



PROPERTY CONDITION ASSESSMENT

SANTA BARBARA COUNTY DETENTION CENTER

**4434 Calle Real
Santa Barbara, California**

Prepared for:

COUNTY OF SANTA BARBARA
1105 Santa Barbara Street
Second Floor
Santa Barbara, CA 93101
Attention: Mr. Greg Chanis

Marx|Okubo Job No. 15-5117

October 29, 2015

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Santa Barbara, California

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Mr. Greg Chanis, County of Santa Barbara (Electronic copy)
Mr. Scott Hosking, County of Santa Barbara (Electronic copy)

SANTA BARBARA COUNTY DETENTION CENTER
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I. PROPERTY IDENTIFICATION

Name: Santa Barbara Detention Center

Type: Correctional Facility

Age: Varies by building:
Honor Farm: Approximately 55 years
Northwest Building: Approximately 25 years
Main Jail: Approximately 40 years
IRC: Approximately 20 years

Location: The project is located in Santa Barbara, California.

Site Area: Approximately 11 Acres

County Contact: Scott Hosking
Facilities Manager
General Services, Support Services
County of Santa Barbara, California
1105 Santa Barbara Street, 2nd Floor
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II. PROPERTY DESCRIPTION

The Santa Barbara County Detention Center is a large correctional facility and campus located in Santa Barbara, California. The property consists of four primary buildings with an approximate total of 146,000 square feet, constructed between 1960 and 2005. The buildings included in the scope are the Honor Farm, the Northwest Building, the Main Jail, and the Inmate Reception Center (IRC). Also included are the surrounding site, paved areas, and recreation yards. The areas excluded from the scope of this report include all temporary structures and trailers, the laundry building, the transportation addition on the Main Jail, and the Sheriff's Department buildings nearby. The site plan is included as an exhibit to this report, which indicates the limits of review.

Landscaping at the facility is sparse with most located at the front side of the Main Jail building. The site features several outdoor hardscape areas, recreation yards, and vehicular traffic areas. Public parking areas include the IRC, Main Jail, and Honor Farm parking lots. Paving and drive areas are paved with asphalt and concrete. Large operable gates are located throughout the site, which provide vehicular access into the facility. Deliveries are generally directed to the West Dock, located at the southwest corner of the Main Jail. Within the facility, outdoor recreation yards are provided at each building. A review of the exterior disabled accessibility issues were not included within the scope of Marx|Okubo Associates, Inc.'s (Marx|Okubo's) review.

The Honor Farm roof is constructed with 2x tongue and groove wood sheathing spanning between steel bar joists supported by steel beams and perimeter concrete masonry unit (CMU) walls on a shallow foundation system.

The Northwest Building is constructed with cast-in-place concrete waffle slab or flat slab and beam, roofs and floors supported by cast-in-place concrete columns or concrete and CMU walls.

The Main Jail building is constructed with cast-in-place concrete flat slab, beam roofs, and floors supported by cast-in-place concrete columns or concrete and CMU walls.

The IRC building is constructed with cast-in-place concrete waffle slab or flat slab and beam roofs and floors supported by cast-in-place concrete columns or concrete and CMU walls.

All the main roofs on the buildings are a low-slope modified bitumen rolled roofing with gravel surfacing. The stucco parapet walls of the Northwest Building, Main Jail, and IRC buildings have sloped clay tile roofing with a section of exposed roofing membrane around the perimeters or exposed concrete.

The exterior walls are painted concrete and CMU with areas of architectural plaster coverings.

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The exterior doors are a combination of steel hollow-metal, and steel storefront doors. The windows are a combination of glass block windows, narrow vertical fixed steel windows, operable and fixed steel windows, and aluminum operable windows. Clear and wire-type impact resistant and impact resistant wire glazing are provided throughout the buildings and interiors.

The interior finishes vary by building, and generally consist of painted concrete block walls, with exposed concrete floors, and concrete ceilings. Commercial finishes are generally provided at the staff areas, including gypsum board walls, finished floors, and painted or acoustic ceiling tile ceilings. Inmate restroom finishes typically consist of ceramic tile walls and floors, unfinished concrete flooring at some locations, and painted concrete ceilings. A review of interior disabled accessibility issues was not included within the scope of Marx|Okubo's review.

Heating is provided to the Honor Farm through gas-fired furnaces with one furnace at each wing on the unit. The center area is provided with heating and cooling from a single roof mounted package unit.

Heating and cooling is provided to the Northwest Building from two 20-ton capacity roof-mounted split-system units with United Metal Products package air-handling units and pad-mounted Carrier compressor/condenser units. Exhaust ventilation is provide to each cell located in a vertical stack.

Heating is provided to the Main Jail by roof mounted air-handling units with heating coil and variable air dampers to control the air volume in each section. A 25-ton DX compressor/condenser unit feeds a DX cooling coil which has been added to the administrative wing of the jail. The microwave area and dining area are provided with split system air-conditioning units and a single four-ton package unit serving the dining area.

Heating and cooling for IRC is provided by eight roof mounted package AC units that range from four- to ten-ton nominal capacity. The IRC has 48 exhaust fans and nine supply fans.

Domestic hot water is provided to the women's section of the Honor Farm by a Raypak gas-fired boiler with an input rating of 333 MBH and a manufacture date of 1997 and a 115-gallon insulated storage tank located in a mechanical roof behind the women's section. Domestic hot water for the men's section is provided by two Laars gas-fired hot water boilers with input ratings of 500 MBH and a manufacture date of 2000 and a 3,000-gallon insulated storage tank with circulating pump.

Domestic hot water is provided to the Northwest Building by a Raypak gas-fired hot water boiler with an input rating of 500 MBH and a manufacture date of 2015 and an insulated storage tank with circulating pump.

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The Main Jail domestic hot water and heating hot water is provided by four Parker gas-fired boilers each with an input rating of 1,995 MBH and a manufacture date of 2006. The hot water is stored in two insulated vertical storage tanks estimated at 2,500-gallons each. Domestic hot water at the IRC is provided by two Raypak gas-fired hot water boilers with an input rating of 399 MBH with a manufacture date of 1996 and an insulated storage tank.

Both the Honor Farm and the Mail Jail have roof-mounted solar hot water systems. The system at the Honor Farm is no longer in service.

The Honor farm is provided with a 120/240 volt, 3-phase, 4-wire electrical service with a capacity of 400 amperes fed from an overhead transformer. Emergency power for lighting and security systems is provided by a Cummins 35-kW diesel generator installed in 2009. The other buildings are served from a 5-kV electrical service that also serves other adjacent county facilities. The Main Jail and Northwest Building is served by an interior 750-kVA transformer located in the Main Jail that provides 120/208 volt, 3-phase, 4-wire power to separate switchboards at each building. Emergency power for these buildings is provided by an original Detroit Diesel generator that will be replaced in the near future. The IRC is served by a 300-kVA pad-mounted transformer with a 120/208-volt distribution board. Emergency power is provided by an Onan 100-kilowatt diesel generator. Lighting in all the buildings is generally fluorescent with light-emitting diode (LED) exterior lighting except at the Honor Farm.

Each building is protected with a Silent Knight addressable fire alarm system that monitors the fire sprinkler system for water flow and valve tamper, smoke detectors throughout the building and limited manual pull stations. Audio/visual alarms are provided in public and support areas. The systems are monitored at the control room of each facility.

Automatic wet-pipe fire sprinkler systems are provided throughout the Northwest Building, IRC, and in non-cell areas of the main jail. No fire sprinkler system is provided for the Honor Farm. Each building has a separate fire water service with backflow preventer with one riser. Based on tags noted at the risers, five year certification of the systems as required by the California State Fire Marshal are current. The IRC is provided with a smoke control system utilizing the HVAC equipment fans with five zones, one for the core areas and one for each for the inmate pods.

The main jail has two hydraulic elevators and the Northwest Building has one hydraulic elevator. The elevators generally have capacities of 4,000 amperes. The Main Jail elevators were modernized in 2009 by ThyssenKrup with new controls and hydraulic valves. The elevators are currently maintained by Republic Elevator.

Each building has a separate, extensive, integrated access control, communications, and security camera system that are operated from separate control rooms. The systems are all digital and have been upgraded over the past four years.

III. PROPERTY CONDITION

Marx|Okubo has identified items to be addressed at the facility, anticipated at various times over the course of a ten-year capital reserve term. This review has been conducted based on the premise that the facility will remain operational and its use largely unchanged over the next decade at a minimum. An exhibit has been included as a companion to this report, detailing issues for each building. In summary, the items of greater financial magnitude are summarized as follows. Issues anticipated to be addressed early in the term include repaving, door and door hardware replacement, interior repainting. Re-roofing, and replacement of heating, venting, and air conditioning (HVAC) package units at all four buildings. Issues to be addressed later in the term include ongoing plumbing repairs and upgrades. Throughout the term, ongoing replacement of door hardware and plumbing repairs and upgrades are anticipated.

IV. OBSERVATION INFORMATION

A. INTRODUCTION

Marx|Okubo has completed a Property Condition Assessment of the Santa Barbara County Detention Center located in Santa Barbara, California, for The County of Santa Barbara. This survey consists of a review of the physical conditions; architectural, structural, mechanical, and electrical components accessible or visible during the site visit.

The purpose of this project review is for Marx|Okubo to provide an overview for The County of Santa Barbara, and it is in no way implied that every aspect of the project has been reviewed. The sole purpose of this report is to observe the major aspects of the property and evaluate their condition. Limited construction drawings were made available at the site and were used as reference material and as a basis for take-offs. These drawings were not reviewed for content. No field test results or inspection records from the construction were available for our review. The use of this report is limited to the client to whom it is addressed.

Opinions of probable costs are based upon quantity take-offs and a unit pricing method to arrive at line item totals. Unit prices are based upon historical data compiled by this office and in no way imply that bids were received from trade subcontractors. Marx|Okubo did receive information on previous pricing quotes provided by qualified vendors. In some case these along with telephone conversations with the vendors were utilized to develop our pricing opinions. No bid documents or corrective drawings were produced.

It is not the intent of this office to assume any part of the design responsibility, but rather to report our findings to the client to whom this report is addressed.

The scope of this review is to provide a general overview of building components. It should be noted that a detailed compliance survey related to ADA, building codes, and zoning issues was not performed, and was excluded from the scope of Marx|Okubo's review.

B. SITE OBSERVATION

Observation Team

Marx|Okubo Associates is an employee-owned firm established in 1982, with a professional staff of approximately 60 architects and engineers.

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B. SITE OBSERVATION *(cont.)*

We provide a wide variety of real estate services to national and international clients, including architectural, engineering, and project management.

We are also involved in a full spectrum of owner representation, facility assessment, preparation of construction documents and specifications, as well as disabled accessibility, CASp and LEED-related services.

Marx|Okubo's corporate office is located in Denver, Colorado, with regional offices in Irvine, Pasadena, and San Francisco, California; Seattle, Washington; Houston and Dallas, Texas; Atlanta, Georgia; and White Plains, New York.

Observation Information

The project observation was conducted by a Marx|Okubo team comprised of Gary Cohn, AIA, Executive Vice President; Jon Haviland, P.E., Senior Associate; Dan Healey, P.E., PMP, Senior Associate; Steve Chenot, S.E., Senior Associate; and Rick Martin, CASp, LEED AP BD+C, CBCP, Associate. The site observations took place on August 27 and September 1 and 2, 2015. The walk-through incorporated a review of site improvements, building structural components as observable, building shell components, fire and life safety systems, plumbing, HVAC, electrical systems, and interior spaces.

C. OTHER CONSULTANTS' REPORTS

Marx|Okubo was not provided with any other consultants' reports.

D. DOCUMENTS ACCESSED

Marx|Okubo was provided with the following:

- The Honor Farm: Construction documents (for the original construction) dated February 2, 1958, by the County of Santa Barbara, Public Works
- The Honor Farm: Construction documents (for the shower/washroom remodel) dated September 11, 2000, by the Ravatt Albrecht & Associates
- The Northwest Building: Construction documents dated July 22, 1985, by Patrick Sullivan Associates Architecture, Planning and Design

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D. DOCUMENTS ACCESSED *(cont.)*

- The Main Jail: Construction documents (for the original construction) dated August 29, 1968, by S.R. Peterson Architect
- The Main Jail: Construction documents (for the sewer replacement) dated November 3, 2008, by MAC Design Associates
- The IRC: Construction documents (for the original construction) dated August 15, 1989, by Lenvik & Minor Architects

V. PROPERTY DESCRIPTION

A. PROJECT FEATURES

The subject property is divided into four sections: the Honor Farm, the Northwest Building, the Main Jail, and the IRC. The buildings are surrounded by paved parking lots and various exterior support spaces, which have been subdivided for the purposes of this report. Exterior spaces include recreation areas at the Honor Farm and Main Jail; parking and drive lanes at the Honor Farm, Main Jail, and IRC; and maintenance yards at the Northwest Building.

B. ARCHITECTURAL

The building shapes vary in plan, as do the construction type and materials reflective of the age of the buildings. The building walls, floor, and ceilings at the Northwest Building, Main Jail, and IRC are primarily poured-in-place concrete. The Honor Farm has CMU bearing walls with wood and steel open-web joists. Exterior glazing at the buildings vary, but generally consists of impact resistant windows. The interior finishes include painted concrete walls and ceilings, painted concrete floors and ceramic tile at restrooms, with commercial office equivalent interior finishes at the staff and management areas. The exterior walls are painted concrete and CMU with areas of architectural plaster coverings. Steel doors and frames are provided at the main building entries and painted steel personnel doors are provided at other building entries and exits. The roof systems consist of cast-in-place concrete with modified bitumen rolled roofing with gravel surfacing and sloped clay tile parapets.

C. BUILDING/UNIT DATA

The following information was obtained by the construction documents provided.

Building	Year Constructed (Approximate)	Approximate Gross Building Square Footage
Honor Farm	1960	15,000
Northwest Building	1990	70,000
Main Jail	1975	80,000
IRC	1995	25,000
		190,000

VII. SITE

The following sections of the report details the condition of systems and components repair or replacement are itemized in the deficiencies and recommendations section of this report.

A. STORM DRAINAGE

Condition: Throughout the paved areas of the property, area drain covers should be repaired, replaced, and maintained. These include the Honor Farm, Northwest Building, Main Jail, and IRC.

Additionally, drains at the north retaining wall should be cleared and maintained. The retaining wall spans the back lot, and connects the Honor Farm, Main Jail, and IRC drop off area. These are further discussed in the retaining wall section of this report.

A sump pump at the IRC bus yard is in fair condition and should be replaced within the term.

B. TRAFFIC CONTROL

Condition: Replacement of the gate operators and miscellaneous repairs to the gate fencing should be anticipated within the term. The primary traffic controls are the North West Gate (the main gate at Honor Farm Road), and the IRC Gate (Between the Northwest Building and the Honor Farm). Secondary gates include the IRC bus gate (near the IRC and Main Jail), and the West Dock gate (near the Main Jail and Honor Farm Road).

The West Dock gate operator was reportedly replaced five years ago, for a reported cost of \$5,000.

C. PARKING

Condition: No significant issues were noted or reported.

Marx|Okubo did not perform a nighttime site observation to evaluate the adequacy of site lighting illumination; however, it was reported that the majority of pole-mounted parking lot light fixtures have been replaced with LED bulbs within the last year. .

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C. PARKING (cont.)

Condition (cont.): Further comment on exterior lighting is included in the electrical section of this report.

A review of disabled-accessible parking provisions was not included in Marx|Okubo's scope of work.

D. PAVING AND SIDEWALKS

Condition: At the Honor Farm, the asphaltic concrete-paved parking lot is in generally fair condition and repaving is recommended. Minor cracking and differential settlement should be addressed within the term for the poured in place concrete curbs, gutters, and sidewalks.

At the Main Jail, the front parking lot received a "fiber seal" slurry coat this year. Facility management reported that the product reportedly provided a longer expected useful life, and is planned for the IRC front parking lot.

According to facility management, the same "fiber seal" slurry coat recently applied at the Main Jail parking lot is being considered for elsewhere on the property, and a cost has been provided for a similar application at the Honor Farm.

At the Main Jail back lot, the paving is in poor condition, with severe cracking, alligating, and potholes noted. The area receives heavier traffic due to busses and facilities vehicles. A mill and overlay with new asphalt is recommended at these areas.

E. LANDSCAPE/IRRIGATION

Condition: Landscaping at the Main Jail building and IRC is generally limited to the front entrance with no significant issues noted.

At the Honor Farm, a small allowance has been included for weed abatement at the north hill near the Honor Farm; however, no other recommendations are included at this time due to the drought conditions.

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F. EARTHWORK/GRADING/EROSION CONTROL

Condition: At the Honor Farm and Main Jail the property is adjacent to a large hill sloping towards the property. At the perimeter fence, piles of loose dirt and groundcover were noted at the base of the fence/top of the retaining wall. It appears some slope slippage has occurred and according to facility management, storm water runoff from the hillside is a regular maintenance issue. A concern is raised that during a heavy volume rain or other natural causes, a large amount of runoff may cause more and larger slope and slippage which will damage the fence and cause a security issue.

To address the issue, an allowance has been provided for a civil engineering consulting study and initial repairs within the term, to determine how to mitigate or address the runoff and stability of the hillside. Further repair costs may be required based on the results of the engineering study.

