS
- EXISTING RENEWABLE COLLARS, TO PROVIDE LIMITED CONSTRUCTION EQUIPMENT AND VEHICLE ACCESS



**Architectural Resources Group**  
 1700 Anacapa Street  
 Santa Barbara, California 93101  
 805.964.1600

| NO. | DESCRIPTION | DATE |
|-----|-------------|------|
|     |             |      |

**SANTA BARBARA COUNTY COURTHOUSE**

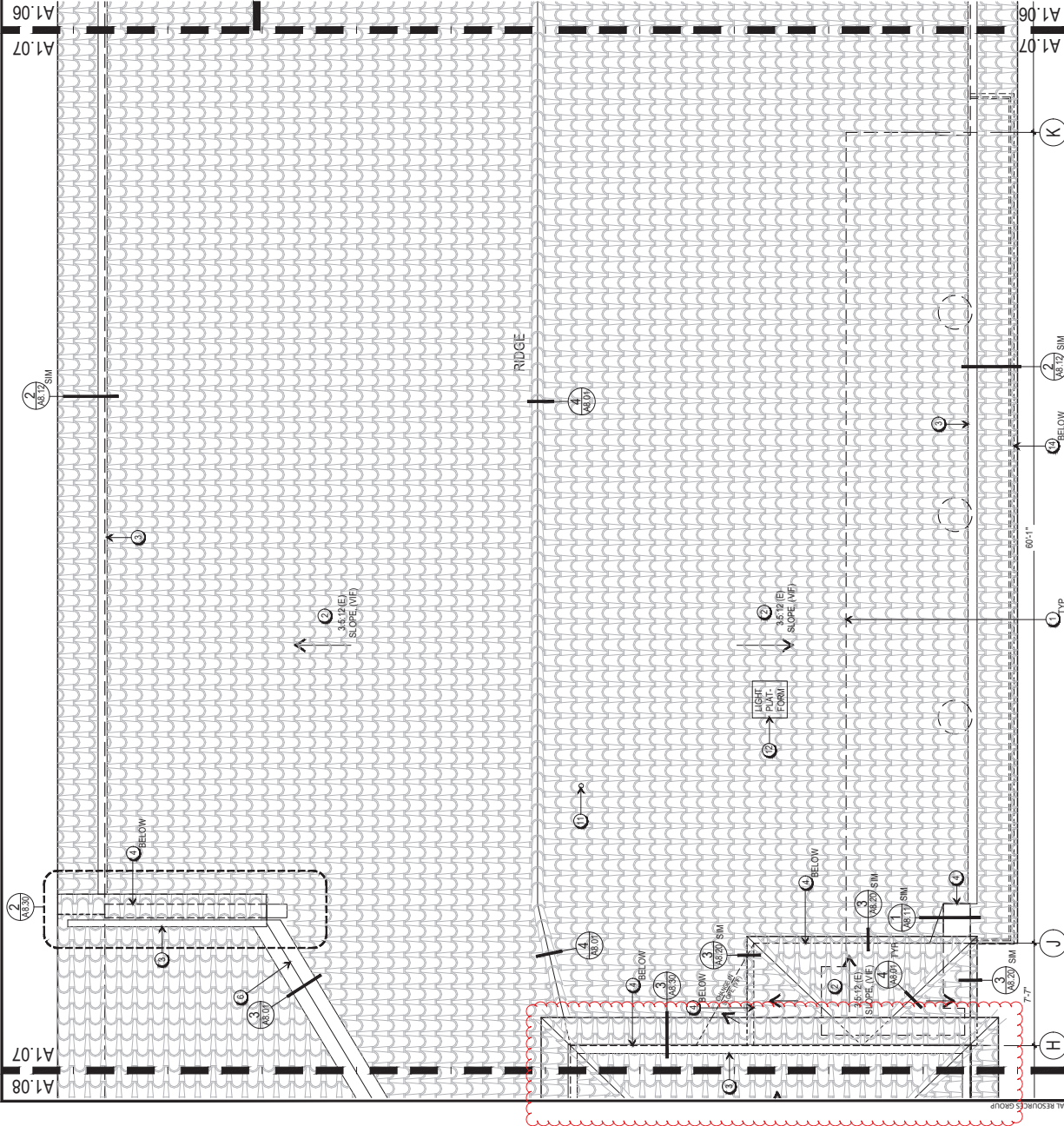
ROOF REHABILITATION  
 1700 ANACAPA STREET  
 SANTA BARBARA, CALIFORNIA

SHEET TITLE  
**SITE PLAN**

ISSUANCE  
 CONSTRUCTION DOCUMENTS  
**APRIL 24, 2021**

PROJ. NO.  
 200445  
 DRAWN  
 ZY  
 CHECKED  
 JC

DRAWING NO.  
**A0.00**  
 SHEET 2 OF 21



**GENERAL ROOF PLAN NOTES**

1. WORK TO REHABILITATE CLAY TILE IS ANTICIPATED TO BE PERFORMED ON ROOF TO PREVENT FURTHER DETERIORATION OF CLAY TILE. WORK TO BE PERFORMED TO PREVENT ROOF DRAINAGE, AND TILE CLEANING DEBRIS FROM ENTERING THE BUILDING'S EXISTING INTERNAL DOWNSPOUT SYSTEM.
2. STRUCTURAL ENGINEER TO OBSERVE EXISTING CONCRETE DECK AFTER REMOVAL OR EXISTING FELT, AND BEFORE INSTALLATION OF NEW UNDERLAYMENT. AT DIRECTION OF ARCHITECT, CONCRETE DECK SHALL BE REINFORCED WITH 1/2\"/>

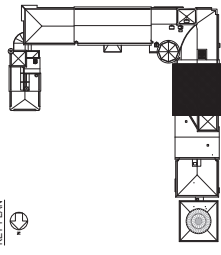
**PHASING NOTES**

1. PHASE 3 INCLUDES ALL WORK SHOWN ON THIS SHEET.

**ROOF PLAN KEY NOTES** (NOT ALL NOTES APPEAR ON THIS SHEET)

1. LINE OF EXISTING BUILDING WALL BELOW
2. REHABILITATED CLAY TILE ROOF PER DTLS 1, 2A, 2B, & 3/4&8.00 INCLUDING:
  - 2.1. REMOVE SALVAGE AND CLEAN EXISTING CLAY ROOF TILES. STORE FOR REUSE ON SITE.
  - 2.2. REMOVE AND DEMO EXISTING TIE WIRES, WIRE MESH, ROOF NAILS, UNDERLAYMENT, AND MORTAR TO EXISTING ROOF DECK.
  - 2.3. CLEAN EXISTING CONCRETE ROOF DECK AND REPAIR PER STRUCTURAL.
  - 2.4. PROVIDE NEW ROOF UNDERLAYMENT, MATCH TILE COLOR.
  - 2.5. REINSTALL EXISTING CLAY TILES, AND NEW TILES CUSTOM MADE TO MATCH EXISTING HISTORIC, NEW TILES AT PAN ONLY, MATCH EXISTING DETAIL AT EAVE, RAKE, RIDGE, VALLEY AND ROOF TO WALL CONDITIONS.
3. REHABILITATED INTERNAL GUTTER PER DTLS 3/4&8.00 INCLUDING:
  - 3.1. REMOVE EXISTING GUTTER FLASHING AND LEADER HEAD CONNECTIONS TO INTERNAL CAST IRON DOWNSPOUTS, SCOPE AND CLEAN LEADERS AND DOWNSPOUTS.
  - 3.2. PROVIDE NEW COPPER BUILT-IN GUTTER WITH COPPER LEAF, LITTER GUARD & MESH STRAINER AT LEADER HEADS, ASSOCIATED FLASHING, AND LEADER HEAD CONNECTIONS TO MATCH EXISTING, OVER COMPLETE MEMBRANE GUTTER, FLASHING & LEADER HEAD TO MATCH EXISTING.
  - 3.3. REHABILITATE ROOF TO WALL FLASHING PER DTLS 4 & 5/4&8.00 INCLUDING:
    - 4.1. REMOVE AND DEMOLISH EXISTING COPPER FLASHING.
    - 4.2. PROVIDE NEW COPPER FLASHING TO MATCH EXISTING, AND INTEGRATE INTO NEW UNDERLAYMENT.
  - 4.3. REHABILITATE VALLEY FLASHING PER DTLS 6, 7, 8 & 8/8.00, INCLUDING:
    - 5.1. REMOVE AND DEMOLISH EXISTING COPPER FLASHING.
    - 5.2. PROVIDE NEW COPPER FLASHING TO MATCH EXISTING, AND INTEGRATE INTO NEW UNDERLAYMENT.
    - 5.3. PROVIDE NEW COPPER FLASHING TO MATCH EXISTING, AND INTEGRATE INTO NEW UNDERLAYMENT.
  - 4.4. REHABILITATE VALLEY FLASHING PER DTLS 3/4&8.00 INCLUDING:
    - 6.1. REMOVE AND DEMOLISH EXISTING COPPER FLASHING.
    - 6.2. PROVIDE NEW COPPER FLASHING TO MATCH EXISTING, AND INTEGRATE INTO NEW UNDERLAYMENT.
  7. REHABILITATE COPPER ROOF, INCLUDING:
    - 7.1. REMOVE AND SALVAGE EXISTING SHEET COPPER ROOF. PROVIDE TO OWNER.
    - 7.2. PROVIDE NEW COPPER FLASHING TO MATCH EXISTING.
    - 7.3. PROVIDE NEW STANDING SEAM SHEET COPPER ROOF TO MATCH EXISTING.
  8. REHABILITATE EXISTING STEEL FRAME COPPER CLAD SKYLIGHT, INCLUDING:
    - 8.1. REPLACE DAMAGED GLAZING PANELS WITH NEW, MATCH EXISTING.
    - 8.2. PROVIDE NEW SEALANT THROUGHOUT.
    - 8.3. REPLACE COPPER GLAZING THROUGHOUT. MATCH EXISTING.
    - 8.4. PROVIDE NEW COPPER FLASHING TO MATCH EXISTING, PREP AND PAINT TO MATCH EXISTING.
    - 8.5. REMOVE AND DEMOLISH EXISTING COPPER FLASHING.
    - 8.6. PROVIDE NEW COPPER FLASHING TO MATCH EXISTING, AND INTEGRATE INTO NEW UNDERLAYMENT.
  9. PROVIDE NEW CUSTOM GLEATORY SKYLIGHT AT EXISTING WELL OPEN TO BELOW, INCLUDING:
    - 9.1. REMOVE EXISTING SKYLIGHT AND FLASHING PANEL.
    - 9.2. PROVIDE NEW SKYLIGHT TO MATCH EXISTING.
  10. REHABILITATE EXISTING ROOF WELLS; REMOVE EXISTING ROOFING AND FLASHING, AND PROVIDE NEW EXPOSED ROOF MEMBRANE, MATCH TILE COLOR, INCLUDING NEW FLASHING AT ROOF PENETRATIONS.
  11. EXISTING PIPE VENT THROUGH ROOF. PROVIDE NEW COPPER FLASHING, AND MATCH EXISTING.
  12. EXISTING LIGHT FIXTURES, REPAIR, WITH LONG LIFE BULBS.
  13. EXISTING CAST STONE ELEMENTS, SEE ELEVATION DRAWINGS.
  14. EXISTING BALCONY, SEE ELEVATION DRAWINGS.
  15. NEW EXPOSED ROOF MEMBRANE WALKABLE SURFACE, MATCH TILE COLOR.

**KEY PLAN**



**Architectural Resources Group**  
 1000 The Embarcadero, Suite 187  
 San Francisco, California 94111  
 415 421 1600

| NO. | DESCRIPTION | DATE |
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|     |             |      |

**SANTA BARBARA COUNTY COURTHOUSE**  
 ROOF REHABILITATION  
 1100 ANACAPA STREET  
 SANTA BARBARA, CALIFORNIA

**PARTIAL ROOF PLAN PHASE 3**

ISSUANCE  
 CONSTRUCTION DOCUMENTS  
**APRIL 24, 2021**

PROJ. NO. 200415  
 DRAWN ZY  
 CHECKED JC

DRAWING NO. **A1.07**  
 SHEET 9 OF 21

**PARTIAL ROOF PLAN - PHASE 3**  
 SCALE: 1/4" = 1'-0"  
 27"x34" SHEET SIZE. IF SHEET IS SMALLER, THEN DRAWING HAS BEEN REDUCED.

