

6757 DEL PLAYA DRIVE

GOLETA, CA

DEMOLITION OF (E) TWO STORY RESIDENTIAL DUPLEX

GENERAL REQUIREMENTS

All work shall be performed in a professional workmanlike manner by a licensed contractor and shall comply with the following:

- These General notes unless otherwise noted on plans or specifications.

- This project shall comply with:
 - 2022 California Building Code (Volumes I and II and Title 24)
 - 2022 CRC (or current edition)
 - 2022 CMC (or current edition)
 - 2022 CPC (or current edition)
 - 2022 CEC (or current edition)
 - 2022 California Green Building Standards Code (CGBSC)
 - 2022 California Energy Code
 - SBCO Building Ordinance #4871
 - SBCO Grading Ordinance #4766

- All applicable Local, State and Federal Codes, Ordinances, Laws, Regulations and Protective Covenants governing the site of work.

- Standard Specifications of ASTM.

- In case of conflicts, the more stringent requirements shall govern.

- "Or Equal": the Contractor shall submit for the Designer's and Builder's approval all materials or equipment which is considered "or equal" to that specified.

On Site Verification of all dimensions and conditions shall be the responsibility of the Contractor and Sub-contractors. Noted dimensions take precedence over scale. Each Contractor and Sub-contractor shall report to designer and Project Superintendent all Conditions which prevent the proper execution of their work. Client's Architect and Project Superintendent to be notified immediately by Contractor and Sub-Contractor should any discrepancy, error, omission, addition, or other question arise pertaining to the working drawings and/or specifications. The Contractor shall be held responsible for the results of any errors, discrepancies, or commissions which the Contractor failed to notify the Architect of before construction and/or fabrication of the work.

Sub-contractor shall: Insure that all work is done in a professional workmanlike manner by skilled mechanics and shall replace any materials or items damaged by Sub-contractor performance. Sub-contractors and suppliers are hereby notified that they are to confer and cooperate fully with each other during the course of construction to determine the exact extent and overlap of each other's work and to successfully complete the execution of the work. All Sub-contractor workmanship will be of quality to pass inspections by local authorities, lending institutions, Architect or Builder. Any one or all of the above mentioned inspectors may inspect workmanship at any time, and any corrections needed to enhance the quality of building will be done immediately. The Contractor shall, at all times, provide protection against weather, rain, wind, storms, frost, heat or breakage so as to maintain all work, materials, apparatus, and fixtures free from injury or damage. The contractor shall at all times keep the premises free from all accumulations of waste material or rubbish caused by his employees, and at the completion of the work shall remove all rubbish, debris, equipment and surplus materials belonging to him from in and about the building and leave work site "Broom Clean". At the end of the day's work, all work likely to be damaged shall be covered. Any work damaged due to failure of protection as defined above shall be removed and replaced with new work at the Contractor's expense. Each Sub-contractor, unless specifically exempted by the terms of his sub-contract agreement, shall be responsible for cleaning up and removing from the job site all trash and debris not left by other Sub-contractors. Builder will determine how soon after Sub-contractor completes each phase of his work that trash and debris will be removed from the site.

Workmanship: Compliance with drawings and/or specifications with regard to materials and methods of assembly will not, in itself, assure acceptance of the work. Of equal importance is good workmanship, the lack of which will be sufficient cause to refuse acceptance of the work.