G. RETAINING WALLS

Condition: At the Honor Farm and Main Jail the property is adjacent to a large hill and a small retaining wall is provided. At the base of the retaining wall, storm drainage holes appeared to be full of runoff debris, and in some cases had been partially blocked by the finish paving surface. The drains should be cleared and maintained within the term.

H. FENCING

Condition: Several areas of chain-link security fencing were noted throughout the property which were in need of repairs. These should be addressed within the term of this study. These areas include, but are not limited to, the north retaining wall and Honor Farm, the Northwest Building/Main gate, the IRC gate, and the IRC bus gate. Additionally, a cost for gate operator replacement has been included within the term.

I. SIGNAGE

Condition: No significant issues were noted or reported.

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J. SITE AMENITIES

Condition: Outdoor amenities for inmates are generally limited to recreation yards. At the Honor Farm, several wood-framed shade structures are provided, and are in need of roof and termite damage repair.

At the Main Jail, a large recreation yard is provided with sparse amenities, including basketball hoops. No significant issues were noted or reported, and minor upkeep and repairs are reportedly handled by the maintenance staff.

At the Northwest Building, small enclosed recreation yards are provided at the cell blocks. The yards are served by small area drains that were noted to have minor damage or clogging, and should be addressed within the term.

K. TRASH ENCLOSURES

Condition: Trash at the facility is collected for disposal at the West Dock of the Main Jail. No significant issues were noted or reported.

VIII. STRUCTURE

A. FOUNDATION SYSTEM

Condition: The Honor Farm perimeter edges have spalling and popping due to reactive concrete aggregate, which expands in contact with moisture. Spalled areas should be patched and a protective sealant should be applied at exposed surfaces and up to 6" below the grade level.

No significant issues were noted or reported with the remaining buildings.

B. VERTICAL LOAD-RESISTING SYSTEM

Condition: The Honor Farm roof sheathing has water damage and dry rot at various locations, which will need replacement during re-roofing operations.

The Main Jail and IRC have cracks in various locations of the concrete structural slabs, which need maintenance and repair.

C. LATERAL LOAD RESISTING SYSTEM

Condition: No significant issues were noted or reported.

IX. ENVELOPE AND EXTERIOR

A. ROOFING

Condition:

The Honor Farm roofing system overall is in poor condition. The roof has exceeded its useful life and should be replaced at the beginning of the term of this study. Areas of exposed roofing were observed with cracking and fraying of the roof membrane with little to no gravel coverage in some areas. It was reported by the facilities manager that the roofs in Wings A and B of the building were replaced in 2007. The Wing C roof below the solar hot water system has moisture damaged wood substrate below the roofing system and needs immediate repairs. Repair roof patching was observed between the game room section and latrine section at the main roof. A leak has been reported at this patched area and requires immediate repairs. The center guard booth tower section was observed to have wood siding above the roof and wood infill panels installed over previous window openings. The wood infill panels are moisture damaged and need to be replaced. Sealants at the roof flashings and terminations are failing and cracked and need immediate replacement. The roof gutters were observed to be full of leaves and debris and a budget for annual roof maintenance should be provided.

The Northwest Building roofing system is generally in poor condition. The roof has exceeded its useful life and should be replaced at the beginning of the term. It was reported by the facilities manager that the roof is approximately 25 years old and has experienced occasional minor leaks. Areas of exposed roofing were observed with ridging and raised edges of the roof membrane with little to no gravel coverage in some areas. Where the roofing membrane turns up the parapet wall alligating and cracking is observed. The mechanical unit platform flashing roof flashing had gaps and pipe penetrations were observed with cracked boot type flashings and should be repaired immediately. The roof walk pads are cracked and deteriorated.

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A. ROOFING (cont.)

Condition (cont.): Stucco cracks were observed at the main roof parapet walls and should be painted with an elastomeric paint. The sheet metal parapet cap sealant is cracked at the joints and should be removed and replaced. Loose Plexiglas sheets, racquetballs, and wood sleepers were observed on the roof and should be removed as part of the budget for annual roof maintenance. Minor localized areas of cracked clay roof tiles should be replaced. An annual budget should be provided for annual roof maintenance.

The Main Jail building roofing system is generally in poor condition. The roof has exceeded its useful life and should be replaced at the beginning of the mid-term if repairs are completed. It was reported by the facilities manager that the roof is approximately 23 years old and has no roof leaks. Areas of exposed roofing were observed with cracking and fraying of the roof membrane with little to no gravel coverage in some areas. The solar hot water system and mechanical equipment pitch pocket-type roof penetrations have cracked sealants and the steel is deteriorating. The roof penetrations should be repaired immediately. The wood sleepers for piping support are deteriorated, missing, and not properly supporting pipes. At the 911 emergency conduits, the deteriorated sleepers have contributed to the broken conduits and should be replaced immediately. The 911 emergency conduits and wiring will need to be replaced and relocated possibly along the parapet walls to be able to perform the roofing replacement. Stucco cracks were observed at the main roof parapet walls and should be painted with an elastomeric paint. Minor localized areas of cracked clay roof tiles should be replaced. The roof drains were observed to be blocked with leaves and debris and a budget for annual roof maintenance should be provided.

The IRC building roofing system is generally in poor condition. The roof has exceeded its useful life and should be replaced at the beginning of the term. It was reported by the facilities manager that the roof is approximately 20 years old and has had experienced occasional minor leaks. Areas of exposed roofing were observed with cracking and fraying of the roof membrane with little to no gravel coverage in some areas.

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A. ROOFING (cont.)

Condition (cont.): The roof membrane seams are visibly transferring throughout the gravel surfacing. Where the roofing membrane turns up the parapet wall alligating, cracking, and separation of the seams is observed.

A large hole through the stucco parapet wall was observed and several other openings in the roof penetrations that should be repaired immediately. Stucco cracks were observed at the main roof parapet walls and should be painted with an elastomeric paint. The sheet metal parapet cap sealant installed at the joints should be removed and replaced in the midterm. Minor localized areas of cracked clay roof tiles should be replaced. The roof drain covers were not secured in localized areas and an annual budget should be provided for annual roof maintenance.

B. EXTERIOR WALLS

Condition: The Honor Farm has numerous areas where fascia's and soffits have significant dry rot needing replacement. The exterior needs repainting, it is stained from dirt splash and the paint is peeling in numerous locations. Exterior concrete block (CMU) has numerous cracks needing repair and filling prior to painting.

The Northwest Building exterior walls need repainting. The paint is oxidized and peeling. The CMU has numerous cracks reading through the plaster surfacing which is spalled in some areas, these will need repair and filling prior to painting the exterior. One exterior single security window is broken and needs replacement. Exterior concrete door canopies and roof slab reentrant corners have cracking that needs epoxy repair.

The Main Jail building exterior walls need repainting. The paint is oxidized and peeling. The CMU has numerous cracks at exposed surfaces and reading through plaster surfacing, these will need repair and filling prior to painting the exterior. Exterior concrete door canopies and roof slab reentrant corners have cracking that needs epoxy repair. At the main exercise yard side entry door there is cracking on the concrete column and the CMU wall pier that will need epoxy repair.

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B. EXTERIOR WALLS *(cont.)*

Condition *(cont.)*: The exterior of the south entry, women's section walls had one area that looked like a window or door opening was infilled with metal studs and plaster.

The metal is rusting, the plaster is deteriorating and drywall tape is separating. These infill areas need to be replaced with CMU. Other CMU walls have numerous cracks at exposed surfaces and reading through plaster surfacing, these will need repair and filling prior to painting the exterior.

The IRC building exterior walls need repainting. The paint is oxidized and peeling. The metal screeds of the architectural plaster are rusting and will need to be replaced. The concrete exterior yard walls have numerous large cracks at interfaces with the main building, these will need epoxy repair and filling prior to painting the exterior. Exterior concrete door canopies and roof slab reentrant corners have cracking that needs epoxy repair.

C. THERMAL INSULATION

Condition: No significant issues were noted or reported.

D. WINDOWS

Condition: The Honor Farm windows are from the original construction, they have exceeded their useful life, and are generally in poor condition. The glazing sealants and gasketing was observed to be deteriorated and cracked at the operable windows. The majority of windows are a steel operable window with a combination of painted glazing, security screens, and some boarded closed. It was reported by the facilities manager that the windows in section A of the building were replaced in 2011 with smaller, fixed windows. The windows at section A are in good condition and will last through the term.

The Northwest Building narrow vertical steel windows are generally in good condition. One window was observed to be penetrated and requires immediate replacement.

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D. WINDOWS (cont.)

Condition (cont.): The Main Jail building glass block windows and aluminum windows are generally in good condition. One glass block window was observed to be cracked and should be repaired in the beginning of the term.

The IRC building steel windows are generally in good condition and no significant issues were noted or reported.

E. EXTERIOR DOORS/FRAMES

Condition: The Honor Farm exterior doors and frames are in poor condition and should be replaced throughout the term. The doors and frames showed signs of corrosion and have exceeded their useful life. Weather stripping was observed to be torn or missing and door hardware appears to be from the original construction.

The Northwest Building steel doors, steel frames, and roll up doors are in good condition. The steel door (N300) located at the roof access was observed to have corrosion, damaged weather-stripping, a broken door closer, and should be replaced in the beginning of the term.

The Main Jail building steel doors and frames are generally in good condition. The wood door located at the roof access was observed to be in poor condition and should be replaced in the beginning of the term.

The IRC building steel doors and frames are generally in average condition and no significant issues were noted or reported.

F. EXTERIOR SOFFITS AND TRIM

Condition: The Honor Farm wood soffits, fascia, and trim has localized moisture damage and should be replaced.

The Northwest Building has no significant issues that were noted or reported.

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F. EXTERIOR SOFFITS AND TRIM *(cont.)*

Condition *(cont.)*: The Main Jail building has no significant issues that were noted or reported.

The IRC building has no significant issues that were noted or reported.

G. EXTERIOR LANDINGS, STAIRS, AND RAILINGS

Condition: A cost has been included for minor concrete repairs at the west dock of the Main Jail.

No significant issues were noted or reported with the remaining buildings.

X. INTERIOR IMPROVEMENTS

A. INTERIOR WALLS

Condition: No significant issues were noted or reported at the various buildings. A cost has been included for repainting at all four buildings.

B. INTERIOR DOORS/FRAMES

Condition: No significant issues were noted at the staff offices and areas. However, several large-magnitude cost items should be completed within the term at all four buildings.

Prior to the Marx|Okubo survey, facility management had previously received quotes from and contracted with Southern Folger to replace sliding door operators and control panels in the Main Jail and the Northwest Building. A portion of the work had been recently completed at the time of the site visit. The existing work proposals, in the amounts of \$530,325 and \$335,200, address approximately 30% of the sliding door operators and control panels for the cells at the Main Jail and Northwest Building. The scope of work was reportedly identified based on the existing condition in a collaboration between facility management and the hardware vendor. These costs have been included as-is, to reflect the remaining scope of work.

Additionally, a cost has been provided for anticipated replacement of the balance of the sliding door operators and control panels. Also, cost has been provided for the anticipated replacement of all swing door hardware, which includes manual pass through hardware, an electromagnetic strike hardware, and manual hardware for the pipe chase closets adjacent to the cells.

To support the hardware replacements and upgrades and to ease facility maintenance and improve facility security, an allowance has been included to develop a master door and hardware schedule.

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B. INTERIOR DOORS/FRAMES (cont.)

Condition (cont.): A master schedule for the entire facility does not currently exist, as the campus was built over several decades. The schedule is likely to be a collaboration between facility management, the vendor, and an architectural consultant, and the cost is based on estimated billable time. The intent is to provide a master inventory of all doors, door types, relevant dimensions, door hardware, and glazing panels, to assist in tracking and maintaining the facility. The schedule may also identify areas where various types of hardware may be consolidated to a single manufacturer or hardware set, and simplify the master keying process.

C. CEILINGS

Condition: Repainting of the ceilings should be completed within the term.

D. FLOORS

Condition: No significant issues were noted or reported. Consideration should be given for a future remodel of the office areas on an as-needed basis; however, a cost has not been included.

At the inmate facility buildings, the floors are generally cast-in-place concrete, and are either unfinished or painted. The painted floors have been included in the area tabulations for interior repainting; however, the floors should be repainted on an as-needed basis as determined by facility management. As an alternate approach the floors would be left unpainted to reduce maintenance costs.

E. ACOUSTIC INSULATION

Condition: No significant issues were noted or reported. Interior wall insulation was not visible for observation.

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F. BATHROOMS

Condition: At the Honor Farm large multi-occupant shower rooms are provided for the men's and women's areas.

Several areas of damaged ceramic tiles were noted, and a cost has been provided for re-tiling the restrooms. Additional information regarding the fixtures is discussed in the plumbing section of this report.

At the Northwest Building, shower facilities are generally small single occupant showers with damaged ceramic tiles noted. A cost has been provided for retiling the shower rooms. Additional information regarding the fixtures is discussed in the plumbing section of this report.

At the Main Jail and IRC, shower facilities are generally small multi- or single-occupant shower areas. No significant issues were noted or reported with the finishes however additional information regarding the fixtures is discussed in the plumbing section of this report.

G. KITCHENS

Condition: A large commercial kitchen is provided at the Main Jail, which generally serves the correctional facility staff, and no significant issues were noted or reported. The inmate meals are reportedly prepared off site, and dishware and silverware are reportedly disposable.

H. INTERIOR STAIRS

Condition: No significant issues were noted or reported. The stairs at all four buildings should be repainted in conjunction with repainting interior areas.

I. WINDOW COVERINGS

Condition: No significant issues were noted or reported. Window coverings are not generally provided at the inmate facilities. Window blinds are provided at some staff office spaces.

XI. MECHANICAL/ELECTRICAL

A. HEATING, VENTILATION, AND AIR CONDITIONING

Condition: The heating furnaces at the Honor Farm are beyond their expected service life and should be replaced over the term. Some furnaces have failed in the past and been removed. Replacing the furnaces with package air conditioning units should be considered. The air conditioning units that serves the rotunda, game room and visiting area and the air conditioning unit serving the women's wing break room are currently not working and should be replaced. The exhaust ventilation at the men's and women's rest room areas is not working and should be replaced.

The split-system units that serve the Northwest Building should expect to have compressor replacements later in the term. Replacement of the package air conditioning unit RTU-3 should be anticipated near the middle of the term due to age and expected service life. The roof-mounted exhaust fans that serve the vertical stack at each cell have been failing and should be replaced early in the term.

Heating coil at the rooftop air-handling units that serve the Main Jail are in fair to poor condition and replacement should be anticipated. The split system air conditioning units that serve the microwave area and dining area have reach there expected useful life and replacement should be anticipated early in the term. The package unit that served the dining area and the northeast side have reached their expected service life and should be replaced early in the term. The condenser units used for refrigeration at the kitchen area of the Main Jail are in poor condition and should be replaced over the term. The exhaust ventilation the serves the Main Jail is in poor condition and replacement should be anticipated.

The air conditioning units that serve the IRC are all expected to be over 20 years old and should be anticipated for replacement.

The life expectancy of rooftop equipment in the Santa Barbara area is seven to ten years which requires that some of the equipment replaced early in the term will need to be replaced later in the term.

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B. PLUMBING

Condition:

The main lateral waste line at the Honor Farm are in poor condition due to excessive corrosion and pipe failures but were not replaced at the same time as the Main Jail. Replacement of the waste line outside and under the building should be anticipated.

The gas-fired boilers that serve the men's restroom portion at the Honor Farm are in poor condition and should be replaced early in the term. The boiler in the women's portion is approximately 20 years old and should be replaced near the middle of the term. The mixing valves and shower head at the Honor Farm should be replaced over time due to current condition and expected service life. Replacement of faucets at the Honor Farm will be required over the term. The solar-powered hot water system on the roof of the Honor Farm and the Main Jail is not operational and should be repaired, replaced or removed before roof repairs are performed. The cost summary in this report includes the cost to remove the systems.

The domestic hot water tanks at the Northwest Building and Main Jail buildings should be replaced in the near term. The plumbing waste lines at the Northwest Building and Main Jail will need to be replaced early in the term due to excessive corrosion and pipe failures. The shower facilities at both the Northwest and Main Jail have been failing due to leaks caused by corrosion and wear. Ongoing replacement of all of the showers is recommended; however, to date only a small portion of the showers have been completed due to the need to vacate portions of the facility for a period of time to complete the work. A camera survey of the IRC waste lines is recommended to assess the condition of these lines. It is anticipated that waste line repair and maintenance is will needed during the term. An allowance for repairs has been included in the cost table.

The domestic hot water boilers at the IRC should be replaced early in the term. The boilers are not properly vented which has resulted in soot deposits on the wood structure and metal roof. This condition should be corrected in the near term.

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C. ELECTRICAL

Condition: At all buildings, old wiring was not removed and new wiring was not all properly marked during the up-grading of the security control system. An allowance for electrical labor has been provided to correct these conditions to help ensure proper operation and make trouble shooting and repairs easier when needed.

Exterior lighting was replaced with more efficient, longer-lived LED lighting except at the Honor Farm, and the existing fixtures at the Honor Farm should be replaced. This can be done with in-house labor.

In addition, some dark areas around the other buildings have been identified and approximately ten additional fixtures should be installed to eliminate these.