For: The Embarcadero Station W7  
San Francisco, California 94111  
415-421-1888

**SANTA BARBARA COUNTY COURTHOUSE**

ROOF REHABILITATION  
1100 ANACAPA STREET  
SANTA BARBARA, CALIFORNIA

SHEET TITLE  
**PARTIAL ROOF PLAN  
PHASE 3**

ISSUANCE  
CONSTRUCTION DOCUMENTS  
**APRIL 24, 2021**

PROJ. NO.  
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**GENERAL ROOF PLAN NOTES**

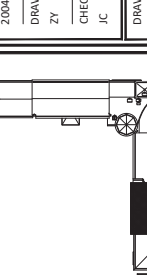
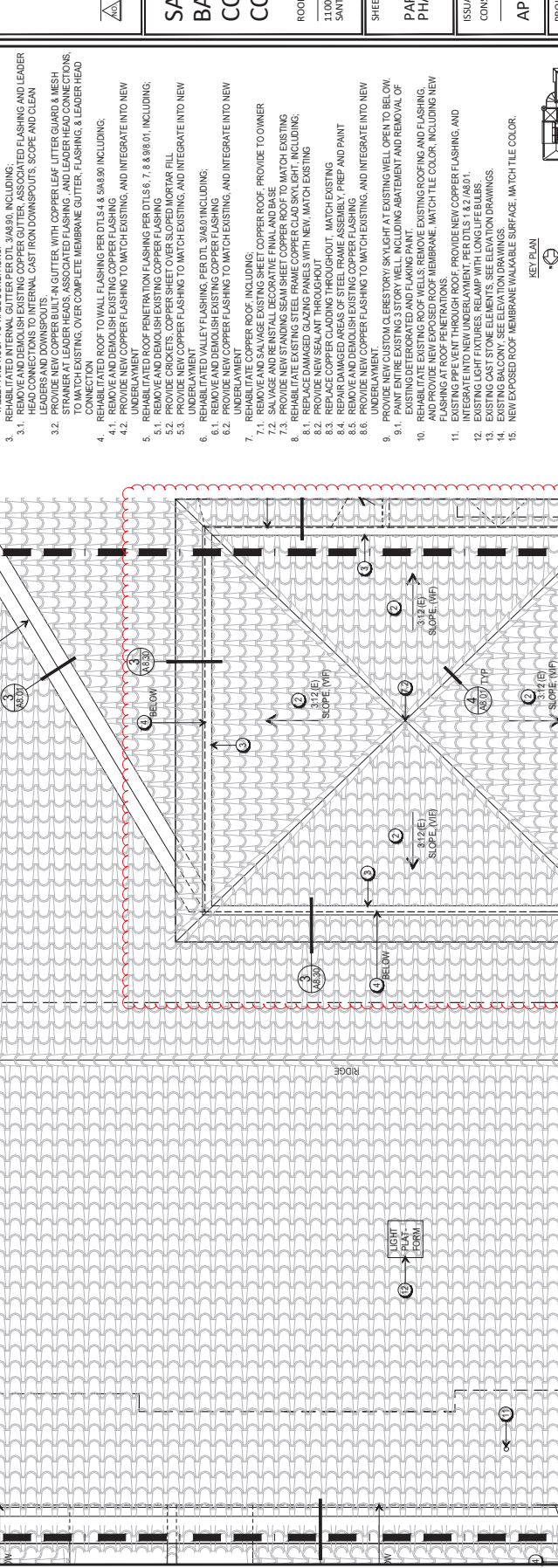
- WORK TO REHABILITATE CLAY TILE IS ANTICIPATED TO BE PERFORMED ON ROOF TO PREVENT ROOF DEMO DEBRIS, AND TILE CLEANING DEBRIS FROM ENTERING THE BUILDING'S EXISTING INTERNAL DOWNSPUT SYSTEM.
- STRUCTURAL ENGINEER TO OBSERVE EXISTING CONCRETE DECK AFTER REMOVAL OR EXISTING FELLT, AND BEFORE INSTALL OF NEW UNDERLAYMENT. AT DIRECTION OF ARCHITECT, CONCRETE DECK TO BE TESTED AT LOCATIONS TO BE DETAILED. TESTS TO BE TAKEN FOR TESTING, ANTICIPATE TEST LOCATIONS. CONCRETE ROOF DECK SHALL BE SEE ELEVATION DRAWINGS FOR REHABILITATION WORK AT EAVES, SOFFITS, BALCONIES, WINDOWS, AND CAST STONE DECORATION.
- PROVIDE FALL ARREST ANCHORS THROUGHOUT ROOF AREA, PROVIDE 1 PER EACH 40 SF AREA. EXACT LOCATIONS TBD.

**PHASING NOTES**

- PHASE 3 INCLUDES ALL WORK SHOWN ON THIS SHEET.

**ROOF PLAN KEY NOTES** (NOT ALL NOTES APPEAR ON THIS SHEET)

- LINE OF EXISTING BUILDING WALL BELOW
- REHABILITATED CLAY TILE ROOF PER DTLS 1, 2A, 2B, & 3/4&8.00 INCLUDING:  
2.1. REMOVE SALVAGE AND CLEAN EXISTING CLAY ROOF TILES. STORE FOR REUSE ON SITE TO MINIMIZE TOTAL TILE DUE TO BREAKAGE OR OTHER DAMAGE. SEE ALLOWANCES SPEC SECTION.  
2.2. REMOVE AND DEMO EXISTING TIE WIRES, WIRE MESH, ROOF NAILS, UNDERLAYMENT, AND MORTAR TO EXISTING ROOF DECK.  
2.3. CLEAN EXISTING CONCRETE ROOF DECK, AND REPAIR PER STRUCTURAL.  
2.4. PROVIDE NEW ROOF UNDERLAYMENT. MATCH TILE COLOR.  
2.5. PROVIDE NEW CAST STONE ELEMENTS, REPAIRS, AND CAST STONE MASONRY. PER DTLS 1, & 3/4&8.00.  
2.6. REINSTALL EXISTING CLAY TILES, AND NEW TILES CUSTOM MADE TO MATCH EXISTING. HISTORIC, NEW TILES AT PAN ONLY. MATCH EXISTING DETAIL SAT EAVE, RAKE, RIDGE, VALLEY AND ROOF TO WALL CONNECTIONS.
- REHABILITATED INTERNAL GUTTER PER DTLS 3/4&8.00, INCLUDING:  
3.1. REMOVE AND DEMO EXISTING FLASHING, AND LEADER HEAD CONNECTIONS TO INTERNAL CAST IRON DOWNSPOUTS, SCOPE AND CLEAN LEADERS AND DOWNSPOUTS.  
3.2. PROVIDE NEW COPPER BUILT-IN GUTTER WITH COPPER LEAF, LITTER GUARD & MESH STRAINER AT LEADER HEADS, ASSOCIATED FLASHING, AND LEADER HEAD CONNECTIONS TO MATCH EXISTING, OVER COMPLETE MEMBRANE GUTTER, FLASHING & LEADER HEAD TO MATCH EXISTING.  
4. REHABILITATED ROOF TO WALL FLASHING PER DTLS 4 & 3/4&8.00 INCLUDING:  
4.1. REMOVE AND DEMOLISH EXISTING COPPER FLASHING, AND INTEGRATE INTO NEW UNDERLAYMENT.  
4.2. PROVIDE NEW COPPER FLASHING TO MATCH EXISTING, AND INTEGRATE INTO NEW UNDERLAYMENT.  
5. REMOVE AND DEMOLISH EXISTING COPPER FLASHING.  
5.1. REMOVE AND DEMOLISH EXISTING COPPER FLASHING.  
5.2. PROVIDE CRACKETS, COPPER SHEET OVER SLOPED MORTAR FILL.  
5.3. PROVIDE NEW COPPER FLASHING TO MATCH EXISTING, AND INTEGRATE INTO NEW UNDERLAYMENT.  
6. REHABILITATED VALLEY FLASHING PER DTLS 3/4&8.00 INCLUDING:  
6.1. REMOVE AND DEMOLISH EXISTING COPPER FLASHING.  
6.2. PROVIDE NEW COPPER FLASHING TO MATCH EXISTING, AND INTEGRATE INTO NEW UNDERLAYMENT.  
7. REHABILITATE COPPER ROOF, INCLUDING:  
7.1. REMOVE AND SALVAGE EXISTING SHEET COPPER ROOF. PROVIDE TO OWNER.  
7.2. PROVIDE NEW STANDING SEAM SHEET COPPER ROOF TO MATCH EXISTING.  
8. REHABILITATE EXISTING STEEL FRAME COPPER CLAD SKYLIGHT, INCLUDING:  
8.1. REPLACE DAMAGED GLAZING PANELS WITH NEW. MATCH EXISTING.  
8.2. PROVIDE NEW SEALANT THROUGHOUT.  
8.3. REPLACE COPPER GLAZING THROUGHOUT. MATCH EXISTING.  
8.4. PROVIDE NEW COPPER FLASHING TO MATCH EXISTING, AND INTEGRATE INTO NEW UNDERLAYMENT.  
8.5. REMOVE AND DEMOLISH EXISTING COPPER FLASHING.  
8.6. PROVIDE NEW COPPER FLASHING TO MATCH EXISTING, AND INTEGRATE INTO NEW UNDERLAYMENT.  
9. PROVIDE NEW CUSTOM GLENN STOREY SKYLIGHT AT EXISTING WELL OPEN TO BELOW. PROVIDE NEW COPPER FLASHING TO MATCH EXISTING, AND INTEGRATE INTO NEW UNDERLAYMENT. INCLUDING ABUTMENT AND REMOVAL OF EXISTING REFERENCED AND FLANKING PANELS.  
10. REHABILITATE EXISTING ROOF WELLS; REMOVE EXISTING ROOFING AND FLASHING, AND PROVIDE NEW EXPOSED ROOF MEMBRANE. MATCH TILE COLOR, INCLUDING NEW FLASHING AT ROOF PENETRATIONS.  
11. EXISTING PIPE VENT THROUGH ROOF. PROVIDE NEW COPPER FLASHING, AND INTEGRATE INTO NEW UNDERLAYMENT.  
12. EXISTING LIGHT FIXTURES, REPAIR, WITH LONG LIFE BULBS.  
13. EXISTING CAST STONE ELEMENTS, SEE ELEVATION DRAWINGS.  
14. EXISTING BALCONY, SEE ELEVATION DRAWINGS.  
15. NEW EXPOSED ROOF MEMBRANE WALKABLE SURFACE. MATCH TILE COLOR.



SCALE 1/4\"/>

**PARTIAL ROOF PLAN - PHASE 3**  
SCALE 1/4\"/>

27x24\"/>

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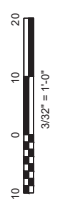
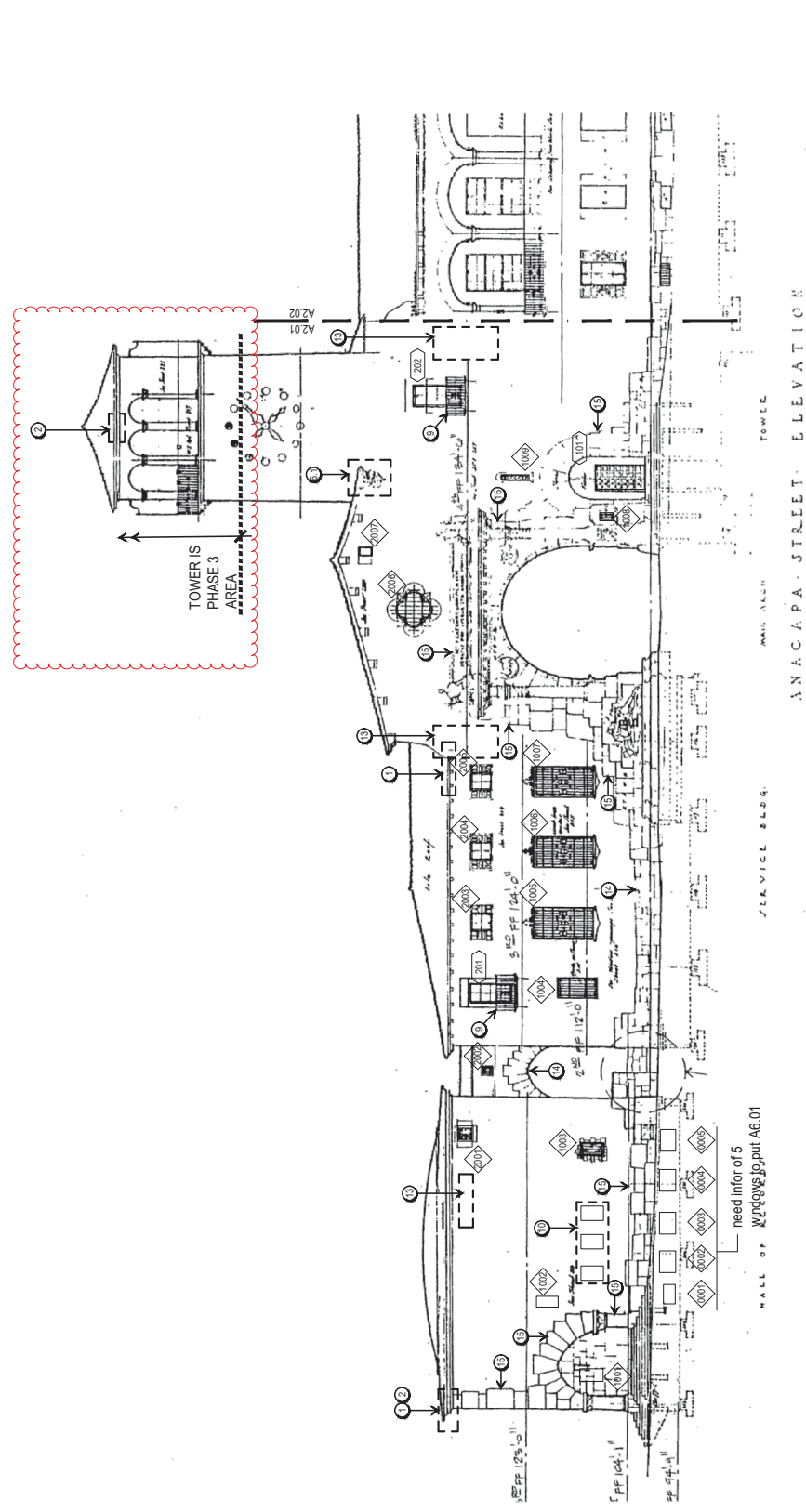
**SANTA BARBARA COUNTY COURTHOUSE**  
 ROOF REHABILITATION  
 1100 ANACAPA STREET  
 SANTA BARBARA, CALIFORNIA

**EXTERIOR ELEVATIONS ANACAPA STREET PHASE 3**

ISSUANCE  
 CONSTRUCTION DOCUMENTS  
**APRIL 24, 2021**

PROJ. NO. 200415  
 DRAWN ZY  
 CHECKED JC

DRAWING NO. **A2.01**  
 SHEET 35 OF 21



**ELEVATION KEY NOTES**  
 (NOT ALL NOTES APPEAR ON THIS SHEET)

- CONTRACTOR TO PROVIDE SCHEDULING AND PEDESTRIAN PROTECTION MEASURES FOR ALL WORK AT EXTERIOR ELEVATIONS, INCLUDING EAVES, SOFFITS, WINDOWS, BALCONIES, AND CAST STONE ELEMENTS.
- SEE ROOF PLANS FOR ASSOCIATED WORK
- PREPARE AND PAINT ALL PREVIOUSLY PAINTED WALL SURFACES, INCLUDING STUCCO, W.D. AND FERROUS METAL ELEMENTS, EXCLUDING PAINTED ARTWORK, AND PAINTED SIGNS
- PATCH AND REPAIR ALL EXISTING STUCCO EXHIBITING DAMAGE, PER SPECIFICATIONS
- SEE SPECIFICATIONS AND ALLOWANCES SECTION FOR ADDITIONAL INFORMATION

**PHASING NOTES**

- PHASE 3 INCLUDES ALL WORK SHOWN ON THIS SHEET.