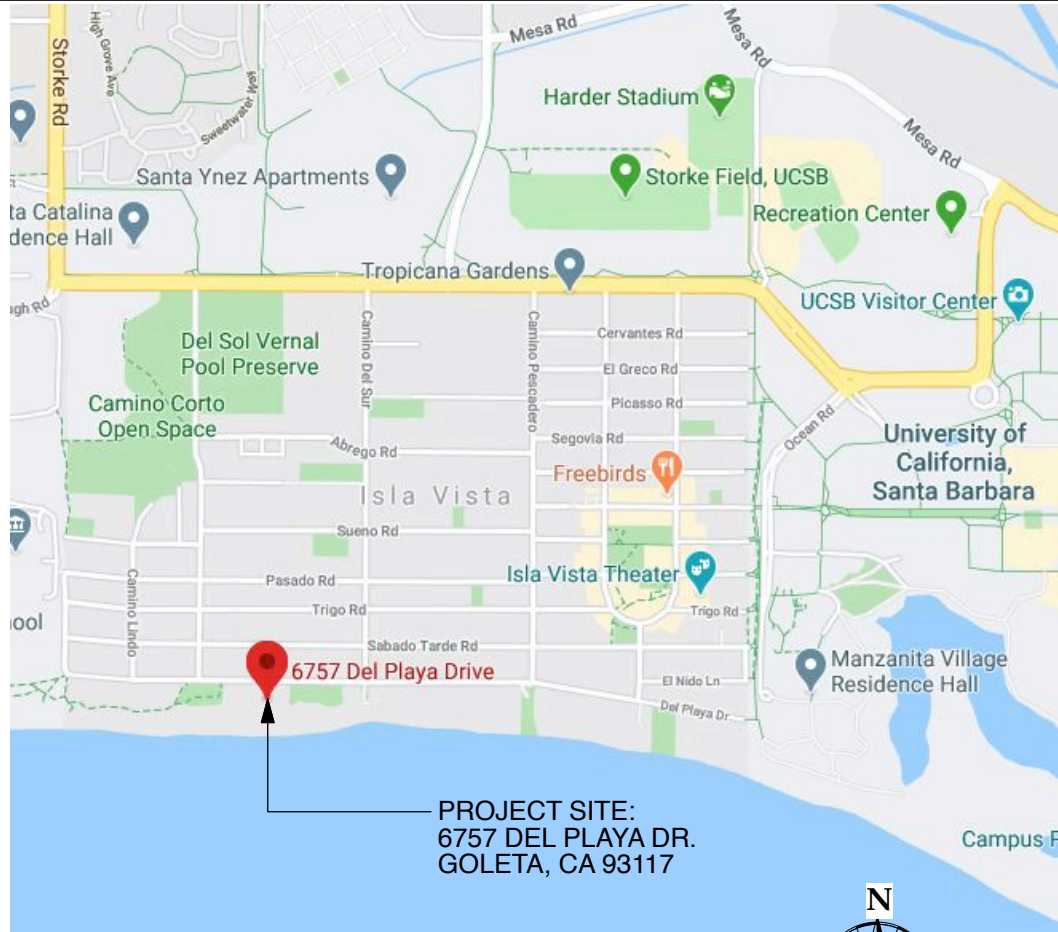
ABBREVIATIONS

&	And	FDN.	Foundation	PL.	Plate
L	Angle	FIN.	Finish	PLAM.	Plastic Laminate
@	At	FL.	Floor	PLAS.	Plaster
CL	Center-line	FLASH.	Flashing	PLYWD.	Plywood
Ø	Diameter	FLOUR.	Fluorescent	PRCST.	Pre-cast
(E)	Existing	F.O.C.	Face of Concrete	P.T.	Pressure-treated
(N)	New	F.O.F.	Face of Finish	Q.T.	Quarry Tile
#	Pound or Number	F.O.S.	Face of Stud	RAD.	Radius
		FT.	Foot or Feet	REF.	Reference
		FTG.	Footing	RGR.	Register
		FURR.	Furring	REIN.	Reinforced
A.B.	Anchor Bolt	GALV.	Galvanized	REQ'D.	Required
ACOUS.	Acoustical	G.F.I.	Ground Fault Interrupter	RESIL.	Resilient
ADJ.	Adjustable	GL.	Glass	RM.	Room
ALUM.	Aluminum	G.L.B.	Glued Laminated Beam	R.O.	Rough Opening
APPROX.	Approximate	GND.	Ground	RWD.	Redwood
ARCH.	Architectural	GR.	Grade	S.	South
ASPH.	Asphalt	GYP.	Gypsum	SCHED.	Schedule
BD.	Board	H.B.	Hose Bid	SECT.	Section
BLDG.	Building	H.D.	Hold Down	S.F.	Square Feet
BLKG.	Blocking	HDR.	Header	SHT.	Sheet
BM	Beam	HDWE.	Hardware	SIM.	Similar
B.O.	Bottom of	HORIZ.	Horizontal	SPEC.	Specification
C.B.	Catch Basin	HT.	Height	SQ.	Square
CEM.	Cement	I.D.	Inside Diameter	STD.	Standard
CER.	Ceramic	INSUL.	Insulation	STI.	Steel
C.J.	Control Joint	INT.	Interior	STRUCT.	Structural
CLG.	Ceiling	JT.	Joint	SUSP.	Suspended
CALKG.	Calking	LAM.	Laminate	S.W.	Shearwall
CLR.	Clear	LAV.	Lavatory	SYM.	Symmetrical
C.O.	Cleanout	LIN.	Linen	T.B.	Towel Bar
COL.	Column	LT.	Light	T & G	Tongue and Groove
CONC.	Concrete	L.V.L.	Laminated Veneer	THK.	Thick
CONN.	Connection	MAX.	Maximum	T.O.	Top of
CONSTR.	Construction	M.B.	Machine Bolt	T.P.	Top of Pavement
CONT.	Continuous	MECH.	Mechanical	T.P.D.	Toilet Paper Dispenser
CTSK.	Countersunk	MTL.	Metal	T.S.	Tube Steel
CTR.	Center	MFR.	Manufacturer	TYP.	Typical
DBL.	Double	MISC.	Miscellaneous	UBC	Uniform Building Code
DEPT.	Department	M.O.	Masonry Opening	UNF.	Unfinished
DETL.	Detail	N.	North	U.N.O.	Unless Noted Otherwise
DIA.	Diameter	N.I.C.	Not in Contract	VERT.	Vertical
DIM.	Dimension	NO./#	Number	W.	West
D.J.	Doweledjoint	N.O.#	Not to Scale	W.C.	Water Closet
DN.	Down	N.T.S.	Not to Scale	WO.	Wood
DR.	Door	O.A.	Overall	W/O	Without
DWG.	Drawing	O.C.	On Center	WP.	Waterproof
E.	East	O.D.	Outside Diameter	W.R.	Water Resistant
EA.	Each	OPP.	Opposite	WISCT.	Wainscot
EL.	Elevation			WT.	Weight
ELEC.	Electrical				
ENCL.	Enclosure				
EQ.	Equal				
EQT.	Equipment				
EXT.	Exterior				