Proper maintenance of the electrical systems requires periodic shut-downs of the system or parts of the system. This work helps to improve the reliability of the system and reduce the chances for un-planned outages. This work includes operating emergency generators under load and work on the main switchboards. The facility staff and the Sherriff's Department have had difficulty coordinating schedules and operations as necessary to complete this work. No costs are included for this item as it would be considered part of normal operations.

The main jail generator is original and in poor condition. It has failed to operate on several occasions and will run only with constant oversight, and necessary repair parts are not available. Replacement of this generator should be completed immediately.

D. LIFE SAFETY SYSTEMS

Condition: The California State Fire Marshal requires the certification of all fire sprinkler systems every five years. Tags were noted on the risers at the buildings provided with fire sprinklers indicating that this had last been done within the past five years.

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D. LIFE SAFETY SYSTEMS *(cont.)*

Condition *(cont.)*: California State Fire Marshal regulations and NFPA 25 requires that fire sprinkler heads be replaced when they are 50 years old. The original heads at the Main Jail will reach this age during the term, and their replacement should be anticipated. As an alternative, a "representative sample" of the heads can be removed and laboratory tested to see if they operate properly. If any head fails to operate, then the heads would have to be replaced, otherwise replacement can be deferred for ten years by code.

XII. BUILDING EQUIPMENT

A. VERTICAL TRANSPORTATION

Condition: The elevators for the Main Jail were modernized in approximately 2003 and appear to be in good operating condition with limited use.

The elevator for the Northwest Building is in fair operating condition with a complete modernization anticipated during the term.

B. COMMUNICATION SYSTEMS

Condition: No significant issues were noted or reported.

XIV. DEFICIENCIES AND RECOMMENDATIONS

Recommendations for remedial work addressing all significant building deficiencies are included in this section. Recommendations are divided into *Immediate Work Items* and *Capital Work Items*.

Immediate Work Items: Include items that correct all safety and life threatening building and/or fire code violations; and items that, if left unrepaired over the next year, would result in serious damage to the building or its contents. These items should be undertaken on a priority basis taking precedence over routine preventive maintenance work.

Capital Work Items: Include items that are customarily repaired or replaced over several years due to economic considerations (e.g. paving, roofs, appliances), items which are currently in acceptable condition but will reach or exceed their useful economic service life during the term, and items that are periodic in nature but not considered normal maintenance (e.g. pavement seal coating, painting). Also included are all significant energy-saving or operational improvements. These estimates are generally based on industry-accepted life spans for these systems unless there are mitigating circumstances.

SANTA BARBARA COUNTY DETENTION CENTER - HONOR FARM
Santa Barbara, California

DEFERRED MAINTENANCE AND OPINION OF PROBABLE COSTS

Description	Immediate	Years 1-3	Years 4-6	Years 7-10	Comments
SITE					
Honor Farm: Provide a fiber seal coating at the parking lot.	54,000				Based on the previous estimate for the Main Jail parking lot from vendor.
Honor Farm: Address differential settlement and gaps at the sidewalks in the recreation yards.	3,500				Cracking concrete and differential settlement was noted at several locations in the recreation yards and sidewalks.
Honor Farm: Repair fencing.	2,000				Fencing along the north wall was noted to be damaged by erosion runoff from the adjacent hillside.
Honor Farm: Repair, replace, and treat termite damaged wood at the shelter between Wings B and C.	3,000				Allowance for materials and labor, including heavy timber structural posts and beams.
Honor Farm: Repair sagging roof at the shelter between Wings B and C.	3,000				Allowance for materials and labor.
Honor Farm: Overlay at asphalt areas in the non-parking areas.	50,000			50,000	Asphalt throughout the Honor Farm area was raveled and in poor condition.
Honor Farm: Allowance for weed abatement throughout the site and at the hill to the north.	5,000				Allowance for labor. Alternate labor options, such as inmate labor, or vendor quotes may supersede this estimate.
Honor Farm: Allowance for civil engineering study on the slope and runoff at the hill to the east.	110,000				Indications of water runoff and soil slippage were noted at the hill to the east. Further investigation is recommended by a civil engineer.
Honor Farm: Paint miscellaneous metals throughout the site and recreation yards.	500		500		Exterior metal finishes include unpainted galvanized and painted surfaces. Painting scope is generally limited to enclosures, handrails, and gates, as necessary. Alternate labor options, such as inmate labor, or vendor quotes may supersede this estimate.
Site - Subtotal	\$231,000	\$0	\$500	\$50,000	

SANTA BARBARA COUNTY DETENTION CENTER - HONOR FARM
Santa Barbara, California

Description	Immediate	Years 1-3	Years 4-6	Years 7-10	Comments
STRUCTURE					
Honor Farm: Reactive concrete aggregate patch and seal.		60,000			
Honor Farm: Epoxy cracks in perimeter masonry walls.		12,000			
Structure - Subtotal	\$0	\$72,000	\$0	\$0	
ENVELOPE AND EXTERIOR					
Honor Farm: Roof replacement.	75,840	82,160			
Honor Farm: Annual roof maintenance.		4,600	4,600	6,120	
Honor Farm: Window replacement.	110,000				
Honor Farm: Wood roof sheathing replacement.	5,000				
Honor Farm: Immediate roof repairs and patch roof at the new sheathing.	3,200				
Honor Farm: Replace plywood infill panels at the guard booth tower above the roof.		1,000			
Honor Farm: Replacement of the fascia's and soffits.		30,000			
Honor Farm: Exterior hollow metal doors and hollow-metal frames.		30,800			
Honor Farm: Replacement of the exterior door hardware.		22,000			Weatherstripping, closers, lockset, lever handle, and threshold.
Honor Farm: Caulking and sealants.	2,000				
Honor Farm: Exterior painting.		42,000	42,000		Includes patching of the exterior CMU wall cracks.
Envelope and Exterior - Subtotal	\$196,040	\$212,560	\$46,600	\$6,120	
INTERIOR IMPROVEMENTS					
General (for all buildings): Allowance to create a master hardware schedule for all the doors in the facility.	5,000				Anticipated to be done in conjunction with a consulting architect, door hardware vendor, and input from facility staff. (The cost has been equally divided at 25% per building for the purposes of this tabulation).
Honor Farm: Annual allowance for proactive door hardware replacement.		6,000	6,000	6,000	Estimate for annual replacement of the door hardware.
Honor Farm: Repaint interior areas.	31,500		31,500		Labor estimated based on one full time painter and two inmate assistants, per information from the facilities management.
Honor Farm: Re-tile the community showers in the men's and women's wings.	56,000			56,000	Existing ceramic tile flooring receives regular heavy use, and was noted to be cracked at several locations.
Interior Improvements - Subtotal	\$92,500	\$6,000	\$37,500	\$62,000	

SANTA BARBARA COUNTY DETENTION CENTER - HONOR FARM
Santa Barbara, California

Description	Immediate	Years 1-3	Years 4-6	Years 7-10	Comments
MECHANICAL/ELECTRICAL					
Honor Farm: Replace AC unit that serves the Rotunda, game room and visiting area.		15,000		15,000	The unit is currently not working. Expected life is seven to 10 years. Expect full replace near the end of the term.
Honor Farm: Replace Furnace unit that serve the A, B, C and womans wings.		43,500	14,500	29,000	Consideration should be given to replacing these units with gas-fired AC units. Expected life is seven to 10 years. Expect 50% replace near the end of the term.
Honor Farm: Repair/Replace exhaust ventilation in men's and women's restroom areas.		2,500			Units are not currently working.
Honor Farm: Replace lateral waste lines inside and under the honor farm.		200,000			Based on results of previously performed camera inspection.
Honor Farm: Replace mixing valves and shower heads at men's and women's showers.		4,200	2,800		
Honor Farm: Replace faucets at men's and women's restrooms.		3,000	2,000		
Honor Farm: Replace gas-fired hot water boilers serving men's restroom area.		40,000			
Honor Farm: Replace gas-fired hot water boilers serving men's restroom area.		14,000			
Honor Farm: Remove solar hot water system and associated piping.		3,500			
Honor Farm: Replace exterior lighting with LED fixtures for improved light and efficiency.		8,000			The work can be done by the on-site staff.
Honor Farm: Electrical labor to identify and remove unused wiring related to the security system upgrade to allow better trouble-shooting.		10,000			
Honor Farm: Complete electrical preventive maintenance services on the main switchboards, with general electrical testing, and upgrades.		18,000	18,000	24,000	
Honor Farm: Re-marking electrical distribution panels.		10,000			
Mechanical/Electrical - Subtotal	\$0	\$371,700	\$37,300	\$68,000	
BUILDING EQUIPMENT					
No significant issues were noted.					
Building Equipment - Subtotal	\$0	\$0	\$0	\$0	
CODE REVIEW					
No significant issues were noted.					
Code Review - Subtotal	\$0	\$0	\$0	\$0	
TOTAL	\$519,540	\$662,260	\$121,900	\$186,120	

SANTA BARBARA COUNTY DETENTION CENTER - NORTHWEST BUILDING
Santa Barbara, California

DEFERRED MAINTENANCE AND OPINION OF PROBABLE COSTS

Description	Immediate	Years 1-3	Years 4-6	Years 7-10	Comments
SITE					
Northwest Building: Replace gate operator at the northwest gate.	5,000			5,000	Cost per historical information provided by facilities management.
Northwest Building: Replace drain covers at the northwest maintenance yard.	400				Drain covers were noted to be missing.
Northwest Building: Patch asphalt at the northwest yard, adjacent to the fence.	1,600				
Northwest Building: Address gap at the northwest gate.	1,500				Allowance for labor and materials.
Northwest Building: Paint miscellaneous metals throughout the Northwest Building maintenance yard and recreation yards.	2,000		2,000	2,000	
Site - Subtotal	\$10,500	\$0	\$2,000	\$7,000	
STRUCTURE					
Northwest Building: Epoxy exterior concrete canopies and roof deck cracking at the reentrant corners.		7,500			
Structure - Subtotal	\$0	\$7,500	\$0	\$0	
ENVELOPE AND EXTERIOR					
Northwest Building: Roof replacement.		200,000			Cost does not include clay tile underlayment or concrete "eyebrow".
Northwest Building: Annual roof maintenance.		2,480	2,480	3,300	
Northwest Building: Roof tile replacement.		2,000			
Northwest Building: Roof parapet cap flashing sealant.		1,000		1,000	
Northwest Building: Immediate roof repairs.	5,000				Includes roof flashing penetrations and stucco patch at parapet.
Northwest Building: Paint backside of parapet stucco with elastomeric coating.		14,400	14,400		
Northwest Building: Exterior painting.			54,000	54,000	
Northwest Building: Exterior plaster patch and crack repair.			5,000		
Northwest Building: Window replacement.	3,000				
Northwest Building: Exterior HM doors and HM frames.		2,300			
Northwest Building: Exterior door hardware.		2,800			Weather stripping, closers, lockset, lever handle, and threshold.
Northwest Building: Replace wood stairs to access mechanical systems.		5,000			
Envelope and Exterior - Subtotal	\$8,000	\$229,980	\$75,880	\$58,300	

SANTA BARBARA COUNTY DETENTION CENTER - NORTHWEST BUILDING
Santa Barbara, California

Description	Immediate	Years 1-3	Years 4-6	Years 7-10	Comments
INTERIOR IMPROVEMENTS					
General (for all buildings): Allowance to create a master hardware schedule for all the doors in the facility.	5,000				Anticipated to be done in conjunction with a consulting architect, door hardware vendor, and input from facility staff. (The cost has been equally divided at 25% per building for the purposes of this tabulation).
Northwest Building: Annual allowance for the proactive swing door hardware replacement, including pass-through hardware, electromagnetic strikes, and pipe chase hardware.		187,050	149,640	99,760	Represents an annual allowance to address the swing door hardware not included in the existing Southern Folger proposals, based on a unit cost provided by the vendor. Estimated replacement of 10% per year.
Northwest Building: Replacement of the sliding door operators and sliding door control panels at the BC Tank in the Northwest Building.	177,000				This estimate is per the Southern Folger estimate for the main jail at the Northwest Building, dated March 26, 2015. The proposal includes sliding door operators, including the associated conductors, show drawings, and installation labor. The total for both buildings is \$530,325, and the approximate total for the Northwest Building has been separated and
Northwest Building: Repaint interior areas.	135,000		135,000	135,000	
Northwest Building: Retile the community showers in Blocks A, B, C, and D.		30,000			
Interior Improvements - Subtotal	\$317,000	\$217,050	\$284,640	\$234,760	
MECHANICAL/ELECTRICAL					
Northwest Building: Replace roof-mounted exhaust ventilation fans.		14,060	4,700		
Northwest Building: Replace domestic hot water storage tank.		5,000			
Northwest Building: Repair/replace plumbing at cell showers.		126,000	42,000		
Northwest Building: Replace rooftop air-conditioning unit RTU-3.			12,000		
Northwest Building: Replace compressors for the rooftop split systems.		150,000	75,000	150,000	Expected life is seven to 10 years. Expect 50% replace near the end of the term.

SANTA BARBARA COUNTY DETENTION CENTER - NORTHWEST BUILDING
Santa Barbara, California

Description	Immediate	Years 1-3	Years 4-6	Years 7-10	Comments
Northwest Building: Repair/replace lateral waste lines under the jail.		400,000			Based on results of previously performed camera inspection.
Mechanical/Electrical - Subtotal	\$0	\$695,060	\$133,700	\$150,000	

SANTA BARBARA COUNTY DETENTION CENTER - NORTHWEST BUILDING
Santa Barbara, California

Description	Immediate	Years 1-3	Years 4-6	Years 7-10	Comments
BUILDING EQUIPMENT					
Northwest Building: Complete electrical preventive maintenance services on the main switchboards, with general electrical testing and upgrades.		18,000	18,000	24,000	
Northwest Building: Complete modernization of the elevator.			175,000		
Northwest Building: Electrical labor to identify and remove unused wiring related to security system upgrade to allow better trouble shooting.		20,000			
Building Equipment - Subtotal	\$0	\$38,000	\$193,000	\$24,000	
CODE REVIEW					
No significant issues were noted.					
Code Review - Subtotal	\$0	\$0	\$0	\$0	
TOTAL	\$335,500	\$1,187,589	\$689,220	\$474,060	

SANTA BARBARA COUNTY DETENTION CENTER - MAIN JAIL BUILDING
Santa Barbara, California

DEFERRED MAINTENANCE AND OPINION OF PROBABLE COSTS

Description	Immediate	Years 1-3	Years 4-6	Years 7-10	Comments
SITE					
Main Jail: Mill and overlay asphalt.	328,000				Existing asphalt is severely cracked, alligatored, and potholed.
Main Jail: Repair gate damage at the IRC bus gate.	500				
Main Jail: Replace gate operator at the IRC bus gate.	5,000				Per information received from facility management.
Main Jail: Replace sump pump at the IRC bus yard.	7,500				
Main Jail: Maintain and clean out retaining wall drains along the north hill.	500	1,500	1,500	2,000	
Main Jail: Paint miscellaneous metals throughout the lot and recreation yards.	1,800				
Main Jail: Miscellaneous concrete repairs at the west dock.	2,000				Includes repairs to the elevated dock and exterior concrete stairs.
Main Jail: Maintain the new fiber seal asphalt coating at the parking lot.		6,000	6,000	8,000	Installed this year. Estimated annual maintenance and patching
Main Jail: Allowance to remove the ceramic tile and provide colored concrete at the entrance.	10,000				
Main Jail: Allowance to remove and reconstruct the site stair with code-compliant layout and handrails.	30,000				ROM cost includes demolition, design, permitting, and construction of new stairs, ramp, and handrails.
Site - Subtotal	\$385,300	\$7,500	\$7,500	\$10,000	
STRUCTURE					
Main Jail: Epoxy exterior concrete canopies and roof deck cracking at reentrant corners.		21,000			
Main Jail: Epoxy and patch interior concrete tunnel spalling and cracking.		3,500			
Main Jail: Epoxy interior concrete waffle and flat slab cracking.		15,000			
Structure - Subtotal	\$0	\$39,500	\$0	\$0	
ENVELOPE AND EXTERIOR					
Main Jail: Roof replacement.		542,500			Cost does not include clay tile underlayment but does include sealing of concrete "eyebrows"
Main Jail: Annual roof maintenance.		10,500	10,500	14,000	
Main Jail: Roof tile replacement.	800				
Main Jail: 911 cable relocation and replacement during roofing replacement.		200,000			
Main Jail: Immediate roof repairs.	5,000				
Main Jail: Replace sleepers and stabilize conduits on roof.	3,000				
Main Jail: Paint backside of parapet stucco with elastomeric coating.		45,000	45,000		
Main Jail: Glass block window repair.	800				
Main Jail: Replace exterior hollow metal doors and hollow metal frames.		2,300			

SANTA BARBARA COUNTY DETENTION CENTER - MAIN JAIL BUILDING
Santa Barbara, California