**GENERAL ELEVATION NOTES**

- LOCATION OF EXISTING CAST STONE ELEMENT: REPAIR LEVEL 1; PROVIDE CLEANING PER SPECIFICATION, SURVEY EXISTING STONE AND NOTIFY ARCHITECT OF ANY EXISTING CRACKS AND SPALLS
- REPAIR LEVEL 2: REPAIR PER SPECIFICATION
- REPAIR LEVEL 3: REPLACE ENTIRE COMPONENT IN KIND PER SPECIFICATIONS
- LOCATION OF EXISTING WOOD WINDOVS, AT SOFFIT, EXPOSURE WITH EVIDENT DAMAGE RANGING FROM MODERATE TO SEVERE IN SOME LOCATIONS; SEE SCHEDULE DOOR AND WINDOW WALLS
- PAINT INSIDE WALLS AND SOFFIT AT ALCOVES AND RECESSED DOOR AND WINDOW WALLS
- PAINT EXISTING WROUGHT IRON EXTERIOR RAILS AND HAND RAILS
- EXISTING TILE PLaque, PROTECT IN PLACE
- LOCATION OF (E) CAST CONCRETE CURBS W/ SPALL DAMAGE, PROVIDE STRUCTURAL REHABILITATION

**ELEVATION KEY NOTES**

- LOCATION OF EXISTING CAST STONE ELEMENT: REPAIR LEVEL 1; PROVIDE CLEANING PER SPECIFICATION, SURVEY EXISTING STONE AND NOTIFY ARCHITECT OF ANY EXISTING CRACKS AND SPALLS
- REPAIR LEVEL 2: REPAIR PER SPECIFICATION
- REPAIR LEVEL 3: REPLACE ENTIRE COMPONENT IN KIND PER SPECIFICATIONS
- LOCATION OF EXISTING WOOD WINDOVS, AT SOFFIT, EXPOSURE WITH EVIDENT DAMAGE RANGING FROM MODERATE TO SEVERE IN SOME LOCATIONS; SEE SCHEDULE DOOR AND WINDOW WALLS
- PAINT INSIDE WALLS AND SOFFIT AT ALCOVES AND RECESSED DOOR AND WINDOW WALLS
- PAINT EXISTING WROUGHT IRON EXTERIOR RAILS AND HAND RAILS
- EXISTING TILE PLaque, PROTECT IN PLACE
- LOCATION OF (E) CAST CONCRETE CURBS W/ SPALL DAMAGE, PROVIDE STRUCTURAL REHABILITATION

**ELEVATION KEY NOTES**

- EXISTING W.D. RAILING W/ WROUGHT IRON PICKETS.
- LOCATION OF EXISTING STUCCO DAMAGE, REPAIR PER SPECIFICATION
- EXISTING STUCCO W/ STONE TEXTURE, CLEAN PER SPECIFICATION
- EXISTING CARVED STONE, PROTECT IN PLACE

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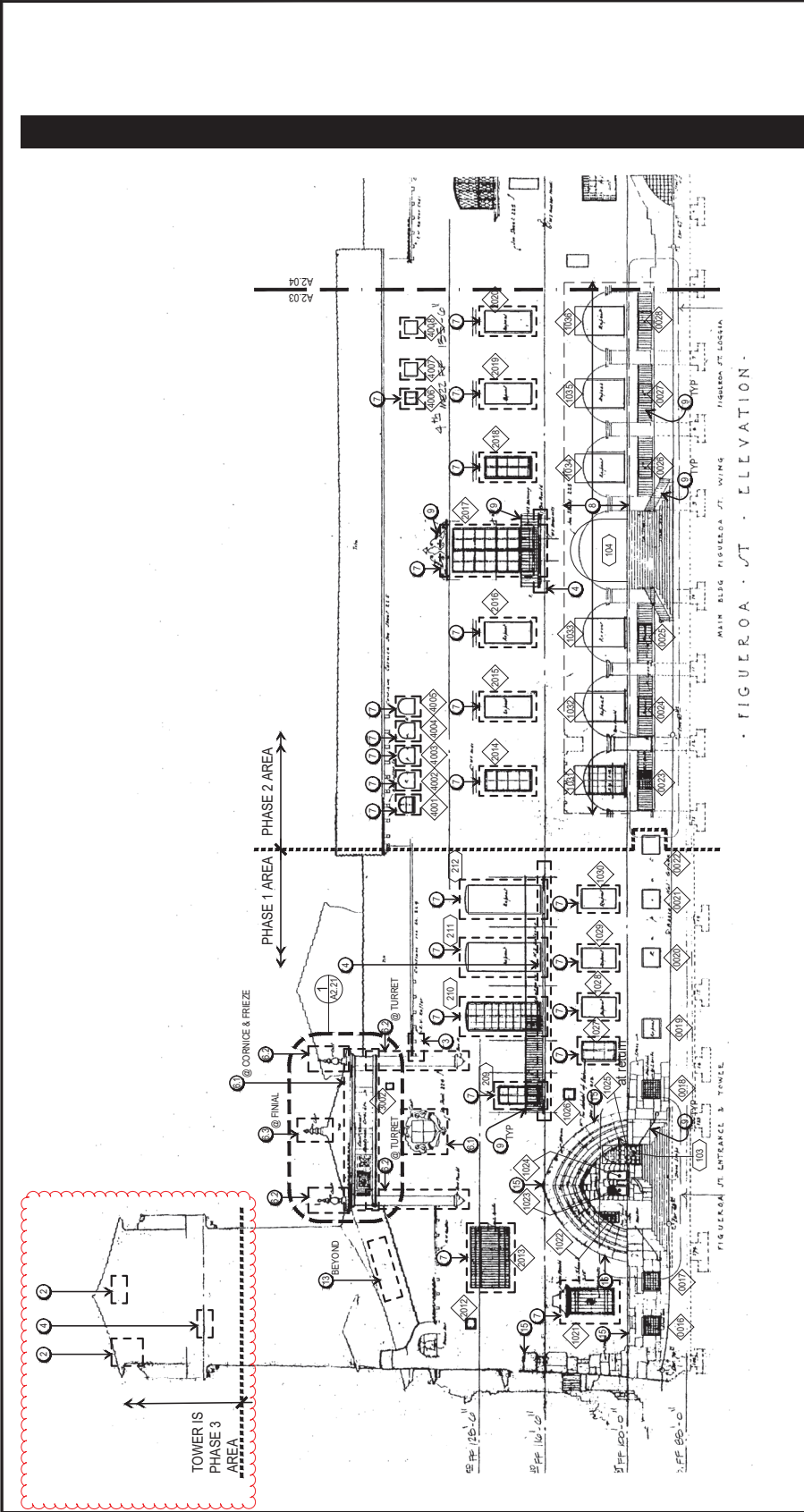
**SANTA BARBARA COUNTY COURTHOUSE**  
 ROOF REHABILITATION  
 1100 ANACAPA STREET  
 SANTA BARBARA, CALIFORNIA

SHEET TITLE  
**EXTERIOR ELEVATIONS  
 FIGUEROA STREET  
 PHASES 1 AND 2**

ISSUANCE  
 CONSTRUCTION DOCUMENTS  
**APRIL 24, 2021**

PROJ. NO. 200415  
 DRAWN ZY  
 CHECKED JC

DRAWING NO.  
**A2.03**  
 SHEET 15-0F-21



3/32" = 1'-0"

- ELEVATION KEY NOTES**  
 (NOT ALL NOTES APPEAR ON THIS SHEET)
- LOCATION OF EXISTING CAST STONE ELEMENT. REPAIR LEVEL 1; PROVIDE CLEANING PER SPECIFICATION. SURVEY EXISTING STONE AND NOTIFY ARCHITECT OF ANY EXISTING CRACKS AND SPALLS. REPAIR PER SPECIFICATION.
  - REPAIR LEVEL 3; REPLACE ENTIRE COMPONENT IN KIND PER SPECIFICATIONS.
  - LOCATION OF EXISTING WOOD WINDOW SILL AT SOFFIT. EXPOSURE WITH REPAIR DAMAGE RANGING FROM MODERATE TO SEVERE IN SOME LOCATIONS; SEE SCHEDULE DOOR AND WINDOW WALLS.
  - PAINT INSIDE WALLS AND SOFFIT AT ALCOVES AND RECESSED DOOR AND WINDOW WALLS.
  - PAINT EXISTING WROUGHT IRON EXTERIOR RAILS AND HAND RAILS.
  - EXISTING TILE PLaque; PROTECT IN PLACE.
  - LOCATION OF (E) CAST CONCRETE SURFER W/ SPALL DAMAGE. PROVIDE STRUCTURAL REHABILITATION.
- GENERAL ELEVATION NOTES**
- CONTRACTOR TO PROVIDE SCAFFOLDING AND PEDESTRIAN PROTECTION MEASURES FOR ALL WORK AT EXTERIOR ELEVATIONS, INCLUDING EAVES, SOFFITS, WINDOWS, BALCONIES, AND CAST STONE ELEMENTS.
  - SEE ROOF PLANS FOR ASSOCIATED WORK.
  - PREPARE AND PAINT ALL PREVIOUSLY PAINTED WALL SURFACES, INCLUDING STUCCO, W.D. AND FERROUS METAL ELEMENTS, EXCLUDING PAINTED ARTWORK, AND PAINTED SIGNS.
  - PATCH AND REPAIR ALL EXISTING STUCCO EXHIBITING DAMAGE, PER SPECIFICATIONS.
  - SEE SPECIFICATIONS AND ALLOWANCES SECTION FOR ADDITIONAL INFORMATION.
- PHASING NOTES**
- SEE DELINEATION OF PHASING NOTED ON DRAWING.
- ELEVATION KEY NOTES**
- LOCATION OF EXISTING CAST STONE ELEMENT. REPAIR LEVEL 1; PROVIDE CLEANING PER SPECIFICATION. SURVEY EXISTING STONE AND NOTIFY ARCHITECT OF ANY EXISTING CRACKS AND SPALLS. REPAIR PER SPECIFICATION.
  - REPAIR LEVEL 3; REPLACE ENTIRE COMPONENT IN KIND PER SPECIFICATIONS.
  - LOCATION OF EXISTING WOOD WINDOW SILL AT SOFFIT. EXPOSURE WITH REPAIR DAMAGE RANGING FROM MODERATE TO SEVERE IN SOME LOCATIONS; SEE SCHEDULE DOOR AND WINDOW WALLS.
  - PAINT INSIDE WALLS AND SOFFIT AT ALCOVES AND RECESSED DOOR AND WINDOW WALLS.
  - PAINT EXISTING WROUGHT IRON EXTERIOR RAILS AND HAND RAILS.
  - EXISTING TILE PLaque; PROTECT IN PLACE.
  - LOCATION OF (E) CAST CONCRETE SURFER W/ SPALL DAMAGE. PROVIDE STRUCTURAL REHABILITATION.
- KEY PLAN**
-

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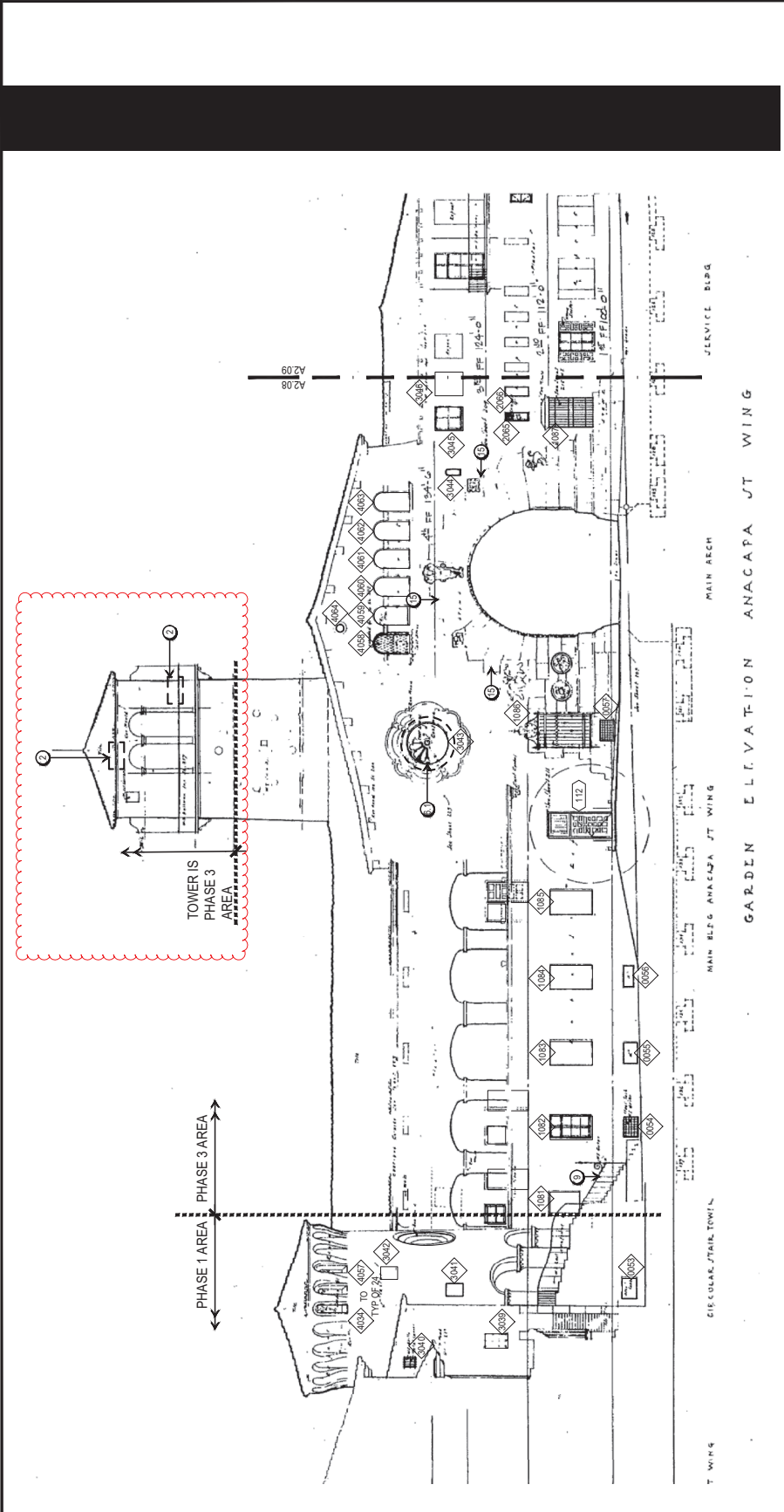
**SANTA BARBARA COUNTY COURTHOUSE**  
 ROOF REHABILITATION  
 1100 ANACAPA STREET  
 SANTA BARBARA, CALIFORNIA