CONSTRUCTION WASTE COMPANY

MARBORG INDUSTRIES IS THE APPROVED WASTE MANAGEMENT COMPANY.

R334.1 Construction waste management. Recycle and/or salvage for reuse a minimum 65% of the non-hazardous construction and demolition waste in accordance with the California Green Building Standards Code, Chapter 4, Division 4.4.



VICINITY MAP

NOT TO SCALE

PROJECT STATISTICS

PROPERTY OWNERS:	ALTA COMMUNITY INVESTMENT XI, LLC 516 PENNSFIELD PLACE #202 THOUSAND OAKS CA 91360 (818) 235-1444
PROJECT ADDRESS:	6757 DEL PLAYA DRIVE GOLETA, CA 93117
A.P.N.:	075-193-032
LAND USE ZONE:	SR - M - B
USE:	MULTI-FAMILY RESIDENCE (2 UNITS) - NO CHANGES PROPOSED
PLAN AREA:	ALL OR PORTION WITHIN GOLETA COMMUNITY PLAN
COASTAL ZONE:	ALL OR PORTION WITHIN COASTAL ZONE
CONSTRUCTION TYPE:	TYPE V-A
OCCUPANCY CLASSIFICATION:	R-3 (NO CHANGES PROPOSED)
HIGH FIRE ZONE:	NO
PARKING:	(E) TO REMAIN (NO CHANGES PROPOSED)
LOT SIZE:	+/ -13,701 SF (+/- 0.31 ACRES)

SQUARE FOOTAGE BREAKDOWN

EXISTING FLOOR AREA:	NET	GROSS
LOWER LEVEL (UNIT A):	± 1,182 SF	± 1,237 SF
LOWER LEVEL COMMUNAL LAUNDRY CLOSET:	± 9 SF	± 10 SF
UPPER LEVEL (UNIT B):	± 1,210 SF	± 1,266 SF
TOTAL EXISTING FLOOR AREA:	± 2,401 SF	± 2,513 SF

DEMO FLOOR AREA:	NET	GROSS
LOWER LEVEL (UNIT A):	± 1,182 SF	± 1,237 SF
LOWER LEVEL COMMUNAL LAUNDRY CLOSET:	± 9 SF	± 10 SF
UPPER LEVEL (UNIT B):	± 1,210 SF	± 1,266 SF
TOTAL DEMO FLOOR AREA:	± 2,401 SF	± 2,513 SF