Description	Immediate	Years 1-3	Years 4-6	Years 7-10	Comments
Main Jail: Exterior door hardware.		2,800			Weather stripping, closers, lockset, replace orbital knobs, and thresholds.
Main Jail: Exterior plaster opening metal stud infill removal and replacement with CMU at woman's section walls.		10,000			Includes demo, new CMU wall, and finishes.
Main Jail: Exterior painting.		75,000	75,000		
Main Jail: Interior tunnel painting.		6,750	6,750		
Main Jail: Exterior plaster patch and crack repair.		5,000			
Envelope and Exterior - Subtotal	\$9,600	\$899,850	\$137,250	\$14,000	
INTERIOR IMPROVEMENTS					
General (for all buildings): Allowance to create a master hardware schedule for all the doors in the facility.					Anticipated to be done in conjunction with a consulting architect, door hardware vendor, and input from facility staff. (The cost has been equally divided at 25% per building for the purposes of this tabulation).
Main Jail: Replacement of the MRC sliding door control panels at the Main Jail.	335,200				This estimate is per the Southern Folger estimate for the main jail, dated March 26, 2015. The proposal includes sliding door control panels, including the associated conductors, show drawings, and installation labor.
Main Jail: Replacement of the additional sliding door operators and sliding door control panels at the East Tank and West Tank in the Main Jail.	353,330				This estimate is per the Southern Folger estimate for the main jail at the Northwest Building, dated March 26, 2015. The proposal includes sliding door operators, including the associated conductors, show drawings, and installation labor. The total for both buildings is \$530,325, and the approximate total for the Main Jail has been separated and included
Main Jail: Annual allowance for the proactive sliding door hardware replacement.					Represents an annual allowance to address the balance of the sliding door hardware not included in the existing Southern Folger proposals, based on a unit cost provided by the vendor. Estimated replacement of 10% per year.
		719,846	575,877	383,920	

SANTA BARBARA COUNTY DETENTION CENTER - MAIN JAIL BUILDING
Santa Barbara, California

Description	Immediate	Years 1-3	Years 4-6	Years 7-10	Comments
Main Jail: Annual allowance for the proactive swing door hardware replacement, including pass-through hardware, electromagnetic strikes, and pipe chase hardware.		565,500	452,400	301,600	Represents an annual allowance to address the swing door hardware not included in the existing Southern Folger proposals, based on a unit cost provided by the vendor. Estimated replacement of 10% per year.
Main Jail: Repaint interior areas.	210,000		210,000	210,000	
Interior Improvements - Subtotal	\$898,530	\$1,285,346	\$1,238,277	\$895,520	
MECHANICAL/ELECTRICAL					
Main Jail: Replace heating coils at the rooftop air-handling units.		62,500		31,250	Expected life is seven to 10 years. Expect 50% replace near the end of the term.
Main Jail: Replace exhaust ventilation.		12,500			
Main Jail: Replace domestic hot water storage tank.		50,000			
Main Jail: Replace condenser units that serve the Microwave and staff dining areas.		14,000		14,000	Expected life is seven to 10 years. Expect full replace near the end of the term.
Main Jail: Replace rooftop package units that serve the staff dining and Northeast areas.		37,500		37,500	Expected life is seven to 10 years. Expect full replace near the end of the term.
Main Jail Building: Repair/replace plumbing at cell showers.		735,000	245,000		
Main Jail Building: Repair/replace lateral waste lines under the jail.		600,000			Based on results of previously performed camera inspection.
Main Jail: Replace condenser units used for refrigeration units.		2,400	4,800		
Main Jail: Remove solar hot water system and associated piping.		17,500			Coordinate with the roof replacement.
Main Jail: Provide additional exterior lighting as needed to eliminate dark areas.					
Main Jail: Electrical labor to identify and remove unused wiring related to the security system upgrade to allow better trouble-shooting.		30,000			
Main Jail: Complete electrical preventive maintenance services on the main switchboards, with general electrical testing, and upgrades.		18,000	18,000	24,000	
Main Jail: Replacement of electrical generator.	350,000				
Main Jail: Replace the original fire sprinkler heads when they reach 50 years of age.		703,000			
Mechanical/Electrical - Subtotal	\$350,000	\$2,282,400	\$267,800	\$106,750	
BUILDING EQUIPMENT					
No significant issues were noted.					
Building Equipment - Subtotal	\$0	\$0	\$0	\$0	
CODE REVIEW					
No significant issues were noted.					

SANTA BARBARA COUNTY DETENTION CENTER - MAIN JAIL BUILDING
Santa Barbara, California

Description	Immediate	Years 1-3	Years 4-6	Years 7-10	Comments
Code Review - Subtotal	\$0	\$0	\$0	\$0	
TOTAL	\$1,643,430	\$4,514,596	\$1,650,827	\$1,026,270	

SANTA BARBARA COUNTY DETENTION CENTER - IRC BUILDING
Santa Barbara, California

DEFERRED MAINTENANCE AND OPINION OF PROBABLE COSTS

Description	Immediate	Years 1-3	Years 4-6	Years 7-10	Comments
SITE					
IRC: Fiber seal at the IRC porte cochere/back lot drop-off area.	3,500				Based on the previous estimate for the Main Jail parking lot from the vendor.
IRC: Fiber seal the IRC front/arrival parking lot.	45,000				Quote provided by facility management from Coastal Construction, dated August 3, 2015.
IRC: Paint miscellaneous metals throughout the lot.	800				
IRC: Paint curbs.	900				
Site - Subtotal	\$50,200	\$0	\$0	\$0	
STRUCTURE					
IRC: Epoxy exterior concrete canopies and roof deck cracking at reentrant corners.		17,500			
IRC: Epoxy of the concrete exterior yard walls with large cracks at the interfaces with the main building.		10,500			
Structure - Subtotal	\$0	\$28,000	\$0	\$0	
ENVELOPE AND EXTERIOR					
IRC: Roof replacement.		201,500			Cost does not include clay tile underlayment but does include sealing of concrete
IRC: Annual roof maintenance.		3,900	3,900	5,200	
IRC: Immediate roof repairs.	5,000				
IRC: Roof tile replacement.		800			
IRC: Roof parapet cap flashing sealant.		800		800	
IRC: Paint backside of parapet stucco with elastomeric coating.		16,800	16,800		
IRC: Exterior painting.		60,000	60,000		
IRC: Exterior plaster rusted metal screed		7,500			
Envelope and Exterior - Subtotal	\$5,000	\$291,300	\$80,700	\$6,000	
INTERIOR IMPROVEMENTS					
IRC: Repaint interior areas.	48,000		48,000	48,000	
IRC: Annual allowance for the proactive swing door hardware replacement, including pass-through hardware, electromagnetic strikes, and pipe chase hardware.					Represents an annual allowance to address the swing door hardware not included in the existing Southern Folger proposals, based on a unit cost provided by the vendor. Estimated replacement of 10% per year.
		421,950	337,560	225,040	

SANTA BARBARA COUNTY DETENTION CENTER - IRC BUILDING
Santa Barbara, California

Description	Immediate	Years 1-3	Years 4-6	Years 7-10	Comments
IRC: Annual allowance for the proactive sliding door hardware replacement.					Represents an annual allowance to address the balance of the sliding door hardware not included in the existing Southern Folger proposals, based on a unit cost provided by the vendor. Estimated replacement of 10% per year.
		40,369	32,296	21,530	
Interior Improvements - Subtotal	\$48,000	\$462,319	\$417,856	\$294,570	
MECHANICAL/ELECTRICAL					
IRC: Replace remaining original package HVAC units.					Expected life is seven to 10 years. Expect 50% replace near the end of the term.
		135,000	90,000	112,500	
IRC: Perform a camera inspection of the waste lines.					Maintenance and repair of waste lines is anticipated. Annual jetting is recommended.
	15,000				
IRC: An allowance to replace damaged waste lines determined from the camera inspection.					This allowance may need to be adjusted after the camera inspection has been evaluated.
		400,000			
IRC: Complete replacement of the domestic hot water boilers, storage tank. Re-pipe as needed.					
		36,000			
IRC: Replace insulation on exposed hot water piping on roof, including proper weather protective covering.					
		7,500			
IRC: Electrical labor to identify and remove unused wiring related to the security system upgrade to allow better trouble-shooting.					
		20,000			
IRC: Complete electrical preventive maintenance services on the main switchboards, with general electrical testing,					
		18,000	18,000	24,000	
Mechanical/Electrical - Subtotal	\$15,000	\$616,500	\$108,000	\$136,500	
BUILDING EQUIPMENT					
No significant issues were noted.					
Building Equipment - Subtotal	\$0	\$0	\$0	\$0	
CODE REVIEW					
No significant issues were noted.					
Code Review - Subtotal	\$0	\$0	\$0	\$0	
TOTAL	\$118,200	\$1,398,119	\$606,556	\$437,070	

SANTA BARBARA COUNTY DETENTION CENTER - SUMMARY

Santa Barbara, California

DEFERRED MAINTENANCE AND OPINION OF PROBABLE COSTS

Description	Immediate	Years 1-3	Years 4-6	Years 7-10	Comments
SITE					
Honor Farm	231,000		500	50,000	
North West Building	10,500		2,000	7,000	
Main Jail Building	385,300	7,500	7,500	10,000	
IRC Building	50,200				
Site - Subtotal	\$677,000	\$7,500	\$10,000	\$67,000	
STRUCTURE					
Honor Farm		72,000			
North West Building		7,500			
Main Jail Building		39,500			
IRC Building		28,000			
Structure - Subtotal	\$0	\$147,000	\$0	\$0	
ENVELOPE AND EXTERIOR					
Honor Farm	196,040	212,560	46,600	6,120	
North West Building	8,000	229,980	75,880	58,300	
Main Jail Building	9,600	899,850	137,250	14,000	
IRC Building	5,000	291,300	80,700	6,000	
Envelope and Exterior - Subtotal	\$218,640	\$1,633,690	\$340,430	\$84,420	
INTERIOR IMPROVEMENTS					
Honor Farm	92,500	6,000	37,500	62,000	
North West Building	317,000	217,050	284,640	234,760	
Main Jail Building	898,530	1,285,346	1,238,277	895,520	
IRC Building	48,000	462,319	417,856	294,570	
Interior Improvements - Subtotal	\$1,356,030	\$1,970,715	\$1,978,273	\$1,486,850	
MECHANICAL/ELECTRICAL					
Honor Farm		371,700	37,300	68,000	
North West Building		695,060	133,700	150,000	
Main Jail Building	350,000	2,282,400	267,800	106,750	
IRC Building	15,000	616,500	108,000	136,500	
Mechanical/Electrical - Subtotal	\$365,000	\$3,965,660	\$546,800	\$461,250	
BUILDING EQUIPMENT					
Honor Farm					
North West Building		38,000	193,000	24,000	
Main Jail Building					
IRC Building					
Building Equipment - Subtotal	\$0	\$38,000	\$193,000	\$24,000	
CODE REVIEW					
Honor Farm					
North West Building					
Main Jail Building					
IRC Building					
Code Review - Subtotal	\$0	\$0	\$0	\$0	
TOTAL	\$2,616,670	\$7,762,564	\$3,068,503	\$2,123,520	

SANTA BARBARA COUNTY DETENTION CENTER
Santa Barbara, California

XV. EXHIBITS

- A. VICINITY MAP**
- B. SITE PLAN**
- C. BUILDING FLOOR PLANS**
- D. PHOTOGRAPHS**

EXHIBIT A

VICINITY MAP

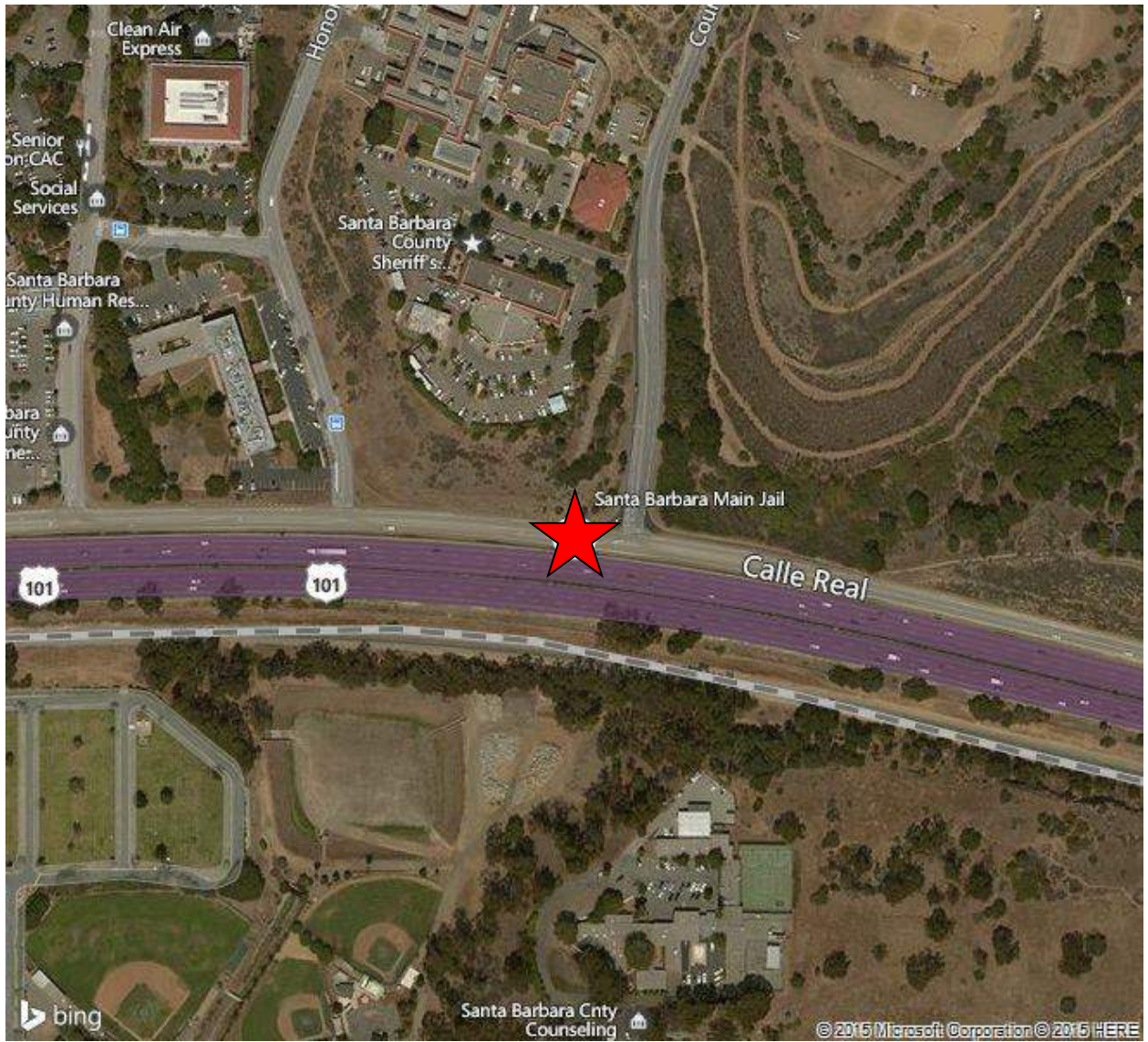
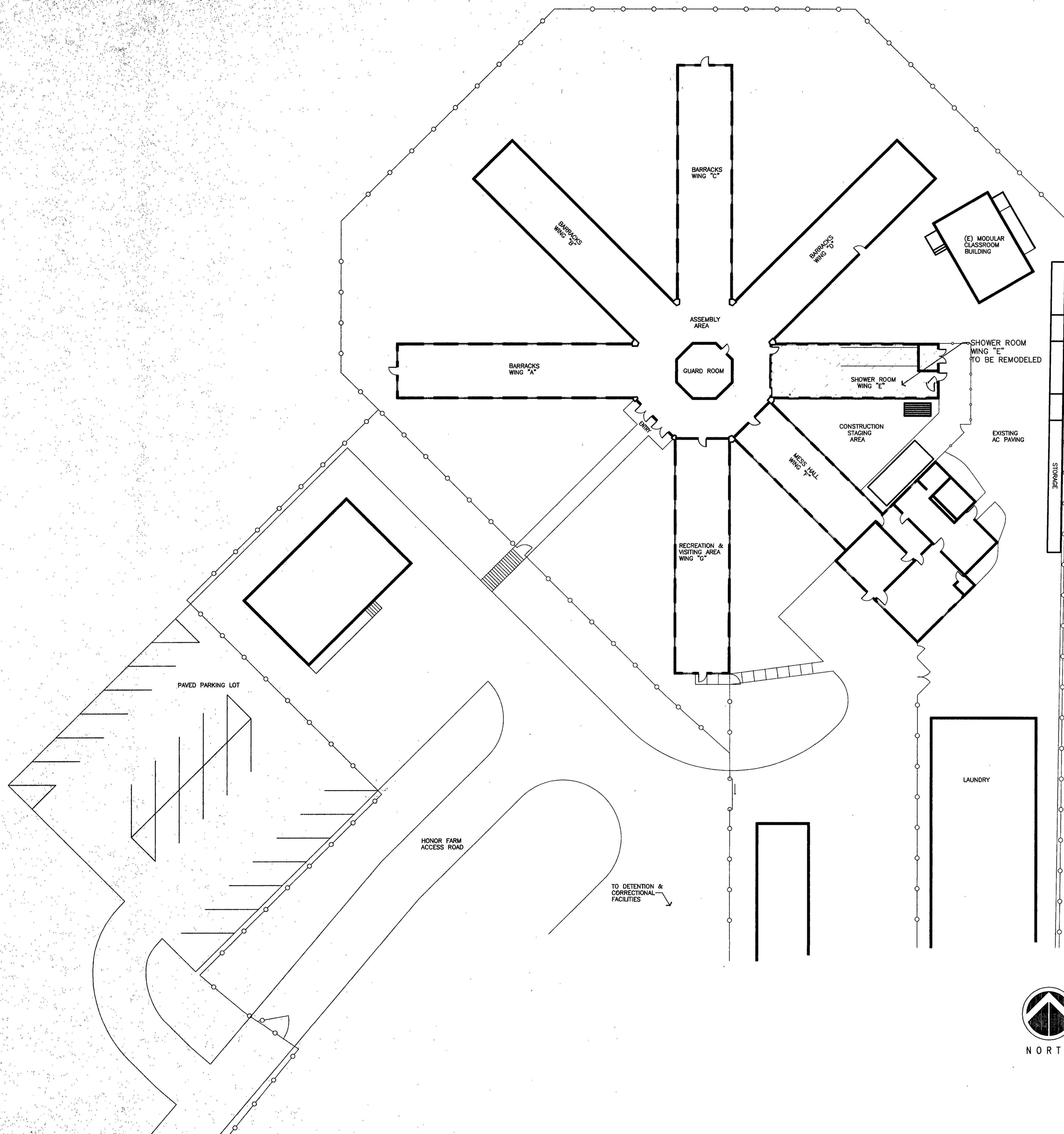