SHEET TITLE  
**EXTERIOR ELEVATIONS  
 GARDEN EAST  
 PHASE 3**

ISSUANCE  
 CONSTRUCTION DOCUMENTS  
**APRIL 24, 2021**

PROJ. NO.  
 200415  
 DRAWN  
 ZY  
 CHECKED  
 JC

DRAWING NO.  
**A2.08**  
 SHEET 20 OF 21



**GENERAL ELEVATION NOTES**

- CONTRACTOR TO PROVIDE SCAFFOLDING AND PEDESTRIAN PROTECTION MEASURES FOR ALL WORK AT EXTERIOR ELEVATIONS, INCLUDING EAVES, SOFFITS, WINDOWS, BALCONIES, AND CAST STONE ELEMENTS.
- SEE ROOF PLANS FOR ASSOCIATED WORK
- PREPARE AND PAINT ALL PREVIOUSLY PAINTED WALL SURFACES, INCLUDING STUCCO, W.D. AND FERROUS METAL ELEMENTS, INCLUDING PAINTED ARTWORK, AND PAINTED SIGNS
- PATCH AND REPAIR ALL EXISTING STUCCO EXHIBITING DAMAGE, PER SPECIFICATIONS
- SEE SPECIFICATIONS AND ALLOWANCES SECTION FOR ADDITIONAL INFORMATION

**ELEVATION KEY NOTES**

- LOCATION OF EXISTING CAST STONE ELEMENT. REPAIR LEVEL 1; PROVIDE CLEANING PER SPECIFICATION. SURVEY EXISTING STONE AND NOTIFY ARCHITECT OF ANY EXISTING CRACKS AND SPALLS. REPAIR PER SPECIFICATION
- REPAIR LEVEL 3; REPLACE ENTIRE COMPONENT IN KIND, PER SPECIFICATIONS
- LOCATION OF EXISTING WOOD WINDOW SILL, SOFFIT, EXPOSURE WITH SEVERE DAMAGE RANGING FROM MODERATE TO SEVERE IN SOME LOCATIONS; SEE SCHEDULE
- PAINT INSIDE WALLS AND SOFFIT AT ALCOVES AND RECESSED DOOR AND WINDOW WALLS
- PAINT EXISTING WROUGHT IRON EXTERIOR RAILS AND HAND RAILS
- EXISTING TILE PLaque; PROTECT IN PLACE.
- LOCATION OF (E) CAST CONCRETE CURBS W/ SPALL DAMAGE. PROVIDES STRUCTURAL REHABILITATION.

**PHASING NOTES**

- PHASE 3 INCLUDES ALL WORK SHOWN ON THIS SHEET.

**PHASE 3 AREA**

**TOWER IS PHASE 3 AREA**

**KEY PLAN**

12. EXISTING W.D. RAILING W/ WROUGHT IRON PICKETS.  
 13. LOCATION OF EXISTING STUCCO DAMAGE. REPAIR PER SPECIFICATION  
 14. EXISTING STUCCO W/ STONE TEXTURE. CLEAN PER SPECIFICATION  
 15. EXISTING CARVED STONE. PROTECT IN PLACE

1. LOCATION OF EXISTING CAST STONE ELEMENT. REPAIR LEVEL 1; PROVIDE CLEANING PER SPECIFICATION. SURVEY EXISTING STONE AND NOTIFY ARCHITECT OF ANY EXISTING CRACKS AND SPALLS. REPAIR PER SPECIFICATION  
 2. REPAIR LEVEL 3; REPLACE ENTIRE COMPONENT IN KIND, PER SPECIFICATIONS  
 3. LOCATION OF EXISTING WOOD WINDOW SILL, SOFFIT, EXPOSURE WITH SEVERE DAMAGE RANGING FROM MODERATE TO SEVERE IN SOME LOCATIONS; SEE SCHEDULE  
 4. PAINT INSIDE WALLS AND SOFFIT AT ALCOVES AND RECESSED DOOR AND WINDOW WALLS  
 5. PAINT EXISTING WROUGHT IRON EXTERIOR RAILS AND HAND RAILS  
 6. EXISTING TILE PLaque; PROTECT IN PLACE.  
 7. LOCATION OF (E) CAST CONCRETE CURBS W/ SPALL DAMAGE. PROVIDES STRUCTURAL REHABILITATION.

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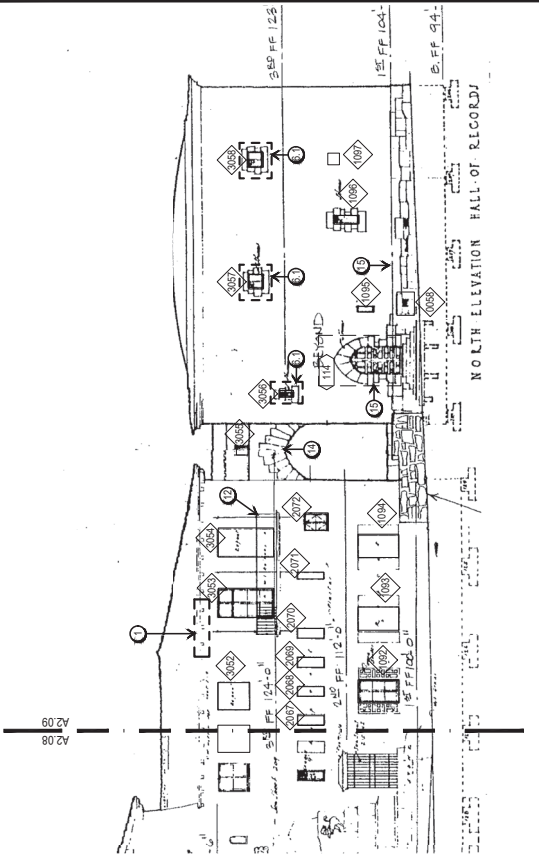
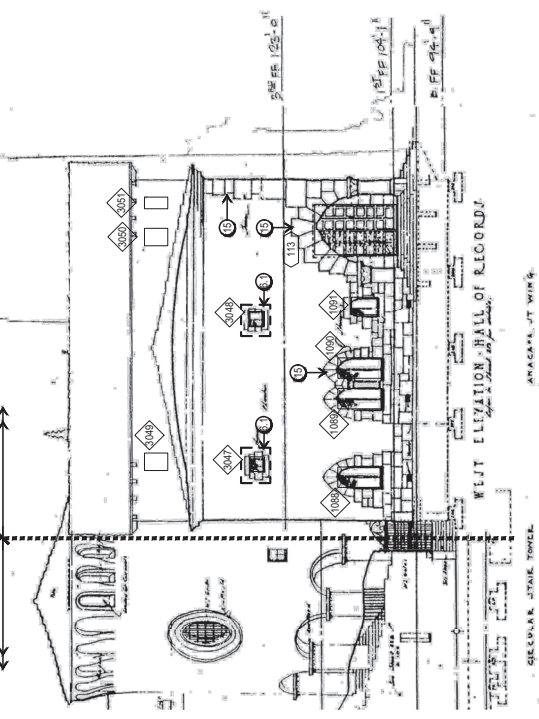
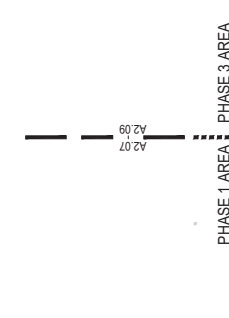
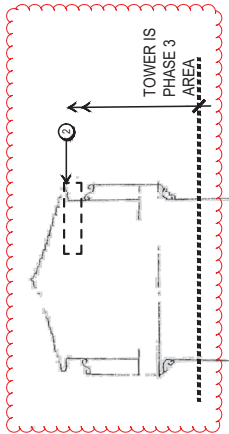
**SANTA BARBARA COUNTY COURTHOUSE**  
 ROOF REHABILITATION  
 1100 ANACAPA STREET  
 SANTA BARBARA, CALIFORNIA

**SHEET TITLE**  
 EXTERIOR ELEVATIONS  
 GARDEN EAST AND  
 COURTYARD NORTH  
 PHASE 3

**ISSUANCE**  
 CONSTRUCTION DOCUMENTS  
**APRIL 24, 2021**

**PROJ. NO.**  
 200415  
**DRAWN**  
 ZY  
**CHECKED**  
 JC

**DRAWING NO.**  
**A2.09**  
 SHEET 21 OF 21



**1. PARTIAL EXTERIOR ELEVATION- COURTYARD NORTH - PHASE 3**  
 SCALE: 3/32" = 1'-0"

**GENERAL ELEVATION NOTES**

- CONTRACTOR TO PROVIDE SCAFFOLDING AND PEDESTRIAN PROTECTION MEASURES FOR ALL WORK AT EXTERIOR ELEVATIONS, INCLUDING EAVES, SOFFITS, WINDOWS, BALCONIES, AND CAST STONE ELEMENTS.
- SEE ROOF PLANS FOR ASSOCIATED WORK
- PREPARE AND PAINT ALL PREVIOUSLY PAINTED WALL SURFACES, INCLUDING STUCCO, W.D. AND FERROUS METAL ELEMENTS, EXCLUDING PAINTED ARTWORK, AND PAINTED SIGNS
- PATCH AND REPAIR ALL EXISTING STUCCO EXHIBITING DAMAGE, PER SPECIFICATIONS
- SEE SPECIFICATIONS AND ALLOWANCES SECTION FOR ADDITIONAL INFORMATION

**PHASING NOTES**

- PHASE 3 INCLUDES ALL WORK SHOWN ON THIS SHEET.

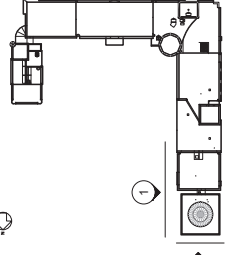
**2. PARTIAL EXTERIOR ELEVATION- GARDEN EAST - PHASE 3**  
 SCALE: 3/32" = 1'-0"


**ELEVATION KEY NOTES**

- LOCATION OF EXISTING CAST STONE ELEMENT. PROVIDE STRUCTURAL REHABILITATION, AND REPAIR ENTIRE BAY.
- LOCATION OF EXISTING SPALLING AND EXPOSED REBAR AT CAST STONE ELEMENTS. PROVIDE STRUCTURAL REHABILITATION, AND REPAIR ENTIRE BAY.
- LOCATION OF EXISTING WOOD CORBEL AT SOFFIT, WITH FALLING ANCHORAGE. PROVIDE STRUCTURAL REHABILITATION, AND REPAIR.
- LOCATION OF EXISTING BALCONY EDGE WITH SEVERE DETEIORATION, CRACKING AND SEPARATION FROM STRUCTURE. PROVIDE STRUCTURAL REHABILITATION, AND REPAIR ENTIRE BAY.
- LOCATION OF EXISTING BALCONY SOFFIT WITH SPALLING AND EXPOSED REBAR. PROVIDE STRUCTURAL REHABILITATION, AND REPAIR ENTIRE BAY.

**KEY PLAN**

- EXISTING W.D. RAILING W/ WROUGHT IRON PICKETS.
- LOCATION OF EXISTING STUCCO DAMAGE. REPAIR PER SPECIFICATION
- EXISTING STUCCO W/ STONE TEXTURE. CLEAN PER SPECIFICATION
- EXISTING CARVED STONE. PROTECT IN PLACE





**Architectural Resources Group**  
 One The Embarcadero, Suite 107  
 San Francisco, California 94111  
 415 421 1600

| DESCRIPTION | DATE |
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# SANTA BARBARA COUNTY COURTHOUSE

ROOF REHABILITATION  
 1100 ANACAPA STREET  
 SANTA BARBARA, CALIFORNIA

SHEET TITLE  
**CLAY ROOF TILE DETAILS EXISTING**

ISSUANCE  
 CONSTRUCTION DOCUMENTS

APRIL 24, 2021

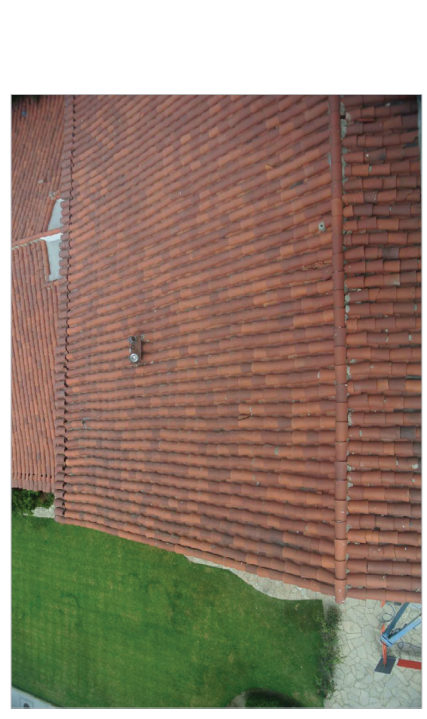
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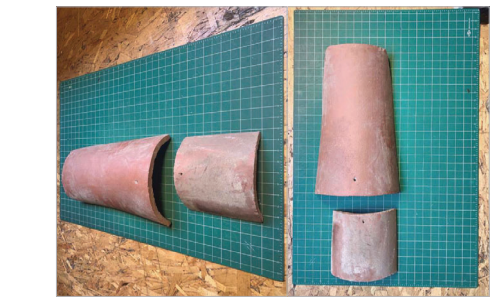
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SHEET 1 OF 21

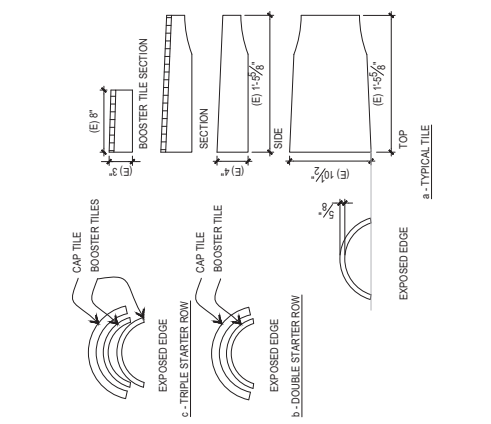


NOTES:  
 1. MAINTAIN (E) RANDOM DISTRIBUTION OF TILE COLOR VARIATION, FOR EXISTING AND NEW TILES.