PROFESSIONALS

ARCHITECT:	SHERRY & ASSOCIATES, ARCHITECTS 608 ANACAPA STREET, SUITE B SANTA BARBARA, CA 93101 PH: (805) 963-0986 / FAX: (805) 963-0178
GENERAL CONTRACTOR:	MELENDEZ CONSTRUCTION 911 FRANCIS LANE SANTA MARIA, CA 93455 PH: (805) 878-1788
WASTE MANAGEMENT COMPANY:	MARBORG INDUSTRIES 728 E. YANONALI SANTA BARBARA, CA 93103 PH: (805) 963-1852 / FAX: (805) 963-0552

SHEET INDEX

T 1.0	TITLE SHEET/ GENERAL NOTES/ PROJECT STATISTICS
T 2.0	EXISTING SITE PLAN
A 0.1	EXISTING/ DEMO LOWER LEVEL FLOOR PLAN
A 0.2	EXISTING/ DEMO UPPER LEVEL FLOOR PLAN

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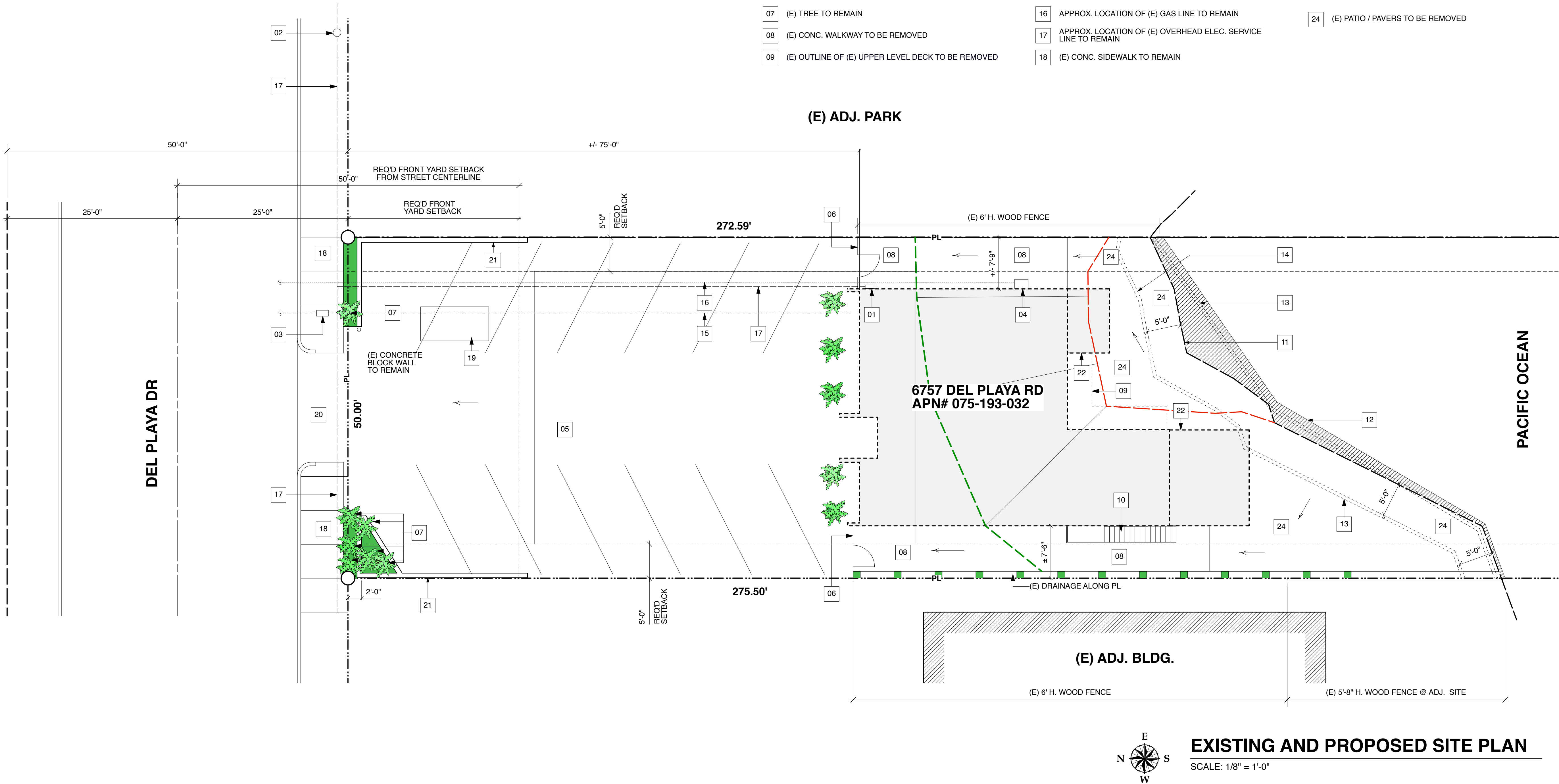
TITLE SHEET