EXHIBIT B

EXHIBIT C



SITE PLAN

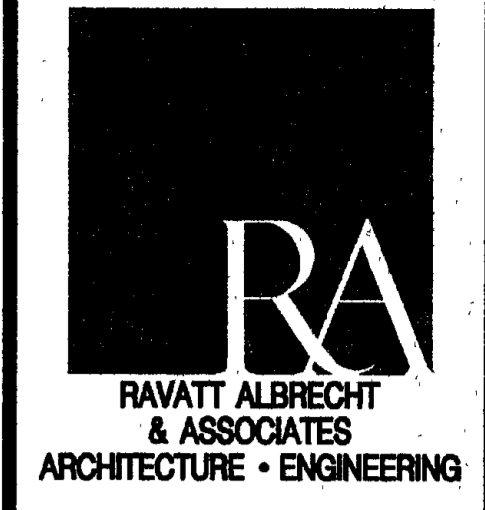
SCALE:
1" = 20'-0"

24
A050

SITE PLAN

SCALE:

14
A050



ARCHITECTURE
GREG RAVATT, AIA
MECHANICAL • ELECTRICAL
JIM ALBRECHT, PE
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SANTA MARIA, CA 93456
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REVISIONS
8/10/00 BOC SCHEM. DESIGN SUBMITTAL
09/11/00 REV. DO SUBMITTAL

SEAL

SCALE:

XX
XX

PROJECT
COUNTY HONOR FARM
REMODEL EXISTING
WASHROOM/SHOWER
WING E
SANTA BARBARA
COUNTY HONOR FARM
4456 CALLE REAL
SANTA BARBARA, CA 93105

SHEET TITLE

SITE PLAN

SCALE:

XX
XX

OWNER
COUNTY OF SANTA BARBARA
100 ANACAPA STREET
SANTA BARBARA, CA 93105

DATE: 09/10/00

TECHNICIAN: EJC

PROJECT MANAGER: PR

JOB NUMBER: RA # 152

SHEET NUMBER

A050

A050.DWG

DETENTION FURNISHINGS

TYPE	ITEM	MT. HT.	LOCATION	DETAIL No.
1	BUNK	-	(1) EA. CELL 101-108, 117-124, 129-136, 146-153, 201-208, 210-217, 219-226, 225-235.	5/A-9.1
2	DESK	2'-6"	SAME CELLS AS BUNKS.	2/A-9.1
3	STOOL	1'-6"	SAME CELLS AS BUNKS PLUS (1) EA. 138, 138A, 145, 145A, E52, E52A, E53, E53A, 171 PLUS (3) EA. 144, 144A. (STOOLS IN 104, 121, 138, 138A SHALL BE "SWING AWAY")	2/A-9.1
4	PERSONAL STORAGE SHELF	5'-4"	SAME CELLS AS BUNKS.	3/A-9.1
5	4 PLACE TABLE	-	(1) EA. 209, 218, 227, 236.	9/A-9.1
6	6 PLACE TABLE	-	(2) EA. 100, 125, 137, 154. DELETE (1) STOOL FROM (1) TABLE IN 100 AND 125 FOR HANDICAPPED.	9/A-9.1
7	COFFEE SHELF	3'-0"	(1) EA. 100, 125, 137, 154, E1	6/A-9.1
8	MODESTY SCREEN	-	(1) EA. 112, 113, 115, 116, 150, 161, 162.	13/A-4.1
9	BENCH	1'-6"	112, 113, 116, 160.	14/A-4.1
10	TV BRACKET	6'-8"	(1) EA. 100, 125, 137, 154, E1.	SEE SPEC.
11	BOOKSHELF	3'-0"	(1) EA. 100, 125, 137, 154, E1.	SEE SPEC.
12	GRAB BARS	-	(1) EA. GRAB BARS SBA-3 & SBA-4	SEE SPEC.

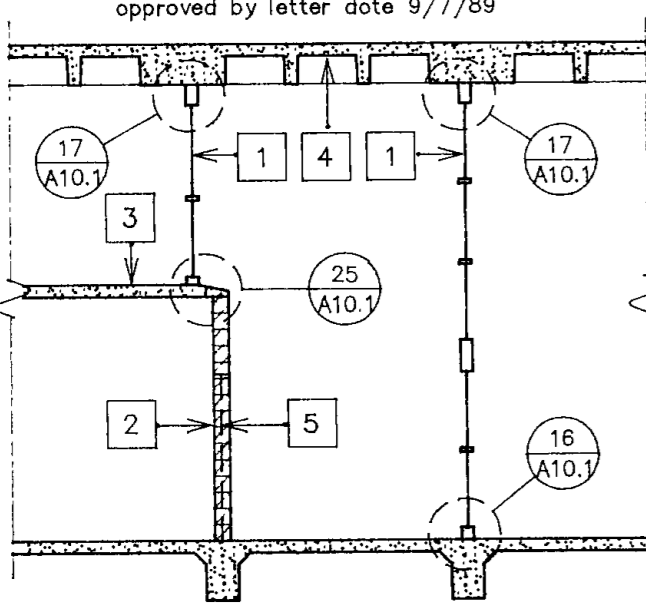
SYMBOL KEY

111	DOOR NUMBER (SUFFIX "A" INDICATES CHASE DOOR NUMBER)
111/3	FRAME NUMBER (SUFFIX "A" INDICATES ALTERNATE FRAME DIMENSION)
127	WINDOW NUMBER
127/17	FRAME NUMBER (SUFFIX "A" INDICATES ALTERNATE FRAME DIMENSION)
7	DETENTION FURNISHING
3	SHEET NUMBER
AS.1	INTERIOR ELEVATION NUMBER
161	ROOM NAME
161	ROOM NUMBER
---	MASONRY / CAST-IN-PLACE CONCRETE
---	4" x 20 GA. HOLLOW METAL STUDS @ 16" O.C.

NOTES:

- See interior elevation for dimensioning location of plumbing fixtures.
- Paint identifying letters/numbers as detailed on "16/A-4.1" on all Dayroom cell doors with electrically controlled locks. Use 6" high white lettering with Microgramma Bold type style. A maximum of (3) letter/numbers at each door is required.
- Where masonry and concrete walls have been cored to permit ductwork & piping to penetrate, the annular space shall be fully concealed with flashing/escutcheons or shall be filled with an epoxy grout such as:
 - Elasto-poxy paste by Pacific Polymers (714)898-0025
 - PRC-423-1 (805)466-4411
 - Or equal
- Board of Corrections Rated Occupancy
 - Holding Cells 112, 113, 114 - 7 inmates
 - Holding Cells 116 - 16 inmates
 - Detoxification Cells 115, 161, 162 - 4 inmates
- The following cells are equipped with noise monitoring devices: 100-108, 112-125, 129-137, 146-154, 161-164, 201-235. The following cells are equipped with cameras for visual monitoring: 112-115, 161-164. Refer to ES sheets and Specification Section 16825 for details.
- In Property Storage Rm. #127, the Owner, under a separate contract will be installing an aisle racking and shelving system which will include a stair and mezzanine level at approximately +9'-0". The contractor shall include in his bid as a part of this contract adequate funds to install fire protection coverage below the mezzanine level of this racking system and strip fluorescent light fixtures to provide a minimum of 25 F.C. of illumination in the aisles. The installation of the racks will occur prior to the Notice of Completion of this contract.
- 2 Hr partition (UBC-43B-#67) 2 layers 1/2" type "X" drywall ea. side of 25 GA studs.

NOTE: Overglazing of corridor walls approved by letter date 9/7/89

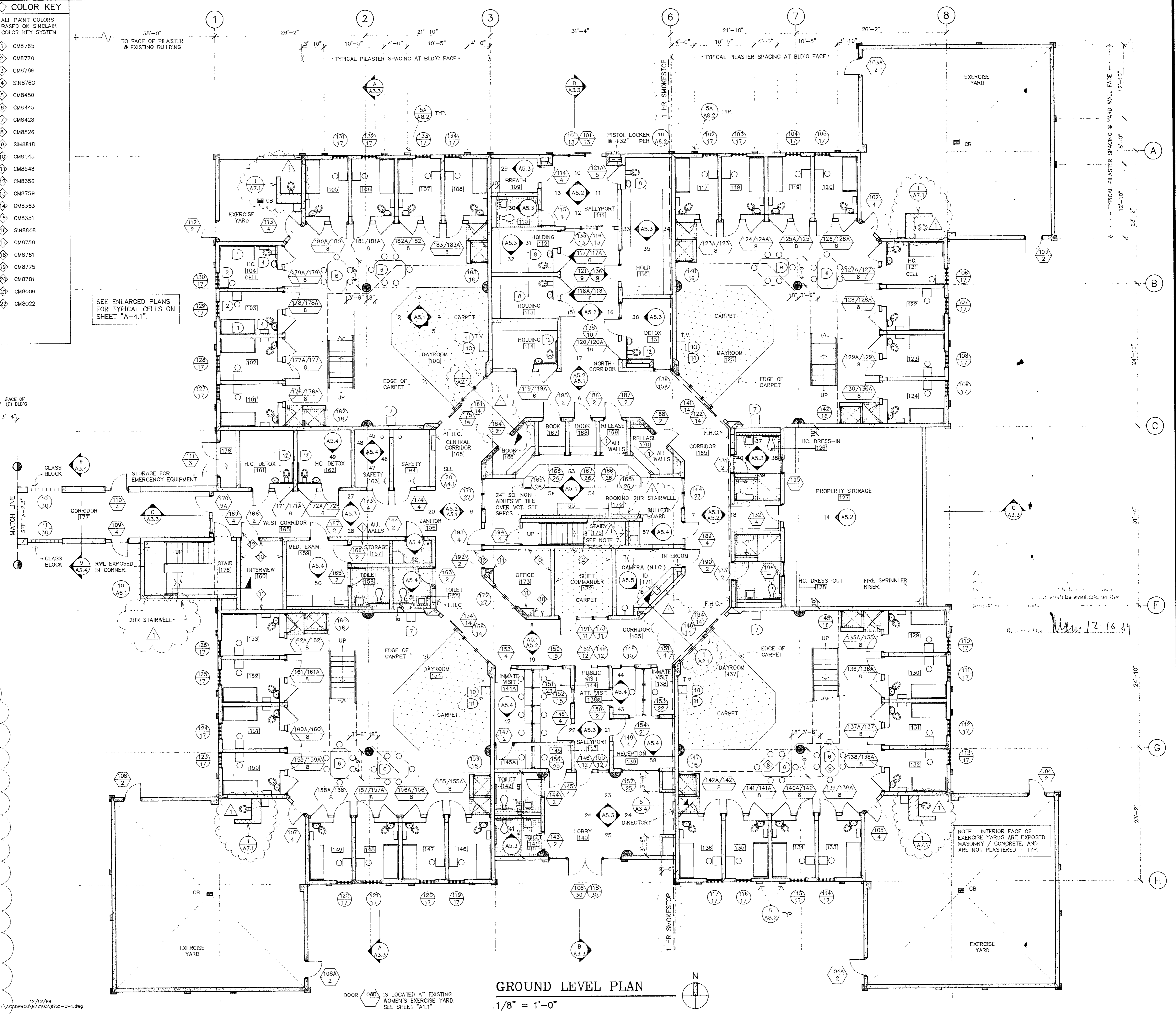


1/8" = 1'-0"

- | | | | |
|---|--------------------------------------------------------------------------------------------------------------------------------------------------|---|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 1 | Hollow metal frame with 3 ply laminated safety glass with 1/4" wire glass laminated to corridor side. (H.M. Frame continuous from floor to roof) | 4 | 4 1/2" Thick concrete roof slab. |
| 2 | 8" Thick masonry wall with all cells grouted solid. | 5 | Where doors occur, doors shall be 20 min. labeled smoke and draft control assembly consisting of door, frame, hardware and gasketing material. See spec. sect. 08100 for door schedule. |
| 3 | 8" Thick concrete floor slab. | | |

COLOR KEY

- ALL PAINT COLORS BASED ON SINCLAIR COLOR KEY SYSTEM
- 1 CM8765
 - 2 CM8770
 - 3 CM8789
 - 4 SIN8760
 - 5 CM8450
 - 6 CM8445
 - 7 CM8428
 - 8 CM8526
 - 9 SM8818
 - 10 CM8545
 - 11 CM8548
 - 12 CM8356
 - 13 CM8759
 - 14 CM8363
 - 15 CM8351
 - 16 SIN8908
 - 17 CM8758
 - 18 CM8761
 - 19 CM8775
 - 20 CM8781
 - 21 CM8006
 - 22 CM8022



GROUND LEVEL PLAN

1/8" = 1'-0"

PARTIAL BUILDING SECTION

1

LENVIK & MINOR architects
 315 West Haley St., Santa Barbara Ca. 93101
 (805) 963-3337
 A California Corporation

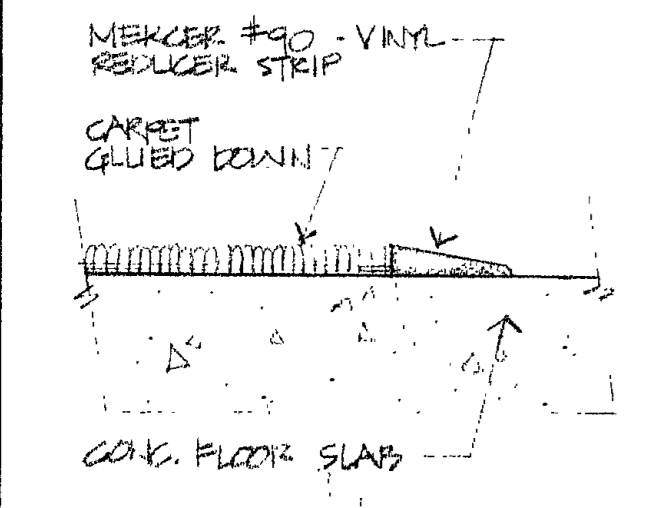
SANTA BARBARA COUNTY DETENTION FACILITY RECEPTION CENTER
 4436 Calle Real, Santa Barbara, CA 93111
 Project # 44221

Ground Level Plan

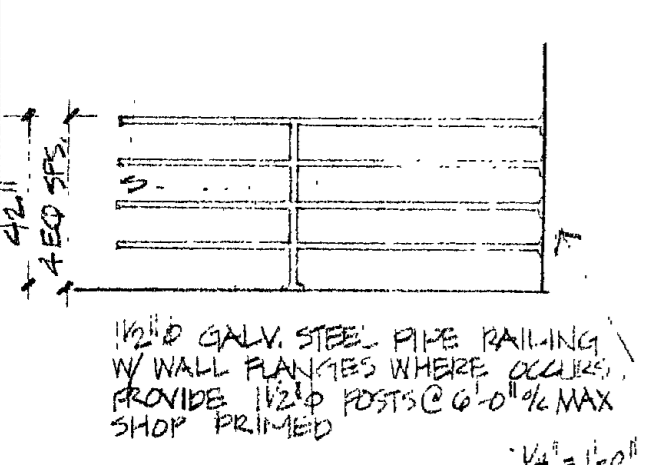
date	8/15/89	job number	872103
drawn by	R.B.	checked by	D.J.
sheet		of sheets	