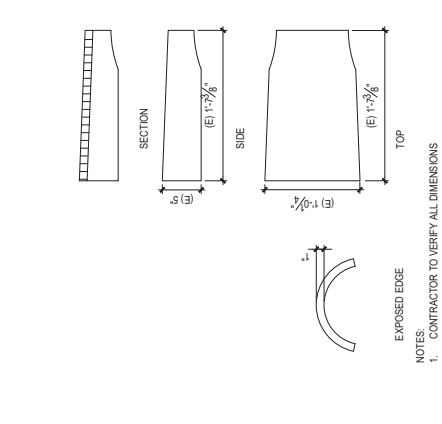
(E) ROOF TILE COLOR VARIATION  
 SCALE: 1" = 1'-0"



(E) CLAY ROOF TILES  
 SCALE: 1" = 1'-0"



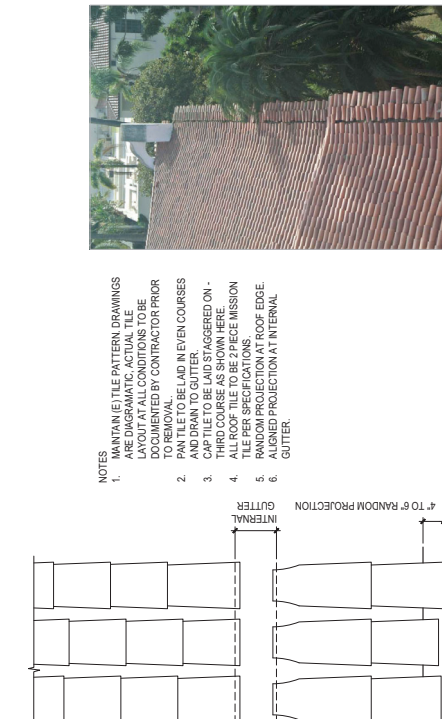
(E) LARGE CAP TILE AT EAVES  
 SCALE: 1" = 1'-0"



(E) ROOF TILE PATTERN  
 SCALE: 1" = 1'-0"



(E) ROOF TILE PATTERN  
 SCALE: 1" = 1'-0"



(E) ROOF TILE PATTERN  
 SCALE: 1" = 1'-0"

- REHABILITATION NOTES (NOT ALL NOTES APPEAR ON THIS SHEET)
1. REHABILITATE EXISTING WOOD CORBELS, INCLUDING:
    - 1.1. SECURE ALL LOOSE MEMBERS
    - 1.2. REPAIR, PREP AND PAINT PER SPECIFICATION
  2. REHABILITATED CLAY TILE ROOF PER DTLS 1, 2A, 2B & 3, 04/03/01, INCLUDING:
    - 2.1. REMOVE ALL EXISTING TILES TO EXPOSE ROOF DECK OR OTHER DAMAGE. SEE ALLOWANCES SPEC SECTION FOR REPAIR.
    - 2.2. REMOVE AND DEMO EXISTING TIE WIRES, WIRE MESH, AND ROOF FELT
    - 2.3. CLEAN EXISTING CONCRETE ROOF DECK
    - 2.4. PROVIDE NEW TIE ANCHOR SYSTEM, "TILE-TYE", BY "STORMLOCK", PER DTLS 1 & 2/04/03/01
    - 2.5. REINSTALL EXISTING CLAY TILES, AND NEW TILES CUSTOM MADE TO MATCH. 2"x24" SHEET SIZE, IF SHEET IS SMALLER, THEN DRAWING HAS BEEN REDUCED.
  3. REHABILITATED INTERNAL GUTTER, PER DETAIL 3, 04/03/01, INCLUDING:
    - 3.1. REMOVE AND DEMOLISH EXISTING COPPER GUTTER, ASSOCIATED FLASHING AND LEADER HEAD CONNECTIONS TO INTERNAL CAST IRON DOWNSPOUTS
    - 3.2. REHABILITATED ROOF PENETRATION FLASHING, PER DETAILS 6, 7, 8, 04/03/01 INCLUDING:
      - 6.1. PROVIDE NEW COPPER FLASHING TO MATCH EXISTING, OVER NEW MEMBRANE FLASHING, AND INTEGRATE INTO NEW UNDERLAYMENT
      - 6.2. REHABILITATED VALLEY FLASHING, PER DETAIL 9, 04/03/01, INCLUDING:
        - 9.1. PROVIDE NEW COPPER FLASHING TO MATCH EXISTING, AND INTEGRATE INTO NEW UNDERLAYMENT
  4. REHABILITATED ROOF TO WALL FLASHING, PER DETAIL 4, 04/03/01, INCLUDING:
    - 4.1. REMOVE AND DEMOLISH EXISTING COPPER FLASHING
    - 4.2. PROVIDE NEW COPPER FLASHING TO MATCH EXISTING, OVER NEW MEMBRANE FLASHING, AND INTEGRATE INTO NEW UNDERLAYMENT
  5. REHABILITATED ROOF PENETRATION FLASHING, PER DETAILS 6, 7, 8, 04/03/01 INCLUDING:
    - 5.1. REMOVE AND DEMOLISH EXISTING COPPER FLASHING
    - 5.2. PROVIDE NEW COPPER FLASHING TO MATCH EXISTING, AND INTEGRATE INTO NEW UNDERLAYMENT
  6. REMOVE AND DEMOLISH EXISTING SCREENED FLASHING AND PLASTER TO MATCH (E)
  7. REHABILITATE COPPER ROOF, INCLUDING:
    - 7.1. REMOVE AND SALVAGE EXISTING SHEET COPPER ROOF. PROVIDE TO OWNER
    - 7.2. PROVIDE NEW SHEET COPPER ROOF TO MATCH EXISTING
  8. REHABILITATE EXISTING SKYLIGHT, INCLUDING:
    - 8.1. REMOVE AND DEMOLISH EXISTING COPPER FLASHING
    - 8.2. PROVIDE NEW COPPER FLASHING TO MATCH EXISTING
    - 8.3. PROVIDE NEW COPPER FLASHING TO MATCH EXISTING
    - 8.4. AND INTEGRATE INTO NEW UNDERLAYMENT
    - 8.5. PROVIDE NEW GLAZING
  11. EXISTING PREVENT THROUGH ROOF. PROVIDE NEW COPPER FLASHING, AND INTEGRATE INTO NEW UNDERLAYMENT, PER DETAILS 18, 2, 04/03/01



| NO. | DESCRIPTION | DATE |
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**SANTA BARBARA COUNTY COURTHOUSE**

ROOF REHABILITATION

1100 ANACAPA STREET  
SANTA BARBARA, CALIFORNIA

SHEET TITLE  
**CLAY ROOF TILE REHABILITATION DETAILS TYPICAL**

ISSUANCE  
CONSTRUCTION DOCUMENTS

APRIL 24, 2021

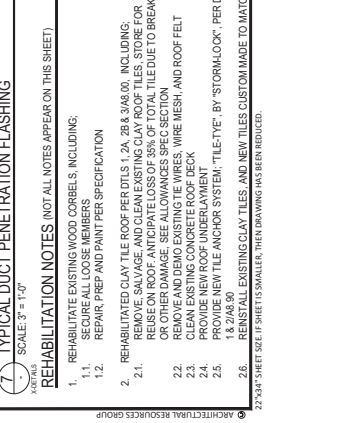
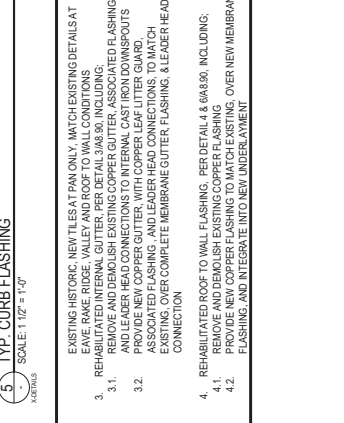
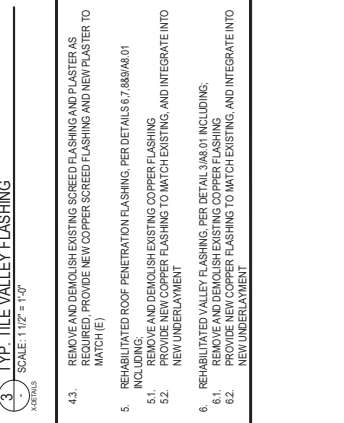
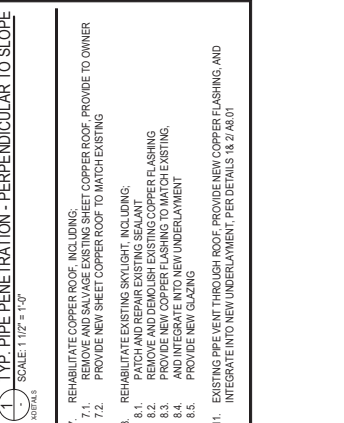
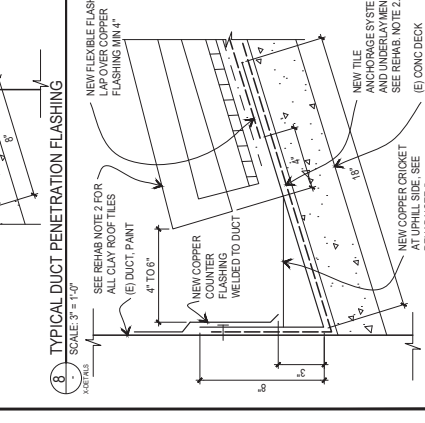
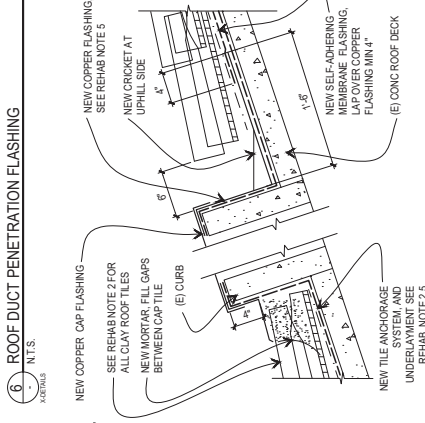
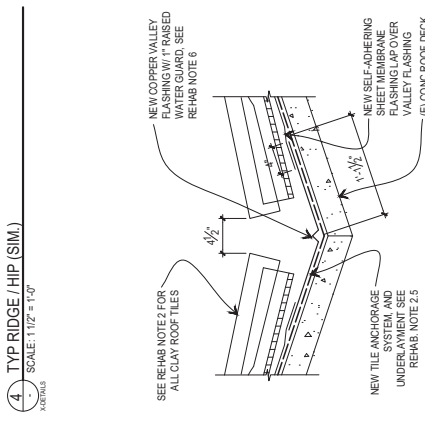
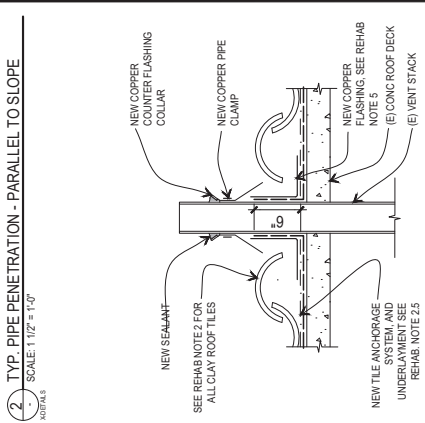
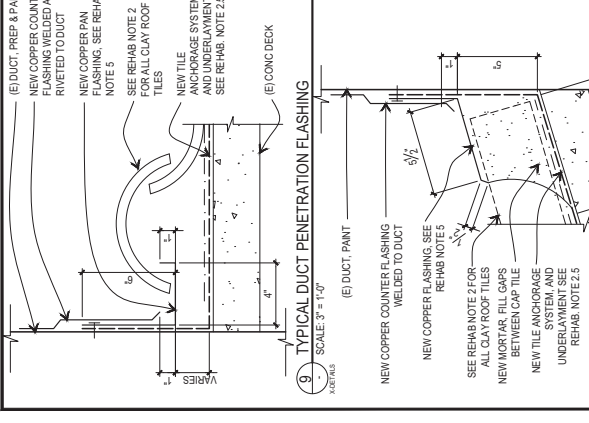
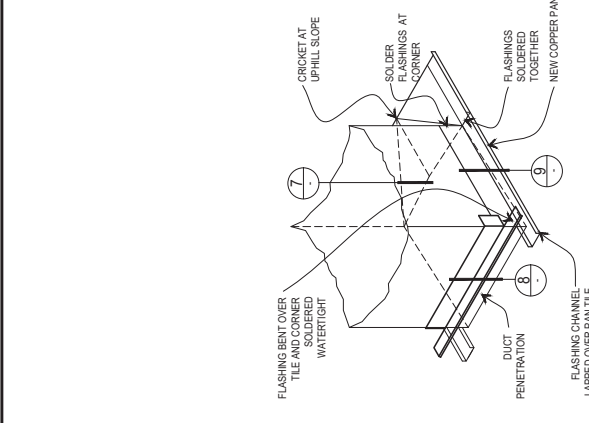
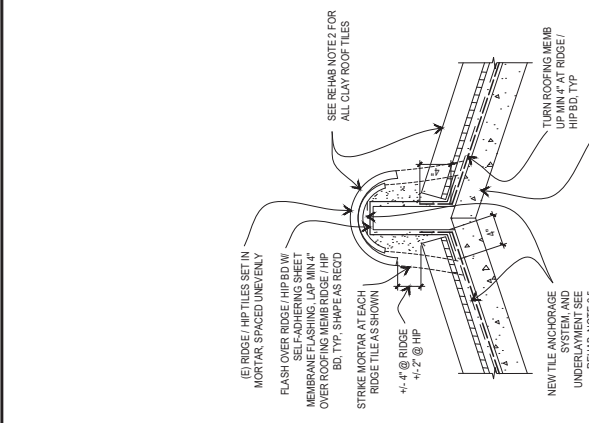
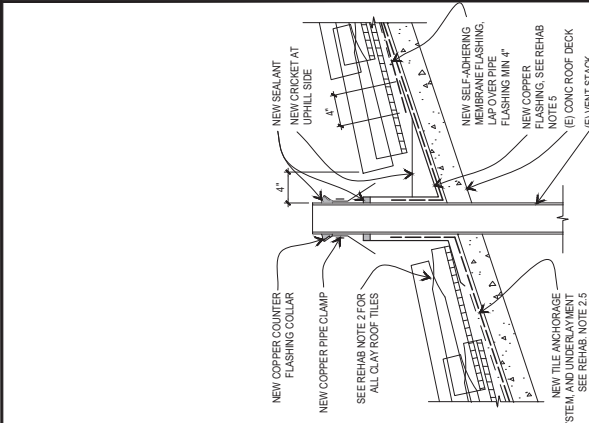
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200415