4 SHEETS TOTAL

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KEY NOTES

- | | | |
|--|---|--|
| 01 (E) ELEC. METER TO BE DISCONNECTED | 10 (E) STAIRS TO BE REMOVED | 19 NOT USED |
| 02 APPROX. LOCATION OF (E) POWER POLE | 11 APPROXIMATE LOCATION CURRENT TOP OF BLUFF | 20 (E) DRIVEWAY TO REMAIN |
| 03 APPROX. LOCATION OF (E) WATER METER TO REMAIN | 12 HATCHED AREA INDICATES (E) CANTILEVERED PATIO / PAVERS TO BE REMOVED | 21 (E) 28" H. CMU WALL TO REMAIN |
| 04 (E) GAS METERS TO BE DISCONNECTED | 13 (E) GUARDRAIL TO BE REMOVED | 22 SHADED AREA INDICATES PORTION OF EXISTING STRUCTURE TO BE DEMOLISHED. |
| 05 (E) PARKING TO REMAIN | 14 NOT USED | 23 NOT USED |
| 06 (E) 6' H WOOD FENCE W/ GATE TO BE REMOVED | 15 APPROX. LOCATION OF (E) WATER LINE TO REMAIN | 24 (E) PATIO / PAVERS TO BE REMOVED |
| 07 (E) TREE TO REMAIN | 16 APPROX. LOCATION OF (E) GAS LINE TO REMAIN | |
| 08 (E) CONC. WALKWAY TO BE REMOVED | 17 APPROX. LOCATION OF (E) OVERHEAD ELEC. SERVICE LINE TO REMAIN | |
| 09 (E) OUTLINE OF (E) UPPER LEVEL DECK TO BE REMOVED | 18 (E) CONC. SIDEWALK TO REMAIN | |

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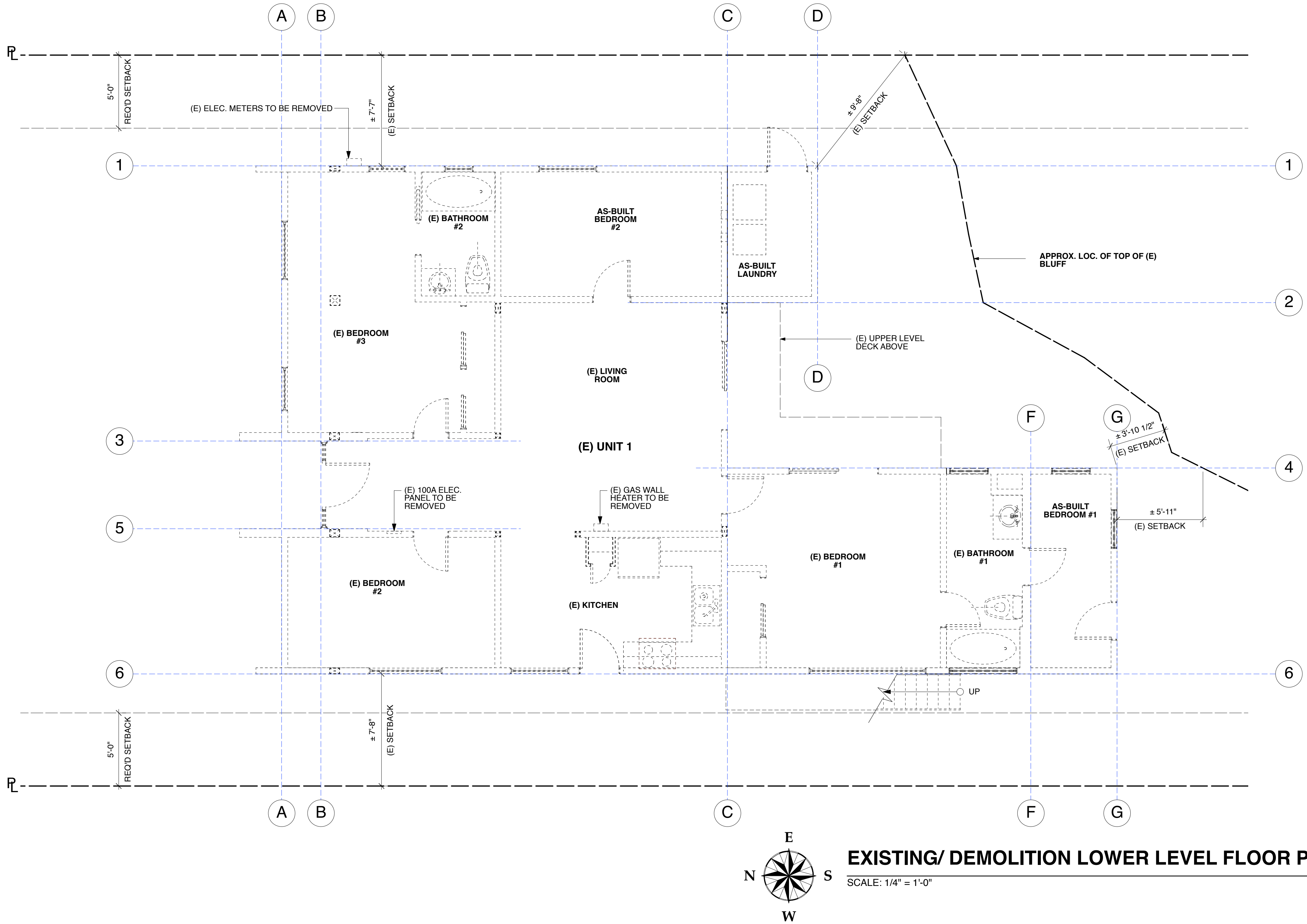
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SITE PLAN