A-2.1

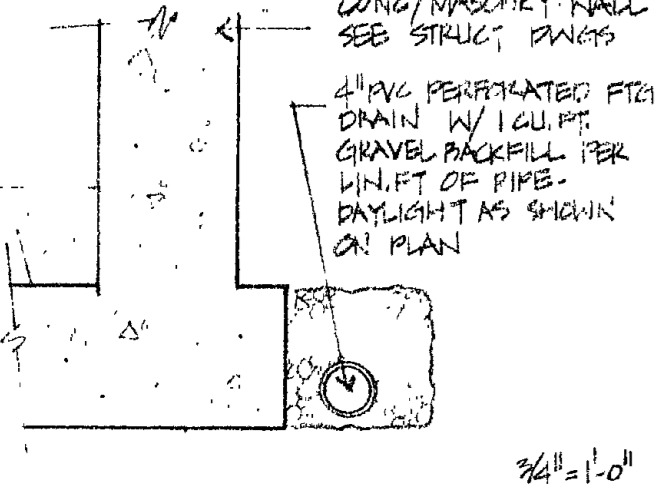
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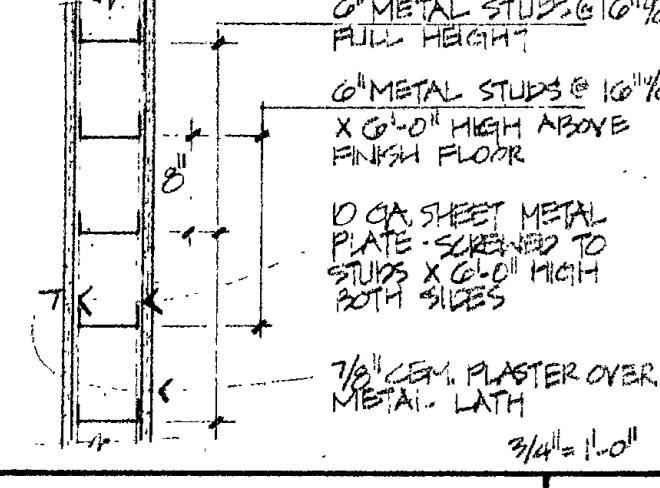
CARPET EDGE 1



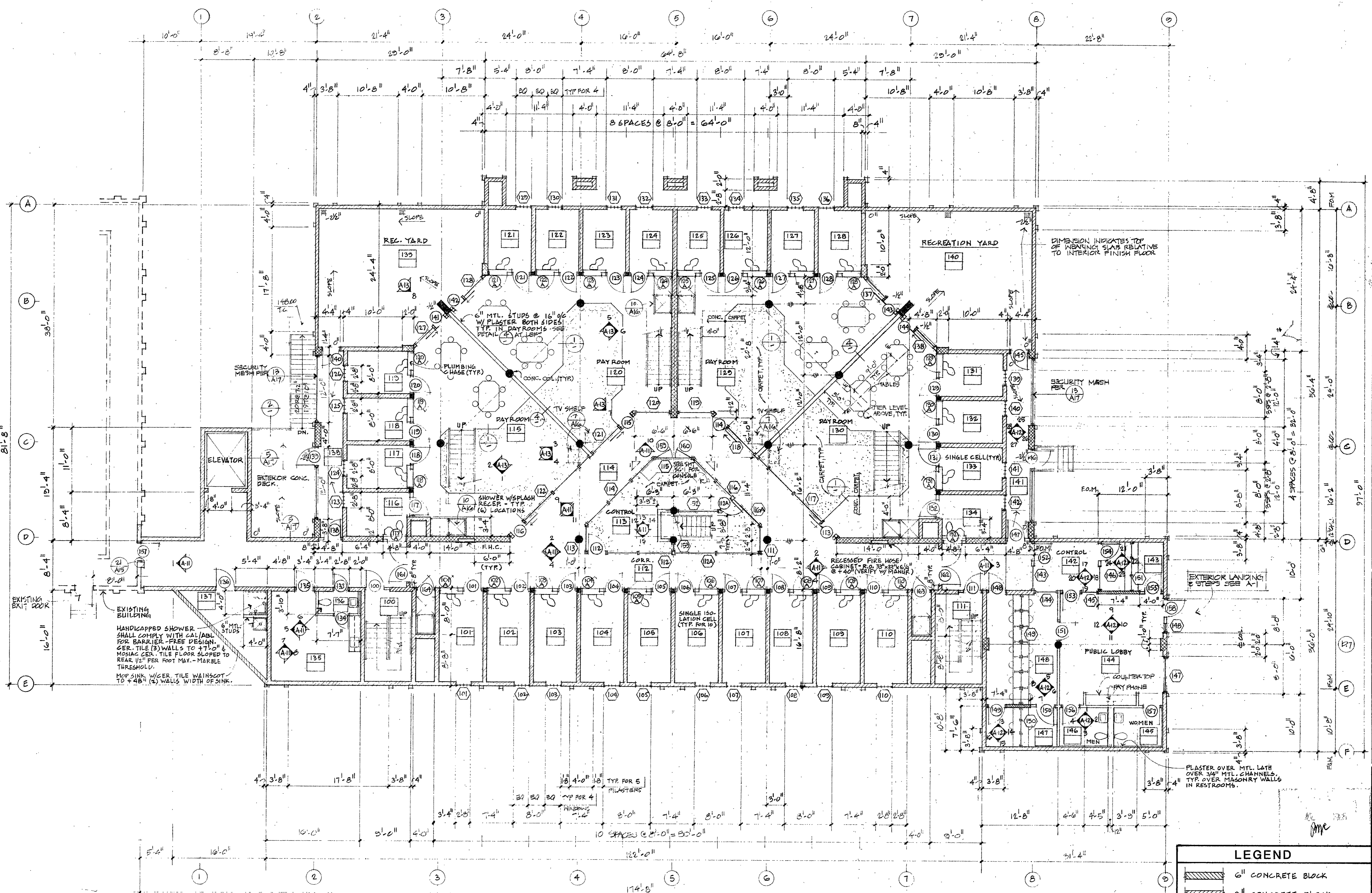
GUARDRAIL 2



FOOTING DRAIN 3



DAYROOM PARTITION 4



GROUND FLOOR PLAN
SCALE: 1/8" = 1' - 0"



LEGEND	
	6" CONCRETE BLOCK
	8" CONCRETE BLOCK
	12" CONCRETE BLOCK
	CAST IN PLACE CONCRETE
	4" MTL STUDS @ 16" O.C. (U.O.N.) W/ PLASTER BOTH SIDES
	WINDOW WALL - SEE INT. ELEV. FOR BASE CONDITION

REV	NO	DATE	REMARKS

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1880 Santa Barbara Street
San Luis Obispo, California 93401
Telephone (405) 327-5900

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Electrical Consultant
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Structural Engineer
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SANTA BARBARA COUNTY
DETENTION FACILITY
4456 Calle Real
Santa Barbara, CA 93111
Project # F44215

GROUND FLOOR PLAN

Drawn: 7/22/85
Checked: []
Sheet: A-3

ADDITION TO:
SANTA BARBARA COUNTY
DETENTION & CORRECTIONAL FACILITIES
 4436 CALLE REAL, SANTA BARBARA, CALIFORNIA

STATISTICAL INFORMATION

PROPOSED ADDITION

OCCUPANCY GROUP I-3
 CONSTRUCTION TYPE I
 UNIFORM BUILDING CODES, 1977 EDITION
 CALIFORNIA ADMIN. CODE, TITLE 24
 CALIFORNIA STATE FIRE MARSHAL'S
 PART 6

EXISTING BUILDING

CONSTRUCTION TYPE I
 OCCUPANCY GROUP I-3
 BUILDING AREA
 BASEMENT 29,325 S.F.
 GROUND FLOOR 48,450 S.F.
 TOTAL 77,775 S.F.

FIRE PROTECTION

COMBINATION STAND PIPE SYSTEM
 FIRE ALARM
 FIRE SMOKELESS

EXISTING BUILDING

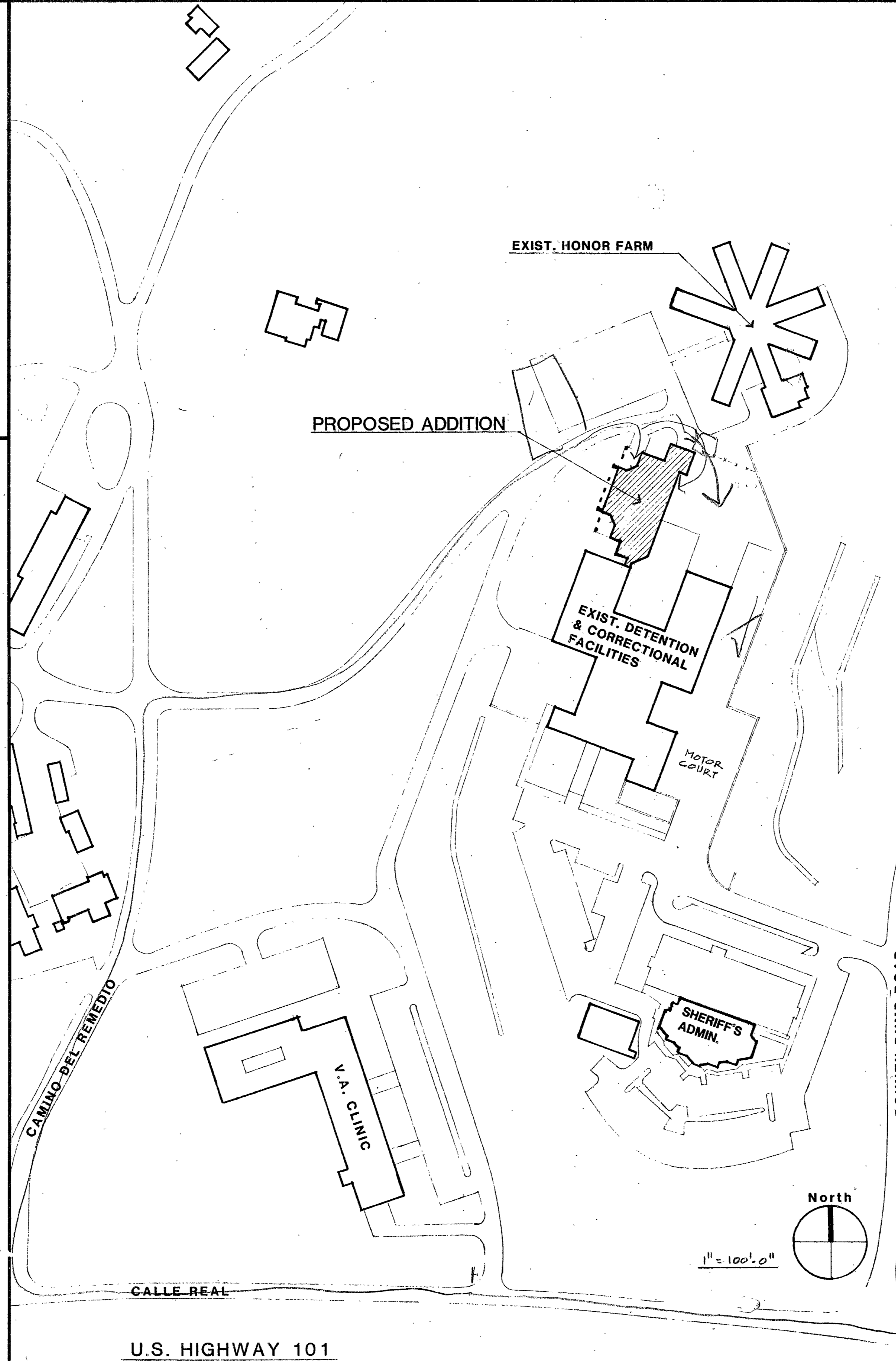
OCCUPANCY GROUP I-3
 CONSTRUCTION TYPE I
 BUILDING AREA
 BASEMENT 29,325 S.F.
 GROUND FLOOR 48,450 S.F.
 TOTAL 77,775 S.F.

CONSTRUCTION TABLE

WALLS

Solid Concrete	UBC TABLE 43-B #34
Concrete Masonry Units	UBC TABLE 43-B #33
FLOORS	UBC TABLE 43-C #1
ROOF	UBC TABLE 43-C #1
COLUMNS	UBC TABLE 43-A #35

VICINITY MAP



LIST OF DRAWINGS

- A-0 TITLE SHEET
- A-1 SITE PLAN, SITE DETAILS & NOTES
- A-2 BASEMENT FLOOR PLAN
- A-3 GROUND FLOOR PLAN
- A-4 TIER FLOOR PLAN
- A-5 ROOF PLAN
- A-6 EXTERIOR ELEVATIONS
- A-7 BASEMENT REFLECTED CEILING PLAN
- A-8 GROUND FLOOR REFLECTED CEILING PLAN
- A-9 TIER LEVEL REFLECTED CEILING PLAN
- A-10 STAIR DETAILS
- A-11 INTERIOR ELEVATIONS
- A-12 INTERIOR ELEVATIONS
- A-13 INTERIOR ELEVATIONS
- A-14 INTERIOR ELEVATIONS
- A-15 DOOR & WINDOW DETAILS
- A-16 CELL INTERIOR LAYOUT PLANS, MISC. DETAILS
- A-17 MISCELLANEOUS DETAILS
- A-18 ROOFING DETAILS

- S-1 GENERAL NOTES & TYPICAL DETAILS
- S-2 BASEMENT LEVEL FOUNDATION PLAN
- S-3 GROUND LEVEL FOUNDATION & FRAMING PLAN
- S-4 TIER LEVEL FRAMING PLAN
- S-5 ROOF FRAMING PLAN
- S-6 SECTIONS
- S-7 SECTIONS
- S-8 SECTIONS
- S-9 SECTIONS
- S-10 SECTIONS
- S-11 PITCHED ROOF DETAILS
- S-12 SLAB SCHEDULE
- S-13 JOIST SCHEDULE
- S-14 BEAM SCHEDULE
- S-15 BEAM SCHEDULE
- S-16 COLUMN SCHEDULE
- S-17 DETAILS
- S-18 DETAILS
- S-19 DETAILS
- S-20 DETAILS

- P-1 PLUMBING SITE PLAN, LEGEND & GENERAL NOTES
- P-2 BASEMENT LEVEL PLUMBING PLAN
- P-3 GROUND LEVEL PLUMBING PLAN
- P-4 TIER LEVEL PLUMBING PLAN & FIXTURE SCHEDULE
- P-5 ROOF LEVEL PLUMBING PLAN & FIXTURE LIST
- P-6 DETAILS & SCHEMATICS
- P-7 WATER PIPING SCHEMATIC

- M-1 GROUND LEVEL MECH. PLAN, LEGEND & PARTIAL BASEMENT MECH. PLAN
- M-2 TIER LEVEL MECHANICAL PLAN & GENERAL NOTES
- M-3 ROOF LEVEL MECHANICAL PLAN & EQUIPMENT LIST
- M-4 DETAILS & SECTIONS
- M-5 TEMPERATURE CONTROL DIAGRAMS

- E-1 ELECTRICAL SITE PLAN, SYMBOLS & TRANSFORMER DETAIL
- E-2 PANEL SCHEDULES, SINGLE LINE DIAGRAM & SWITCHBOARD ELEVATION
- E-3 BASEMENT LEVEL LIGHTING PLAN & LIGHT FIXTURE SCHEDULE
- E-4 GROUND LEVEL LIGHTING PLAN, CONTROL DIAGRAM & ENLARGED PLANS
- E-5 TIER LEVEL LIGHTING PLAN
- E-6 BASEMENT LEVEL ELECTRICAL PLAN & RISER DIAGRAM
- E-7 GROUND LEVEL ELECTRICAL PLAN
- E-8 TIER LEVEL ELECTRICAL PLAN
- E-9 ROOF LEVEL ELECTRICAL PLAN, CONTROL DIAGRAM & LIGHT DETAIL
- E-10 BASEMENT LEVEL COMMUNICATIONS PLAN & RISER DIAGRAM
- E-11 GROUND LEVEL COMMUNICATIONS PLAN
- E-12 TIER LEVEL COMMUNICATIONS PLAN
- SC-1 SECURITY CONSOLE DETAILS
- SC-2 SECURITY CONSOLE DETAILS

65

REVISIONS

Date	By	Remarks

Patrick Sullivan Associates
 Architecture Planning Research
 1880 Santa Barbara Street
 San Luis Obispo, California 93401
 Telephone (805) 944-7001

SANTA BARBARA COUNTY
DETENTION FACILITY
 Addition to
 4436 Calle Real
 Santa Barbara, CA 93111
 Project # F44213

BOARD OF SUPERVISORS
 PUBLIC WORKS DIRECTOR

Date: 7/27/85
 Drawn: E.B.B.
 Checked: [Signature]
 Sheet: A-0

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EXHIBIT D

SANTA BARBARA COUNTY DETENTION CENTER
Santa Barbara, California



Photograph #1

Overview of the Honor Farm parking lot, landscaping and lighting.



Photograph #2

Storm drainage swale on the west edge of the Honor Farm parking lot.

SANTA BARBARA COUNTY DETENTION CENTER
Santa Barbara, California



Photograph #3

The Honor Farm north fence and hill beyond.



Photograph #4

At the east fence of the Honor Farm, damaged fencing and signs of erosion were noted.

SANTA BARBARA COUNTY DETENTION CENTER
Santa Barbara, California



Photograph #5

Main entrance walk
and landscaping at
the Honor Farm.



Photograph #6

Recreation Yard at
the Honor Farm.

SANTA BARBARA COUNTY DETENTION CENTER
Santa Barbara, California



Photograph #7

Differential settlement was noted at several sidewalks at the Honor Farm.



Photograph #8

Minor areas of termite damage were noted at the shelters in the recreation yards at the Honor Farm.

SANTA BARBARA COUNTY DETENTION CENTER
Santa Barbara, California



Photograph #9

Damaged roofs were noted at the shelters in the recreation yards at the Honor Farm.