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DRAWING NO.  
**A8.01**

SHEET 1 OF 21



- REHABILITATION NOTES (NOT ALL NOTES APPEAR ON THIS SHEET)**
- REHABILITATE EXISTING WOOD CORBELS, INCLUDING:
    - 1.1. SECURE ALL LOOSE MEMBERS
    - 1.2. REPAIR PAINT AND PAINT PER SPECIFICATION
  - REHABILITATED CLAY TILE ROOF PER DTLS 1.2A, 2B, 3.06.00, INCLUDING:
    - 2.1. REMOVE AND DEMOLISH EXISTING COPPER FLASHING, AND LEADER HEAD CONNECTIONS TO INTERNAL CAST IRON DOWNSPOUTS OR OTHER DAMAGES. SEE ALLOWANCES SPEC SECTION
    - 2.2. REMOVE AND DEMO EXISTING TIE WIRES, WIRE MESH, AND ROOF FELT
    - 2.3. CLEAN EXISTING CONCRETE ROOF DECK
    - 2.4. PROVIDE NEW TILE ANCHOR SYSTEM, "TILE-TYE," BY "STORMLOCK," PER DTLS 1.8.2/08.00
    - 2.5. PROVIDE NEW TILE ANCHOR SYSTEM, "TILE-TYE," BY "STORMLOCK," PER DTLS 1.8.2/08.00
  - REINSTALL EXISTING CLAY TILES, AND NEW TILES CUSTOM MADE TO MATCH 2\"/>

| NO. | DESCRIPTION | DATE |
|-----|-------------|------|
|     |             |      |

**SANTA BARBARA COUNTY COURTHOUSE**

ROOF REHABILITATION  
1100 ANACAPA STREET  
SANTA BARBARA, CALIFORNIA

SHEET TITLE  
**CLAY ROOF TILE REHABILITATION DETAILS PHASE 3 AREA**

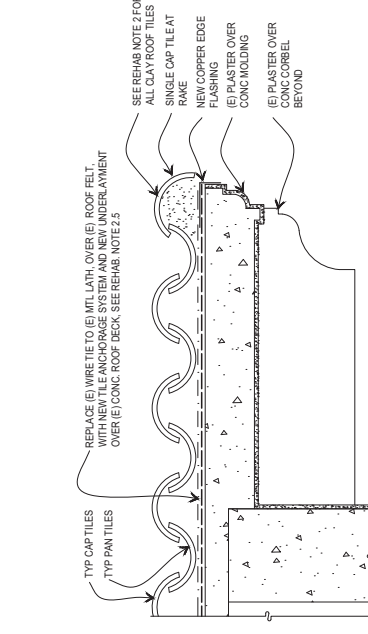
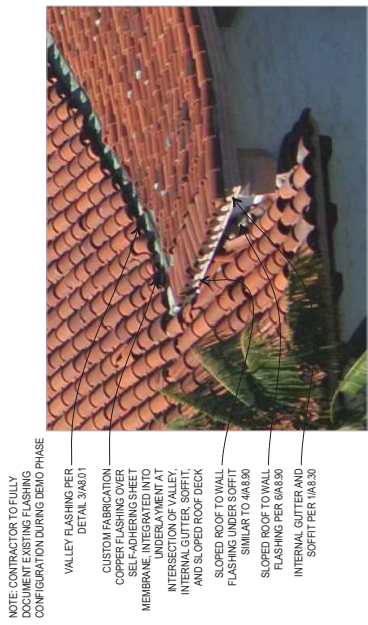
ISSUANCE  
CONSTRUCTION DOCUMENTS  
**APRIL 24, 2021**

PROJ. NO. 200415

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CHECKED -

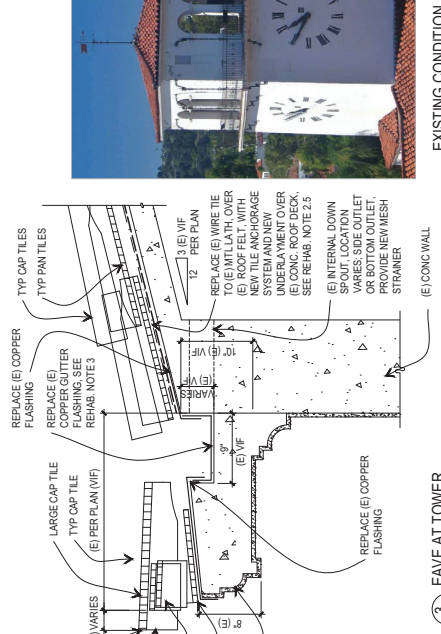
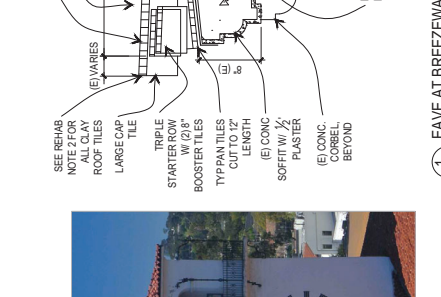
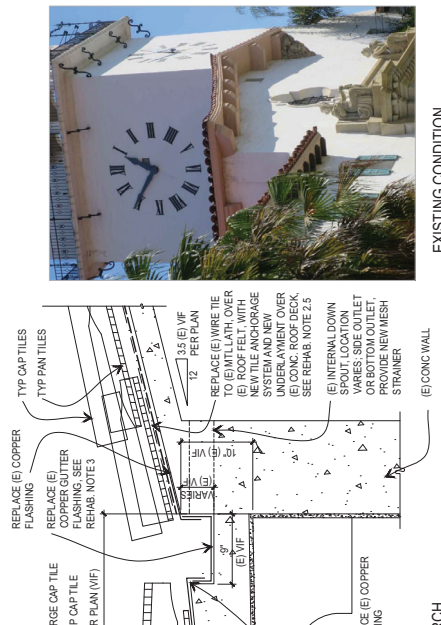
DRAWING NO.  
**A8.30**  
SHEET 1 OF 21



NOTE: CONTRACTOR TO FULLY DOCUMENT EXISTING FLASHING CONFIGURATION DURING DEMO PHASE

**2 EAVE AT VALLEY AND WALL INTERSECTION** EXISTING CONDITION  
SCALE: 1/12" = 1'-0"

**4 RAKE AT BREEZEWAY ARCH** EXISTING CONDITION  
SCALE: 1/12" = 1'-0"



**3 EAVE AT TOWER** EXISTING CONDITION  
SCALE: 1/12" = 1'-0"

**REHABILITATION NOTES (NOT ALL NOTES APPEAR ON THIS SHEET)**

- REHABILITATE EXISTING WOOD CORBELS, INCLUDING:
  - SECURE ALL LOOSE MEMBERS
  - REPAIR, PREP AND PAINT PER SPECIFICATION
- REHABILITATED CLAY TILE ROOF PER DTLS 1.2A, 2B, 3.06.01, INCLUDING REUSE ON ROOF. ANTICIPATE LOSS OF 3% OF TOTAL TILE DUE TO BREAKAGE OR OTHER DAMAGE. SEE ALLOWANCES SPEC SECTION
- REMOVE AND DEMO EXISTING TIE WIRES, WIRE MESH, AND ROOF FELT
- CLEAN EXISTING CONCRETE ROOF DECK
- REMOVE AND DEMO EXISTING CONCRETE ROOF DECK
- PROVIDE NEW TILE ANCHOR SYSTEM, "TILE-TIE," BY "STORMLOCK," PER DTLS 1.8 & 2A8.90
- REINSTALL EXISTING CLAY TILES, AND NEW TILES CUSTOM MADE TO MATCH 2"x24" SHEET SIZE. IF SHEET IS SMALLER, THEN DRAWING HAS BEEN REDUCED.

- EXISTING HISTORIC NEW TILES AT PAN ONLY. MATCH EXISTING DETAILS AT EAVE, RAKE, RIDGE, VALLEY AND ROOF TO WALL CONDITIONS
- REHABILITATED INTERNAL GUTTER, PER DETAIL 3.06.01, INCLUDING:
  - REMOVE AND DEMOLISH EXISTING COPPER GUTTER, ASSOCIATED FLASHING AND LEADER HEAD CONNECTIONS TO INTERNAL CAST IRON DOWNSPOUTS
  - REMOVE AND DEMOLISH EXISTING COPPER FLASHING, ASSOCIATED FLASHING, AND LEADER HEAD CONNECTIONS TO MATCH EXISTING. OVER COMPLETE MEMBRANE GUTTER FLASHING, & LEADER HEAD CONNECTION
  - REHABILITATED VALLEY FLASHING, PER DETAIL 3.06.01, INCLUDING:
    - REMOVE AND DEMOLISH EXISTING COPPER FLASHING
    - PROVIDE NEW COPPER FLASHING TO MATCH EXISTING. OVER NEW MEMBRANE FLASHING, AND INTEGRATE INTO NEW UNDERLAYMENT
- REMOVE AND DEMOLISH EXISTING SCREED FLASHING AND PLASTER AS REQUIRED. PROVIDE NEW COPPER SCREED FLASHING AND NEW PLASTER TO MATCH (E)
- REHABILITATED ROOF PENETRATION FLASHING, PER DETAILS 6.7, 6.8 & 6.9.01, INCLUDING:
  - REMOVE AND DEMOLISH EXISTING COPPER FLASHING
  - REMOVE AND DEMOLISH EXISTING COPPER FLASHING
  - PROVIDE NEW COPPER FLASHING TO MATCH EXISTING AND INTEGRATE INTO NEW UNDERLAYMENT
  - REMOVE AND DEMOLISH EXISTING COPPER FLASHING
  - REMOVE AND DEMOLISH EXISTING COPPER FLASHING
  - PROVIDE NEW COPPER FLASHING TO MATCH EXISTING AND INTEGRATE INTO NEW UNDERLAYMENT

- REHABILITATED ROOF TO WALL FLASHING, PER DETAIL 4.8, 6A8.90, INCLUDING:
  - REMOVE AND DEMOLISH EXISTING COPPER FLASHING
  - PROVIDE NEW COPPER FLASHING TO MATCH EXISTING. OVER NEW MEMBRANE FLASHING, AND INTEGRATE INTO NEW UNDERLAYMENT
- REHABILITATED VALLEY FLASHING, PER DETAIL 3.06.01, INCLUDING:
  - REMOVE AND DEMOLISH EXISTING SKYLIGHT, INCLUDING:
    - REMOVE AND DEMOLISH EXISTING COPPER FLASHING
    - REMOVE AND DEMOLISH EXISTING COPPER FLASHING
    - PROVIDE NEW COPPER FLASHING TO MATCH EXISTING
    - REMOVE AND DEMOLISH EXISTING COPPER FLASHING
    - REMOVE AND DEMOLISH EXISTING COPPER FLASHING
    - PROVIDE NEW GLAZING
  - EXISTING PREVENT THROUGH ROOF. PROVIDE NEW COPPER FLASHING, AND INTEGRATE INTO NEW UNDERLAYMENT. PER DETAILS 18.2, A8.01

- REHABILITATED COPPER ROOF, INCLUDING:
  - REMOVE AND SALVAGE EXISTING SHEET COPPER ROOF. PROVIDE TO OWNER
  - REMOVE AND SALVAGE EXISTING SHEET COPPER ROOF TO MATCH EXISTING

**1 EAVE AT BREEZEWAY ARCH** EXISTING CONDITION  
SCALE: 1/12" = 1'-0"

**EXISTING CONDITION**

| NO. | DESCRIPTION | DATE |
|-----|-------------|------|
|     |             |      |

**SANTA BARBARA COUNTY COURTHOUSE**

ROOF REHABILITATION  
 1100 ANACAPA STREET  
 SANTA BARBARA, CALIFORNIA

**SHEET TITLE  
 CLAY ROOF TILE REHABILITATION DETAILS  
 NEW SYSTEMS**

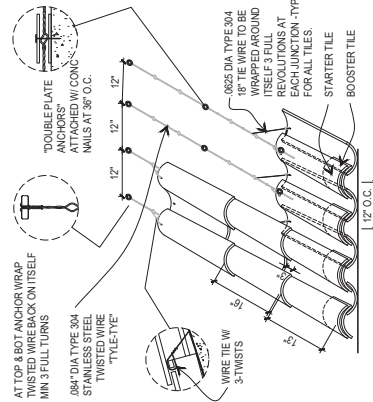
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 CONSTRUCTION DOCUMENTS

APRIL 24, 2021

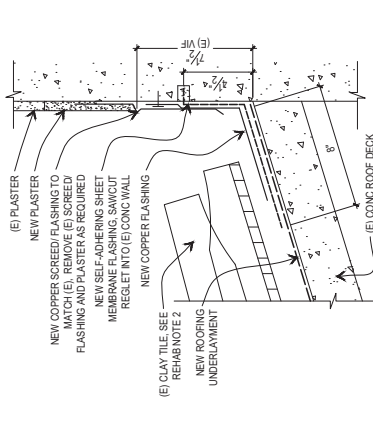
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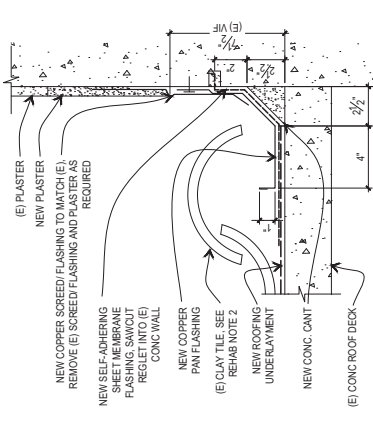
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**A8.90**  
 SHEET 1 OF 21