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DEMOLITION NOTES

ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCY REGARDING NON-BEARING / BEARING WALLS. NO BEARING WALLS SHALL BE REMOVED WITHOUT ARCHITECT / STRUCTURAL ENGINEER REVIEW AND APPROVAL.

DEMOLITION SHALL BE LIMITED TO THE SPECIFIC DAYS AND HOURS OF CONSTRUCTION AS SET FORTH BY THE DEPARTMENT OF BUILDING AND SAFETY, COUNTY OF SANTA BARBARA

NO DEMOLITION WORK SHALL BE COMMENCED PRIOR TO OWNER AUTHORIZATION OF THESE PLANS, OWNER VERIFICATION OF EXTENT OF DEMOLITION, OR COUNTY OF SANTA BARBARA BUILDING DEPARTMENT APPROVAL.

STRUCTURAL ITEMS SHOWN "TO BE REMOVED" SHALL BE VERIFIED WITH ENGINEER FOR APPROPRIATE SHORING (IF APPLICABLE).

CONTRACTOR SHALL VERIFY ALL EXISTING STRUCTURAL CONDITIONS PRIOR TO DEMOLITION

ARCHITECT IS NOT RESPONSIBLE FOR REMOVAL OR ABATEMENT OF LEAD PAINT OR ASBESTOS. CONTRACTOR SHALL PROVIDE REMOVAL AND ABATEMENT PER LOCAL JURISDICTION REQUIREMENTS

EXTREME CARE SHALL BE TAKEN REGARDING THE REMOVAL OF:

- FINISHES
- STRUCTURAL ELEMENTS
- MECHANICAL SYSTEMS
- PLUMBING SYSTEMS
- ELECTRICAL SYSTEMS

EXTREME CARE SHALL BE TAKEN TO VERIFY ALL FIELD CONDITIONS WITH ARCHITECT AND ENGINEER PRIOR TO DEMOLITION

ANY REMOVAL OF EXISTING FOUNDATION SHALL BE DETERMINED BY COUNTY OF SANTA BARBARA AND BASED ON COUNTY REQUIREMENTS. COUNTY BUILDING INSPECTOR SHALL DETERMINE EXTENT OF REMOVAL ON SITE AT THE TIME OF (BUT PRIOR TO) ANY DEMOLITION.