Photograph #10

Miscellaneous items are stored in side yards and are in the process of being removed at the Honor Farm.

SANTA BARBARA COUNTY DETENTION CENTER
Santa Barbara, California



Photograph #11

Paved areas of the Honor Farm were noted to be cracked and raveled.



Photograph #12

Overview of the north elevation of the Northwest Building as seen from the Honor Farm.

SANTA BARBARA COUNTY DETENTION CENTER
Santa Barbara, California



Photograph #13

Overview of the maintenance yard adjacent to the Northwest Building.



Photograph #14

Raveled asphaltic-concrete pavement was noted at the Northwest Building maintenance yard.

SANTA BARBARA COUNTY DETENTION CENTER
Santa Barbara, California



Photograph #15

Overview of the Northwest Building gate.



Photograph #16

A gap was noted near the Northwest Building gate should be addressed.

SANTA BARBARA COUNTY DETENTION CENTER
Santa Barbara, California



Photograph #17

Overview of the Main Jail parking lot, which was recently repaved.



Photograph #18

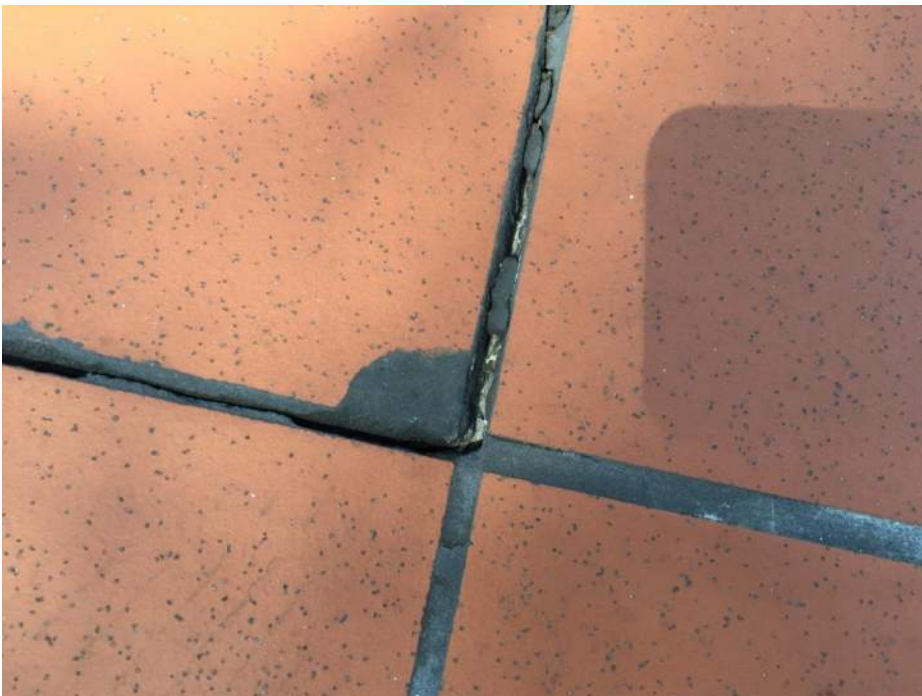
Overview of the Main Jail entrance walk.

SANTA BARBARA COUNTY DETENTION CENTER
Santa Barbara, California



Photograph #19

Sections of the Main Jail entrance walk have been replaced due to failing tile. The area is planned for replacement per facility management.



Photograph #20

Enlarged view of cracked tiles at the entrance of the Main Jail walkway.

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Photograph #21

Wood rails near the Main Jail entrance were noted to be in poor condition.



Photograph #22

The existing concrete stair and handrail at the Main Jail was noted to be in poor condition.

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Photograph #23

Overview of the
Main Jail West Dock.



Photograph #24

Damaged areas of
concrete were noted
at several areas at
the Main Jail in the
West Dock area.

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Photograph #25

Damaged or missing drain covers were noted at the Main Jail side yards and lots.



Photograph #26

Miscellaneous metal surfaces, including handrails, should be painted at the Main Jail within the term.

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Photograph #27

Overview of the back lot from the Main Jail, looking south toward the IRC drop off. Note cracking and raveling in the asphaltic-concrete pavement.



Photograph #28

Overview of the back lot at the Main Jail, looking north toward the Honor Farm.

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Photograph #29

Bus drop-off area
and gate operator at
the on the left at the
Main Jail.



Photograph #30

Rust and wear was
noted at the IRC
gate.

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Photograph #31

Overview of the IRC parking lot and entrance.



Photograph #32

Overview of the IRC parking lot.

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Photograph #33

The IRC parking lot is served by concrete v-gutters in the parking lot.



Photograph #34

The IRC parking lot is generally sloped to storm drain inlets at the perimeter.

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Photograph #35

The drop-off entrance at the IRC.



Photograph #36

Numerous areas where fascia's and soffits have significant dry rot requiring replacement at the Honor Farm.

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Photograph #37

Exterior walls with cracks, stains from dirt splash, and peeling paint in numerous locations at the Honor Farm will require repainting.



Photograph #38

Exterior walls with numerous cracks requiring repair and filling prior to painting at the Honor Farm.

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Photograph #39

Windows infilled with plywood at the Honor Farm.



Photograph #40

Window panes painted and infilled with wood at the Honor Farm.

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Photograph #41

Perimeter edges of the slab-on-grade have spalling and popping due to reactive concrete aggregate at the Honor Farm.



Photograph #42

Rusting perimeter door frames needing replacement at the Honor Farm.

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Photograph #43

Rusting perimeter metal deck and steel framing of overhang and window screen grate needing to be repainted at the Honor Farm.



Photograph #44

Damaged plaster surface requiring repair at the Northwest Building.

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Photograph #45

Concrete masonry unit (CMU) walls have numerous cracks reading through the plaster surfacing, which is spalled in some areas, these will need repair and filling prior to painting at the Northwest Building.



Photograph #46

Exterior single security window is broken and needs replacement at the Northwest Building.

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Photograph #47

Exterior walls need repainting at the Main Jail.



Photograph #48

Exterior concrete door canopies and roof slab reentrant corners have cracking, which will require epoxy repair at the Northwest Building.

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Photograph #49

At the main exercise yard side entry door, cracking was noted at the concrete column and the CMU wall pier, which will require epoxy repair at the Main Jail.



Photograph #50

Cracking was noted at the exterior concrete door canopies and roof slab reentrant corners, which will require epoxy repair at the Main Jail.

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Photograph #51

Cracking was noted at the exterior concrete roof slab reentrant corner, which will require epoxy repair at the Main Jail.



Photograph #52

Building exterior walls require repainting at the Main Jail.

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Photograph #53

CMU walls have numerous cracks reading through the plaster surfacing, which is spalled in some areas, these will require repair and filling prior to painting at the Main Jail.



Photograph #54

South entry, women's section walls have one area that appears like a window or door opening was infilled with metal studs and plaster at the Main Jail.

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Photograph #55

South entry, women's section walls have one area of infill with metal studs and plaster where the plaster is deteriorating and drywall tape is separating at the Main Jail.



Photograph #56

The concrete exterior yard walls have numerous large cracks at interfaces with the main building, these will require epoxy repair and filling at the IRC.

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Photograph #57

The metal screeds of the architectural plaster are rusting and will need to be replaced at the IRC.



Photograph #58

Exterior concrete roof slab reentrant corners have cracking that needs Epoxy repair at the IRC.

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Photograph #59

Built-up roofing at the Honor Farm.



Photograph #60

Roof tower with moisture damaged wood at the Honor Farm.

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Photograph #61

Gravel scraped off by the razor wire, deteriorated paint at metal, and cracked sealant at the base flashing at the Honor Farm.



Photograph #62

Areas of roofing with missing gravel and exposed roof ply with cracking and deterioration at the Honor Farm.

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Photograph #63

Sheet metal gutter and downspouts at the Honor Farm.



Photograph #64

Wood fascia and soffits with moisture damage at the Honor Farm.

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Photograph #65

Patched roof areas at the Honor Farm where leaks have been reported.



Photograph #66

Area of roofing at the base of the solar hot water modules where leaks have been reported and roof wood substrate at the Honor Farm is reported to have moisture damage.

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Photograph #67

Built-up roofing at the Northwest Building.



Photograph #68

Deterioration of the built-up roofing where it turns up and terminates at the parapet wall at the Northwest Building.

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Photograph #69

Roof materials are ridging in some areas at the Northwest Building.



Photograph #70

Cracked flashing was noted at the pipe penetration at the Northwest Building.

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Photograph #71

Cracked stucco was noted at the backside of the parapet walls at the Northwest Building.



Photograph #72

Cracked sealant joints was noted at the sheet metal parapet coping cap at the Northwest Building.

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Photograph #73

Deterioration of the
roof walk pads at the
Northwest Building.



Photograph #74

Clay tile roofing at
perimeter of the
parapet wall at the
Northwest Building.

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Photograph #75

Typical roof drain and overflow drain at the Northwest Building.



Photograph #76

Main Jail built-up roof.

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Photograph #77

Metal corrosion occurring at the roof pitch pocket flashing and cracked sealant at the Main Jail.



Photograph #78

Debris at the roof drains at the Main Jail.

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Photograph #79

Wood supports at the 911 system conduits are deteriorated and need to be replaced at the Main Jail.



Photograph #80

Typical stucco roof parapet wall with cracking occurring at the Main Jail.

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Photograph #81

Damaged metal vents and stucco cracking at the roof parapet walls at the Main Jail.



Photograph #82

Exposed roofing and cracking of the roof ply at the Main Jail.

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Photograph #83

Exposed cables at the 911 system conduits on the roof at the Main Jail.



Photograph #84

Lower roof clay tile, built-up roofing, and parapet wall as viewed from the IRC building at the Main Jail.

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Photograph #85

IRC building main roof.



Photograph #86

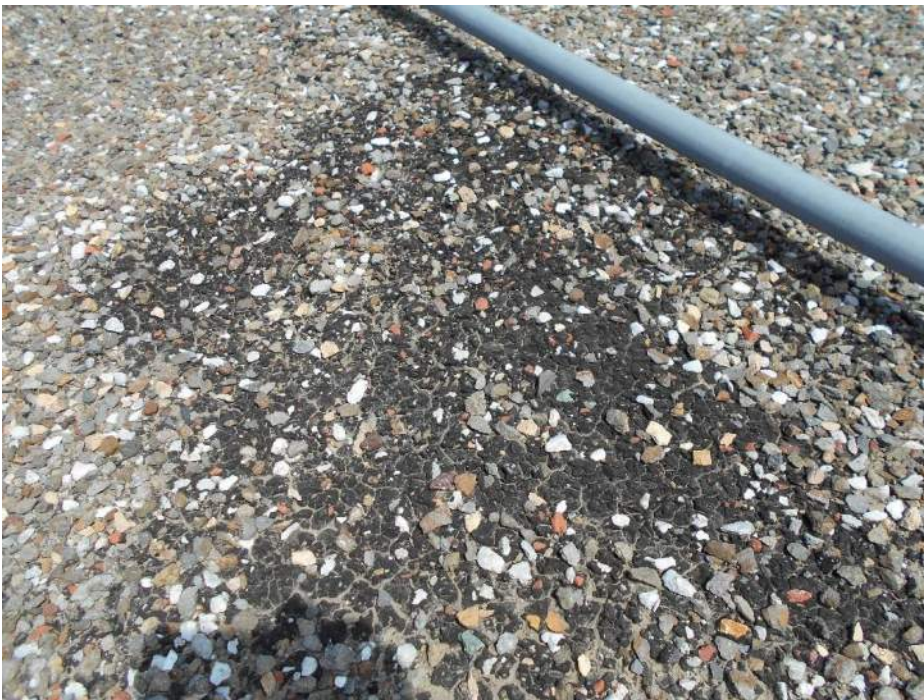
IRC roof drain and overflow drain.

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Photograph #87

Deteriorated roof walk pads at the IRC building.



Photograph #88

Areas of roofing with missing gravel and exposed roof ply with cracking and deterioration at the IRC building.

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Photograph #89

Clay tile roofing and rolled roofing at the roof edge with failed sealant at the IRC building



Photograph #90

Hole in the parapet wall pipe penetration, improperly flashed pipe boots, and failed sealant at the metal flashing at the IRC building.

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Photograph #91

Metal corrosion at the roof flashing and open joint at the rolled roofing at the IRC building.



Photograph #92

Improperly installed roofing at the mechanical platform with open joint at the top of the IRC building.

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Photograph #93

Honor Farm main
entry doors.



Photograph #94

Typical elevation
with the original
windows at the
Honor Farm.

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Photograph #95

Windows with cracked and deteriorated sealants at the Honor Farm.



Photograph #96

Main entry at the north elevation of the Northwest Building.

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Photograph #97

Rusted hollow-metal door at roof access with deteriorated weather stripping at the Northwest Building.



Photograph #98

Typical vertical steel window at the Northwest Building.

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Photograph #99

Main entry at the south elevation of the Main Jail.



Photograph #100

West elevation with aluminum windows and glass block windows at the Main Jail.

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Photograph #101

Cracked glass block windows at the Main Jail.



Photograph #102

Main entry at the south elevation of the IRC building.

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Photograph #103

Typical elevation of
the IRC building.



Photograph #104

Interior finishes at
the lounge room at
the Honor Farm.

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Photograph #105

Overview of the men's restroom at the Honor Farm.



Photograph #106

Damaged tile was noted at the showers at the Honor Farm.

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Photograph #107

The central security desk area and bathroom entrance at the Honor Farm.



Photograph #108

Security desk finishes at the Honor Farm.

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Photograph #109

Sliding door
hardware at the
Honor Farm.



Photograph #110

Swinging door
hardware at the
Honor Farm.

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Photograph #111

The women's wing television area at the Honor Farm.



Photograph #112

The women's wing lounge at the Honor Farm.

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Photograph #113

The women's wing lavatories at the Honor Farm.



Photograph #114

The women's wing showers at the Honor Farm.

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Photograph #115

Typical circulation area finishes at the Northwest Building.



Photograph #116

Damaged vinyl tile was noted at the circulation areas at the Northwest Building.

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Photograph #117

Cell door and pipe chase overview at the Northwest Building.



Photograph #118

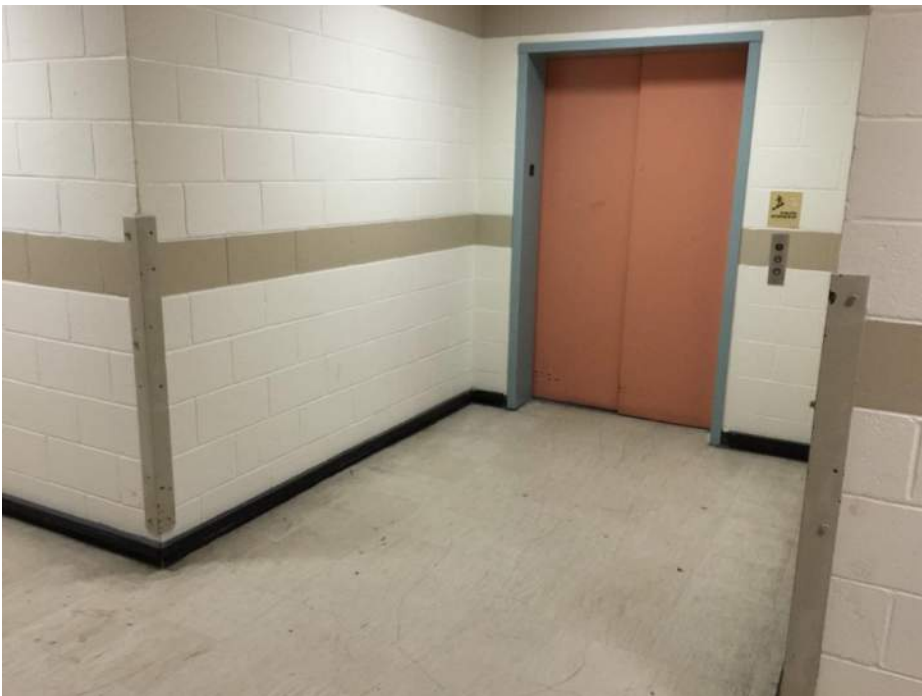
Select cell block sliding doors were recently repainted and had operators refurbished at the Northwest Building.