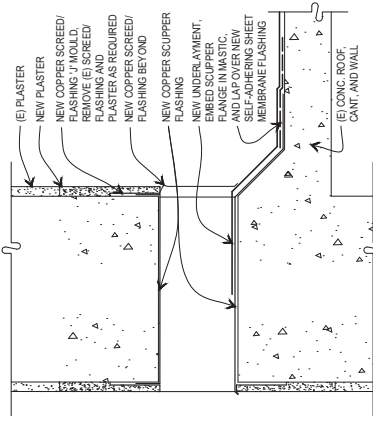
2. TYPICAL CLAY TILE ANCHORAGE SYSTEM  
 SCALE: 3" = 1'-0"



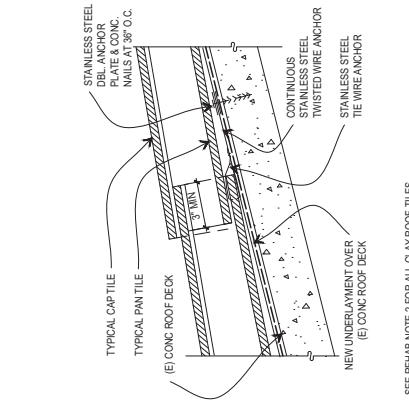
4. NEW ROOF TO WALL FLASHING, TYP.  
 SCALE: 3" = 1'-0"



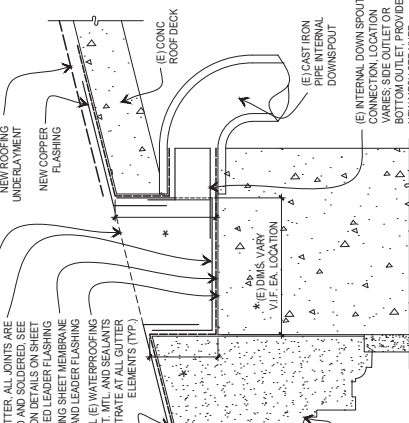
6. NEW ROOF TO WALL FLASHING, TYP.  
 SCALE: 3" = 1'-0"



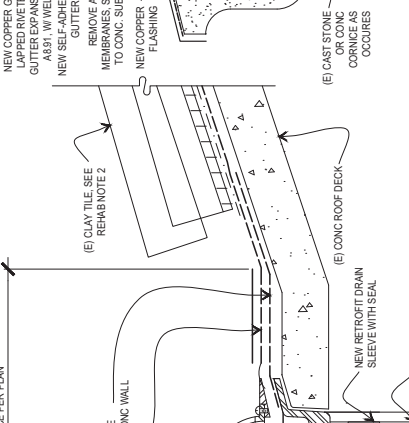
7. NEW SCUPPER/OVERFLOW DRAIN FLASHING  
 SCALE: 3" = 1'-0"



1. CLAY ROOF TILE ANCHORING, TYP.  
 SCALE: 3" = 1'-0"




3. NEW GUTTER FLASHING, TYP.  
 SCALE: 3" = 1'-0"



5. NEW ROOF AREA DRAIN  
 SCALE: 3" = 1'-0"

- REHABILITATE EXISTING WOOD CORBELS, INCLUDING:
- REPAIR, PREP AND PAINT PER SPECIFICATION
  - REHABILITATE CLAY TILE ROOF PER DTLS 1, 2A, 2B, 3, 3A, 8, 9, INCLUDING:
    - REMOVE AND DEMOLISH EXISTING COPPER FLASHING, ASSOCIATED FLASHING AND LEADER HEAD CONNECTIONS TO INTERNAL CAST IRON DOWNSPOUTS OR OTHER DAMAGE. SEE ALLOWANCES SPEC SECTION
    - REMOVE AND DEMO EXISTING TIE WIRES, WIRE MESH, AND ROOF FELT
    - CLEAN EXISTING CONCRETE ROOF DECK
    - REMOVE AND DEMOLISH EXISTING COPPER FLASHING
    - PROVIDE NEW TILE ANCHOR SYSTEM, "TILE-TYE", BY "STORMLOCK", PER DTLS 1.8, 2/A, 8, 9
    - REINSTALL EXISTING CLAY TILES, AND NEW TILES CUSTOM MADE TO MATCH 2"x24" SHEET SIZE. IF SHEET IS SMALLER, THEN DRAWING HAS BEEN REDUCED.
  - REHABILITATE HISTORIC NEW TILES AT PAN ONLY. MATCH EXISTING DETAILS AT EAVE, RAKE, RIDGE, VALLEY AND ROOF TO WALL CONDITIONS
  - REHABILITATED INTERNAL GUTTER, PER DETAIL 3/A, 8, 9, INCLUDING:
    - REMOVE AND DEMOLISH EXISTING COPPER GUTTER, ASSOCIATED FLASHING AND LEADER HEAD CONNECTIONS TO INTERNAL CAST IRON DOWNSPOUTS
    - ASSOCIATED FLASHING AND LEADER HEAD CONNECTIONS, TO MATCH EXISTING, OVER COMPLETE MEMBRANE GUTTER FLASHING, & LEADER HEAD CONNECTION
    - REHABILITATED ROOF TO WALL FLASHING, PER DETAIL 4, 8, 9/A, 8, 9, INCLUDING:
      - REMOVE AND DEMOLISH EXISTING COPPER FLASHING
      - PROVIDE NEW COPPER FLASHING TO MATCH EXISTING, OVER NEW MEMBRANE FLASHING, AND INTEGRATE INTO NEW UNDERLAYMENT
    - REHABILITATED VALLEY FLASHING, PER DETAIL 3/A, 8, 9, INCLUDING:
      - REMOVE AND DEMOLISH EXISTING COPPER FLASHING
      - PROVIDE NEW COPPER FLASHING TO MATCH EXISTING, AND INTEGRATE INTO NEW UNDERLAYMENT
    - REHABILITATED ROOF PENETRATION FLASHING, PER DETAILS 6, 7, 8/A, 9, 0, 1 INCLUDING:
      - REMOVE AND DEMOLISH EXISTING COPPER FLASHING
      - PROVIDE NEW COPPER FLASHING TO MATCH EXISTING AND INTEGRATE INTO NEW UNDERLAYMENT
    - REHABILITATED ROOF FLASHING AND PLASTER AS REQUIRED. PROVIDE NEW COPPER SCREED FLASHING AND NEW PLASTER TO MATCH (E)
    - REHABILITATE EXISTING SKYLIGHT, INCLUDING:
      - REMOVE AND DEMOLISH EXISTING COPPER FLASHING
      - REMOVE AND DEMOLISH EXISTING COPPER FLASHING
      - PROVIDE NEW COPPER FLASHING TO MATCH EXISTING
      - INTEGRATE INTO NEW UNDERLAYMENT
      - PROVIDE NEW GLAZING
    - EXISTING PREVENT THROUGH ROOF. PROVIDE NEW COPPER FLASHING, AND INTEGRATE INTO NEW UNDERLAYMENT. PER DETAILS 1.8, 2, 7, 8, 9, 0, 1



**Architectural Resources Group**  
 1000 The Embarcadero, Suite 107  
 San Francisco, California 94111  
 415 421 1600

| Width of Gutter Bottom (mm) | A*   | B**  | C*** |
|-----------------------------|------|------|------|
| 100                         | 125  | 150  | 175  |
| 150                         | 188  | 225  | 263  |
| 200                         | 250  | 300  | 350  |
| 250                         | 313  | 375  | 438  |
| 300                         | 375  | 450  | 525  |
| 350                         | 438  | 525  | 613  |
| 400                         | 500  | 600  | 700  |
| 450                         | 563  | 675  | 788  |
| 500                         | 625  | 750  | 875  |
| 550                         | 688  | 825  | 963  |
| 600                         | 750  | 900  | 1050 |
| 650                         | 813  | 975  | 1138 |
| 700                         | 875  | 1050 | 1225 |
| 750                         | 938  | 1125 | 1313 |
| 800                         | 1000 | 1200 | 1400 |
| 850                         | 1063 | 1275 | 1488 |
| 900                         | 1125 | 1350 | 1575 |
| 950                         | 1188 | 1425 | 1663 |
| 1000                        | 1250 | 1500 | 1750 |

\* For column A use 16 oz. (450 mm) copper, or 28 oz. (760 mm) stainless steel.  
 \*\* For column B use 24 oz. (635 mm) copper, or 34 oz. (865 mm) stainless steel.  
 \*\*\* For column C use 24 oz. (635 mm) copper, or 34 oz. (865 mm) stainless steel.

| Width of Gutter Bottom (mm) | A*   | B**  | C*** |
|-----------------------------|------|------|------|
| 100                         | 125  | 150  | 175  |
| 150                         | 188  | 225  | 263  |
| 200                         | 250  | 300  | 350  |
| 250                         | 313  | 375  | 438  |
| 300                         | 375  | 450  | 525  |
| 350                         | 438  | 525  | 613  |
| 400                         | 500  | 600  | 700  |
| 450                         | 563  | 675  | 788  |
| 500                         | 625  | 750  | 875  |
| 550                         | 688  | 825  | 963  |
| 600                         | 750  | 900  | 1050 |
| 650                         | 813  | 975  | 1138 |
| 700                         | 875  | 1050 | 1225 |
| 750                         | 938  | 1125 | 1313 |
| 800                         | 1000 | 1200 | 1400 |
| 850                         | 1063 | 1275 | 1488 |
| 900                         | 1125 | 1350 | 1575 |
| 950                         | 1188 | 1425 | 1663 |
| 1000                        | 1250 | 1500 | 1750 |

**Architectural Resources Group**

**SANTA BARBARA COUNTY COURTHOUSE**

ROOF REHABILITATION

1100 ANACAPA STREET  
 SANTA BARBARA, CALIFORNIA

SHEET TITLE  
**CLAY ROOF TILE REHABILITATION DETAILS**  
 SMACNA REFERENCE DTLS

ISSUANCE  
 CONCEPT DESIGN

**JANUARY 15, 2021**

PROJ. NO. 200415  
 DRAWN -  
 CHECKED -

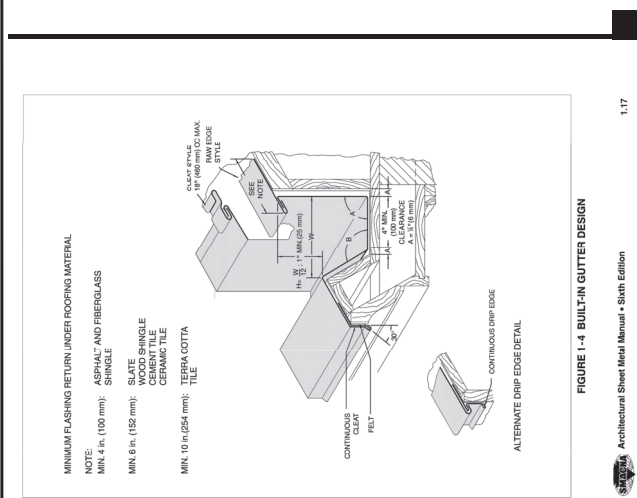
DRAWING NO.  
**A8.91**  
 SHEET 1 OF 21

**Table 1-4 Maximum Distance Between Expansor Joint And Downspout In Feet (Meters) For Built-in Gutter**

NOTE: Refer to Figure 1-4.

| Width of Gutter Bottom (mm) | A*   | B**  | C*** |
|-----------------------------|------|------|------|
| 100                         | 125  | 150  | 175  |
| 150                         | 188  | 225  | 263  |
| 200                         | 250  | 300  | 350  |
| 250                         | 313  | 375  | 438  |
| 300                         | 375  | 450  | 525  |
| 350                         | 438  | 525  | 613  |
| 400                         | 500  | 600  | 700  |
| 450                         | 563  | 675  | 788  |
| 500                         | 625  | 750  | 875  |
| 550                         | 688  | 825  | 963  |
| 600                         | 750  | 900  | 1050 |
| 650                         | 813  | 975  | 1138 |
| 700                         | 875  | 1050 | 1225 |
| 750                         | 938  | 1125 | 1313 |
| 800                         | 1000 | 1200 | 1400 |
| 850                         | 1063 | 1275 | 1488 |
| 900                         | 1125 | 1350 | 1575 |
| 950                         | 1188 | 1425 | 1663 |
| 1000                        | 1250 | 1500 | 1750 |

\* For column A use 16 oz. (450 mm) copper, or 28 oz. (760 mm) stainless steel.  
 \*\* For column B use 24 oz. (635 mm) copper, or 34 oz. (865 mm) stainless steel.  
 \*\*\* For column C use 24 oz. (635 mm) copper, or 34 oz. (865 mm) stainless steel.