WALL LEGENDS

----- (E) WALL TO BE REMOVED

NOTES:

1. SHADED AREA INDICATES PORTION OF EXISTING STRUCTURE TO BE DEMOLISHED

2. DARK SHADED AREA INDICATES PORTION OF EXISTING STRUCTURE TO BE DEMOLISHED AND (E) LOWER LEVEL SLAB TO REMAIN

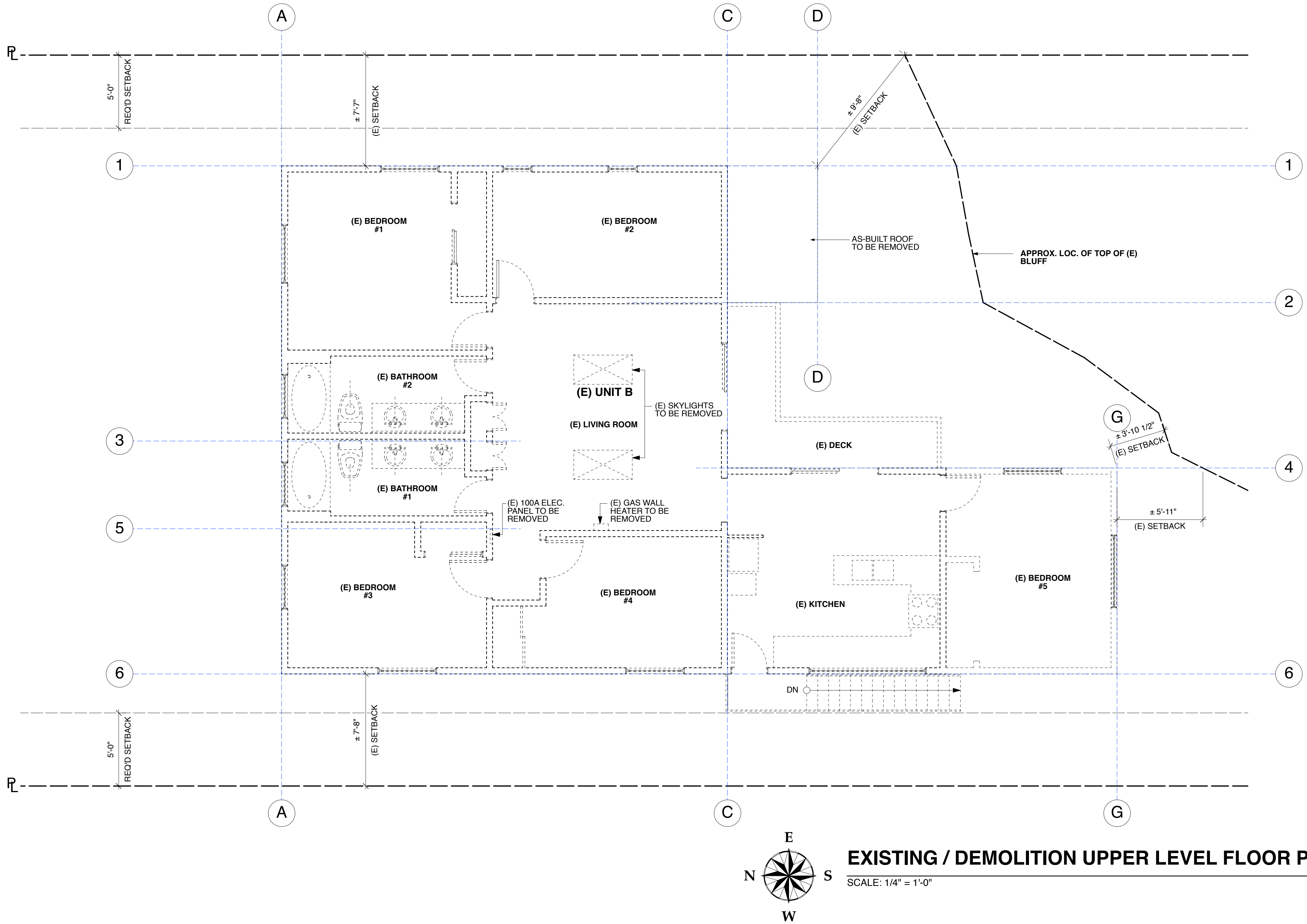
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EXISTING / DEMOLITION UPPER LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"

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WALL LEGENDS

----- (E) WALL TO BE REMOVED

NOTES:

- SHADED AREA INDICATES PORTION OF EXISTING STRUCTURE TO BE DEMOLISHED
- DARK SHADED AREA INDICATES PORTION OF EXISTING STRUCTURE TO BE DEMOLISHED AND (E) LOWER LEVEL SLAB TO REMAIN

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EXISTING/ DEMOLITION
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