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Photograph #119

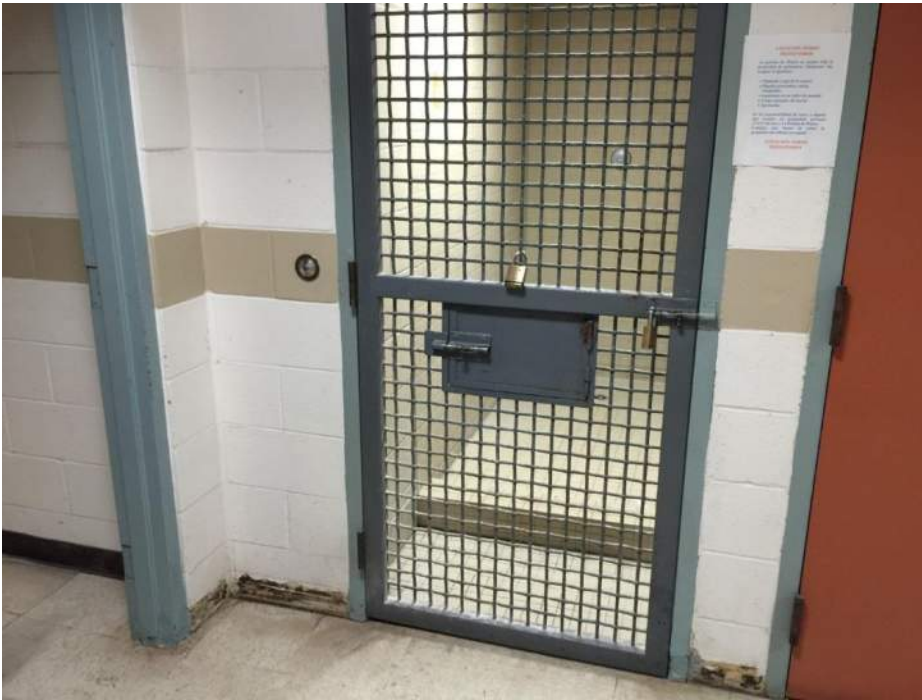
Medical examination room finishes of the Northwest Building.



Photograph #120

Elevator lobby finishes at the Northwest Building.

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Photograph #121

Overview of the single-occupant showers at the Northwest Building.



Photograph #122

Rust was noted at several doors and frames near wet areas and some cell doors at the Northwest Building.

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Photograph #123

Enclosed recreation yard finishes at the Northwest Building.



Photograph #124

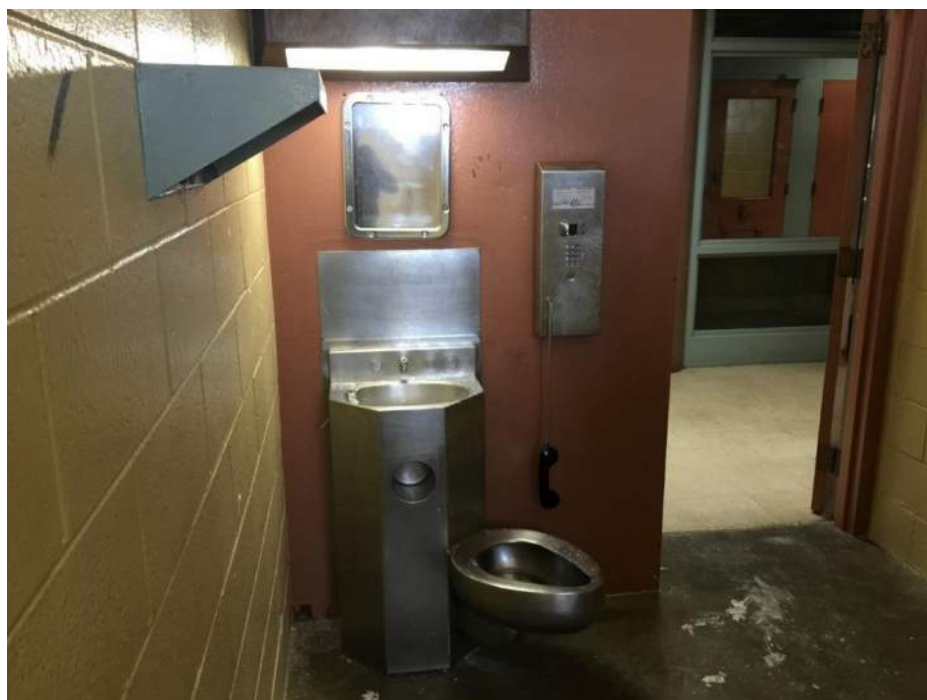
Clogged drain covers were noted at the enclosed recreation yards at the Northwest Building.

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Photograph #125

Single-occupant cell finishes at the Northwest Building.



Photograph #126

Single-occupant cell finishes at the Northwest Building.

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Photograph #127

Tunnel finishes at
the Main Jail.



Photograph #128

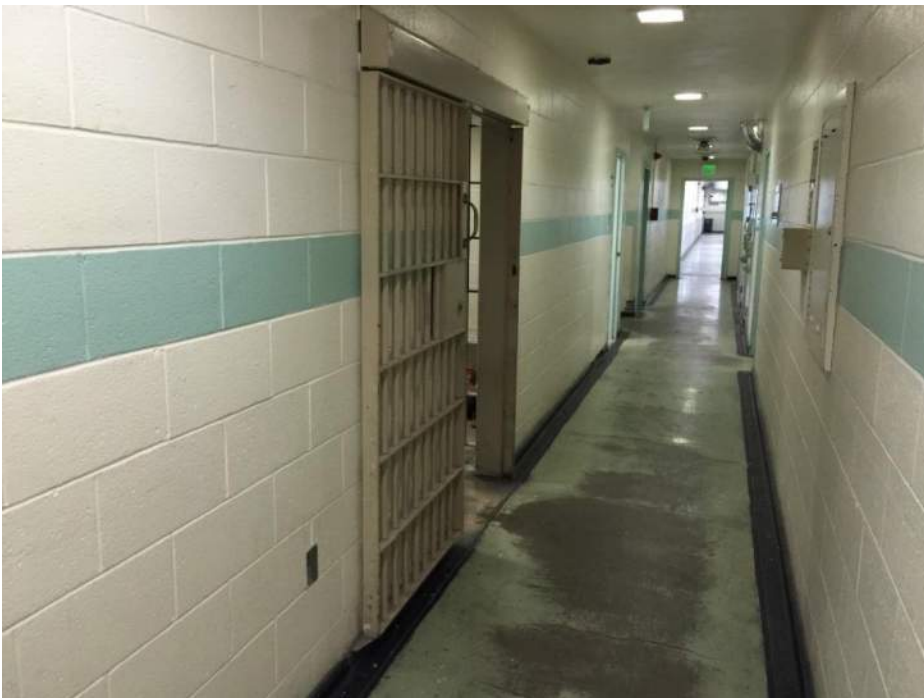
Office area finishes
at the Main Jail.

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Photograph #129

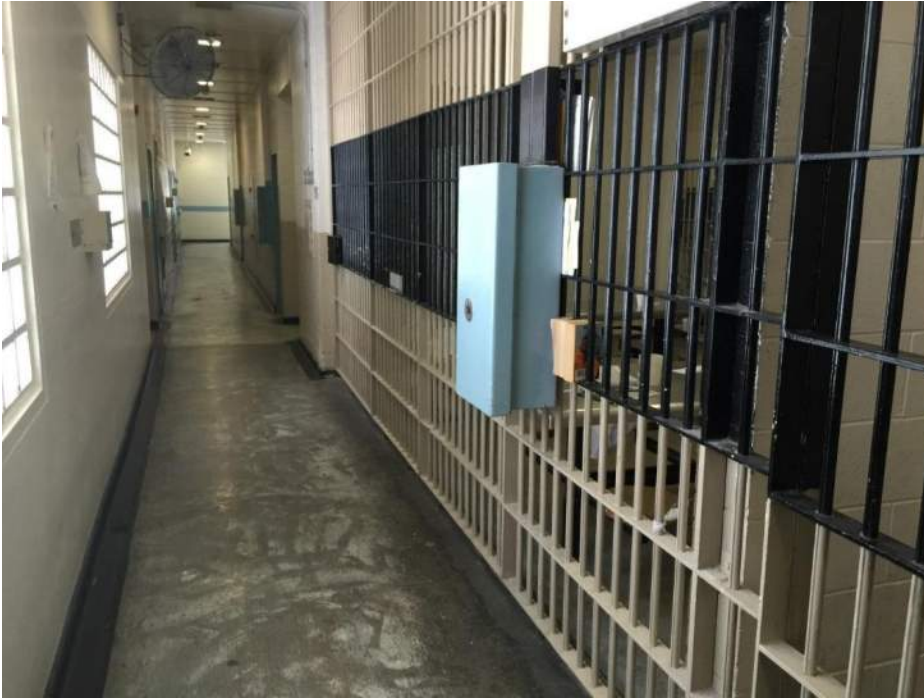
Recreation yard at
the Main Jail.



Photograph #130

Cell block circulation
finishes at the Main
Jail.

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Photograph #131

Multi-occupant cell sliding doors at the Main Jail.



Photograph #132

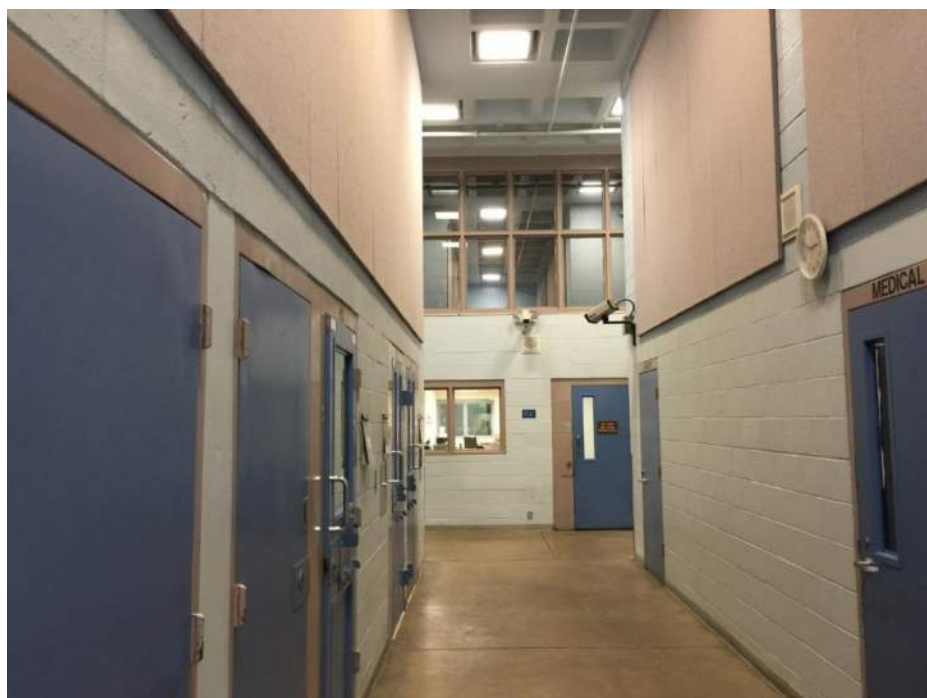
Multi-occupant cell sliding door control panel at the Main Jail.

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Photograph #133

Multi-occupant cell sliding door control panel at the Main Jail.



Photograph #134

The IRC entrance is a double height space, with a control room on the second floor.

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Photograph #135

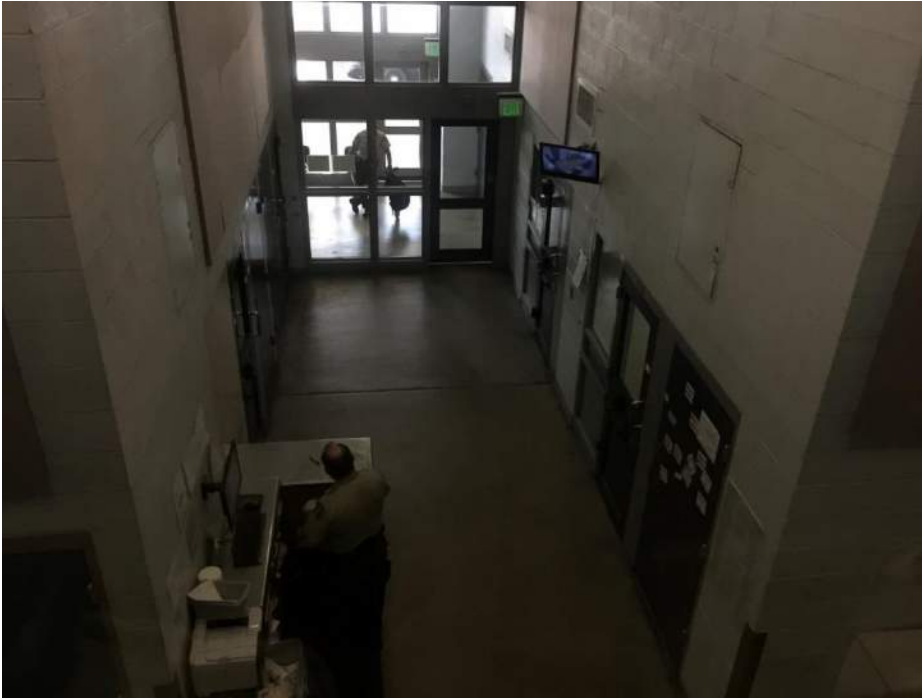
The IRC ground-floor office finishes.



Photograph #136

The IRC second-floor control room finishes.

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Photograph #137

The IRC overview of the entrance as seen from the control room.



Photograph #138

Package air-conditioning unit on the roof of the Honor Farm.

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Photograph #139

Rooftop furnace at
the Honor Farm.



Photograph #140

Split-system unit
serving the
Northwest Building.

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Photograph #141

Rooftop air-conditioning unit and split-system condensers on the Main Jail lower roof that serves the dining area.



Photograph #142

Compressor/Condenser unit that serves the air-handling unit with a DX coil for the Main Jail administrative wing.

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Photograph #143

Air-handling unit serving one of the Main Jail wings.



Photograph #144

Air-handling section damper sections serving multiple smaller zones at the Main Jail.

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Photograph #145

Split-system
condenser units on
the roof of the Main
Jail serving the
microwave area.



Photograph #146

Package rooftop unit
at the northeast side
of the Main Jail.

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Photograph #147

Package rooftop unit serving the IRC.



Photograph #148

Main exhaust fan serving the lower levels of the Main Jail.

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Photograph #149

Refrigeration
compressor/
condenser units near
the Main Jail kitchen.



Photograph #150

Exhaust ventilation
at the Northwest
Building.

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Photograph #151

Exhaust ventilation serving the cell areas of the Main Jail.



Photograph #152

Exhaust fans serving the IRC.

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Photograph #153

Supply fan serving the IRC.



Photograph #154

The domestic gas-fired hot water boiler and storage tank serving the women's bathroom area of the Honor Farm.

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Photograph #155

The domestic gas-fired hot water boiler and storage tank serving the men's bathroom area of the Honor Farm.



Photograph #156

Domestic hot water boiler at the Northwest Building.

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Photograph #157

Domestic hot water storage tank that serves the Northwest Building.



Photograph #158

Heating and domestic hot water boiler that serves the Mail Jail.

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Photograph #159

Heating and domestic hot water storage tanks for the Mail Jail.



Photograph #160

Domestic hot water boilers and storage tank serving the IRC.

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Photograph #161

Insulation missing at the hot water piping on the roof of the IRC.



Photograph #162

Part of the plumbing chase in the basement area near the receiving area of the Northwest Building. Metal pan is used to prevent leaks to the area below.

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Photograph #163

Waste plumbing chase at one cell in the Northwest Building area.



Photograph #164

View of a sink and toilet in the Northwest Building area.

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Photograph #165

Sinks at the women's
Honor Farm.



Photograph #166

Sinks at the men's
Honor Farm.

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Photograph #167

Urinals at the men's
Honor Farm.



Photograph #168

Water closets at the
women's Honor
Farm.

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Photograph #169

Water closets at the men's Honor Farm.



Photograph #170

Shower controls at the men's Honor Farm.

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Photograph #171

Plumbing chase for a cell at the IRC.



Photograph #172

Sink and toilet for a cell at the IRC.

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Photograph #173

Solar-powered hot water system at the Honor Farm.



Photograph #174

Partial view of the solar-powered hot water system at the Main Jail.

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Photograph #175

Storage tank for the solar-powered water heating system at the Main Jail.



Photograph #176

Representative domestic water and natural gas service at the Main Jail.

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Photograph #177

Main switchboard at
the Honor Farm.



Photograph #178

Emergency
generator installed in
2009 at the Honor
Farm.

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Photograph #179

High-voltage electric service for detention center and other county buildings.



Photograph #180

Main switchboard for Northwest Building fed from Main Jail.

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Photograph #181

Distribution panels
for Northwest
Building.



Photograph #182

Automatic transfer
switch and
emergency
switchboard for
Northwest Building
fed from the Main
Jail.

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Photograph #183

Transformer and main switchboard for the Main Jail.



Photograph #184

High-voltage disconnect for the Main Jail that has been replaced.

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Photograph #185

Emergency generator for the Main Jail that is scheduled for replacement.



Photograph #186

Pad-mounted transformer for the IRC.

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Santa Barbara, California



Photograph #187

Main switchboard
for the IRC.



Photograph #188

Emergency
generator for the
IRC.

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Photograph #189

Fire alarm control panel for the Honor Farm.



Photograph #190

Fire alarm control panel for the Main Jail.

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Santa Barbara, California



Photograph #191

Fire alarm control panel for the IRC.



Photograph #192

Fire water service for the Northwest Building.

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Photograph #193

Fire sprinkler riser
for the Northwest
Building.



Photograph #194

Fire sprinkler riser
for the Main Jail.

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Photograph #195

Fire department connection and fire water service for the IRC.



Photograph #196

Smoke control panel for the IRC.

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Santa Barbara, California



Photograph #197

The Northwest Building elevator cab interior and control panel.



Photograph #198

Elevator equipment for The Northwest Building elevator.

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Photograph #199

The Main Jail service elevator cab interior and control.



Photograph #200

The Main Jail elevator equipment with new control panel and hydraulic valve.