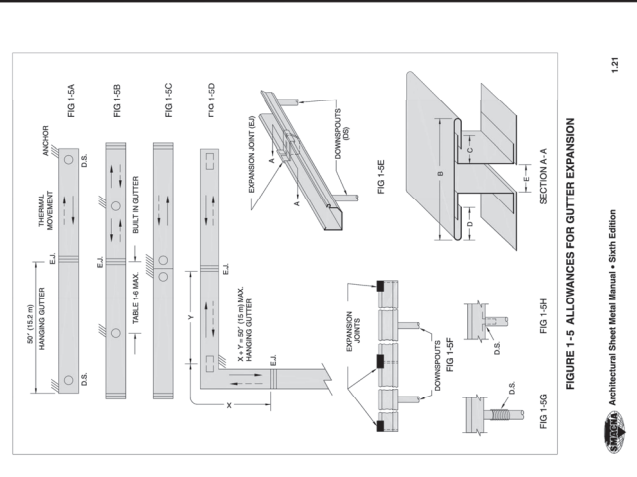
**FIGURE 1-4 BUILT-IN GUTTER DESIGN**

**BUILT-IN GUTTER DESIGN**

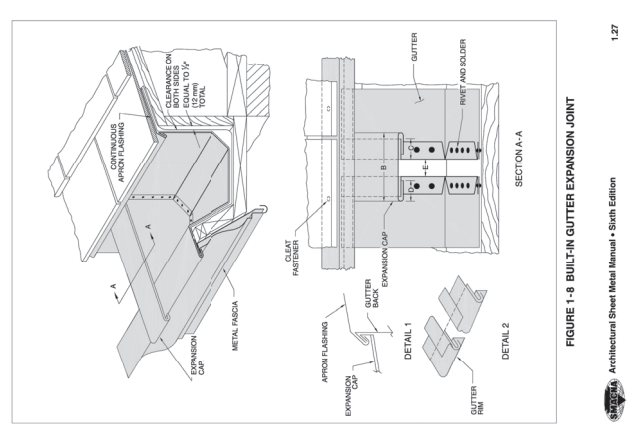
Built-in gutters serve a special purpose in architectural design because they are less visible than exposed gutters. They are installed in the roof deck and drain directly into the building. They should design conditions:

- In designing built-in gutters, consider the following:
  - Materials should be corrosion resistant. Copper is preferred for gutters. Use a smooth, non-porous material for the roof deck. The roof deck should be used for galvanized steel roof systems, though stainless steel is preferred. The roof deck should be used for galvanized steel roof systems, though stainless steel is preferred. The roof deck should be used for galvanized steel roof systems, though stainless steel is preferred.
  - All joints must be sealed, riveted and sealed. Joints that are sealed and riveted will have a longer life.
  - Continuous support is preferred. Damage potential is greater with intermittent support.
  - For maintenance for gutters, use a smooth, non-porous material for the roof deck. The roof deck should be used for galvanized steel roof systems, though stainless steel is preferred. The roof deck should be used for galvanized steel roof systems, though stainless steel is preferred.
- When the built-in gutter is behind a parapet wall, overflow receptors can be used in the wall.
- Where practical, slope built-in gutters to drain points.

**FIGURE 1-4 BUILT-IN GUTTER DESIGN**



**FIGURE 1-5 ALLOWANCES FOR GUTTER EXPANSION**



**FIGURE 1-8 BUILT-IN GUTTER EXPANSION JOINT**

**BUILT-IN GUTTER EXPANSION JOINT**

Built-in gutters serve a special purpose in architectural design because they are less visible than exposed gutters. They are installed in the roof deck and drain directly into the building. They should design conditions:

- In designing built-in gutters, consider the following:
  - Materials should be corrosion resistant. Copper is preferred for gutters. Use a smooth, non-porous material for the roof deck. The roof deck should be used for galvanized steel roof systems, though stainless steel is preferred. The roof deck should be used for galvanized steel roof systems, though stainless steel is preferred.
  - All joints must be sealed, riveted and sealed. Joints that are sealed and riveted will have a longer life.
  - Continuous support is preferred. Damage potential is greater with intermittent support.
  - For maintenance for gutters, use a smooth, non-porous material for the roof deck. The roof deck should be used for galvanized steel roof systems, though stainless steel is preferred. The roof deck should be used for galvanized steel roof systems, though stainless steel is preferred.
- When the built-in gutter is behind a parapet wall, overflow receptors can be used in the wall.
- Where practical, slope built-in gutters to drain points.

**FIGURE 1-8 BUILT-IN GUTTER EXPANSION JOINT**

**Attachment 1a**

**ATTACHMENT 1a**

**Plant Construction Co.  
Change Order 1**



County of Santa Barbara
General Services Department
Capital Projects Division

1105 Santa Barbara Street
Santa Barbara, California 93101
(805) 569-3055 FAX (805) 568-3249

CHANGE ORDER NO. 001

PROJECT TITLE: Santa Barbara Courthouse Roof and Exterior Renovation PROJECT NO.: 23012

CONTRACTOR: Plant Construction Company L.P. CONTRACT NO.: BC 23211

Except as provided herein, all terms and conditions of the contract referenced above remain unchanged and in full force and effect. Contractor may not exceed the price shown below without further written instruction of the Owner.

NOTE: This contract Change Order is not effective until signed by the Owner's Project manager, or if the Change exceeds \$3,000, until signed by the Owner's Authorized Representative (Manager of Capital Projects Division).

DESCRIPTION OF WORK TO BE PERFORMED:

The purpose of this Change Order is to provide all labor, materials, equipment and construction services necessary to renovate and restore the Santa Barbara Courthouse Roof replacement and exterior renovations. Reference: COR 001, 002 and 003.

The original contract value is: \$2,641,591.00. The cost for this additional work is \$96,255.96
Updated contract value, including change order #001 is: \$2,641,591.00.

By reason of this Change Order, the Contract Amount and Completion Date is hereby changed as shown below:

AMNT OF THIS CHANGE: \$96,255.96 ADDT'L DAYS AWARDED: TBD DATE ISSUED: 04/08/24

We the undersigned have given careful consideration to all aspects of the change order proposed and hereby agree.

Contractor acknowledges receipt of this Change Order and the not to exceed amount stated above. Contractor understands that the final price for this work will be determined in accordance with General Conditions.

CONTRACTOR:

Chris Alvino, Project Manager

NAME AND TITLE OF SIGNER (Type or Print):

04/08/2024

(Signature of person authorized to sign)

Date

By signing below, Owner revises the Contract as provided above, in accordance with General Conditions.

OPM: Lou Gibilisco, Project Manager (Type or Print)

04/08/24

Owner Project Manager

Date

Owner's Authorized Representative

(If CO Greater Than \$3,000)

Date

**CHANGE ORDER REQUEST #001 Rev: 0**

Date: 04/05/2024

To: County of Santa Barbara  
105 E Anapamu Street  
Santa Barbara, California 93101

Attn: Lou Gibilisco

From: Chris Alvino  
Plant Construction Company, L.P.  
300 Newhall Street  
San Francisco, California 94124

Re: Santa Barbara Courthouse Rehab Phase 2  
1100 Anacapa St  
Santa Barbara, California 93101  
PCCLP Project # 2023145

**SCOPE OF WORK**

Additional removal of loose, debonded or otherwise damaged exterior cement plaster and repair with cement plaster. Additional patching completed beyond locations shown on drawings (keynote 13). Patches located throughout the Phase 2 work area labeled on the elevations markup attached.

**CHANGE ORDER REQUEST LINE ITEMS**

| #  | Sub Job | Cost Code          | Description      | Type           | Amount             |
|--|---------|--------------------|------------------|----------------|--------------------|
| 1  | N/A     | 09-9100 - Painting | Plaster Patching | SUBCONTRACTORS | \$42,656.00        |
| <b>Subtotal:</b>   |         |                    |                  |                | <b>\$42,656.00</b> |
| <b>Contingency (0.00% Applies to all line item types.):</b>            |         |                    |                  |                | <b>\$0.00</b>      |
| <b>GC Liability Insurance (1.20% Applies to all line item types.):</b> |         |                    |                  |                | <b>\$511.87</b>    |
| <b>Contractor's Fee (5.00% Applies to all line item types.):</b>       |         |                    |                  |                | <b>\$2,132.80</b>  |
| <b>Grand Total:</b>  |         |                    |                  |                | <b>\$45,300.67</b> |

Schedule impact associated with this change request: Yes \_\_\_ No  TBD \_\_\_

The Contract Time will remain unchanged .

We are proceeding with this work as directed by the Owner. In order to formalize this Change Order Request, please sign and return one copy of the executed form for our records. Upon receipt, the signed Change Order Request will constitute a Change Order (as that phrase is defined in the Contract), and no further written documentation will be required.

If you have any questions, please contact me at (415) 285-0500, or email at [chrisa@plantco.com](mailto:chrisa@plantco.com).

PCCLP Project # 2023145  
Santa Barbara Courthouse Rehab  
Phase 2  
1100 Anacapa St  
Santa Barbara, California 93101

APPROVED BY  
County of Santa Barbara

DocuSigned by:

*Lou Gibilisco*

D51E814C8CD8444...

(Signature)

Lou Gibilisco

4/8/2024 | 8:23 AM PDT

(Printed Name)

(Date)

**PLEASE SIGN AND RETURN VIA EMAIL TO PLANT CONSTRUCTION COMPANY, L.P.**



**CHANGE ORDER REQUEST #002 Rev: 0**

Date: 03/25/2024

To: County of Santa Barbara  
105 E Anapamu Street  
Santa Barbara, California 93101

Attn: Lou Gibilisco

From: Chris Alvino  
Plant Construction Company, L.P.  
300 Newhall Street  
San Francisco, California 94124

Re: Santa Barbara Courthouse Rehab Phase 2  
1100 Anacapa St  
Santa Barbara, California 93101  
PCCLP Project # 2023145

**SCOPE OF WORK**

Additional patching & repairs for scope items not included in the contract documents.

- Additional patching and repairs of Plaster with Stone Texture @ 11 locations. This is additional scope beyond what is shown in the contract documents.
- Patching of cast stone column caps @7 locations. New scope not included in the contract documents. Specifications provided by ARG for this scope in response to RFI #3.

**CHANGE ORDER REQUEST LINE ITEMS**

| #  | Sub Job | Cost Code         | Description                         | Type           | Amount             |
|--|---------|-------------------|-------------------------------------|----------------|--------------------|
| 1  | N/A     | 09-2113 - Plaster | Stone Plaster & Cast Stone Patching | SUBCONTRACTORS | \$22,683.50        |
| <b>Subtotal:</b>   |         |                   |                                     |                | <b>\$22,683.50</b> |
| <b>Contingency (0.00% Applies to all line item types.):</b>            |         |                   |                                     |                | <b>\$0.00</b>      |
| <b>GC Liability Insurance (1.20% Applies to all line item types.):</b> |         |                   |                                     |                | <b>\$272.20</b>    |
| <b>Contractor's Fee (5.00% Applies to all line item types.):</b>       |         |                   |                                     |                | <b>\$1,134.18</b>  |
| <b>Grand Total:</b>  |         |                   |                                     |                | <b>\$24,089.88</b> |

Schedule impact associated with this change request: Yes \_\_\_ No  TBD \_\_\_

The Contract Time will remain unchanged .

We are proceeding with this work as directed by the Owner. In order to formalize this Change Order Request, please sign and return one copy of the executed form for our records. Upon receipt, the signed Change Order Request will constitute a Change Order (as that phrase is defined in the Contract), and no further written documentation will be required.

If you have any questions, please contact me at (415) 285-0500, or email at [chrisa@plantco.com](mailto:chrisa@plantco.com).

PCCLP Project # 2023145  
Santa Barbara Courthouse Rehab  
Phase 2  
1100 Anacapa St  
Santa Barbara, California 93101

APPROVED BY  
County of Santa Barbara

DocuSigned by:  
*Lou Gibilisco*  
D51E814CBCD8444...

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(Signature)

Lou Gibilisco

4/8/2024 | 8:28 AM PDT

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(Printed Name)

(Date)

**PLEASE SIGN AND RETURN VIA EMAIL TO PLANT CONSTRUCTION COMPANY, L.P.**

**CHANGE ORDER REQUEST #003 Rev: 0**

Date: 03/25/2024

To: County of Santa Barbara  
105 E Anapamu Street  
Santa Barbara, California 93101

Attn: Lou Gibilisco

From: Chris Alvino  
Plant Construction Company, L.P.  
300 Newhall Street  
San Francisco, California 94124

Re: Santa Barbara Courthouse Rehab Phase 2  
1100 Anacapa St  
Santa Barbara, California 93101  
PCCLP Project # 2023145

**SCOPE OF WORK**

Subcontractor costs for unforeseen conditions related to the doors & windows refurbishment, including missing windows and heavy repairs not shown on the contract drawings. This is additional scope beyond the repairs shown on the contract drawings.

**CHANGE ORDER REQUEST LINE ITEMS**

| #  | Sub Job | Cost Code         | Description                     | Type           | Amount             |
|--|---------|-------------------|---------------------------------|----------------|--------------------|
| 1  | N/A     | 08-5000 - Windows | New Wood Shutters               | SUBCONTRACTORS | \$1,550.00         |
| 2  | N/A     | 08-5000 - Windows | #2031 Lead Window Repairs       | SUBCONTRACTORS | \$970.00           |
| 3  | N/A     | 08-5000 - Windows | Added Pebbled Wire Mesh Glass   | SUBCONTRACTORS | \$5,740.00         |
| 4  | N/A     | 08-5000 - Windows | Repair Lead Windows (not shown) | SUBCONTRACTORS | \$1,840.00         |
| 5  | N/A     | 08-5000 - Windows | Added Textured Glass            | SUBCONTRACTORS | \$6,324.00         |
| 6  | N/A     | 08-5000 - Windows | Added Pebbled Glass (15"x12")   | SUBCONTRACTORS | \$8,873.00         |
| <b>Subtotal:</b>   |         |                   |                                 |                | <b>\$25,297.00</b> |
| <b>Contingency (0.00% Applies to all line item types.):</b>            |         |                   |                                 |                | <b>\$0.00</b>      |
| <b>GC Liability Insurance (1.20% Applies to all line item types.):</b> |         |                   |                                 |                | <b>\$303.56</b>    |
| <b>Contractor's Fee (5.00% Applies to all line item types.):</b>       |         |                   |                                 |                | <b>\$1,264.85</b>  |
| <b>Grand Total:</b>  |         |                   |                                 |                | <b>\$26,865.41</b> |

Schedule impact associated with this change request: Yes \_\_\_ No X TBD \_\_\_

The Contract Time will remain unchanged .

We are proceeding with this work as directed by the Owner. In order to formalize this Change Order Request, please sign and return one copy of the executed form for our records. Upon receipt, the signed Change Order Request will constitute a Change Order (as that phrase is defined in the Contract), and no further written documentation will be required.

If you have any questions, please contact me at (415) 285-0500, or email at [chrisa@plantco.com](mailto:chrisa@plantco.com).

PCCLP Project # 2023145  
Santa Barbara Courthouse Rehab  
Phase 2  
1100 Anacapa St  
Santa Barbara, California 93101

APPROVED BY  
County of Santa Barbara

DocuSigned by:  
*Lou Gibilisco*  
D51E814CBCD8444...

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(Signature)

Lou Gibilisco

4/8/2024 | 8:31 AM PDT

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(Printed Name)

(Date)

**PLEASE SIGN AND RETURN VIA EMAIL TO PLANT CONSTRUCTION COMPANY, L.P.**